

Village of Carol Stream

BOARD MEETING

AGENDA

JULY 5, 2011

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES:

1. Approval of the Minutes of June 20, 2011 Board Meeting.
2. Approval of Executive Session Minutes.

C. AUDIENCE PARTICIPATION & PUBLIC HEARINGS:

D. SELECTION OF CONSENT AGENDA:

If you are here for an item which is added to the consent agenda and approved, the Village Board has acted favorably on your request.

E. BOARD AND COMMISSION REPORTS:

1. PLAN COMMISSION:

- a. #11115 – Direct Import Home Décor – 1175 N. Gary Avenue
Special Use Permit – Planned Use Development
Special Use Permit – Shopping Center
Special Use Permit – Retail and Wholesale Sales and Display Rooms and Distribution Facilities
Sign Code Variations – Ground Signs
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (7-0)
Gary Avenue Corridor Review
APPROVED SUBJECT TO CONDITIONS (7-0)
Zoning approvals for the redevelopment of the vacant former Value City property at 1175 N. Gary Avenue.
- b. #11154 – Northern Builders/Temple Inland Corporation – 139 Fullerton Avenue
Special Use Permit – Outdoor Activities and Operations
Variation – Landbanked Parking
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (6-0-1)
Gary Avenue Corridor Review
APPROVED SUBJECT TO CONDITIONS (6-0-1)
Zoning approvals for the redevelopment of the vacant Temple-Inland property at 139 Fullerton.
- c. #11151 – McDonalds USA,LLC – 355 S. Schmale Road
Final Plat of Subdivision
RECOMMENDED APPROVAL (7-0)

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F. OLD BUSINESS:

1. Plan Commission/Zoning Board of Appeals Case No. 11084 – Bulldog Ale House – 1021 Fountain View Drive
*Special Use Permit – Outdoor Seating Ancillary to a Restaurant
PUD Plan – Amendment
Gary Avenue Corridor Review*
RECOMMENDATION FOR APPROVAL FAILED (3-4)
Request for zoning approvals for an outdoor patio in the Fountains at Town Center commercial development. Tabled at the June 20, 2011 Village Board Meeting. Staff requests direction from the Village Board regarding preparation of the ordinance for the case.

G. STAFF REPORTS & RECOMMENDATIONS:

1. Award of Consultant Contract Amendment No. 2 for the Southwest Water Main Extension Project.
Engineering Staff recommends awarding amendment No. 2 to the consultant contract for the Southwest Water Main Extension Project to Baxter & Woodman in the amount of \$70,000.00.
2. Special Management Area Reviews – Award of Consultant Contract.
Staff recommends that this contract be awarded to Christopher B. Burke Engineering Ltd. based on the agreement billing rates.
3. Award of Consultant Contract – Phase III Construction Services for Kuhn Road Bikeway.
Engineering staff recommends that the Phase III Construction consultant contract be awarded to TranSystems Corporation for \$76,626.00. Eighty percent of the cost will be reimbursed by the FHWA in CMAQ funds.

H. ORDINANCES:

1. Ordinance No. _____, Granting a Special Use for Planned Unit Development, Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities, and Approval of a Preliminary/Final Planned Unit Development Plan (Direct Import Home Décor, 1175 N. Gary Avenue).
See E1a.

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2. Ordinance No. _____, Approving a Special Use Permit to Allow for Outdoor Activities and Operations in the I Industrial Zoning District and a Variation for Landbanked Parking (Temple Inland Corporation, 139 Fullerton Avenue).
See E1b.

I. RESOLUTIONS:

1. Resolution No. _____, Approving a Final Plat of Subdivision (McDonald's USA, LLC – 355 S. Schmale Road).
See E1c.

J. NEW BUSINESS:

1. Parade and Public Assembly Permit Application.
Kaival Gyan Mandir is requesting approval to conduct a religious walk on Sunday morning, July 31, 2011.

K. PAYMENT OF BILLS:

1. Regular Bills:
2. Addendum Warrant:

L. REPORT OF OFFICERS:

1. Mayor:
2. Trustees:
3. Clerk:

M. EXECUTIVE SESSION:

N. ADJOURNMENT:

LAST ORDINANCE: 2011-06-19

LAST RESOLUTION: 2539

NEXT ORDINANCE: 2011-07-20

NEXT RESOLUTION: 2540

**REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County, IL**

June 20, 2011

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 8:00 p.m. and directed Village Clerk Beth Melody to call the roll.

Present: Mayor Frank Saverino, Sr., Trustees Mary Frusolone, Tony Manzullo, Greg Schwarze, Matt McCarthy and Pam Fenner.
Absent: Trustee Don Weiss
Also Present: Village Manager Joe Breinig (at 8:15), Assistant Village Manager Bob Mellor, Village Attorney Jim Rhodes, Assistant Village Attorney Jason Guisinger and Village Clerk Beth Melody

Mayor Saverino, Sr. led those in attendance in the Pledge of Allegiance.

MINUTES:

Trustee McCarthy moved and Trustee Fenner made the second to approve the Regular Board Meeting Minutes of June 6, 2011. The results of the roll call vote were as follows:

Ayes: 5 Trustees Frusolone, Manzullo, Schwarze, McCarthy & Fenner
Nays : 0
Absent 1 Trustee Weiss

AUDIENCE PARTICIPATION AND PUBLIC HEARINGS:

Resolution No. 2536, Honoring Barbara Chaplin Upon Her Retirement from the Village of Carol Stream – Resolution read by Trustee McCarthy and approved.

Resolution No. 2537, Honoring Jane Hodgkinson, Executive Director of WDSRA, Upon Her Retirement - Resolution read by Trustee Schwarze and approved.

Proclamation Celebrating the 10th Anniversary of Belmont Village at Geneva Road in the Village of Carol Stream - Proclamation read by Trustee Frusolone and approved.

CONSENT AGENDA:

Trustee Schwarze and Trustee Manzullo made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 5 Trustees Frusolone, Manzullo, Schwarze, McCarthy & Fenner
Nays : 0

Absent 1 Trustee Weiss

Trustee McCarthy moved and Trustee Schwarze made the second to put the following items on the Consent Agenda established for this meeting.

The results of the roll call vote were as follows:

Ayes: 5 Trustees Frusolone, Manzzullo, Schwarze, McCarthy & Fenner

Nays : 0

Absent 1 Trustee Weiss

1. Village of Carol Stream – 500 N. Gary Avenue - Zoning Code Text Amendment – Donation Drop Boxes
2. Blue Rhino for Dominick’s Finer Foods – 560 Schmale Road - Planned Unit Development – Minor Modification
3. Purchase of Replacement Coban Digital Video Systems and Waiver of Formal Competitive bids
4. Kuhn Road Bike Trail Right of Way Acquisition – Lutheran Church of the Master
5. Approval for Local Agency Agreement for Federal Participation for Construction of the Kuhn Road Bike Trail
6. Award of Contract and Waiver of Formal Competitive Bids for Repair of Fuel Island Conduit and Cabling Replacement
7. Ordinance No. **2011-06-19**, Approving a Text Amendment to the Zoning Code to Create a New §16-12-1(F)
8. Resolution No. **2538**, Declaring Surplus Property Owned by the Village of Carol Stream
9. Resolution No. **2539**, Approving an Intergovernmental Agreement (IGA) Between the County of DuPage, Illinois, Village of Carol Stream, Illinois and the Carol Stream Park District for the Design of Various Public Improvements
10. Renewal of Village Manager’s Contract
11. Request from the Carol Stream Library for Waiver of Building Permit Fees
12. Payment of Regular & Addendum Warrant of Bills
13. Receipt of Treasurer’s Report: Revenue/Expenditure Statement and Balance Sheet, Month End, May 31, 2011
14. Rescheduled July 4th meeting to July 5th

Trustee McCarthy moved and Trustee Fenner made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:

Ayes: 5 Trustees Frusolone, Manzzullo, Schwarze, McCarthy & Fenner

Nays : 0

Absent 1 Trustee Weiss

The following are brief descriptions of those items approved on the Consent Agenda for this meeting.

Village of Carol Stream – 500 N. Gary Avenue - Zoning Code Text Amendment – Donation Drop Boxes:

The Village Board concurred with the Plan Commission recommendation to amend the Zoning Code to create performance standards that must be met for donation drop boxes with respect to zoning, bulk standards, location and appearance.

Blue Rhino for Dominick’s Finer Foods – 560 Schmale Road - Planned Unit Development – Minor Modification:

The Village Board concurred with the Plan Commission recommendation for zoning approval to allow the storage and display of propane tanks in front of the Dominick’s store in Geneva Crossing.

Purchase of Replacement Coban Digital Video Systems and Waiver of Formal Competitive bids:

The Village Board approved the Police Department requests to purchase eleven Coban Digital Video Systems to replace the older Coban Systems that are no longer covered under warranty and to waive formal bidding procedure as these systems are a sole source and will operate with the Village’s current digital video system and server.

Kuhn Road Bike Trail Right of Way Acquisition – Lutheran Church of the Master:

The Village Board approved the staff recommendation to pay \$5,000 to Lutheran Church of the Master for purchase of right of way required to construct the Kuhn Road Bike Trail.

Approval of Local Agency Agreement for Federal Participation for Construction of the Kuhn Road Bike Trail:

The Village Board approved the Local Agency Agreement for Federal Participation for Construction of the Kuhn Road Bike Trail.

Award of Contract and Waiver of Formal Competitive Bids for Repair of Fuel Island Conduit and Cabling Replacement:

The Village Board approved a staff request for approval of an agreement with Burke, LLC, for design-build services in the amount of \$104,805.00 and waiver of formal, competitive bids.

Ordinance No. 2011-06-19, Approving a Text Amendment to the Zoning Code to Create a New §16-12-1(F):

The Village Board approved a staff recommendation to add performance standards for donation drop boxes to the Zoning Code.

Resolution No. 2538, Declaring Surplus Property Owned by the Village of Carol Stream:

The Village Board approved the Police Department recommendation to declare certain electronics equipment as surplus. This equipment will be traded in for new equipment, disposed of or auctioned on www.propertyroom.com.

Resolution No. 2539, Approving an Intergovernmental Agreement (IGA) Between the County of DuPage, Illinois, Village of Carol Stream, Illinois and the Carol Stream Park District for the Design of Various Public Improvements:

The Village Board approved the staff is recommendation for approval of the IGA with DuPage County and the Park District for the design, permitting and construction of

DuPage County's Armstrong Park-Klein Creek Flood Control Project along with unrelated Park District improvements to Armstrong Park.

Renewal of Village Manager's Contract:

The Village Board approved extension of the Village Manager's Contract from May 1, 2011 through April 30, 2015.

Request from the Carol Stream Library for Waiver of Building Permit Fees:

The Village Board approved the Carol Stream Library request for waiver of building permit fees for their upcoming parking lot improvement project.

Regular Bills and Addendum Warrant of Bills:

The Village Board approved the payment of the Regular Bills dated June 20, 2011 in the amount of \$250,313.02.

The Village Board approved the payment of the Addendum Warrant of Bills from May 17, 2011 - June 6, 2011 in the amount of \$687,720.56

Treasurer's Report: Revenue/Expenditure Statement and Balance Sheet, Month End, May 31, 2011:

The Village Board received the Treasurer's Report: Revenue/Expenditure Statement and Balance Sheet, Month End, May 31, 2011.

Reschedule July 4th Village Board Meeting:

The Village Board rescheduled the July 4th Board meeting to July 5th.

Non - Consent Agenda Item:

Bulldog Ale House – 1021 Fountain View Drive:

Trustee Fenner moved and Trustee Manzzullo made the second to continue this item to the July 5, 2011 Board meeting to allow petitioner to prepare a presentation regarding their request.

The results of the roll call vote were as follows:

Ayes:	3	Trustees Manzzullo, Schwarze & Fenner
Nays :	2	Trustees Frusolone and McCarthy
Absent 1		Trustee Weiss

Report of Officers:

Trustee Frusolone clarified her position regarding voting on Park District matters before the Village Board and that she will begin voting on items where she feels there is no conflict of interest. Trustee Manzzullo Trustee Manzzullo asked everyone to pray for and support our troops. Trustee Schwarze congratulated Barb Chaplin and Jane Hodgkinson on their respective retirements and Belmont Village for their 10 year anniversary in the Village. Trustee Schwarze questioned whether the Village could install service club signs at the entrances to the Village. It was suggested that this be discussed at the goal setting retreat next Monday and Tuesday. Trustee Schwarze reminded everyone to shop Carol Stream. Trustee McCarthy congratulated Barb Chaplin and Jane Hodgkinson on their retirements and wished them well. Trustee McCarthy reminded everyone to attend the teen youth council music fest this Saturday at the Town Center. Clerk Melody congratulated Barb Chaplin and Jane Hodgkinson on their retirements. Manager Breinig

thanked Executive Secretary Barb Chaplin for helping him through the transition from former Village Manager Greg Bielawski, who the Village Hall is named after, and made it easy for him. Manager Breinig also thanks Jane Hodgkinson for her many years of service to the Village. Residents were reminded of the following upcoming Village events at the Town Center: Thursday night concert, 4-day carnival (Thursday-Sunday), Bud's Run (Saturday), youth council music fest (Saturday), 4th of July parade and fireworks. Village Engineer Jim Knudsen was asked to give a brief presentation on the highlights of the Intergovernmental Agreement with DuPage County and the Carol Stream Park District for construction of the Armstrong Park-Klein Creek Flood Control Project. Mayor Saverino stated Executive Secretary Barb Chaplin will be missed and thanked Jane Hodgkinson for her many years of community service. Mayor Saverino thanked Police Officer Frank Jones and others who assisted the concert attendee who collapsed at last Thursday's concert. Mayor Saverino reminded everyone of the Relay for Life this Friday and Saturday.

At 8:45 p.m. Trustee McCarthy moved and Trustee Manzzullo made the second to adjourn the meeting.

Ayes:	5	Trustees Frusolone, Manzzullo, Schwarze, McCarthy & Fenner
Nays :	0	
Absent	1	Trustee Weiss

FOR THE BOARD OF TRUSTEES

Frank Saverino, Sr. Mayor

Beth Melody, Village Clerk

AGENDA ITEM

B-2 7-5-11

Village of Carol Stream INTER-DEPARTMENTAL MEMO

TO: Mayor & Trustees
FROM: Beth Melody, Village Clerk *Bm*
DATE: June 22, 2011
RE: Approval of Executive Session Minutes

The following executive session meeting minutes have been provided to the Village Board for review and are recommended for your approval:

January 16, 2007	March 1, 2010
February 5, 2007	March 15, 2010
February 20, 2007	April 5, 2010
March 19, 2007	April 19, 2010
April 2, 2007	May 3, 2010
May 21, 2007	June 7, 2010
July 2, 2007	June 21, 2010
August 6, 2007	July 6, 2010
August 20, 2007	July 19, 2010
December 17, 2007	August 2, 2010
	August 16, 2010
January 22, 2008	September 9, 2010
February 4, 2008	October 4, 2010
February 19, 2008	October 18, 2010
March 17, 2008	November 1, 2010
April 7, 2008	November 15, 2010
June 16, 2008	December 10, 2010
July 7, 2008	December 20, 2010
September 15, 2008	
November 3, 2008	January 18, 2011
	February 7, 2011
February 2, 2009	February 22, 2011
May 5, 2009	March 7, 2011
June 1, 2009	March 21, 2011
June 15, 2009	April 4, 2011
July 6, 2009	May 2, 2011
July 20, 2009	May 16, 2011
November 2, 2009	June 6, 2011
November 21, 2009	
December 7, 2009	
December 21, 2009	

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

All Matters on the Agenda may be Discussed, Amended and Acted Upon

June 27, 2011

Chairman David Michaelsen called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 7:30 p.m. and directed Secretary Roberta Michalak to call the roll. The results of the roll call vote were:

Present: Chairman Dave Michaelsen and Commissioners Dee Spink, Timothy McNally, Angelo Christopher, Ralph Smoot, Frank Petella and David Hennessey

Absent:

Also Present: Donald Bastian, Assistant Community Development Director, Roberta Michalak, Permit Systems Coordinator and court reporter from DuPage County Court Reporters.

MINUTES:

Commissioner Spink moved and Commissioner McNally made the second to approve the minutes of the meeting June 13, 2011. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Christopher, McNally, Spink, Hennessey, McNally, Petella and Chairman Michaelsen

Nays:

Abstain:

Absent:

Chairman Michaelsen stated that he would like to start with the presentation before the Public Hearing

**Case # 11115 McDonald's USA, LLC – 355 S Schamle Road
Final Plat of Subdivision**

Chairman Michaelsen swore in Elaine Kindt, for Rich Neubauer, Rebuild Manager for McDonalds, 1325 Chapman Dr. Darien IL.

Elaine Kindt stated that Rich Neubauer could not be here and she would be conducting the hearing. As you know McDonalds was approved to rebuild the site and we plan on starting the demolition on July 5th, pending ComEd's schedule for electrical shut off. This site has two parcels and we want to compile them into one lot and in doing so we are also able to do an easement with the Village of Carol Stream and McDonalds for the Storm Water Management and sidewalk easement as well. That's why we are here today to request approval for a Plat of Subdivision. I brought the site plan along with the Plat of Subdivision I can go over it if you'd like. Once again we are very happy to be part of Carol Stream, and we are asking for your approval and support as we move our business forward in the future.

Chairman Michaelsen asked Mr. Bastian for any staff comments. Mr. Bastian stated that the staff had nothing further to add, as Ms. Kindt mentioned all the zoning approvals have been granted and as you recall a few months ago they came before us and everything had been approved, the

building permit has been submitted and near completion for issuance and at this time this is just a plat to consolidate the two lots into one and we recommend approval of the Plat of Subdivision for McDonald's Schmale Road Consolidation.

Chairman Michaelsen asked if the Plan Commissioners had any questions regarding the staff report.

Commissioners Hennessy, Spink, Christopher, Petella, Smoot and McNally did not have any questions

Commissioner Spink moved and Commissioner Petella made the second to recommend approval of the request for Final Plat of Subdivision.

The results of the roll call vote were:

Ayes: 7 Chairman Michaelsen and Commissioners Christopher, Smoot, McNally,
Hennessy, Spink and Petella

Nays: 0

Absent: 0

PUBLIC HEARING:

Commissioner Spink moved and Commissioner Petella made the second to open the Public Hearing. The motion passed by unanimous voice vote.

**Case # 11115 Direct Import Home Décor – 1175 N Gary Ave
Special Use – Planned Unit Development, Shopping Center and Retail
and Wholesale Sales and Display Rooms and Distribution Facilities
Preliminary/Final Planned Unit Development Plan
Gary Avenue Corridor Review
Sign Code Variations – Ground Signs**

Chairman Michaelsen swore in the witness, Ray Fang, 739 Red Oak Drive, Bartlett IL. 60103.

Mr. Fang stated that his customer purchased the property at 1175 N Gary Avenue at the end of March 2011. Prior to purchasing the property his client merged with a new business and together they propose to subdivide the building into several areas.

Mr. Bastian reminds the applicant that the Plan Commission members have a copy of the plans in the packet.

Mr. Fang states Direct Import Home Décor the owner will occupy 50% of the of the building as his own wholesale and direct import business approximately 15,000 square feet facing Gary Ave will be individual stores and the larger area of approximately 35,000 square foot area will be left open for a single big box tenant and is requesting a Special Use to make a mini mall style. Also trying to satisfy the Gary Ave requirements we are proposing on the west side to make the new store elevation more appealing to the people. If you look at the elevation view, we are making all the stores in the front there will be front panel piece protruding out of the current building this will break the monolithic feeling of the current pre-cast walls. We believe with this kind of design will be better for any kind of a retailer in this area. The design is open, especially on the west part because of the store requirement we are re-arranging the parking lot based on our desire and because of that we are taking 3500 square feet of parking spaces into a landscaping area and we are dedicating this area to satisfy the new Gary Ave Landscaping Code. If you look at summary on L-1 which will give you the idea we are adhering to by the code requirements. The most important part of this requirement on the Planned Unit Development part the customer thinks on

the north portion we have a tremendous parking area not only this we have one main aisle which pretty much can divide the lot into two distinctive areas, we think on the north side we will provide some sort of out-lot we are proposing about 20,000 square feet for the future new location. The zoning said we are subject to later approval for occupancy. We also compared the Gary Ave new codes to the old codes and we found out on the parking set back the previous requirement is 20' only, the new set back requirements on Gary Ave is 30' we would like to stay with 20' which we have subject to the future development especially to the out lot in the north area which we have 25' set back on the front so we would have to make modification on the parking. Also on the building set back requirements the old requirements shows 100', Gary Avenue Code requirements say 60' maximum 100' and we have obviously gone beyond that, now for the Future out-lot because we would like have the front as close as possible to Gary Avenue so we would like to request to go with the Gary Avenue Code requirements for the building set backs. The landscaping requirements require where we provide parking lot on the west side of the building request 10% landscaping based on the parking lot and propose to lower bar to 5% the reason we have this, based on the Zoning Code every time you have parking stalls you are suppose to provide 1 island, 1 of 20 is about 5% even, so if you can lower that bar to 5% for us that would be very good for us, even though right now we provided 10.5 % of landscaping area based on the parking area. The last request is a sign code zone variance to allow current sign code 6' high because we have 1000 foot frontage we figured that if we have more signage with more height it would allow people to see our signs and not pass us by, we are requesting two signs 10' high and 12 wide one at main traffic light entrance and another on the south side of the lot by the right in right out entrance. This will help to identify the tenants without passing up the entrances. That concludes the request by the applicant.

Chairman Michaelsen asked Mr. Bastian for the staff report.

Mr. Bastian states that there is a request for several zoning approvals, a Special Use for a Planned Unit Development, Shopping Center, and Retail and Wholesale Sales and Display Room and Distribution Facility, approval of a Preliminary/Final Planned Unit Development Plan, Gary Avenue Corridor Review and Sign Code variations. As the petitioner indicated the property was purchased by the Windfall Group and the main tenant is Direct Import Home Décor, they are an importer and wholesaler of granite and cabinets used in kitchen, bath, office and retail build-outs and remodeling project. They have existing outlets in Cleveland and Toronto, and are proposing to establish a location in Carol Stream as their new Chicagoland facility. Direct Import Home Décor would occupy about 56,000 square feet of the 105,000 square foot building with their warehouse, showroom and offices. The plans also propose to create about 16,000 square feet of inline tenant spaces on the west side of the building facing Gary Avenue, with the northern 35,000 square foot tenant space on the front of the building, planned for occupancy by a single, yet unknown retail tenant. As part of the request for a Special Use they also show a future out-lot user on the north side of the property, the applicant is certainly aware before anything can be done out there the building will need to come back before the Plan Commission/Village Board for the Gary Avenue Corridor Review and commercial Planned Unit Development Plan approval. This is understood by the applicant. They showed the building on the plan as a representation of what could happen. As for the Special Use for Planned Unit Development, historically, this has been an important building in the community which has been vacant for more than two years we also know this property configuration is sort of unique with the very long frontage and a comparatively shallow depth, we think that sort of drove the unusual design of the original building which has the front of the store facing north as apposed to facing Gary Avenue. Approving the property as a Planned Unit Development would provide some flexibility for the current redevelopment plan as well as into the future; it would also allow the property to contain multiple buildings without having to go through a Plat of Subdivision process. The staff is supportive of the concept of an additional building on the northern part of the site; it would be advantageous to the property owner as well

as to the Village for the space to be put to a more productive use. As the analysis in the report shows there is more parking than would seem to be needed so it would appear those parking spaces on the far north end of the lot could be eliminated. Staff recommends approval for the Planned Unit Development. The next Special Use is for the shopping center which is defined by our Code as a commercial development in excess of 10 acres of land with a structure of at least 50,000 square feet containing 5 or more business and as explained by the petitioner the plan at this point is to take the single tenant building and divide it into multiple tenant spaces, as discussed Direct Import Home Décor would have 9,100 square feet of office and showroom, about 16,000 square feet of inline commercial spaces, the 35,000 square feet space at the north end for a future retail tenant and 47,000 square feet of warehouse space for Direct Import Home Décor, along with the future out-lot. In review of the Special Use the main concerns come down to the adequacy of parking, traffic issues and the pedestrian accommodations. The table on page 4 of the report outlines parking, the zoning code requires 359 spaces and the plan proposes 433 so there is still quite a surplus of space above and beyond the requirements certainly there is some flexibility if the future out-lot is a restaurant or some other type of use that generates a higher parking demand there looks that there is some cushion. We are comfortable with parking. With respect to traffic there are two entrances into the property, the signalized intersection at Stark Dr. and the right in right out at the south end of the building, the right in right out will certainly be convenient for the north bound traffic as well as the vehicles that would service the Direct Import Home Décor warehouse use, and the traffic again with the signalized intersection access is certainly adequate regarding pedestrian facilities, the plans show that there would be about a 20' wide space between the new parking lot on the west side of the building and the front of the building, in that 20' zone would be the new building overhang and canopy system as well as sidewalks up and down the west side of building, and so certainly the plan provides the significant improvements in terms of pedestrian facilities so staff is in support of the special use for the shopping center. We also support the Special use for the Retail and Wholesale Sales and Display Room and Distribution Facility which is being requested by the Direct Import Home Décor Use. This is an ideal use for this building if you think about it the office and showroom on the west side of the building will make an appropriate store front use, the warehouse behind the building or out back of the building is not going to be the most undesirable space in the building for any retailer and so to have a warehouse use in there makes sense and is a good fit for this building. We recommend approval to the Special Use for the Retail and Wholesale Sales and Display Room and Distribution Facility. As for the Gary Ave Corridor Review we will discuss the site design, architectural design and landscaping design. We started to talk about the site design essentially your going to focus on the reconfiguration and the expansion of the parking and the pedestrian facilities on the west side of the building as I mentioned a minute ago as shown on the exhibit the Planned Unit Development Plan a new conventional two way drive aisle will be added on the west side of the building with parking on both sides that will locate many new parking spaces close to new shop spaces and as I mentioned, new pedestrian facilities up and down the west side of the building, they propose to install two new masonry trash enclosures that would match the color of the building, so they will exceed the Gary Ave Corridor goals of properly screening the trash facilities, staff recommends the approval of the site design. With respect to the architectural design the rendering in the packet and the elevation shows the primary changes, again what they are really hoping to do here is make the building attractive to small shop tenants on the west side and the new overhang and canopy system and the landscaping planters up and down the west side will surely present a much more appealing appearance to that side of the building. Essentially what they have done is to take the west wall of the building which was a blank elevation at this point and they are trying to make it look more like the front of the building and truly their efforts should be applauded we have been through several design concepts with the client and staff recommends approval of the final design. It certainly meets the architectural design requirements of the corridor regulations. With respect to landscaping again the corridor regulations apply to the new parking spaces and landscaping areas to the west of building, the

petitioner mentioned the green space requirements and while they do fall short of meeting the requirement within the landscape islands in the new parking lot as we discussed in the report if you were to count the landscape areas and new planting beds that are in the pedestrian sidewalk adjacent to the building and the new parking lot they would go over the 10%, that is not how we count parking lot green space but I am pointing out that not only are they enhancing the landscaping in the new parking lot but installing a significant amount of new landscaping material right in front of building next to parking lot, as we noted this is an existing developed property and the corridor regulations advise the Plan Commission should use flexibility in the consideration of the variances from the requirements in this section, so this is one area where the applicant is looking for flexibility from the Plan Commission in terms of the way we would look at green space requirements in front of the building. As I mentioned in the preliminary final Planned Unit Development Plan that is one of items they are looking for relief on as well as the accommodations of the landscape screen and landscape setback calculations in front of the building and they do have significant quantity existing landscape materials in front of the building and they do get credit for those existing trees and shrubs for this project. With the respect to the sign code variations, two variations are being requested, first to have 2 ground signs for property because the property has only has frontage on one public street the Sign Code only allows one ground sign and they would like to have 2, we note that it would be very difficult to effectively advertise all of the possible future tenants in this building with only ground sign based on the location of the entrances to the property. If you're a southbound motorist and we put a ground sign at the signalized intersection that works good for you but the north bound motorist you may miss the entrance to the building and conversely if you put the one ground sign on the south end of the parking lot located by the right in right out entrance works well for a north bound motorist but the southbound may miss the tenants and pass the entrance. So, based on the fact that the frontage of this property is about $\frac{1}{4}$ of a mile and its on a curve and you have a railroad crossing and the southern access is just a right in right out which is limited, the staff can support variance to allow 2 ground signs. The second variance is to allow a ground sign to be 10' in height verses 6' which allowed by the sign code the village has taken a pretty critical look over the years when evaluating the sign height and variations we have approved some though, in 2004 the Plan Commission approved a variation to allow 2 ground sign at the town center park at over 11' tall in that case the size of the property and the scale of the improvements and the need to adequately inform the people passing by the location of the site those were all the unique factors. In 2009 the Plan Commission approved a variance for the Holiday Inn to have a 13' 3" tall sign as apposed to 6', in that case the limited visibility of the 6' tall sign was viewed to be a hardship and the fact that there was no consistent streetscape that had been established was also noted to be unique. In this case here we again think we have several factors that support the variance first it's a high speed roadway, it is located on a curve, there is a railroad crossing on the north end there are many distractions when people drive past, so a taller sign would be appropriate at this location and certainly is not a significant height variance. They will be removing the existing electronic changeable copy 25' tall pole sign toward the north end of the site and they will install two directory style signs in place of that. Staff recommends approval of the sign code variances as well as the other requests for special uses and Corridor Review and the preliminary/final Planned Unit Development Plan subject to conditions on page 12. I will be happy to answer any questions.

Mr. Bastian and Chairman Michaelsen open the floor for questions.

Commissioners Hennessy had no questions the plan looks nice and it a major improvement to the existing building and they will be nice addition to the town.

Commissioner Petella had a couple of questions: Is the directory sign shared with everybody that goes into the building then? Mr. Fang answered yes. Commissioner Patella asked are you going to increase the size of the signs, the staff has approved you to go to 120 square feet? Mr. Fang

said no and Don explained the sign is allowed to be 120 square feet in area I think what Mr. Fang did was include the brick base of the sign in the area calculations, the drawing on L-2 Exhibit E-2 shows a 10' tall by 12' wide sign that's 120 square feet but we don't include the area of the brick base in the area of the sign so we wanted to make sure that they are aware, in fact, the actual panel of these individual signs can be larger, they can't go more than 10' high but they can go larger in width to maximize the visibility of the businesses. Commissioner Petella asked about the parking lot on the west side is the furthest parking spaces in the west area in the Gary Ave Corridor regulations? Mr. Bastian answered the parking lot just west of the building is in the Corridor and it meets the 30' set back. Commissioner Petella states we're glad someone is taking interest in the property.

Commissioner Spink had one question about the deliveries to the businesses and warehouse. Mr. Fang answered they have two loading docks in the rear of the building and because the owner has occupied more than 50% of the building they had to grant the tenants access to the corridor in the back of the individual stores for deliveries. Mr. Bastian explains there is a corridor in the rear of the stores that runs the length of the building as shown on Exhibit B and this corridor can be accessed from the loading docks on the south side of the building, major deliveries can be accepted through this corridor, if smaller deliveries are needed that can be done through the front door. Commissioner Spink mentions her concern about a restaurant food delivery, that we would not want them to sit at the back of the dock you would want to make sure they were delivered properly, that's all I had to ask.

Commissioner Smoot had no questions and complimented the petitioner on the design of the building.

Commissioner Christopher had no questions.

Commissioner McNally no questions and thanks the petitioner for finding Carol Stream.

Chairman Michaelsen also thanks the petitioner for coming to Carol Stream and updating the building and asks Mr. Bastian if there is anything with the lighting being updated? Mr. Bastian answered Exhibit B shows the furthest west row of parking will have new lighting in the islands. Mr. Bastian states that the building application is in and shows the new lighting and that it complies with Village Code. Chairman Michaelsen asks if there is a limitation set for the new tenants to occupy the new building. Mr. Bastian states there are no limitations on the tenants it is zoned B-3 Service District which allows a wide variety of possible uses at this point and there are no known building tenants other than Direct Import Home Décor. Mr. Bastian states that he would hope that once the exterior improvements are in process that would make the building more attractive for possible tenants to find the location close to Stratford Square to be appealing. Chairman Michaelsen states that the office for the Direct Import Home Décor is on the southern part of the building. Mr. Fang confirms the location. Chairman Michaelsen commends the petitioner for coming into the Village and asks for a motion to approve the case.

Commissioner Hennessey moved and Commissioner Spink made the second to recommend approval of the request for the Special Use – Planned Unit Development, Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities, Preliminary/Final Planned Unit Development Plan, Gary Avenue Corridor Review, Sign Code Variations – Ground Signs at 1175 N. Gary Avenue

The results of the roll call vote were:

Ayes: 7 Chairman Michaelsen and Commissioners Petella, Hennessey, Spink, Smoot,

Christopher and McNally

Nays: 0

Absent: 0

Chairman Michaelsen reminded the petitioner that the Plan Commission's recommendation would be forwarded to the Village Board at their next meeting on July 5, 2011, at which time the Board would take final action on the matter.

**Case #: 11154 Northern Builders for Temple-Inland Corporation – 139 Fullerton Avenue
Special Use Permit – Outdoor Activities and Operations
Variation – Landbanked Parking
Gary Avenue Corridor Review**

Chairman Michaelsen swore in the petitioners Steve Crawford, 1300 S. Mopac Expressway, Austin, TX. 78739 and Bradley Wood, 5060 River Road, Schiller Park, IL. 60176.

Mr. Crawford opens the meeting with a thank you for allowing them to present tonight. Mr. Crawford states Temple-Inland is a company we are all familiar with, Temple-Inland is a publicly traded New York Stock Exchange Company with 10,000 employees, they are a manufacturing company focused on corrugated packaging and building products. Temple-Inland had about \$4 billion in annual sales last year with 80 locations in the United States, Mexico and Puerto Rico, 7 containerboard mills, 59 converting facilities and 14 building product plants. As you can see we have a strong dependence in the midwest area. Little history, Temple – Eastex Inc. was founded by a family named the Temples in east Texas in the late 1800's, 1890, in 1983 Temple – Eastex Inc and Inland Container Corporation are joined to become Temple-Inland, in 1986 we grew by acquiring some Owens-Illinois properties, including the linerboard mill in Orange, Texas, also acquired 260,000 acres which shows we have a long history of companies in Illinois. In 2001 we acquired Gaylord Container which was based out of Deerfield; we also acquired Chesapeake Packaging, Elgin Corrugated Box, Mack Packaging and ComPro. In 2007, Temple-Inland actually shrunk and spun off its financial services, timberland and real estate interests to focus on corrugated packaging and building products. Our vision is working together to create superior values primarily for our shareholders, customers and employees. Our mission is to be the best in what we do. Our values which are very important to us are our customers, employees and of course our operational efficiency and our corporate citizenship. We are actually involved in a lot of small towns in America, involved in high school bands and football teams; we are making this application without any financial support from Carol Stream, the County, or State. It was a corporate decision we made to grow our company and modernizing facilities without the help of the taxpayer. Thinking inside the box, we design, customize, print, test and fulfill high-end packaging solutions for customers every day. From an industry point of view we have the largest pre-print facility in our testing solutions lab in Illinois. Temple-Inland is the 3rd largest producer of corrugated packaging company in North America. Service and solutions, we do a lot of display corrugated ads and boxes, displays at the grocery stores and on the counter tops of business, we a large agricultural business, industrial, linerboard and specialty products. A little history on the building in Carol Stream, it was built back in the 1960's by Crown Zellerback and acquired by Gaylord in mid 1980's, and Temple-Inland acquired Gaylord in 2002 and has recently closed the plant in 2011, that is the bad news but that brings us to why we are here today. In the old days a box was a box and we had 50 year old machines with men and women keeping them running now with the new technology those same people are wearing lab coats and working with computers. Temple-Inland back in 2007 made a commitment to spend \$250 million dollars, this was a 2 year commitment called Transformation I, and we have committed another \$250 million dollars with Transformation II in 2011. Part of this is the new box plant in 350,000 square feet state-of-the-art building in Aurora and spent \$65 million dollars and brought in equipment from all

over the world, employ 150 people at this location. Which brings us to the location in Carol Stream; we had a plan to create some high quality printing, state-of-the-art sheet operation without corrugators, just taking a box and design an advertising box by computer in this sheet plant. We were looking in the midwest for a business friendly community, excellent place to work and live, with a skilled work force, and Inland said why not Carol Stream, which brings us to why we picked Carol Stream for all those qualities mentioned. The company came to look at the existing Temple-Inland building and met with Don and Bob Grees and discussed the idea. We want to take this building and refocus it and turn into this state-of-the-art facility with a budget of \$45 million dollars to repurpose the building across the street. We have formed a team of partners the most important being the Village of Carol Stream, we have a long relationship for many years. Northern Builders, Brad Wood, General Contractor, Harris Architects, Civil Engineers, Spaceco, Inc. and Landscape Architects, Dowden & Associates. The idea is take the building across the way and completely transform the outer appearance of the building. We will demo and rebuild the office portion of the building moving it closer to Gary and Fullerton. Redo the outside of the building, at least paint the exterior, and remove the existing cyclone, remove pump house and water tank, remove most of rail, redesign parking lot and landscape and create about 120 jobs. Today we are here to request the Commissions approval for a special use permit for outdoor trailer storage, we are asking to go to 48 spaces for trailer parking, the trailer will be screened with a pre-cast screening wall, we also are requesting a variance for land-banking, the code requires in excess of 238 parking spaces we will have 40 full time in our office and 40 per shift, we will operate two shifts to begin with, we are looking at needing only about 80 parking spaces and there could be 15-20 guests at times, will need coverage for shift change. We are requesting 143 spaces and land-bank the balance of the spaces required by code. We may want to mirror the Village sitting area or do something with landscaping but the idea is to grow and build on what the Village has already done and we think it would be good for the intersection. The cyclone is a vacuum on the top of the building, it recycles all the scraps, and we send it to one of our plants to recycle. The decision to replace and relocate the cyclone was made after we submitted our application to the Plan Commission and the notice was posted in the paper. We will need to reapply for that and out signage package. Mr. Crawford introduces Brad Wood.

Mr. Wood starts the slide presentation and explains slide one, the photo of the existing site and explains the current cramped trailer space area and the geometric layout for the facility.

Slide two; shows the current civil geometric layout of the facility, explains the new layout silhouettes the old in the lower southeast corner and shows the new car parking, new trailer stalls, and the new proposed office area. Civilly we comply with all the setback requirements and we show the new storm detention pond up near the intersection of Gary Ave and Fullerton Avenue which is in compliance with new DuPage County Storm Water Ordinance, it will be a dry bottom pond with wetland plantings, which will comply with best management practices, the existing storm swale along the north side of the property we will continue to use.

Slide three; landscape plan by Dowden & Associates, in the new area we meet all the requirements and asks Mr. Bastian if this is correct and Mr. Bastian confirms.

Slide four; office landscape plan one thing we did to make this comply with our 10% requirements is change our handicap parking we're only going to have two to expand the landscape island to meet the 10%. Two to three flag poles as part of the new landscape plan one for the American Flag, a Temple-Inland flag and possibly a Carol Stream Flag that would have lighting for evening visibility.

Slide five; architectural site plan this gives you a little of what we are doing with the new car parking, fully curbed lot, and on the south side the trailer parking, on the east side of the building

we have this pre-cast screen off the core of building to screen the trailers, along the back side of the building and we're going to maintain the current landscaping conditions screen us and the building to east. We will add evergreens in there for more year round screening.

Slide six; land bank car parking plan again would be for the stalls to be for future needs, if we do get pinched by the number of employees we end up losing trailer stalls and be faced with the decision of where to maintain those trailers in the future we do have the capacity to absorb more cars.

Slide seven; overall building plan currently the building was very busy inside, we opening up to see the entire building, we have two new pieces of equipment that will come in, a few other pieces, the conveyor system that will bring the finished product out, and then a storage area for what they call finished goods, and then ship out from the shipping and receiving area. There is a new maintenance area down in the southeast corner, the waste water treatment room, they treat there own paint dye, then we have the baler room which is where the new cyclone will go, on the far east end of the building.

Slide eight; space use plan is the manufacturing area, the warehouse area and the office area, to give the interpretation of the car parking counts.

Slide nine; office plan Temple-Inland is very unique and interesting I had the opportunity to go to the facility in Aurora and towards the end of the visit the president of the company came in and said you know I want my plant employees to be treated the same as my office employees. So what we did was tear out the bathroom facilities and replace them with high end materials. Very high tech office area we will have an open feeling in the break room area men's and women's locker rooms, you have a customer care conference room, you have production managers offices on the first floor, on the second floor we have the sales and marketing offices, the other unique thing we had in aurora that we will also have here is on the second floor in the training room but could be switched to a conference room is an observation window where they can look out and see the into the plant over the new process equipment to see what's going on and how its done.

Slide ten; line of site for the cyclone relocation, the cyclone is about a foot taller, but as you can see if you're standing on the west side of Gary Avenue what you can currently see you won't be able to see in the future. It will be beyond that line of site. It will be painted to match the building so it disappears, a newer technical look. We will present more information on the cyclone when we reapply.

Slide eleven; color rendering of the building, high tech looking we're looking at basically white and grays with silver on the building blue glass, fresh and brand new look.

Slide Twelve; elevation plan to show the elevation of the building and you can see the office component where we are moving closer to the intersection and then we are using this grand two story atrium look from the interior lobby of the building as you walk in.

Presentation of pictures to understand what Aurora looks like. This will represent what is coming to Carol Stream. Temple-Inland diamond polishes all there floors that looks like the home depot that you go into, the lighting in this 150' candle standard warehouse is only 30' candle code, high gloss lights in it the ceiling in this building will get cleaned and repainted. The next photo is a sample of the Aurora baler/scrape room Carol Stream will be similar to this one. The next photo is the finished goods area, we will put a couple of what they call big fans in this building for air circulation, next photo is the converting machines and printer, next photo is the dye wash area where they wash the print dyes that are on the printing equipment, next photo is of the Evol

printer equipment, next photo is the waste water treatment room where they clean out the water that comes off the equipment, next photo is the second floor observation window that looks out of the training room. Next photo is the training room; next photo is the Entrance Lobby with granite tile floor wood wall paneling. The next photo one of the conference rooms, next photo is a typical bathroom; next photo the customer care conference rooms and finally the current building signage.

Chairman Michaelsen thanks the gentlemen for their thorough presentation and states this is a public hearing and asks for any questions, comments pertaining to this case. If not we will go to my fellow commissioners starting to my right.

Commissioner McNally states that the presentation was very impressive and would like to thank them for rediscovering Carol Stream; I think you will really appreciate those big fans in August. No questions.

Commissioner Christopher, no questions.

Commissioner Smoot, no questions.

Commissioner Spink, no questions.

Commissioner Petella, no questions.

Commissioner Hennessey, no questions.

Chairman Michaelsen states that it was a very thorough presentation and thanks Temple-Inland for choosing to stay in Carol Stream.

Commissioner Hennessey moved and Commissioner McNally made the second to recommend approval of the request for Case No. 11154, Northern Builders for Temple-Inland Corporation – 139 Fullerton Avenue for the Special Use Permit – Outdoor Activities and Operations, Variation – Land-banked Parking, and Gary Avenue Corridor Review.

The results of the roll call vote were:

Ayes: 6 Chairman Michaelsen and Commissioners Smoot, McNally,
Hennessey, Petella and Spink

Nays: 0

Abstain 1 Commissioner Christopher

Absent: 0

Mr. Bastian states the Gary Avenue Corridor Review is approved tonight and the Special Use and the Variation will go the Village Board for final action on July 5, 2011. The village Board meeting is moving to the fifth due to the holiday on the fourth. And as mentioned you had a preview of the cyclone they would like to install and they have also mentioned that they will design a new ground sign. Because were not able to include the cyclone baler and the height of that structure or the outdoor installation of the structure in the public notice for this meeting, that is why they need to come back so they will be coming back I would expect in the next month or so with additional special Use and corridor review for the ground sign. The Gary Ave corridor Review is approved tonight and the other requests go to the board next week.

Chairman Michaelsen asked for a motion to close the Public Hearing.

Commissioner Spink moved and Commissioner McNally made the second to close the Public Hearing.

The results of the roll call vote were:

Ayes: 7 Chairman Michaelsen and Commissioners Petella, Hennessey, Spink, Smoot, Christopher and McNally

Nays: 0

Absent: 0

NEW BUSINESS:

To cancel the meeting scheduled for July 11, 2011

Commissioner McNally moved and Commissioner Petella made the second to cancel the July 11th meeting.

The results of the roll call vote were:

Ayes: 6 Chairman Michaelsen and Commissioners Petella, Hennessey, Spink, Christopher and McNally

Nays: 1 Commissioner Smoot

Absent: 0

ADJOURNMENT:

At 8:45 p.m. Commissioner Spink moved and Commissioner Smoot made the second to adjourn the meeting. The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Roberta Michalak
Permit Systems Coordinator


Minutes approved by Plan Commission on, July 25, 2011.


Chairman

Ela 7-5-11

*Village of Carol Stream***Interdepartmental Memo**

TO: Joseph E. Breinig, Village Manager

FROM: Donald T. Bastian, Assistant Community Development Director 

THROUGH: Robert J. Glees, Community Development Director 

DATE: June 29, 2011

RE: **Agenda Item for the Village Board Meeting of July 5, 2011**
PC/ZBA Case 11115, Direct Import Home Decor – 1175 N. Gary Avenue
Special Uses for *Planned Unit Development, Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities, a Preliminary/ Final Planned Unit Development Plan, Gary Avenue Corridor Review and Sign Code Variations*

Architect Ray Fang, on behalf of Eddie Ni of the Windfall Group, has submitted the required plans and applications for the zoning approvals necessary to accommodate the conversion of the 105,000 square foot former Value City Department Store into a multi-tenant shopping center. The primary building tenant would be Direct Import Home Décor (DIH), which is an importer and wholesaler of granite and cabinets used in kitchen, bath, office and retail build-outs and remodeling. DIH, which is the only known building occupant at this time, would finish about 9,000 square feet of office and showroom space and 47,000 square feet of warehouse space. The plans also call for about 16,000 square feet of small shop inline retail space with new storefront entrances on the west building wall facing Gary Avenue. The remaining 35,000 square feet at the north end of the building is planned for occupancy by a single retail user. As part of the special use request for Planned Unit Development, the PUD Plan conceptually shows a new, stand alone building at the north end of the property, north of the drive aisle that enters the property at the signalized intersection opposite Stark Drive. As a point of information, the applicant is aware that the future outlot development would require PUD Plan and Gary Avenue Corridor approval before construction could commence on the building.

The staff report presenting the requests, with supporting documentation, was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals (PC/ZBA) packet on June 24, 2011. At their June 27, 2011, meeting, by a vote of 7-0, the PC/ZBA recommended approval of the Special Uses for *Planned Unit Development, Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities*, and of the Preliminary/ Final Planned Unit Development Plan, all subject to the conditions noted in the staff report. Also by a 7-0 vote, the PC/ZBA approved the Gary Avenue Corridor Review and two Sign Code Variations. The Sign Code Variations are to allow two ground directory signs for the property as opposed to the one that is allowed, and for the signs to measure 10 feet in height as opposed to six feet, as allowed.

If the Village Board concurs with the PC/ZBA recommendation regarding the Special Uses and Preliminary/Final PUD Plan, they should approve the Special Uses and Preliminary/Final PUD Plan,

subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance. The Plan Commission has the authority to approve or deny Sign Code Variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the Plan Commission within 21 days of the date that the request first appears before the Village Board. If the Village Board takes action on the Sign Code Variation requests, their decision is final. If the Board takes no action within the 21-day period set forth in the Sign Code, the decision of the Plan Commission to approve the variations is final. The PC/ZBA action regarding the Gary Avenue Corridor Review serves as the final decision.


DTB:db


c: Eddie Ni, Windfall Group (via e-mail)
Ray Fang, Architect (via e-mail)

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*Village of Carol Stream***Interdepartmental Memo**

TO: Joseph E. Breinig, Village Manager

FROM: Donald T. Bastian, Assistant Community Development Director 

THROUGH: Robert J. Glees, Community Development Director 

DATE: June 29, 2011

RE: **Agenda Item for the Village Board Meeting of July 5, 2011**
PC/ZBA Case 11154, Temple-Inland Corporation – 139 Fullerton Avenue
Special Use for *Outdoor Activities and Operations*, Variation for Landbanked
Parking, and Gary Avenue Corridor Review

Brad Woods of Northern Builders on behalf of Temple-Inland Corporation has submitted the required plans and applications for the zoning approvals necessary to accommodate the expansion and re-purposing of the recently closed cardboard box manufacturing operation at 139 Fullerton Avenue. The project includes the demolition of the existing 6,000 square foot single-story office area, removal of most of the old interior and exterior equipment, construction of a 19,000 square foot two-story office area, construction of new parking lots and storm water management facilities, and installation of new landscaping in accordance with the Gary Avenue Corridor regulations. Whereas the former use of the building was that of a corrugated cardboard box manufacturing plant, following the significant proposed capital investment in the property, the facility will be used to design, convert and print high-quality corrugated packaging. The specific requests include a Special Use for the outdoor parking of up to 48 trailers (which will be screened), a Variation to allow landbanking of 95 out of the required 238 parking spaces, and Gary Avenue Corridor Review.

The staff report presenting the requests, with supporting documentation, was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals (PC/ZBA) packet on June 24, 2011. At their June 27, 2011, meeting, by a vote of 6-0-1, the PC/ZBA recommended approval of the Special Use for *Outdoor Activities and Operations* in the form of trailer storage, and of the Variation to allow landbanked parking, subject to the conditions noted in the staff report. Also by a 6-0-1 vote, the PC/ZBA approved the Gary Avenue Corridor Review.


If the Village Board concurs with the PC/ZBA recommendation regarding the Special Use and Variation, they should approve the Special Use and Variation, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance. The PC/ZBA action regarding the Gary Avenue Corridor Review serves as the final decision.


DTB:db

c: Stephen Crawford, Temple-Inland Corporation (via e-mail)
Brad Woods, Northern Builders (via e-mail)

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Donald T. Bastian, Assistant Community Development Director 

THROUGH: Robert J. Glees, Community Development Director 

DATE: June 29, 2011

RE: **Agenda Item for the Village Board meeting of July 5, 2011**
PC/ZBA Case 11151, McDonald's USA, LLC – 355 S. Schmale Road
Final Plat of Subdivision

McDonald's USA, LLC, which will be redeveloping the 1.25-acre site at 355 S. Schmale Road with a new 3,900 square foot McDonald's Restaurant, is seeking approval of a Final Plat of Subdivision. The site currently consists of two individual parcels, and the proposed plat would create a single lot out of the two parcels and also dedicate required easements for storm water management facilities and sidewalk. (As a reminder, the Village Board granted the various zoning approvals necessary to allow for the construction of the new restaurant earlier this year.)

The staff report presenting the Final Plat of Subdivision, with supporting documentation, was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals (PC/ZBA) packet on June 24, 2011. At their June 27, 2011, meeting, the PC/ZBA recommended approval of the Final Plat of Subdivision by a vote of 7-0.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Final Plat of Subdivision and adopt the necessary Resolution.

DTB: db

c: Elaine Kindt, Kindt & Associates, Inc. (via e-mail)
Rich Neubauer, McDonald's USA, LLC (via e-mail)

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: June 30, 2011

RE: **Agenda Item for the Village Board Meeting of July 5, 2011**
PC/ZBA Case 11084, Bulldog Ale House
Special Use Permit for Outdoor Seating Ancillary to a Restaurant
Amendment to the Approved PUD Plan
Gary Avenue Corridor Review

PURPOSE

The purpose of this memorandum is to provide information to the Village Board regarding the referenced PC/ZBA case requesting zoning approvals for an outdoor seating area at the *Bulldog Ale House*, and to give the staff recommendation.

DISCUSSION

The *Bulldog Ale House* is requesting approvals for a Special Use Permit, an amendment to an approved Planned Unit Development Plan, and Gary Avenue Corridor Review for an outdoor seating area to be located on the east side of the east commercial building in the Fountains at Town Center, as an amenity for their customers. This case was presented to the Village Board at their regular meeting on June 20, 2011, and was tabled by the Village Board to allow time for the new manager of *Bulldog Ale House* to familiarize herself with the case and be better able to answer questions from the Village Board.

Revised Plan:

During the time since the June 20th meeting, the owner and the manager of *Bulldog Ale House* have reevaluated their proposed design plans in an effort to produce a revised design that would address the concerns of the Plan Commission / Zoning Board of Appeals (PC/ZBA) and Village Board. Attached is a copy of the revised plan, which is essentially the same as the plan that appeared before the Plan Commission, with one notable exception: the easternmost parking aisle has been revised to eliminate two landscaped islands and reduce the parking space width from 9½ feet to 9 feet, with the result that there would be 30 spaces in the aisle rather than the existing 26 spaces. With this change, there would be no diminution of parking spaces and thus no impact to the capacity of the parking lot. During the public hearing, a concern was also expressed regarding the fact that the proposed patio would block the existing sidewalk along the storefronts and cause people to walk within a drive aisle in the parking lot. The petitioner has evaluated the option of reducing the size of the patio in order to provide a sidewalk adjacent to the patio, but

prefers not to include such a sidewalk in the proposed plan. The petitioner prefers that the size of the patio not be reduced, and takes the position that walking in a parking lot drive aisle is not inherently unsafe, as people are customarily expected to walk in drive aisles as they walk between their cars and commercial buildings.

Staff Evaluation:

The proposed revision to the approved Planned Unit Development Plan would remove the parking impact from the petitioner's request, with the trade-offs being that the 30 most remote parking stalls in the lot would be 9 feet wide rather than the Village standard of 9½ feet, that there would be 30 consecutive spaces without a landscaped island rather than the maximum of 20, and that the parking lot greenspace would be reduced by approximately 240 square feet. Staff has evaluated these features of the proposed amendment to the PUD Plan with respect to the standards contained in the Zoning Code.

With respect to the parking space width, the Village's standard width for off-street parking spaces at commercial/industrial properties is 9½ feet. However, 9 feet is permitted in the Industrial Zoning District with the approval of the Community Development Director. Staff would note that 9 feet is the standard width commonly used throughout the Chicagoland area, and that Carol Stream's requirement for greater width is intended to provide a comfort level to the public. In order to preserve the availability of the 9½-foot spaces to the public, staff recommends a condition of approval whereby employees of *Bulldog Ale House* must use the 9-foot spaces at the east side of the parking lot. With this condition, staff is comfortable with the 30 most remote spaces being striped at 9 feet as opposed to the Carol Stream standard of 9½ feet.

With respect to the reduction in parking lot greenspace, staff has reviewed the original design of the parking lot and determined that the lot was designed with 9,800 square feet of landscaped area, which is 252 square feet greater than the 10% minimum requirement of 9,548 square feet. In addition, 8,100 points of plant material were provided as opposed to the minimum requirement of 4,774 points. With the elimination of the two parking lot islands, the lot would still meet the requirements for 10% green space area and for the amount of plant material, but would not meet the requirement for a landscaped island to break up the 30 spaces. Staff views this latter item as minor, but we recommend that the landscaping originally provided in the two islands be relocated so as to preserve the amount of landscaping material. With this condition, staff supports the petitioner's proposed method of addressing the parking capacity concern.

Requests:

The petitioner's original requests were for a Special Use Permit to allow for an outdoor seating area ancillary to a restaurant, an Amendment to the approved Planned Unit Development Plan to show the outdoor seating area and to reduce the parking lot capacity by four spaces, and Gary Avenue Corridor Review. The PC/ZBA recommended denial of the Special Use Permit and the PUD Plan Amendment, and rejected the Gary Avenue Corridor Review. With the proposed plan revision, the necessary requests for approval by the Village Board would be as follows:

- Special Use Permit to allow for an outdoor seating area ancillary to a restaurant

- Amendment to the approved Planned Unit Development Plan to show the outdoor seating area, to eliminate the two most easterly parking lot islands, to reduce the parking space width in the easternmost aisle from 9½ feet to 9 feet, and to allow more than 20 consecutive parking spaces without a landscaped island.
- Appeal of the PC/ZBA's denial of Gary Avenue Corridor Review.

Staff has discussed this case with the Village Attorney, who has opined that the proposed modifications to the approved Planned Unit Development Plan have not changed significantly from those presented at the public hearing before the PC/ZBA, and that the Village Board has the authority to approve the modified requests. The Special Use Permit request remains the same, and the modifications to the PUD Plan would eliminate the reduction in parking spaces with a negligible reduction in standards. With respect to Gary Avenue Corridor Review, §16-5-6(N)(5) states as follows:

(5) Right of appeal. The applicant shall have the right to appeal decisions of the Plan Commission to the Village Board. If an appeal is desired, the applicant shall submit, in writing, a request for appeal and specific reasons for the appeal to the Planning Division. The Village Board may grant modifications to the requirements contained within the corridor regulations when the Board can identify specific justification for the modification. The Village Board shall review the appeal request within 30 days of its receipt by the Planning Division unless the applicant requests an extension.

The petitioner is prepared to submit a written request for appeal that would be acted upon by the Village Board at their July 18, 2011, meeting.

RECOMMENDATION

As noted in staff's previous summary memorandum to the Village Board, the staff report presenting the requests, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on May 6, 2011, and the staff report addendum on June 10, 2011. The staff recommendation presented to the PC/ZBA was to approve the petitioner's requests. At their June 13, 2011, meeting, a motion was made to recommend approval of the requests, and the motion failed by a vote of 3-4. The PC/ZBA recommendation, therefore, is to deny the requests.

The Plan Commissioners who voted against the requests expressed the following concerns: ⁱ⁾ that the number of parking spaces approved for the Fountains at Town Center in 2004 are less than required for the sum of the individual tenant spaces, ⁱⁱ⁾ that the proposed patio would further reduce available parking, ⁱⁱⁱ⁾ that five tenant spaces are currently vacant, and so the parking demand may exceed capacity once those spaces are filled, and ^{iv)} that the patio blocks the use of the sidewalk, forcing handicapped persons to use the parking lot drive aisle to reach the sidewalk on the south side of the building.

Staff recommends approval of the petitioner's requests for: a Special Use Permit to allow for an outdoor seating area ancillary to a restaurant; and an amendment to the approved Planned Unit Development Plan to show the outdoor seating area, to eliminate the two most easterly parking

lot islands, to reduce the parking space width in the easternmost aisle from 9½ feet to 9 feet, and to allow more than 20 consecutive parking spaces without a landscaped island, subject to the following conditions. (Note that items #9 and #10 are new conditions.)

1. That all improvements shall match the attached plans, except as the plans may be modified by the Village Board;
2. That the relocated handicapped accessible parking stall, and all required accessible ramps, must be provided in accordance with the requirements of the Illinois Accessibility Code;
3. That no live entertainment shall be permitted outdoors unless a separate specific approval is granted by the Village's Administration Department;
4. That amplified sound for the patio area shall be controlled by facility management, shall be turned off no later than 10:00 p.m. every evening, and shall be kept at a volume level that will not be audible from the surrounding residential properties;
5. That the content of television programming for the exterior televisions shall be controlled by facility management;
6. That the egress gates from the patio shall be installed, located, operated and maintained in accordance with all applicable Code requirements;
7. That the fire pit shall be gas-fueled only, shall be covered, and shall be operated only by facility management;
8. That customers wishing to enter or leave the patio area must do so through the main entrance into Bulldog Ale House, with no direct access to or from the exterior of the patio;
9. That employees of the *Bulldog Ale House* shall park only in the 9-foot wide spaces at the east end of the parking lot,
10. That the petitioner shall employ his best efforts to relocate the plants in the parking lot islands which are to be removed, and shall replace dead or dying plants; and
11. That the construction and operation of the facility shall comply with all state, county and Village codes and requirements.

As noted above, the modifications to the petitioner's proposed site plan are judged by the staff and the Village Attorney as not significant, and in fact serve to eliminate the previously proposed reduction in parking capacity. The Village Attorney has advised that the matter need not be returned to public hearing before the PC/ZBA, but may be acted upon by the Village Board. If the Village Board concurs with the PC/ZBA recommendation, they should deny the petitioner's requests, which may be done by simple majority vote. However, if the Village Board were to

wish to approve the petitioner's requests, a supermajority vote of four trustees would be required to overturn the recommendation of the PC/ZBA. The Mayor's vote would not be counted towards meeting the requirement of four trustee votes.

With the direction of the Village Board, staff will prepare the necessary ordinance to approve or deny the petitioner's requests, and present the ordinance to the Village Board for action at their next meeting on July 18th. If the direction of the Village Board is to prepare an ordinance approving the petitioner's requests, staff would include on the agenda the petitioner's request for appeal of the PC/ZBA's denial of Gary Avenue Corridor Review.

RJG:bg

t:\planning\plan commission\staff reports\2011 staff reports\11084c bulldogalehousepatio.suppudgac.vbmemo2.doc

DRAWING INDEX

TOP SHEET: TITLE SHEET
SECOND SHEET: ISOMETRIC
SHEET #1: AMENDED / FINAL P.U.D. PLAN
SHEET #1-A: ENLARGED / FINAL P.U.D. PLAN [PARTIAL]
SHEET #2: PATIO & ENLARGED PATIO PLAN
SHEET #3: EXISTING OCCUPANCY & EGRESS
SHEET #4: FOUNDATION / ELEVATIONS

BUILDING CONSTRUCTION TYPE
~~EXTERIOR~~ EXTERIOR ---SB
~~INTERIOR~~ INTERIOR ---SB
OCCUPANCY TYPE: A-2 OCCUPANCY LOBBY

APPLICABLE CODES

1. INTERNATIONAL BUILDING CODE - 2006 EDITION
2. NATIONAL ELECTRICAL CODE (NFPA 70) - 2008 EDITION
3. ILLINOIS PLUMBING CODE - CURRENT EDITION (2004)
4. INTERNATIONAL MECHANICAL CODE - 2005 EDITION
5. INTERNATIONAL FIRE CODE - 2006 EDITION
6. INTERNATIONAL RESIDENTIAL CODE - 2006 EDITION
7. INTERNATIONAL PROPERTY MAINTENANCE CODE - 2005 EDITION
8. INTERNATIONAL FUEL GAS CODE - 2006 EDITION
9. INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION
10. 2000 LIFE SAFETY (NFPA 101-LSC)
11. CURRENT ACCESSIBILITY CODE (IAC)

IN CASE OF CONFLICT BETWEEN THE CODES, THE MOST RESTRICTIVE SHALL APPLY.

BULL DOG ALT HOUSE

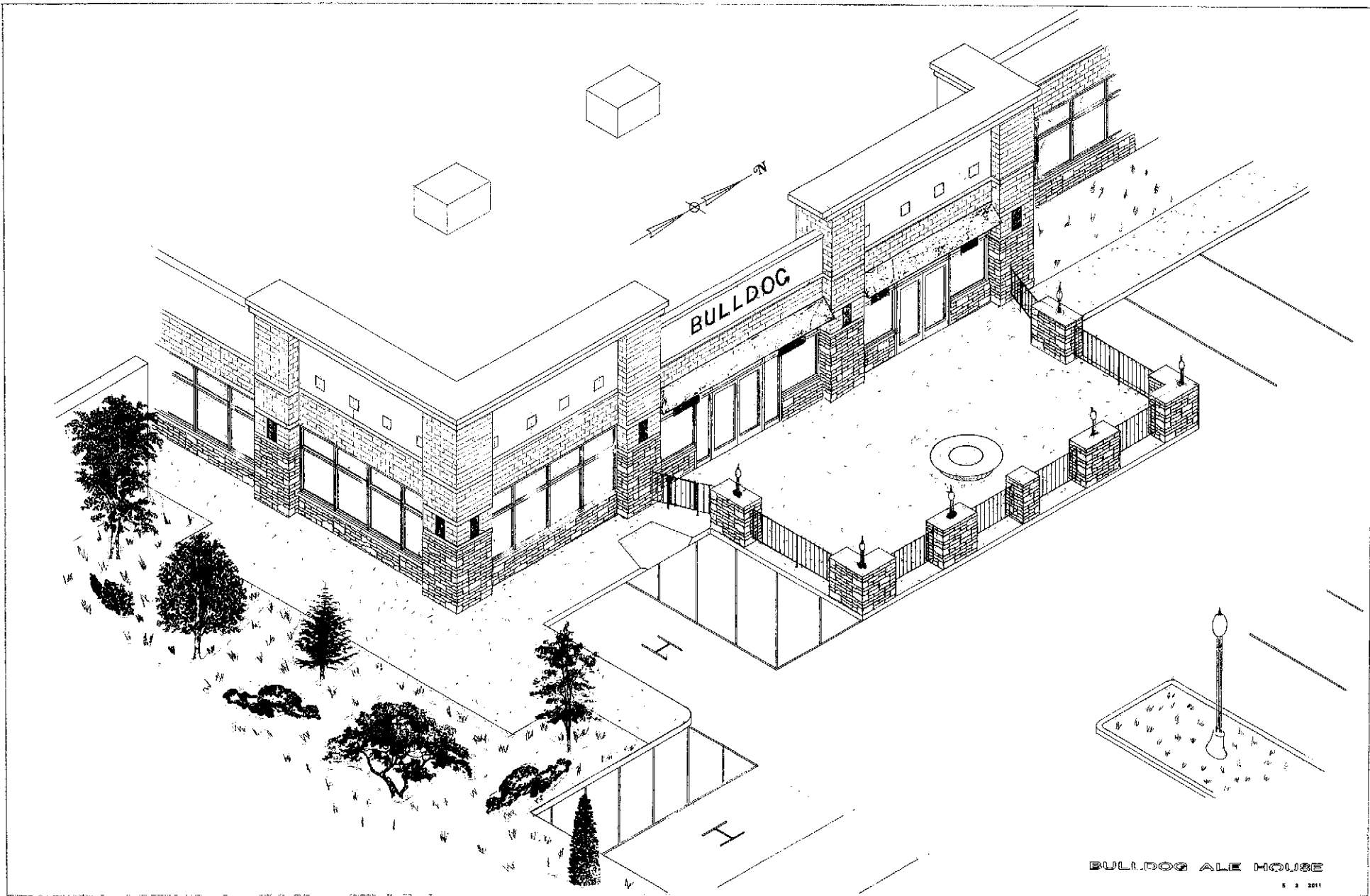


1021 FOUNTAIN VIEW
CAROL STREAM, ILL.

11.25.05

RICHARD W. BERNARDINI
EXPIRATION: NOV 2011

TITLE SHEET



BULLDOG

BULLDOG ALE HOUSE

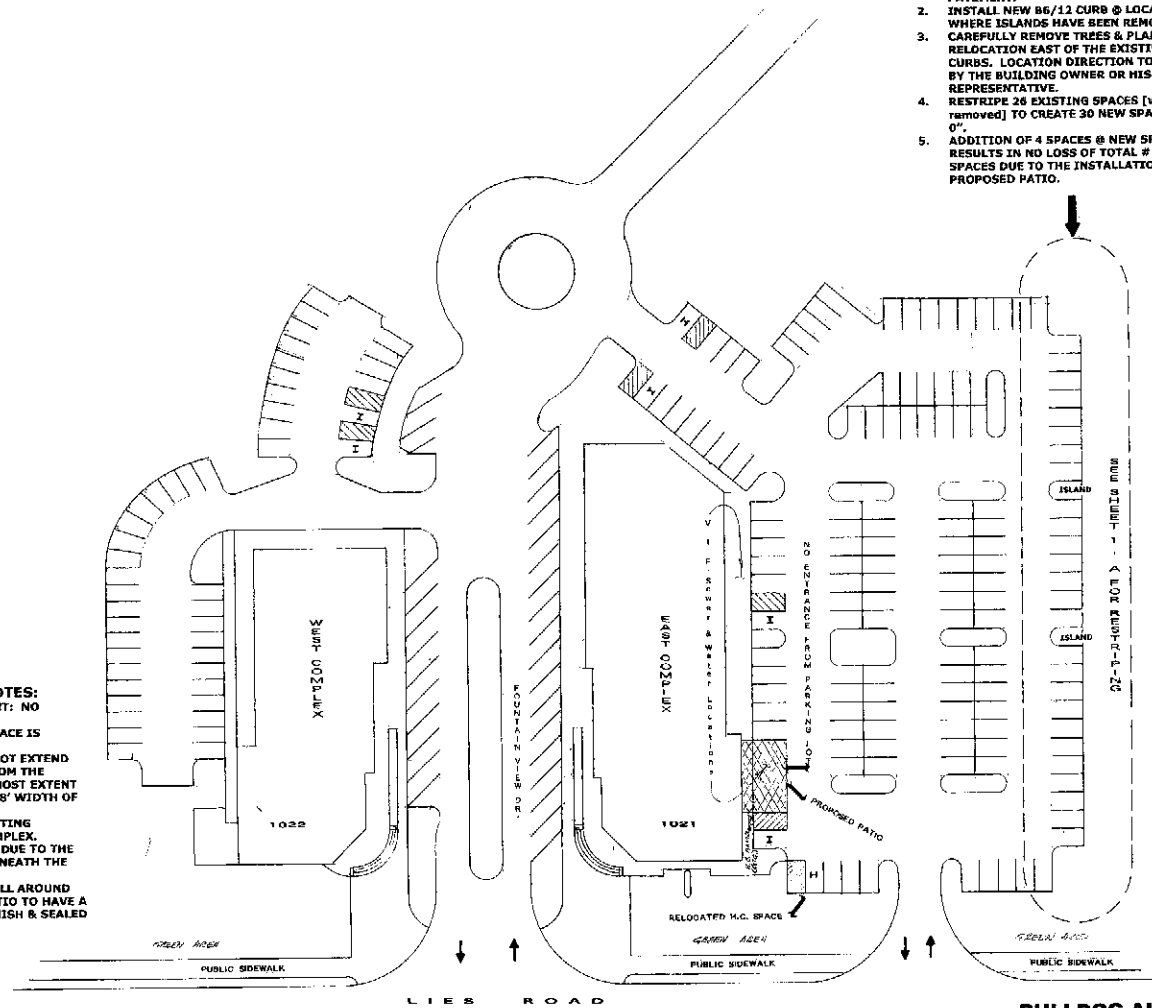
© 2011

DEMO/RESTRIPE/LANDSCAPE NOTES:

1. REMOVE 2 ISLANDS & PATCH ASPHALT IN THE SAME DESIGN AS THE EXISTING ASPHALT PAVEMENT.
2. INSTALL NEW 86/12 CURB @ LOCATION WHERE ISLANDS HAVE BEEN REMOVED.
3. CAREFULLY REMOVE TREES & PLANTINGS FOR RELOCATION EAST OF THE EXISTING & NEW CURBS. LOCATION DIRECTION TO BE GIVEN BY THE BUILDING OWNER OR HIS REPRESENTATIVE.
4. RESTRIPE 26 EXISTING SPACES [with islands removed] TO CREATE 30 NEW SPACES @ 5' - 0".
5. ADDITION OF 4 SPACES @ NEW SPACING RESULTS IN NO LOSS OF TOTAL # OF PARKING SPACES DUE TO THE INSTALLATION OF THE PROPOSED PATIO.

AMENDED P.U.D. GENERAL NOTES:

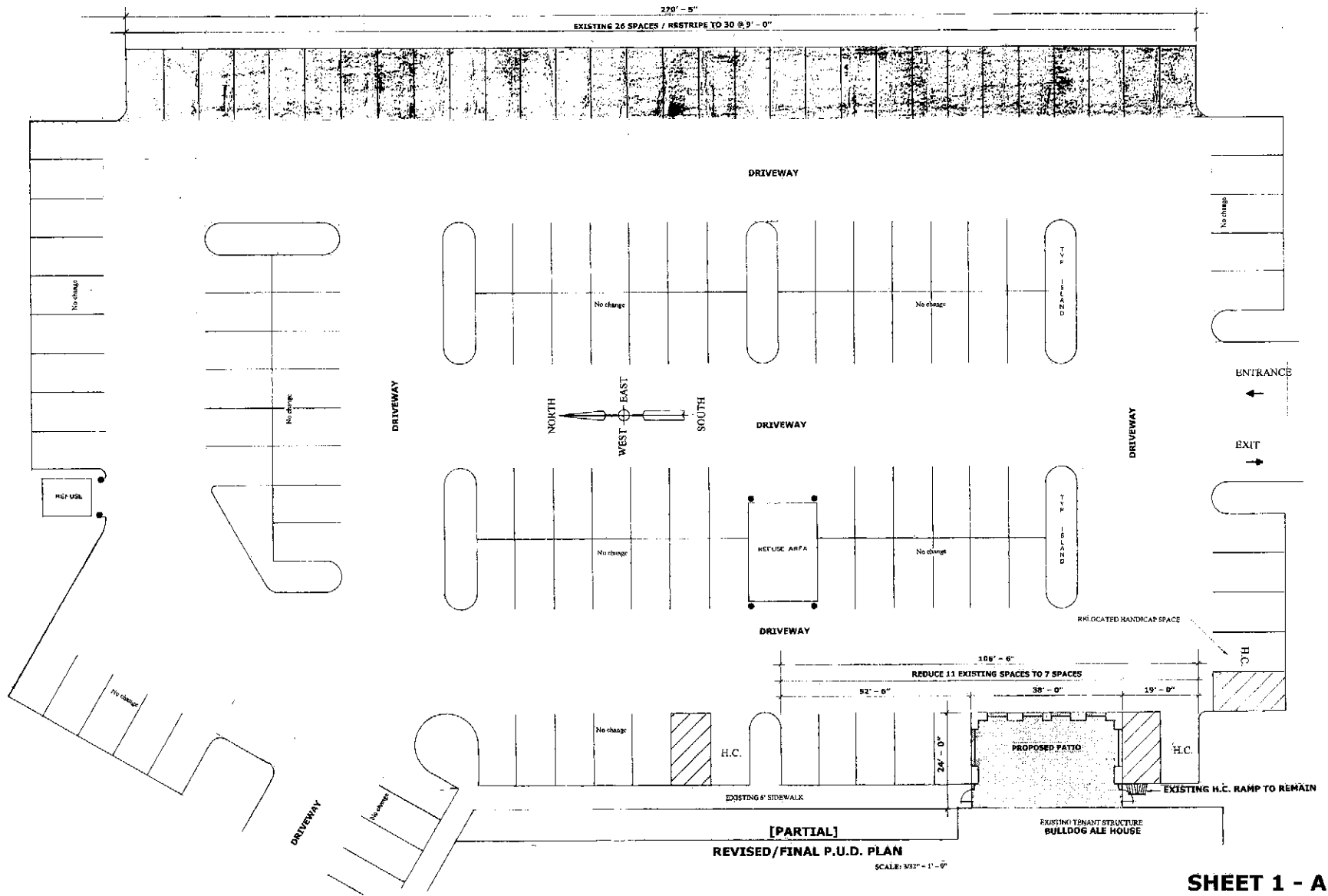
1. EXISTING PARKING SPACE COUNT: NO CHANGE.
2. RELOCATION OF 1 HANDICAP SPACE IS SHOWN.
3. PATIO MASONRY PIERS SHALL NOT EXTEND BEYOND THE 24" DIMENSION FROM THE BUILDING LINE TO THE OUTER MOST EXTENT OF THE PARKING SPACE & THE 38" WIDTH OF THE 4 EXISTING SPACES.
4. MINIMAL REMOVAL OF THE EXISTING SIDEWALK @ WEST SIDE OF COMPLEX. SPECIAL CARE IN THE REMOVAL DUE TO THE FACT WATER & SEWER LINES BENEATH THE SURFACE.
5. A 6" CURB WILL BE PROVIDED ALL AROUND THE 3 SIDES OF THE PATIO. PATIO TO HAVE A HARD TROWEL WITH BRUSH FINISH & SEALED WITH A CONCRETE SEALER.



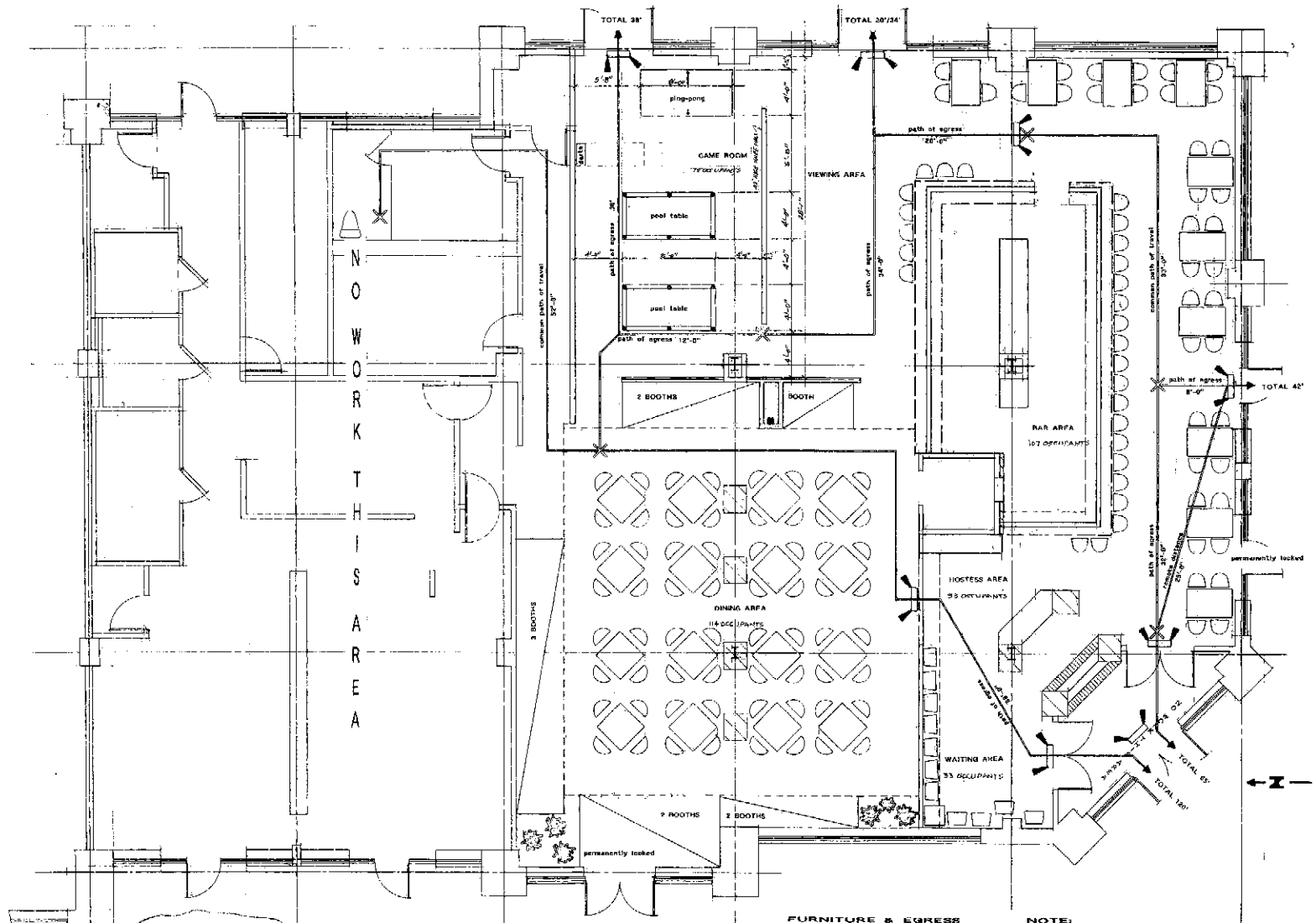
AMENDED PRELIMINARY/FINAL P.U.D. PLAN
NO SCALE

BULLDOG ALE HOUSE
1021 Fountain View Dr.
Carol Stream, Illinois

BULLDOG ALE HOUSE



[PARTIAL]
REVISED/FINAL P.U.D. PLAN
SCALE: 1/32" = 1'-0"



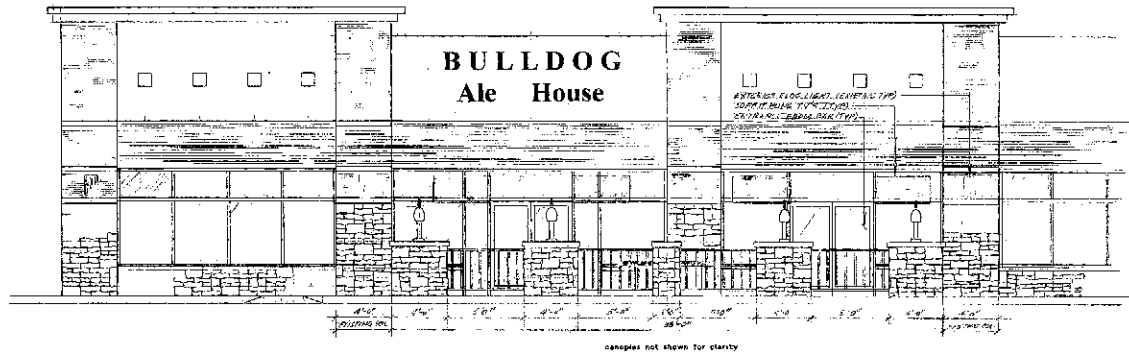
"BULL DOG ALE HOUSE"

1021 FOUNTAIN VIEW
 CAROL STREAM, ILLINOIS

FURNITURE & EGRESS
 FLOOR PLAN

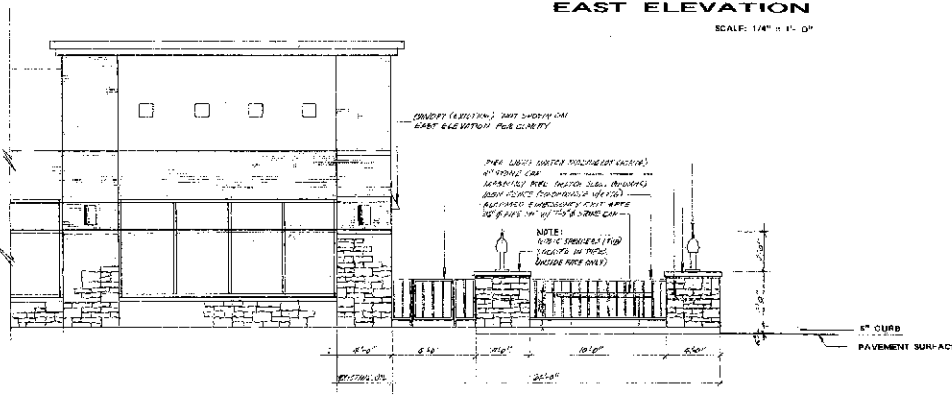
NOTE:
 72" DOORS HAVE 840 EXIT DISCHARGE
 36" DOORS HAVE 170 EXIT DISCHARGE
 TOTAL OCCUPANCY 359

BAR BOY LOCATED @ SERVICE BOOTH ENTRANCE
 BEER NORTH END OF BUILDING
 1021 ADDRESS LOCATED @ MAIN ENTRANCE



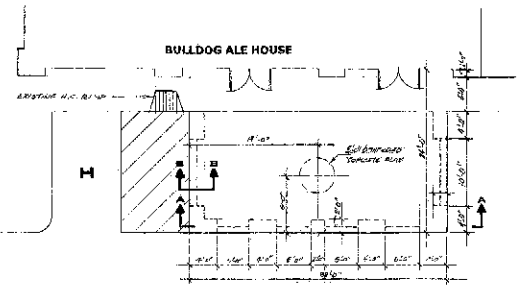
EAST ELEVATION

SCALE: 1/4" = 1' - 0"



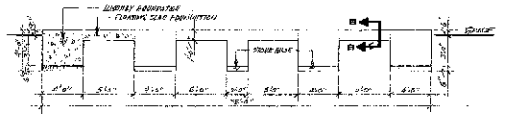
SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



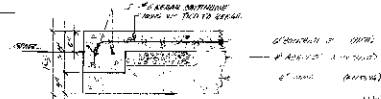
FOUNDATION PLAN

SCALE: 1/8" = 1' - 0"



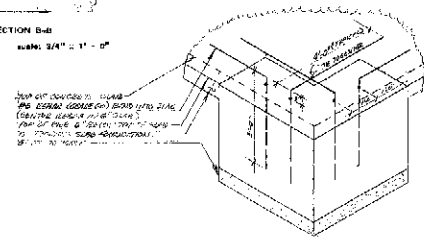
SECTION A-A

SCALE: 3/16" = 1' - 0"



SECTION B-B

SCALE: 3/4" = 1' - 0"




RFAAR B PIER DETAIL

SCALE: 1/2" = 1' - 0"

BULLDOG ALE HOUSE
 1021 Fountain View Dr.
 Carol Stream, Illinois

AGENDA ITEM
G-1 7-5-11

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: William N. Cleveland, Assistant Village Engineer 
DATE: June 29, 2011
RE: Southwest Area Water Main Extension -
Amendment #2 to the Engineering Services Agreement

In July of 2007, Public Works recommended approval of the Engineering Design Contract with Baxter and Woodman in the amount of \$99,500.00. This contract was approved at the August 20, 2007 Village Board meeting. After the contract was approved, the project was given to Engineering Services for administration. Since then, the project has experienced difficulties with permitting and property acquisition, and the school district suggested an alternate route through their property.

In June of last year, the Village Board approved the Engineering Services Agreement Amendment No. 1 for \$50,000.00 allowing the plans and contract documents to be revised for the new water main route through the school property. Since then, numerous other unforeseen obstacles have come up including; septic field problems on the school property, revisions to the Wayne Township Road District IGA cost estimate, additional permitting issues from the DuPage County Stormwater permit review, and complications with the easement on Trieste Lane.

After an extensive scope review by engineering staff, eliminating tasks included in previous scopes of service and anticipating future tasks that may be required, Baxter and Woodman has provided an amendment to finish the plan revisions and contractual documents, complete the additional permitting requirements from the DuPage County Stormwater permit review and Wayne Township Road District estimates, and carry the project forward to bidding. In the interest of keeping the project on track, some of this work has already been performed by Baxter and Woodman. The proposed cost for this work is \$57,000.00.

Over the past 4 years Baxter and Woodman has also provided a number of additional services at no cost, including; modified estimates of cost, alternate routes analysis, revised schedules, IEPA permit extensions, and advice on many other issues that have arisen. Engineering staff therefore recommends that Amendment No. 2 to the Southwest Area Water Main Extension Engineering Services Agreement be approved in the amount of \$57,000.00.

Cc: James T. Knudsen, Director of Engineering Services
Phil Modaff, Director of Public Works
Jon Batek, Finance Director

attachment

VILLAGE OF CAROL STREAM, ILLINOIS
SOUTHWEST AREA WATER MAIN EXTENSION

**ENGINEERING SERVICES AGREEMENT
AMENDMENT NO. 2**

THIS AGREEMENT AMENDMENT is made this ___ day of _____, 2011, by and between the Village of Carol Stream, Illinois, hereinafter referred to as the VILLAGE, and Baxter & Woodman, Inc., Consulting Engineers, hereinafter referred to as the ENGINEERS for the purpose of amending the Engineering Services Agreement between these parties dated the 10th day of September, 2007 and amended on the 25th day of June, 2010, hereinafter referred to as the AGREEMENT. This Amendment includes additional fees for revising the previously permitted water main design, which consists of renewal of expired permits, preparation of alternatives and costs for required easements, and additional work required by Wayne Township Road District, DuPage County Stormwater Commission, and Benjamin Middle School.

WITNESSETH that in consideration of the covenants herein, these parties agree as follows:

SECTION 2 of the AGREEMENT is hereby amended to add the following to paragraph 2.1:

“The ENGINEERS’ fee for the additional design services described in Exhibit B, Sections 34 through 38 shall be a lump sum of \$57,000, ENGINEERS’ Project No. 070987.40.”

EXHIBIT B of the AGREEMENT is hereby amended to add Sections 34 through 38 as follows:

“34. Coordinate with Wayne Township Road District. Review directional drilling of roadway crossings. Revise the drawings, project manual, quantities, and engineer’s opinion of probable cost to incorporate comments from Wayne Township.

35. Revise drawings, provide stakeout of existing septic field, and provide additional information to Benjamin Middle School and the school’s wastewater consultant.

36. Renew expired permits, including construction permit from IEPA, US Fish and Wildlife, and Illinois Department of Natural Resources.

37. Submit permit application to DuPage Stormwater Management Commission (SMC) and Conservation District. Respond to DuPage SMC, Conservation District, and US Army Corp of Engineers' comments.


38. Prepare alternative routes and costs as required by Keim, La Mantia, Christian Fellowship Church, and McCaslin Park easements."

All other provisions of the AGREEMENT shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused the execution of this Agreement by their duly authorized officers as of the day and year first above written.

BAXTER & WOODMAN, INC.

**VILLAGE OF CAROL STREAM,
ILLINOIS**

By  By _____
President / CEO

Mayor

June 29, 2011
Date of Signature

Date of Signature

(SEAL)

ATTEST:

ATTEST:



Secretary

Clerk

I:\Crystal Lake\CRSTV\070987-SW WATER\070987-SW Water\Additional Work\ESA AMENDMENT No. 2 (june 2011 final).docx

Village of Carol Stream
Interdepartmental Memo

TO: Joe Breinig, Village Manager

FROM: James Knudsen, Director of Engineering Services 

DATE: June 29, 2011

RE: Plan Reviews and Inspections for the Village of Carol Stream & DuPage County Storm Water Ordinances – Award of Contract for Professional Engineering Services

Special management areas or SMA's are areas that include wetlands, floodplain, floodways and riparians. The DuPage County Countywide Stormwater and Flood Plain Ordinance require the Village to perform SMA reviews and inspections utilizing experts with special knowledge in the fields of hydrology and hydraulics, wetland and soil sciences. It would be impractical to hire an in-house specialist, therefore the Village has been using outside consultant engineering services to perform this valuable function. The Village also utilizes a consultant to perform reviews on typical storm water management practices. This has improved the consistency of reviews and allows for better coordination.

Stormwater reviews will be required for private site plans as well as Village and other governmental agency projects. Wetland inspections will also be required for mitigation sites and best management practices (BMPs). Based on previous reviews and inspections, staff has budgeted \$45,000.00 for site plan reviews, \$6,000.00 for wetland inspections. Both the site plan reviews and wetland inspections will be billed back to the applicants along with a \$100/permit administration fee.

The Village also implemented a policy whereby the developer must post a deposit based on the consultant's typical review or inspection costs for each storm water submittal. The deposit is returned to the developer after the storm water improvements have been completed and all invoices have been paid. This measure will protect the Village from developers that decide not to go through with their project and not pay the invoices for the review or inspection services performed for them and paid by the Village.

Since this Ordinance has been in effect (September 1991) the Village has utilized the services of Christopher B. Burke Engineering, Ltd. (CBBEL) and STS Consultants, now AECOM. CBBEL has performed the reviews and inspections on all projects unless there is a conflict of interest. In those instances, the Village has substituted STS as the reviewer. This contract is for plan review and inspection services to be performed by CBBEL.

CBBEL has performed the reviews and inspections in a timely and very professional manner. Continuing to utilize CBBEL will allow us to maintain a consistent interpretation of the Ordinance that's reliable but not overly burdensome. The hourly billing rates are exactly the same as in last year's contract. Therefore, staff recommends approval of the consultant services agreement contract for storm water management plan reviews and inspections to CBBEL at the specified rates in Attachment C.

Cc: William N. Cleveland, Assistant Village Engineer
Jon Batek, Finance Director

Attachment

ATTACHMENT C

CONSULTANT SERVICES AGREEMENT

This AGREEMENT entered into by and between Christopher B. Burke Engineering, Ltd. HEREINAFTER REFERRED TO AS THE "FIRST PARTY" AND THE VILLAGE OF CAROL STREAM, 500 North Gary Avenue, DuPage County, Illinois hereinafter referred to as the "Second Party".

WHEREAS, "First Party" will be furnishing certain employees for temporary assignment to the "Second Party" for engineering services involving field observation, site plan review and other miscellaneous review items.

The "First Party" is committed to furnish the "Second Party":

- A professional Engineer with two years experience in stormwater and floodplain management.
- An Engineer with two years experience in the application of continuous hydrology and fully dynamic hydraulic models.
- An environmental scientist who has attended at least one course in wetland delineation approved by the DuPage County Department of Economic Development and Planning (Department).
- A soil scientist meeting the qualifications of the Department.

The "First Party" also agrees that they will replace said employee(s), when requested by the "Second Party," within twenty-one (21) calendar days.

The "First Party" will submit monthly invoices for payment to the "Second Party" for engineering services. The basis of the invoices shall be the number of hours worked in the billing period by each employee of the "First Party" at the following rates:

Stormwater Management Engineer	\$	<u>173</u>	/hr
Hydrological/Hydraulic Engineer	\$	<u>125</u>	/hr
Environmental Scientist	\$	<u>154</u>	/hr
Soil Scientist	\$	<u>154</u>	/hr

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein contained, and other good and valuable consideration received and to be received, the parties hereby agree:

The "Second Party" hereby agrees:

1. That they will not solicit the permanent services of personnel furnished by the Engineer for a period of six (6) months following the expiration date of this Agreement.
2. The "Second Party" agrees to compensate the "First Party" for providing the above described services on a time and expense basis in accordance with the attached Schedule of Hourly Charges, which is subject to change at the beginning of the next calendar year and at subsequent intervals of not less than twelve months.

The "First Party" hereby agrees:

1. To comply with all relevant laws, regulations and rules promulgated by any Federal, State, County, Village and/or other government unit or regulatory body now in effect or which may be in effect and which are relevant during the performance of the work to which reference is made above. Included within the scope of the laws, regulations and rules referred to this paragraph, but in no way to operate as a limitation, are all forms of traffic regulations, public utility and Intrastate and Interstate Commerce Commissions regulations, Workmen's Compensation Laws, Prevailing Wage Laws, the Social Security Act of the Federal Government and any of its titles, FEPC or FEOC statutory provisions and rules and regulations.
2. To protect, indemnify, hold and save harmless the "Second Party" against any and all claims, costs, causes, actions and expenses, incurred by reason of a lawsuit or claim for compensation arising in favor of any person, including the employees or officers of the "First Party", on account of personal injuries or death, or damages to property occurring or resulting directly from negligent performance by the "First Party".
3. To keep in force, to the satisfaction of the "Second Party", at all times during the performance of the work referred to above, Public Liability Insurance containing a contractual Liability Clause and Automobile Liability Insurance with Bodily Injury limits of not less than \$1,000,000, and Property Damage Insurance with limits of not less than \$1,000,000. The "First Party" agrees that at any time upon the demand of the "Second Party", proof of such insurance coverage will be submitted to the "Second Party". There shall be no additional charge for said insurance to the "Second Party".
4. To furnish, when requested by the Village any affidavit or certificate as required from by County, State or Federal Agencies in connection with the work covered by this agreement.
5. To indemnify "Second Party" for any loss it may sustain by theft or other cause from the acts of negligence of the employees of the "First Party" or its subcontractors.

IT IS MUTUALLY UNDERSTOOD AND AGREED that the "First Party" or his/its employees representative or subcontractors are in no sense employees of the "Second Party," it being specifically agreed that in respect to the "Second Party," the "First Party" bears the relationship of an independent contractor.

This agreement shall be in effect from the 1st day of May 2011 until the 30th day of April, 2012, inclusive.

IN WITNESS WHEREOF, THE PARTIES have executed this agreement this _____ day of _____ for new fee schedule.

FIRST PARTY:

SECOND PARTY:

Christopher B. Burke Engineering, Ltd.

By: _____
Christopher B. Burke, PhD, PE
President

By: _____

ATTEST:

ATTEST:


Christopher B. Burke Engineering, Ltd.

By: _____
Sherry L. Sporina
ASSISTANT SECRETARY

By: _____

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: William N. Cleveland, Assistant Village Engineer 

DATE: June 30, 2011

RE: Award of Consultant Contract – Phase III Construction Services for Kuhn Road Bikeway

Engineering Services has received a proposal from TranSystems Corporation to provide construction management services for the referenced project. The construction costs of the bikeway are being funded by Surface Transportation Program monies, therefore special procedures and documentation is required beyond the expertise of Village staff.

The project is currently scheduled to be bid on the November 18th letting IDOT Region One in Springfield. Right of way acquisition needs to be certified by the Bureau of Land Acquisition before October 7th to be considered for this letting, and we are only waiting for a Glenbard North High School easement currently. Construction will take place in the spring and summer of 2012 so it does not interfere with the high school walking route.

TranSystems Corporation has been involved with the project since its inception, by helping to obtain the funding and preparing preliminary and final engineering plans. The cost estimate for consultant services is \$76,626.00, of which is 80% (\$61,301) will be paid with federal Congestion Mitigation and Air Quality (CMAQ) funds and the remaining 20% (\$15,325) will be paid with Village funds. CMAQ funds are dispersed to the Village based on detailed consultant invoices and confirmation of Village payment to the consultant. The actual final contract amount will be based on invoiced amounts.

Engineering staff therefore recommends that the Phase III Construction consultant contract be awarded to TranSystems Corporation for \$76,626.00. If you have any questions, please call me.

Cc: James T. Knudsen, Director of Engineering Services
Jon Batek, Finance Director

AGENDA ITEM
H-1 7-5-11

ORDINANCE NO. _____

AN ORDINANCE GRANTING A SPECIAL USE FOR PLANNED UNIT DEVELOPMENT, SHOPPING CENTER AND RETAIL AND WHOLESALE SALES AND DISPLAY ROOMS AND DISTRIBUTION FACILITIES, AND APPROVAL OF A PRELIMINARY/FINAL PLANNED UNIT DEVELOPMENT PLAN (DIRECT IMPORT HOME DÉCOR, 1175 N. GARY AVENUE)

WHEREAS, Architect Ray Fang on behalf of Eddie Ni, President and Chairman of the Windfall Group, has requested Special Uses for a Planned Unit Development, Shopping Center, and Retail and Wholesale Sales and Display Room and Distribution Facility in accordance with Sections 16-9-2(C)(1), 16-9-4(C)(14) and 16-9-4 (C)(15) of the Carol Stream Zoning Code, and approval of a Preliminary/Final Planned Unit Development Plan in accordance with Sections 16-16-3 and 16-16-4 of the Carol Stream Zoning Code; and

WHEREAS, pursuant to proper legal notice and Section 16-15-8 of the Carol Stream Code of Ordinances, on June 27, 2011, the Combined Plan Commission/Zoning Board of Appeals considered the request for these special uses and has determined that they would not pose a negative effect on property values in the area nor would they be unreasonably detrimental to the public health, safety or general welfare; and

WHEREAS, the corporate authorities find that the approval of the Preliminary/Final Planned Unit Development (PUD) Plan and the granting of these special uses for Planned Unit Development, a Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village, provided certain conditions are met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as 1175 N. Gary Avenue, be granted approval of Special Uses for Planned Unit Development, a Shopping Center and Retail and Wholesale Sales and Display Rooms and Distribution Facilities, and approval of the combined Preliminary/Final Planned Unit Development Plan, as shown on the Preliminary/Final PUD Plan, the Landscape Plan, and the Building Elevation Plan prepared by Ray Fang & Associates, 739 Red Oak Drive, Bartlett, IL, dated 6/1/11), subject to the following conditions:

1. That all improvements, including the building overhang/arcade, canopy, trash enclosures and signs, shall be constructed in accordance with the materials and specifications as shown on the attached plan and exhibits, except that the ground signs may be increased to 120 square feet.
2. That all trash dumpsters and containers shall be kept inside the two trash enclosures, and that the gates to the enclosures must be closed and latched at all times, except for when trash containers are being accessed by employees or emptied by the trash collection service.
3. That the trash enclosures shall be painted to match the color that the building masonry will be painted.
4. That all new rooftop mounted mechanical equipment shall be fully screened by parapet walls or equipment screens.
5. That the landscape materials shall be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approve plan on an annual basis.
6. That parking spaces shall be striped in accordance with the Village's loped striping detail.
7. That the new parking lot lighting for the new parking lot shall comply with the Village Code requirements for foot-candle illumination.

8. That the applicant shall obtain sign permits for all signs, with such permits being separate from the main building permit.
9. That prior to construction of any building on the proposed future outlot, plans must be submitted for review and approval by the Plan Commission and Village Board.
10. The business and property shall be operated and maintained in accordance with all applicable state, county and village codes and requirements.

LEGAL DESCRIPTION

Lot 1 in Stark Farm Subdivision No. 2, being a subdivision of part of the southeast ¼ of Section 20, Township 40 North, Range 10, East of the Third Principal Meridian, according to the Plat thereof recorded October 15, 1993 as Document R93-234328, in DuPage County, Illinois.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 5th DAY OF JULY 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner or other party of interest of the
property

(please print)

legally described within this Ordinance, having read a copy of the Ordinance, do
hereby accept, concur and agree to develop and use the subject property in
accordance with the terms of this Ordinance.

(Date)

(signature)

SITE DATA:
 1. TOTAL AREA: 100,000 SQ. FT.
 2. EXISTING DATA: TOTAL 2.5 ACRE FOOTPRINT AT 20' SETBACK
 3. TOTAL GARAGE FOOTPRINT: 100,000 SQ. FT.
 4. TOTAL GARAGE AREA: 100,000 SQ. FT.
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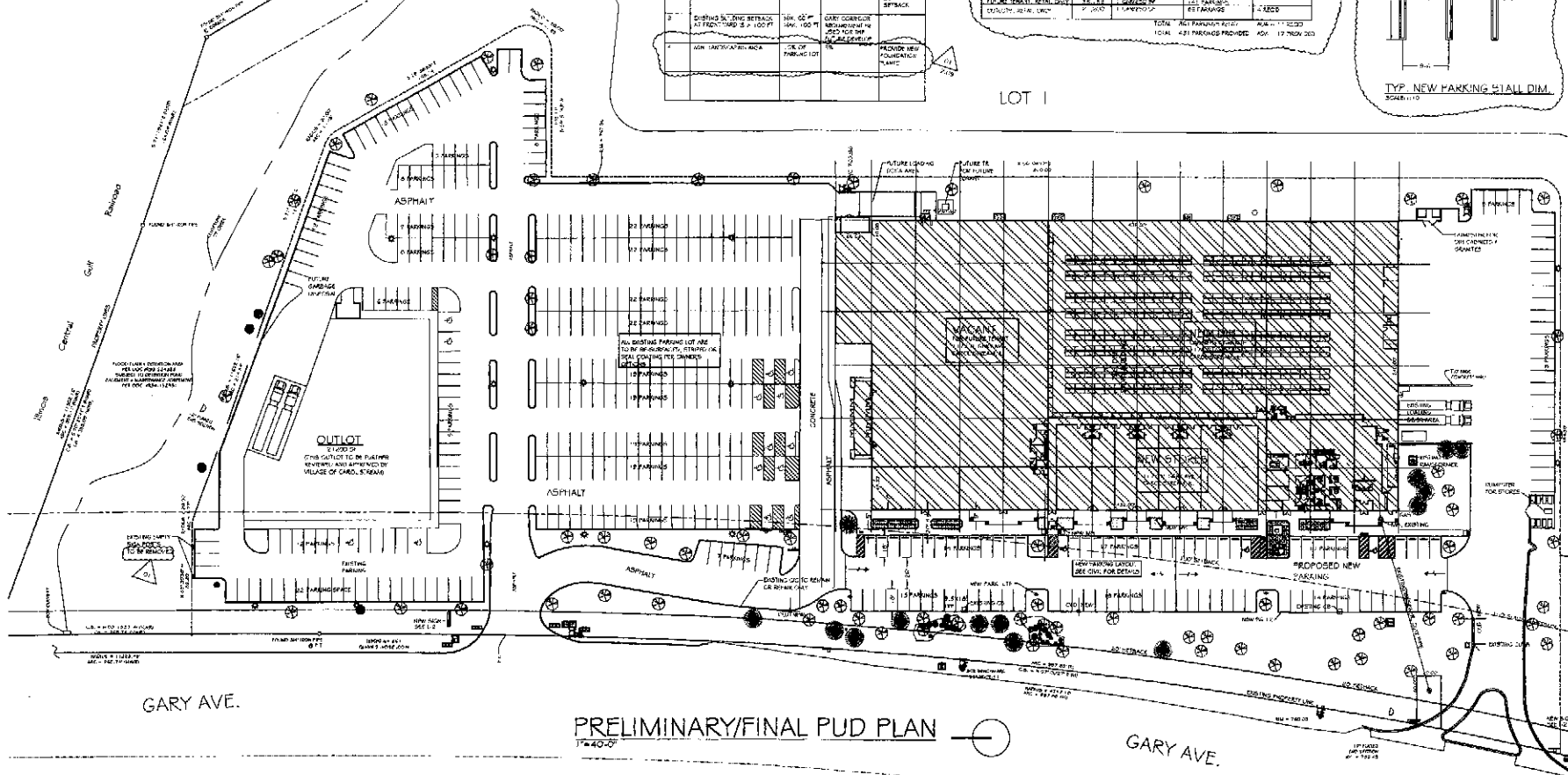
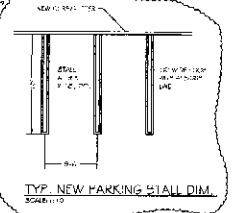
LEGENDS:
 [Symbol] ADA COMPLIANT VALET
 [Symbol] CONCRETE DRIVEWAY

TABLE OF PUD EXCEPTIONS:

ITEM	DESCRIPTION	CODE	REMARKS	REMARKS
1	EXISTING 2" AND BETTER	MIN. 100 FT	EXISTING	EXISTING
2	EXISTING 2" AND BETTER	MIN. 100 FT	EXISTING	EXISTING
3	EXISTING 2" AND BETTER	MIN. 100 FT	EXISTING	EXISTING
4	EXISTING 2" AND BETTER	MIN. 100 FT	EXISTING	EXISTING

PARKING CALCULATIONS:

ITEM	AREA	TYPE	REMARKS	REMARKS
1	40,000	ASPHALT	EXISTING	EXISTING
2	10,000	CONCRETE	EXISTING	EXISTING
3	50,000	CONCRETE	EXISTING	EXISTING
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100	10,000	CONCRETE	EXISTING	EXISTING



RAY FANG & ASSOCIATES
 ARCHITECTS
 1000 W. GARY AVE., SUITE 100
 CHICAGO, IL 60606

WINDFALL PLAZA
 WINDFALL GROUP
 1000 W. GARY AVE., SUITE 100
 CHICAGO, IL 60606

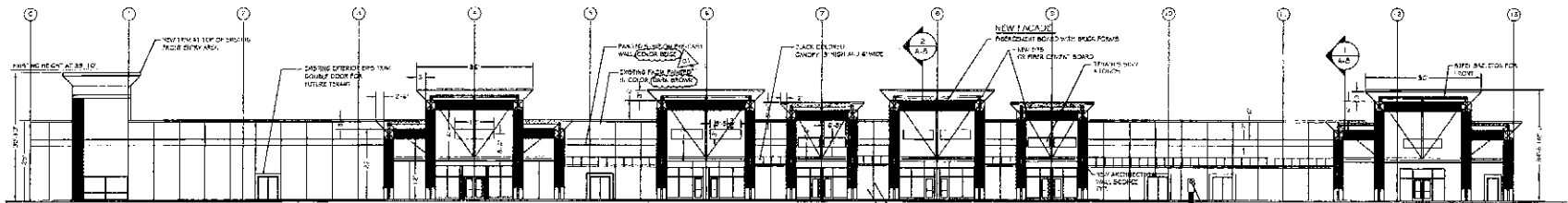
NEW SITE PLAN

REVISION LOG

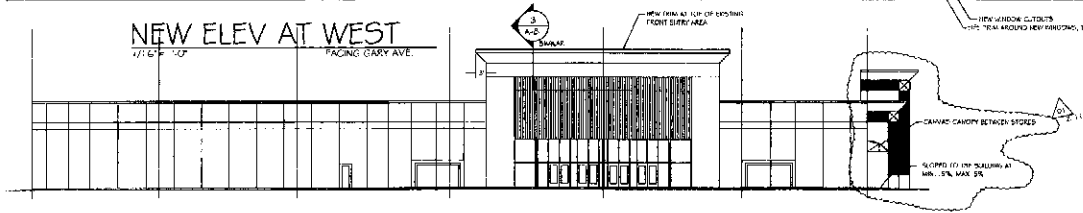
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Exhibit B
A-1

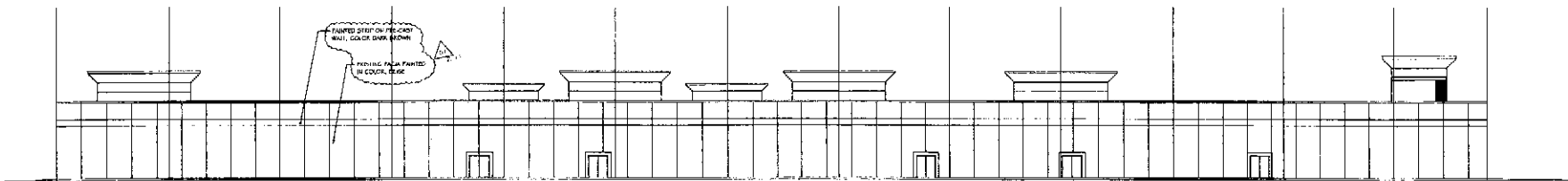


NEW ELEV AT WEST
1/16" = 1'-0"
FACING GARY AVE.

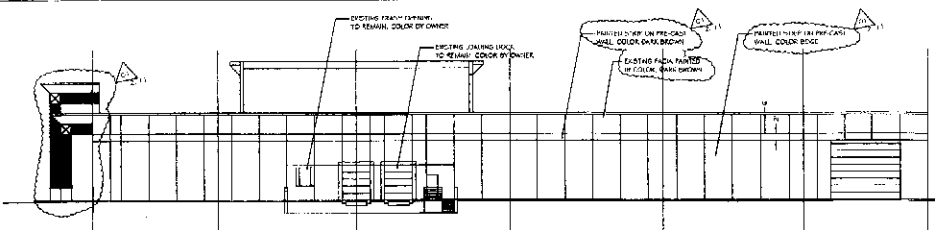


ELEVATION NOTES:
 1. EXISTING FINISHES
 S.C. TO REMOVE THOSE ELEMENTS WHICH ARE NO LONGER IN SCOPE AND REPLACE WITH
 AN ALTERNATIVE
 2. ALL NEW FINISHES FOR NEW STORES ARE TO BE SCHEDULED. SEE A FOR DETAILS

NEW ELEV. AT NORTH
1/16" = 1'-0"
FOR FUTURE TENANT



EXISTING ELEV. AT EAST
1/16" = 1'-0"
NEW EXTERIOR FINISHES

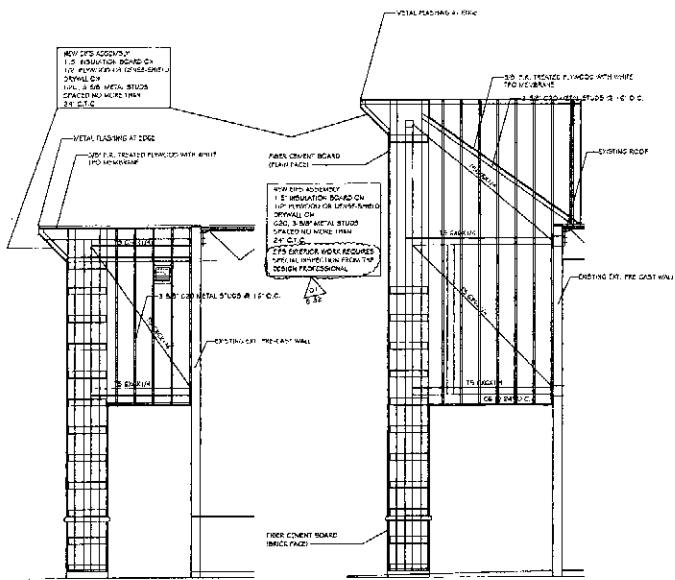


EXISTING ELEV. AT SOUTH
1/16" = 1'-0"
NEW EXTERIOR FINISHES

RAY FANG & ASSOCIATES 1175 N. GARY AVE., SUITE 100 CAROL STREAM, ILL. 60831		WINDFALL PLAZA 1175 N. GARY AVE., CAROL STREAM, ILL.	
WINDFALL PLAZA NEW ELEVATIONS			
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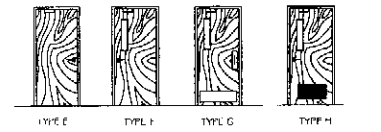
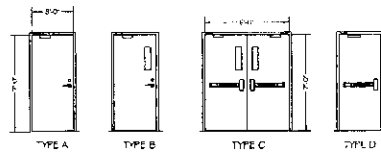
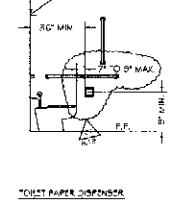
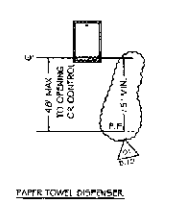
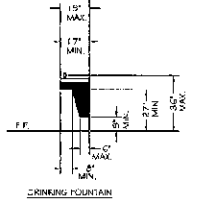
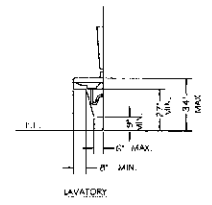
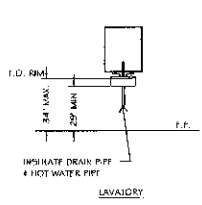
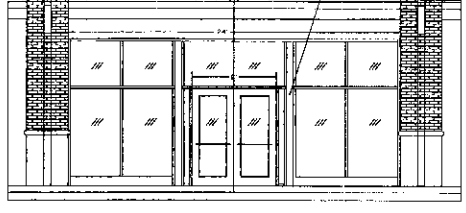
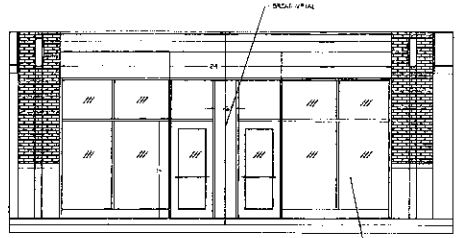
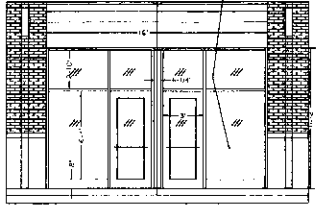
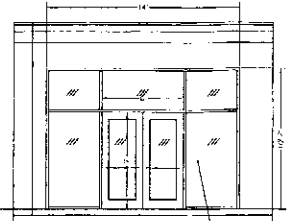
Exhibit D-1

A-7

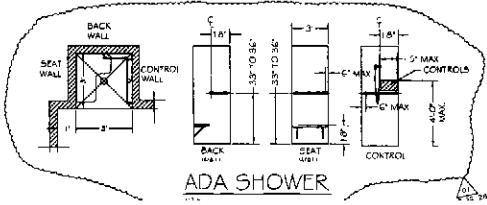
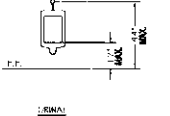
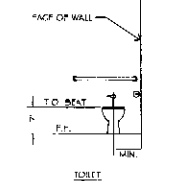
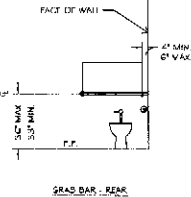
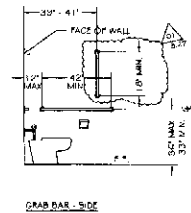
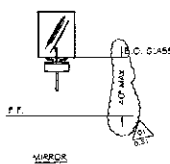
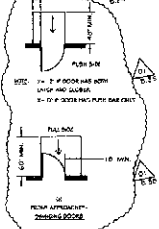
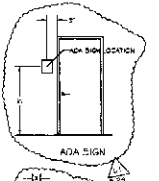


1 WALL SECTION I
A-E 1/4"=1'-0"

2 WALL SECTION 2
A-B 1/4"=1'-0"



DOOR TYPES
1/4"=1'-0"



ADA DIMENSIONS
1/4"=1'-0"

Exhibit D-2

RAY FANG & ASSOCIATES 1000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202 303.733.8888		WINDFALL PLAZA 175 N. GARY AVE. CAROL SPRING, AR 72016 501.374.1111	
WINDFALL GROUP			
EXTERIOR WALL SECTIONS EXTERIOR STORE FRONTS ADA DIMENSIONS			
REVISION LOG			
NO.	DATE	DESCRIPTION	BY
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A-8

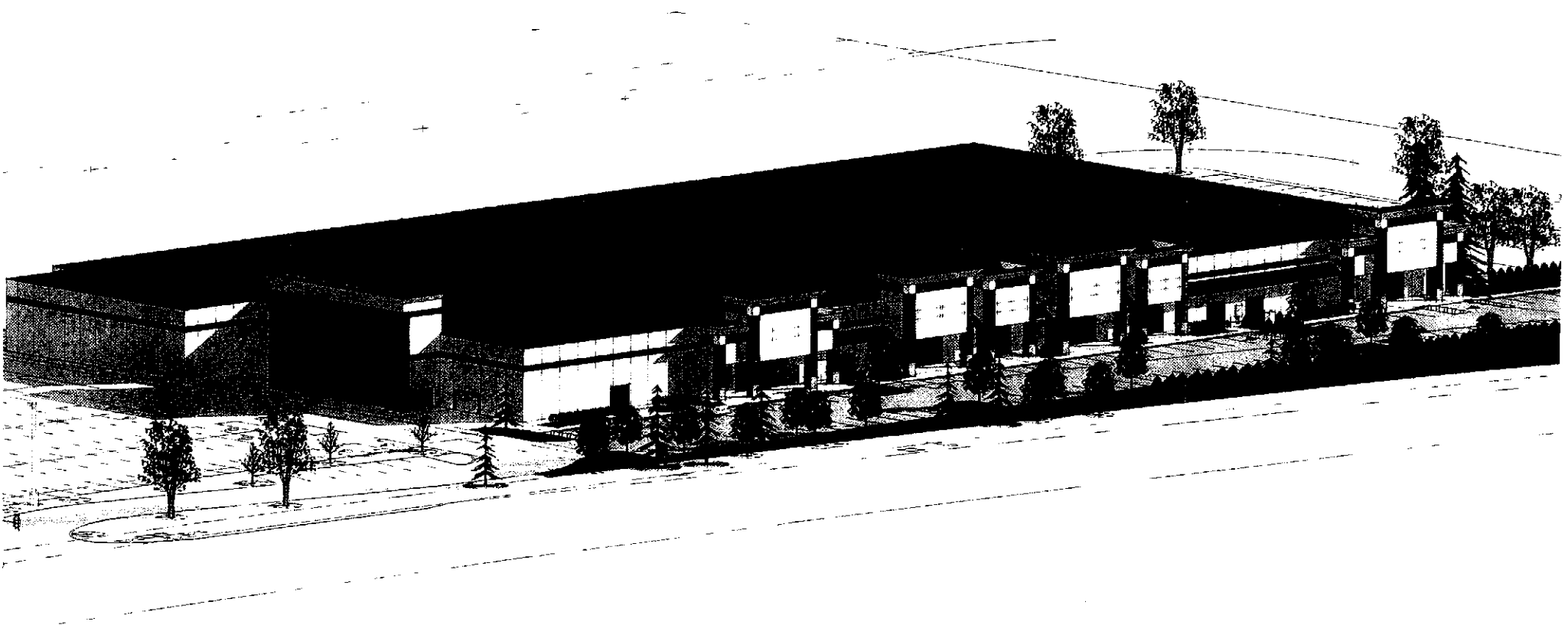


Exhibit F-1

AGENDA ITEM

H-2 7-5-11

ORDINANCE NO.

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW OUTDOOR
ACTIVITIES AND OPERATIONS AND A VARIATION FOR LANDBANKED PARKING
IN THE I INDUSTRIAL DISTRICT
(TEMPLE-INLAND CORPORATION, 139 FULLERTON AVENUE)**

WHEREAS, Bradley Wood of Northern Builders on behalf of Temple-Inland Corporation, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for Outdoor Activities and Operations to allow for outdoor trailer storage in accordance with Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances, and a variation to allow landbanked parking in accordance with Section 16-13-2-(G) of the Carol Stream Code of Ordinances, on the property legally described in Section 3 herein and commonly known as 139 Fullerton Avenue, Carol Stream, Illinois; and

WHEREAS, pursuant to Sections 16-15-6 and 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals at a regular meeting thereof, held a public hearing on the above petition on June 27, 2011, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that the Special Use Permit to allow outdoor trailer parking and the Variation to allow landbanked automobile parking be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use and the Variation with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations; and

WHEREAS, the owner of the property has agreed to install the total number of parking spaces required by the Zoning Code, if deemed necessary by the Village in the

future, and will "landbank" an area of sufficient size to accommodate the required number of parking spaces.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: The Mayor and Board of Trustees of the Village, after examining the Petition for a Special Use and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use:

- (1) Is deemed necessary for the public convenience at the location.
- (2) Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
- (3) Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- (4) Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
- (5) Will provide adequate utilities, access roads, drainage, and other important and necessary community facilities.
- (6) Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees.

SECTION 2: The Mayor and Board of Trustees of the Village, after examining the Petition for a Variation and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the requested Variation:

- (1) That the property in question, other than a single-family residential lot, cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

- (2) That the conditions upon which the petition for variation is based would not be applicable generally to other property within the same district.
- (3) That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
- (4) That the plight of the owner is due to unique circumstances.
- (5) That the variation, if granted, will not alter the essential character of the locality.

SECTION 3: A Special Use Permit is hereby approved and granted for Outdoor Activities and Operations to allow outdoor parking of up to 48 trailers, and a Variation is hereby approved and granted to allow the landbanking of 95 out of the 238 required automobile parking spaces, subject to the conditions set forth in Section 4, upon the real estate commonly known as 139 Fullerton Avenue, Carol Stream, Illinois and legally described as follows:

LEGAL DESCRIPTION:

Lot 1 in Jay C. Bennett, Sr. - County Clerk Crown Zellerbach Corporation Assessment Plat, in the West Half of the Southeast Quarter of Section 29, Township 40 North, Range 10, East of the Third Principal Meridian, According to the Plat thereof recorded March 12, 1985, as Document R-85-17204 in DuPage County, Illinois.

SECTION 4: The approval of the Special Use Permit granted in Section 1 and the Variation granted in Section 2 herein is subject to the improvements being constructed and maintained in accordance with the attached plans, including the Geometric Plan dated June 28, 2011, Landbanked Parking Plan dated June 17, 2011, the Architectural Site Plan dated June 17, 2011, Building Elevations dated June 17, 2011, and the Landscape Plans dated June 29, 2011, and also subject to the following conditions:

1. That tree protection measures shall be implemented prior to the commencement of site construction activities to protect the existing trees

that are intended to fulfill, in part, the screening requirement for the trailers that will be parked at the east edge of the site.

2. That the southernmost trailer storage spaces shall be the last spaces used in the event that there are fewer than 48 trailers stored on site.
3. That the masonry screen wall intended to screen the western row of trailer storage shall be built to a height that will fully block the view of a trailer parked behind the wall.
4. That the applicant shall receive a building permit for the proposed smoking shelter.
5. That the applicant shall receive Special Use approval for the proposed new cyclone baler that would be located near the east edge of the building.
6. That the applicant shall receive Gary Avenue Corridor approval for the new ground prior to the installation of the sign.
7. That all new rooftop mounted mechanical equipment shall be fully screened by parapet walls or equipment screens.
8. That the landscape materials shall be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis.
9. That parking spaces shall be striped in accordance with the Village's looped striping detail.
10. That the parking lot shall be lighted in accordance with the Village Code requirements.
11. That the business and property shall be operated and maintained in accordance with all applicable state, county and Village codes and requirements.

SECTION 5: This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after

the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 6: The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 5TH DAY OF JULY 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

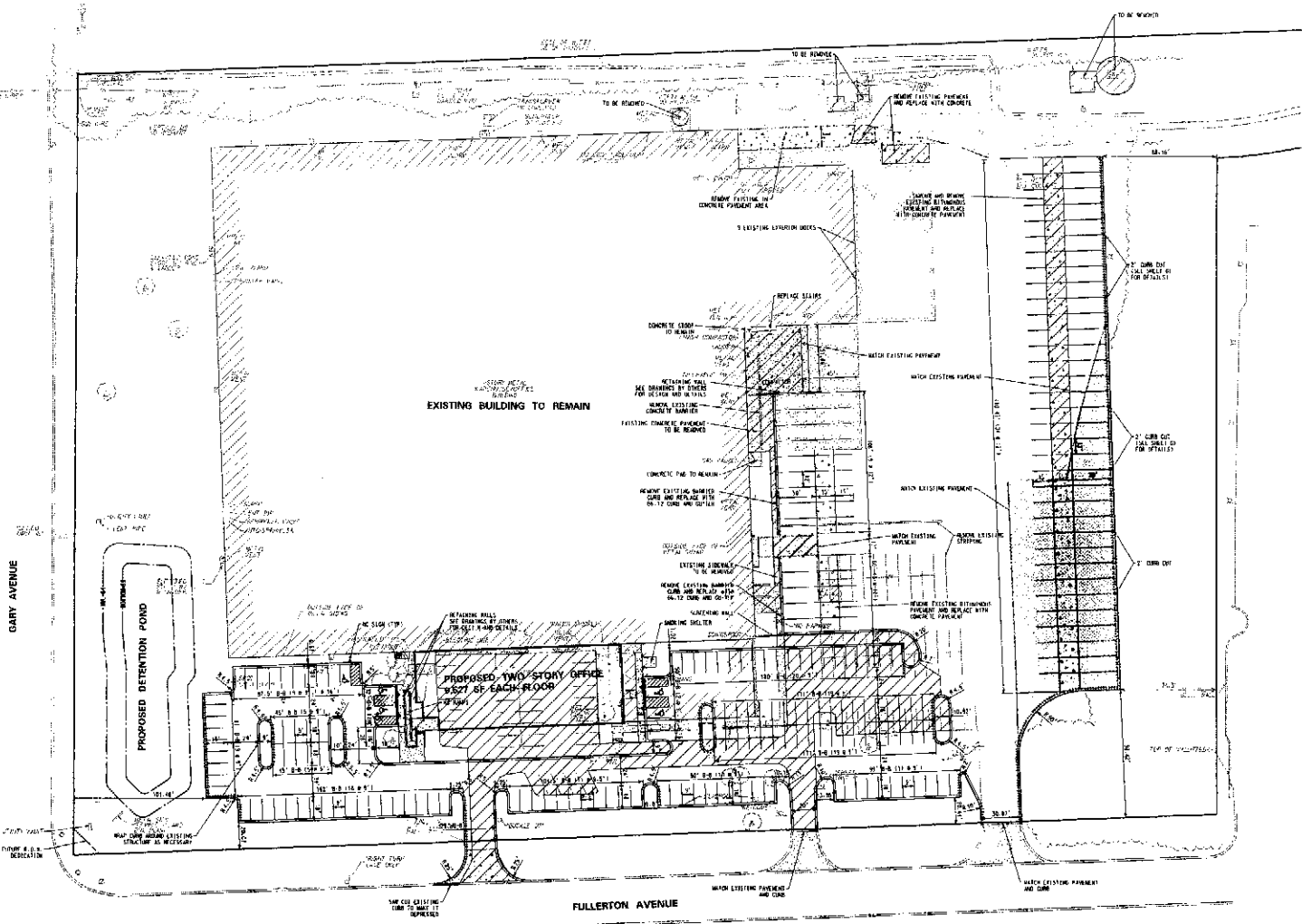
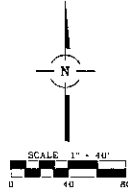
ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner/party in interest of the property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the subject property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit.

Date

owner/party in interest



- LEGEND**
- EXISTING PAVEMENT/SIDEWALK TO BE REMOVED
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - STANDARD PAVEMENT
 - PROPOSED SIDEWALK
 - PROPOSED NO. 12 CURB AND GUTTER, REVERSE FETCH
 - PROPOSED NO. 12 CURB AND GUTTER, STANDING FETCH
 - DEPRESSED CURB

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. SEE SHEET 1 FOR PAVEMENT SECTIONS.
 3. SEE ARCHITECTURAL PLANS BY IMBROS ARCHITECTS WITH TYPICAL AND DETAILS OF BUILDING EXPANSION.
 4. ALL PARKING SHALL BE STRIPPED IN ACCORDANCE WITH CALIF. STATE'S LOUDED PARKING DETAIL WHICH CAN BE FOUND ON SHEET 03.
 5. ALL CURB RAMP PROTECTED ZONES SHALL BE OF A CONTRASTING COLOR TO THE SURROUNDING AREA.
 6. STRIPPING FOR ALL ACCESSIBLE STALLS SHALL BE OF A HIGH QUALITY YELLOW PAVEMENT STRIPPING PAINT.

NO.	DATE	REVISIONS

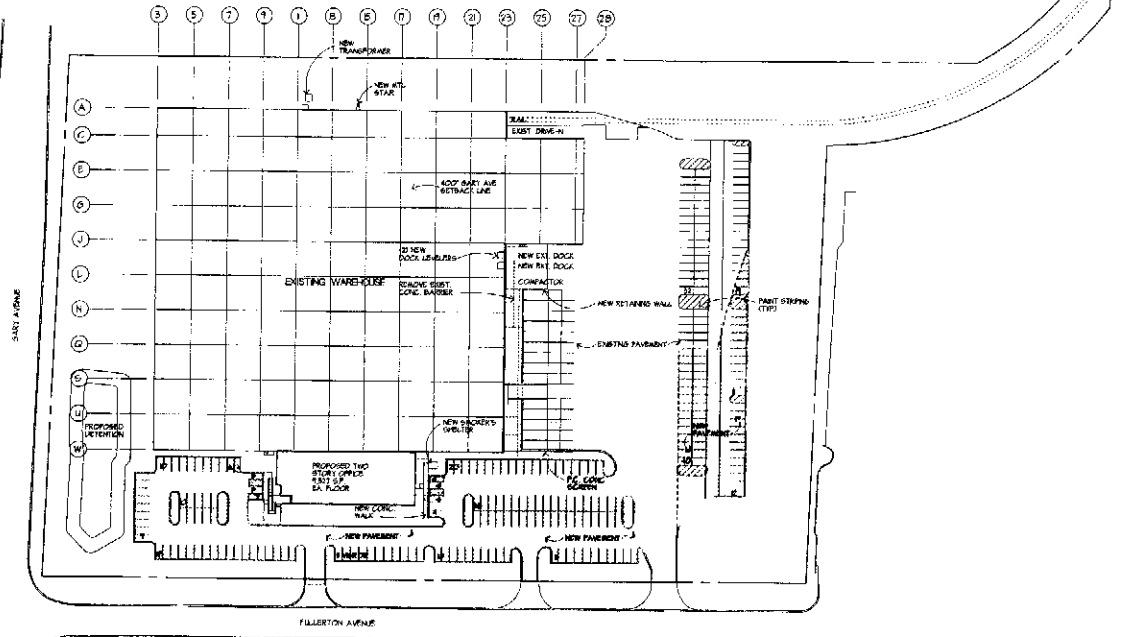
NO.	DATE	REVISIONS

GEOMETRIC PLAN
TEMPLE - INLAND
139 E. FULLERTON AVENUE
CAROL STREAM, ILLINOIS

CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYORS
 9373 N. Higham Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (630) 476-6800 Fax: (630) 476-9660



FILE NAME	E75202001.DWG
DATE	06/15/11
JOB NO.	E752
SHEET	L1
	4 OF 12



LANDBANKED PARKING PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION DATA

BUILDING CODE: 2006 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE AMENDMENTS
 2006 INTERNATIONAL BUILDING CODE
 2006 NATIONAL ELECTRIC CODE WITH 2011 LOCAL AMENDMENTS
 2006 INTERNATIONAL PLUMBING CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2006 INTERNATIONAL FIRE PREVENTION CODE
 2006 INTERNATIONAL AIR CONDITIONING AND REFRIGERATION CODE
 2006 INTERNATIONAL ENERGY CONSERVATION CODE
 CURRENT LATEST ACCESSIBLE CODE

FIRE DEPARTMENT: 2006 INTERNATIONAL FIRE CODE
 ZONING: I - INDUSTRIAL
 FIREWORKS: PROHIBITED
 CONSTRUCTION TYPE: TYPE III, FULL UNFINISHED
 EXISTING FOUNDATION TYPE: F - FACILITY REQUIRING ADD. BASMENT OCCUPANCY
 B - ADDITIONAL FOUNDATION OCCUPANCY
 P - BASEMENT
 UNDEVELOPED PORTIONS: MANUFACTURED PARKING AND STORAGE
 2006 INTERNATIONAL BUILDING CODE
 ACCESSIBLE STANDARDS
 EXISTING BUILDING EQUIPPED WITH AUTOMATIC FIRE SUPPRESSION SYSTEM

SITE DATA

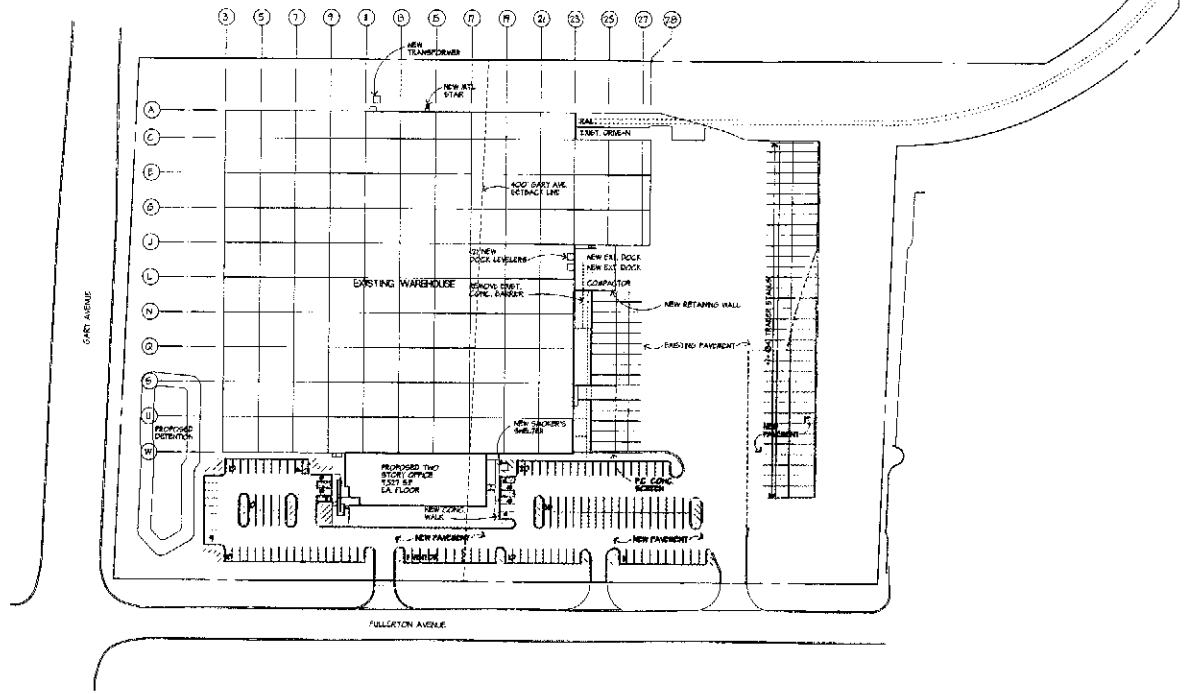
SITE AREA (GROSS AC.)	154,520 SF
BUILDING AREA	
OFFICE AREA	71,254 SF
MANUFACTURING	46,800 SF
WAREHOUSE	6,240 SF
TOTAL BUILDING AREA	64,294 SF
DEVELOP	
OFFICE PARKING	87500 1/200/150 74 CARS
MANUFACTURING PARKING	10000 100/200/100 70 CARS
WAREHOUSE PARKING	10000 100/200/100 70 CARS
OVER BLDG	1000 100/200/100 7 CARS
TOTAL REQUIRED PARKING	215 CARS
PROVIDED	
PARKING PROVIDED	10 CARS
LAND-BANKED PARKING	14 STAPLES
LAND-BANKED AREAS:	
PARKING AREA WITHIN 400' BARY AVE. SETBACK	2555 SF
GREEN SPACE REQUIRED (10%)	234 SF
PROVIDED GREEN SPACE (CROSS-HATCHED)	2246 SF
PARKING AREA OUTSIDE OF 400' BARY AVE. SETBACK	2154 SF
GREEN SPACE REQUIRED (5%)	147 SF
PROVIDED GREEN SPACE (CROSS-HATCHED)	1943 SF
TRUCKS:	
EXISTING PATRIOT TRUCK DOCKS	1 DOCK
NEW EXTERIOR TRUCK DOCKS	3 DOCKS
DRIVE-IN DOCKS	1 DOCK
TRAILER PARKING	14

northern
 Northern Builders, Inc.
 5000 Red Road, Suite 100, 02019
 617-261-5200

NEW OFFICE AND WAREHOUSE REMODELING FOR
TEMPLE INLAND
 88 FULLERTON AVE. CAROL STREAM, ILLINOIS

PROJECT NO. 2008
 DRAWN BY: JG
 DATABASE: TEMPLEINLT28

SHEET NO.
A1.1
 OF 2 SHEETS



CONSTRUCTION DATA

BUILDING CODE: SMALL CONCRETE MASS OF CARBON STEEL OR GALVANIZED STEEL AND ALL APPLICABLE PARAS. 100
 2000 INTERNATIONAL BUILDING CODE
 2000 INTERNATIONAL PLUMBING CODE
 2000 INTERNATIONAL MECHANICAL CODE
 2000 INTERNATIONAL ELECTRICAL CODE
 2000 INTERNATIONAL FIRE AND SAFETY CODE
 2000 INTERNATIONAL DEERB CONSERVATION CODE
 CURRENT LANSB ACCESSIBILITY CODE

FIRE PROTECTION: 2000 INTERNATIONAL FIRE CODE
 2000 IBC

EARTH CONSTRUCTION: TYPE OR ALL APPLICABLE NON-COMMERCIAL
 EARTH CONSTRUCTION TYPE: P - FACTORY MANUFACTURED AND HEAVY DUTY OCCUPANT
 B - MODERATE FLOOR STORAGE OCCUPANCY
 F - RESIDENTIAL
 UNINDICATED PARTIAL: MANUFACTURING PLANTS AND COMM. ROADSIDE TRUCK TRAILER ACCESSIBILITY PARAS. 100

EXISTING BUILDING EQUIPPED WITH AUTOMATIC FIRE SUPPRESSION SYSTEM.

SITE DATA

SITE AREA (10.57 AC) 1,547,340 SF

BUILDING AREA

OFFICE AREA	11,024 SF
MANUFACTURING	44,800 SF
WAREHOUSE	36,472 SF
TOTAL BUILDING AREA	92,296 SF

PARKING

OFFICE PARKING	11700	1624150	74 CARS
MANUFACTURING PARKING	14000	4620000	28 CARS
WAREHOUSE PARKING	14000	4620000	84 CARS
TOTAL REQUIRED PARKING	39700	13061500	186 CARS

PARKING PROVIDED

PARKING PROVIDED	43 CARS
LANDSCAPED PARKING	14 SPACES

PARKING AREAS:

PARKING AREA WITHIN 400' DARY AVE SETBACK	2336 SF
GREEN SPACE REQUIRED (0%)	2334 SF
PROVIDED GREEN SPACE (0% HATCHED)	2344 SF

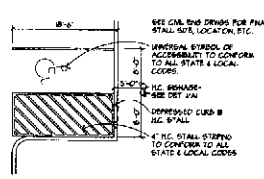
PARKING AREA OUTSIDE OF 400' DARY AVE SETBACK

GREEN SPACE REQUIRED (0%)	21342 SF
PROVIDED GREEN SPACE (0% HATCHED)	1843 SF

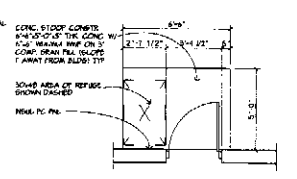
TRUCKS

EXISTING EXTERIOR TRUCK DOCKS	4 DOCKS
NEW EXTERIOR TRUCK DOCKS	1 DOCK
TRAILER PARKING	1 DOCK

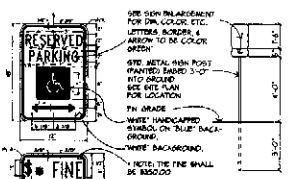
SITE PLAN
SCALE: 1/8" = 1'-0"



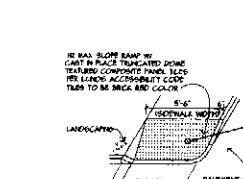
H.C. STALL
SCALE: 1/8" = 1'-0"



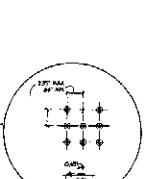
ENLARGED CONC. STOOP PLAN
SCALE: 1/4" = 1'-0"



HANDICAPPED PARKING SIGN
SCALE: 1/4" = 1'-0"



ACCESSIBLE CURB RAMP
SCALE: 1/4" = 1'-0"



TRIMMATED DOME DETAIL
SCALE: 1/4" = 1'-0"

northern
Northern Builders, Inc.
5050 River Road, Solon, Pa. 1, 4070, 412.428.3000

TEMPLE-IN-LAND
187 FULLERTON AVE. CAROL STREAM, ILLINOIS

NEW OFFICE AND WAREHOUSE REMODELING FOR
187 FULLERTON AVE. CAROL STREAM, ILLINOIS

PROJECT NO. 2009
DRAWN BY: JCF
DATE: 08/11/09
SCALE: AS SHOWN

SHEET NO. 1
JCF_ARCHS

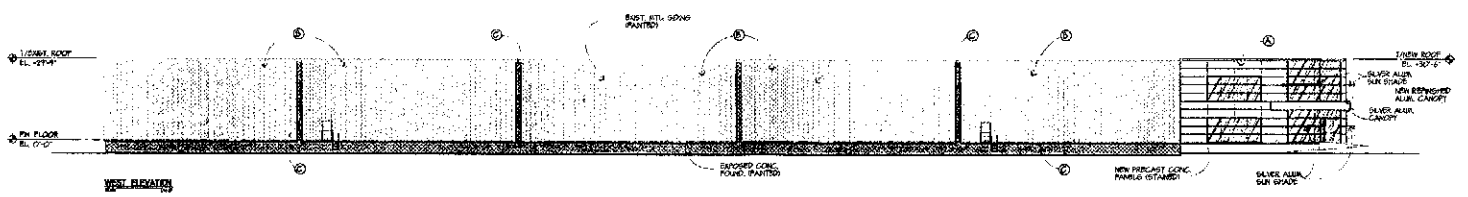
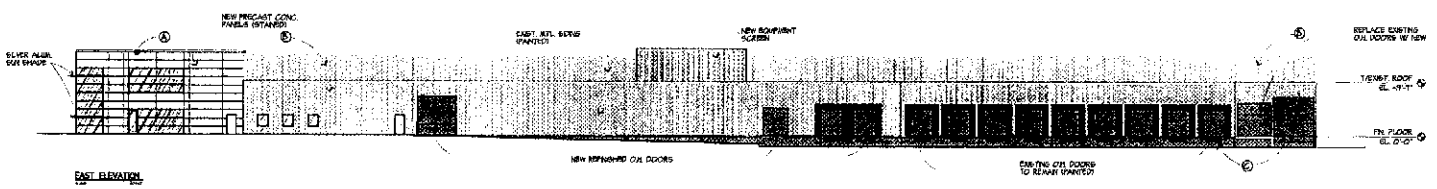
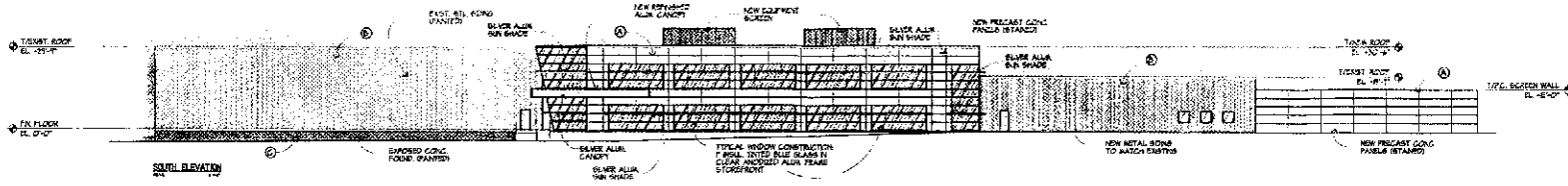


Exhibit D

COLOR LEGEND	
(A)	SHERWIN WILLIAMS - SITE WHITE SW7010
(B)	SHERWIN WILLIAMS - NETWORK GRAY SW7073
(C)	SHERWIN WILLIAMS - SOFTWARE SW7074

northern
Northern Builders, Inc.
5050 Park Road, Silver Spring, MD 20910 (301) 419-5000

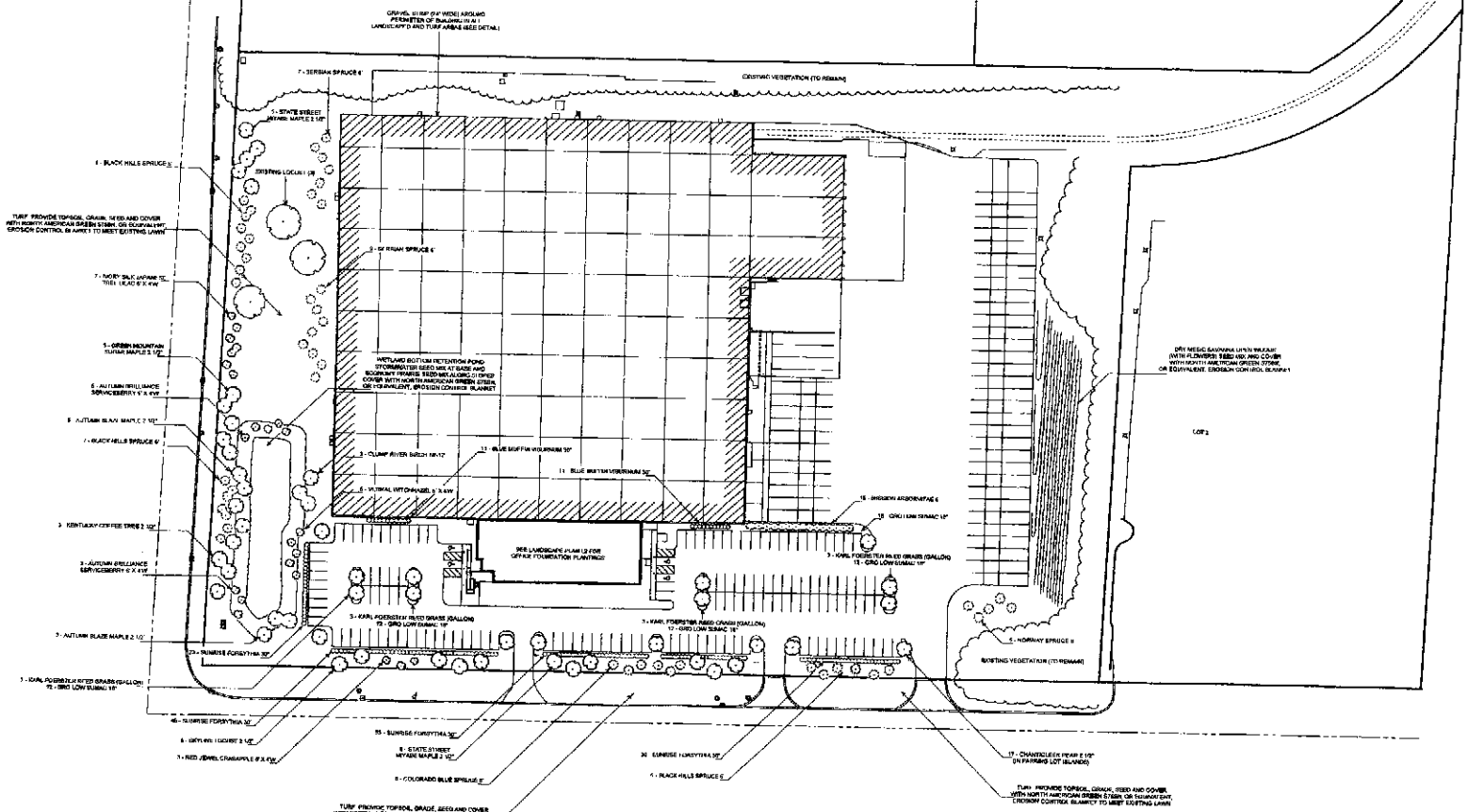
HARRIS ARCHITECTS LP, PC
1000 BROADWAY, SUITE 1400, NEW YORK, NY 10018
CONTACT: 212 677-8800 EXT. 200

NEW OFFICE AND WAREHOUSE REMODELING FOR
TEMPLE-IN-LAND
100 FULLERTON AVENUE, CAROL SPRING, MARYLAND 21034

4 1/4" X 11" ARCH.
MADE FOR REVISION
NOTED FOR ANY AND ALL ITEMS

PROJECT NO. 2008
DRAWN BY: JSP
DATABASE: TEMPLELANDS

SHEET NO. A2
OF SHEETS

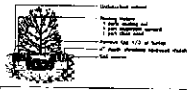
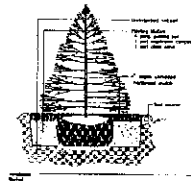
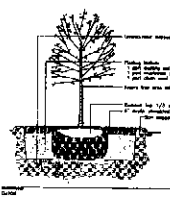
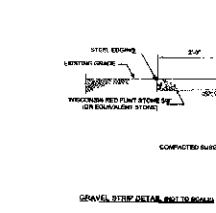


TURF PROVIDE TOPSOIL, GRADE, SEED AND COVER WITH NORTH AMERICAN GRASS SEEDS ON SOILWATER EROSION CONTROL, 84 AWAY TO MEET EXISTING LINE

GRADE, 10' WIDE AROUND PERIMETER OF BUILDING (SEE DETAIL) LANDSCAPE AND TURF AREAS (SEE DETAIL)

WETLAND RETENTION POND TO MAINTAIN SEEDS AT BASE AND AROUND PERIMETER. SEEDS MAY ALONG WITH COVER WITH NORTH AMERICAN GREEN STONE OR FERTILIZER, SPREAD COVER BLANKET

DIRT MESS GAINING LINES BECAUSE WITH FLOWERS, 888-48 AND COVER WITH NORTH AMERICAN GREEN STONE OR FERTILIZER. EROSION CONTROL BLANKET



northern
Northern Builders, Inc.
5200 River Road, Soler, Pa., E. 15001 (412) 938-5000

James Dowdell & Associates, Inc.
Landscape Design and Planning
Phone: (603) 875-7574 Email: jdownell@jda.com

NEW OFFICE AND WAREHOUSE REMODELING FOR
TEMPLE-IN-LAND
108 FULLERTON AVE. CAROL STREAM, ILLINOIS

DATE: 06/01/11
SCALE: 1/8"=1'-0"
DRAWN BY: GJD

REV: 04/21/11
REV: 04/21/11

L1

RESOLUTION NO. _____

**A RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION
(McDONALD'S USA, LLC - 355 S. SCHMALE ROAD)**

WHEREAS, Rich Neubauer, Rebuild Manager for McDonald's USA, LLC, has requested approval of a Final Plat of Subdivision to create a single lot out of two existing parcels at 355 S. Schmale Road, in accordance with Section 7-2-6 of the Carol Stream Subdivision Code; and

WHEREAS, the Plan Commission/Zoning Board of Appeals of the Village of Carol Stream at their June 27, 2011, meeting, considered the Final Plat of Subdivision and has found it to be in conformance with the Zoning Code, the Subdivision Code and other Codes of the municipality relating to the particular property herein proposed to be developed; and

WHEREAS, the Combined Board made its recommendation to the Corporate Authorities regarding the approval of this plat.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Approval is hereby given to the Final Plat of Subdivision for McDonald's Schmale Road Consolidation, such document being attached to and made a part of this Resolution as Exhibit "A", drawn by Compass Surveying LTD, 2631 Ginger Woods Parkway, Ste. 100, Aurora, IL 60502 and dated June 15, 2011.

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 5TH DAY OF JULY 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

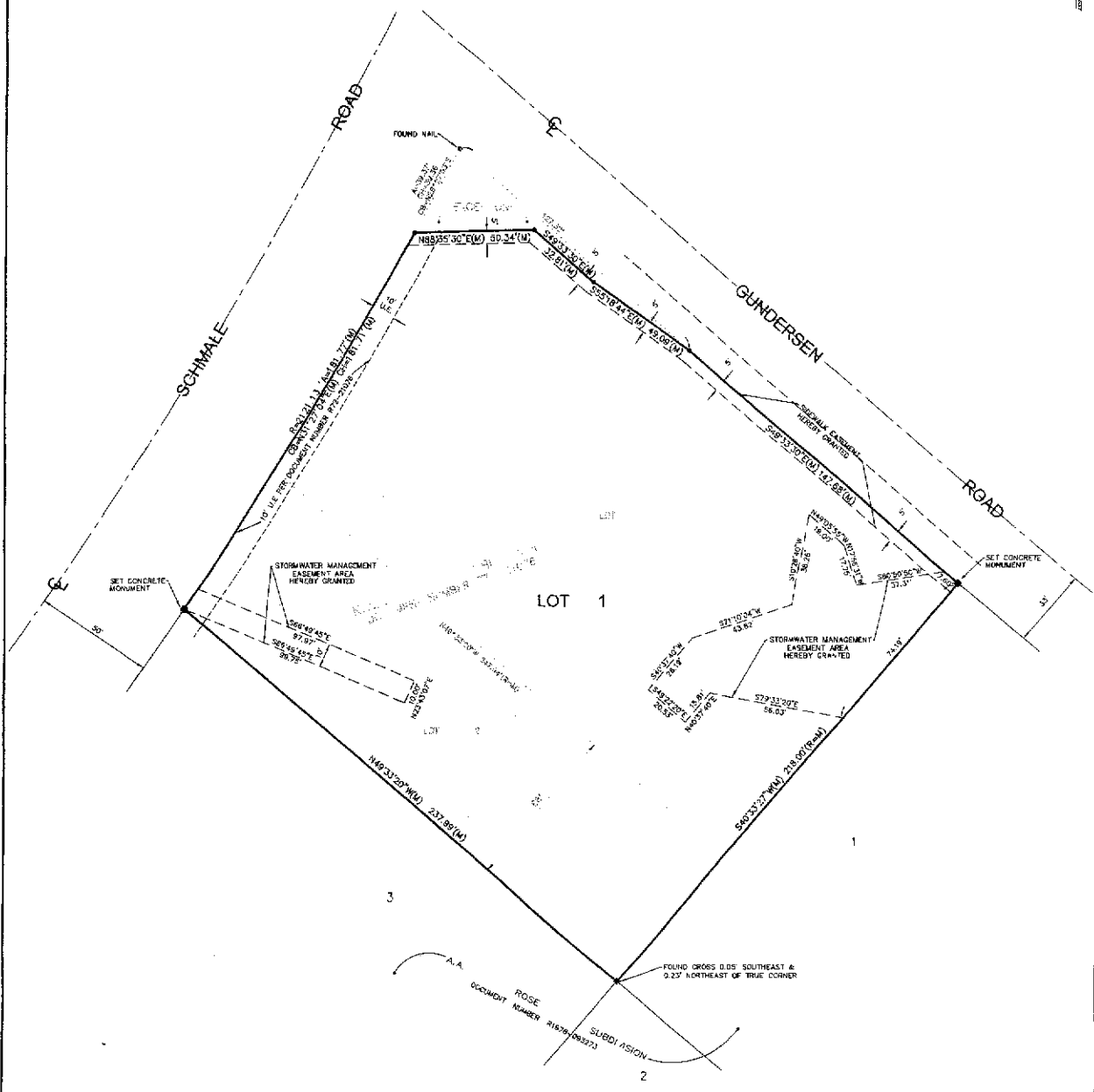
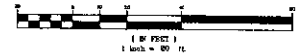
FINAL PLAT OF SUBDIVISION McDONALD'S SCHMALE ROAD CONSOLIDATION

P.I.N. 05-04-308-005

P.I.N. 05-04-306-012

IN THE SOUTH HALF OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10,
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

GRAPHIC SCALE



LEGEND

- FOUND IRON STAKE (UNLESS OTHERWISE NOTED (FIELD LOCATION))
- SET CONCRETE MONUMENT
- CROSS IN CONCRETE

ABBREVIATIONS

- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED DISTANCE
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING

LINE LEGEND

- INTS. OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE

AREA SUMMARY	
GROSS	84,239 SQUARE FEET OR 1.245 ACRES
R.O.W. DEDICATION	0.00 SQUARE FEET OR 0.00 ACRES
NET AREA	84,239 SQUARE FEET OR 1.245 ACRES (TO HEAVY LINES) (BASED ON MEASURED VALUES)

IN ACCORDANCE WITH 705 ICS 302.1/2 THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDS FOR THE PURPOSES OF RECORDING BY:

DATE: _____ TIME: _____

BY: _____

COMPASS SURVEYING LTD <small>ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING</small> 2011 GUNGER WOODS FARMWAY, STE. 101 AUBURN, IL 62502 PHONE (609) 826-9100 FAX (618) 823-7030	PROJECT McDONALD'S SCHMALE ROAD CONSOLIDATION CAROL STREAM, ILLINOIS CLIENT McDONALD'S USA, LLC 4320 WINDHOLA ROAD WARRANDVILLE, IL 60555 L.C.#012-0184	DATE: 12-18-10	PC	DRAWN BY: TFS	CHECKED BY: SK	BOOK	PG
		1 OF 2	SCALE: 1" = 80'	NO.	REVISED	DATE	BY

AGENDA ITEM

J-1 7-5-11

Village of Carol Stream Interdepartmental Memo

TO: Joseph E. Breinig
FROM: Terry Davis *td*
DATE: June 28, 2011
RE: Kaival Gyan Mandir -990 County Farm Road
Parade & Public Assembly Permit Application

Kaival Gyan Mandir has submitted the attached Parade and Public Assembly Permit Application to have a religious walk starting at their temple at 990 County Farm Road and walking east on Lies Road toward Gary Avenue. They turn around at Veterans Park and return to their temple.

Our records indicate that in past years the applicant held this walk on Saturdays. This year, they are asking to hold the walk on Sunday morning, July 31, 2011 from 9:30 am-11:30 am. Our code states that parades cannot be held before noon on Sunday (See attached Section 15-3-4 of the Code).

I have polled the Police and Public Works Departments and both have advised that a Sunday morning walk down Lies Road using the sidewalks and bike path should not pose any problems.

Please place this item on the agenda for the July 5, 2011 Board meeting for the Board's consideration and approval. Thank you.

td
Attachments

cc: Kevin Orr, Police Department
Philip Modaff, Public Works Department

Village of Carol Stream
PARADE & PUBLIC ASSEMBLY PERMIT APPLICATION

JUN 27 2011
E. 3

The undersigned hereby makes application for the issuance of a permit for a parade/public assembly in the Village of Carol Stream.

Date of Parade: July 31, 2011 Hours: 9:30 am thru 11:30am

(Please Print)

Name of Organization: Kaival Gyan Mandir

Address: 990 County Farm Rd Carol Stream TEL: 630 221 8007

Parade Chairperson: Priya Amin

Address: _____ TEL: _____ ✓

Parade to begin at what location? Kaival Gyan Mandir

Parade to end at what location? Kaival Gyan Mandir

Parade Route - ATTACH MAP *see map*

Location of Speaker's platform: Kaival Gyan Mandir

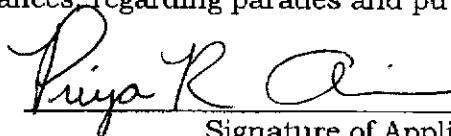
Approximate number of vehicles: 40-50 (in parking lot)

Approximate number of persons: 100 - ¹²⁵~~2000~~

Approximate number of animals: 0

PARADES AND PUBLIC ASSEMBLIES SHALL NOT BE HELD FROM 7:30 A.M. TO 9:00 A.M. AND FROM 4:30 P.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY. PARADES AND PUBLIC ASSEMBLIES SHALL NOT BEGIN BEFORE 12:00 NOON ON A SUNDAY. ALL PARADES AND PUBLIC ASSEMBLIES SHALL CONCLUDE BY MIDNIGHT.

The undersigned does hereby agree to act in accordance with Chapter 15-3-1 through 15-3-9, in the Carol Stream Municipal Code of Ordinances, regarding parades and public assemblies.

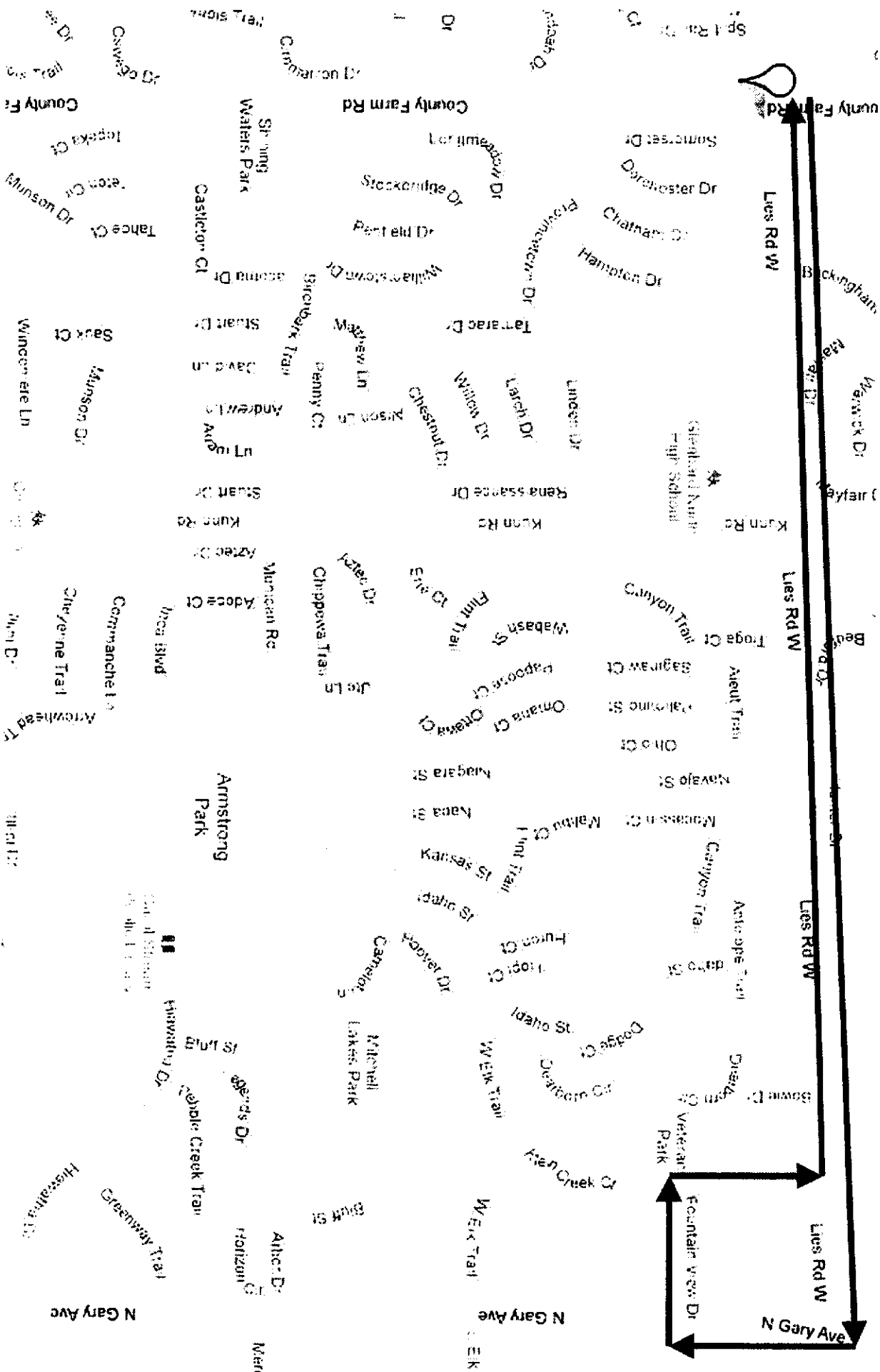


Signature of Applicant

Application Reviewed: _____

Application Approved: _____

Date Permit Issued: _____



-Start at Kaival Gyan Mandir and make a right in Lies
 -Walk straight on Gary and make a right on Fountain View

-Walk straight and make a right on Gary Ave.
 -Circle Fountain View and walk back towards Kaival Gyan Mandir.

shall be on sidewalks

(8) A statement as to whether the parade will occupy all or only a portion of the width of the streets proposed to be traversed.

(9) The location by streets of any assembly areas for such parade or public assemblies.

(10) The time at which units of the parade will begin to assemble at any such assembly area or areas.

(11) The interval of space to be maintained between units of such parade.

(12) If the parade is designed to be held by and on behalf of or for any person other than the applicant, the applicant for such permit shall file with the Village Manager a communication in writing from the person proposing to hold the parade, authorizing the applicant to apply for the permit on his or her behalf.

(Am. Ord. 92-05-60, passed 5-26-92)

§ 15-3-4 TIME.

All parades on public ways and all public assemblies shall be held at times other than peak traffic periods (7:30 a.m. to 9:00 a.m. and 4:30 p.m. to 6:00 p.m. Monday through Saturday) and not before noon on Sundays. All public assemblies shall conclude by midnight.

(Am. Ord. 92-05-60, passed 5-26-92)

§ 15-3-5 NOT TO OBSTRUCT TRAFFIC.

Parades and public assemblies shall be limited to such numbers as will not obstruct traffic, either vehicular or pedestrian, in an unreasonable manner.

(Am. Ord. 92-05-60, passed 5-26-92)

§ 15-3-6 GRANT OR DENIAL OF PERMIT.

Following receipt of an application or reapplication for a parade or public assembly meeting, and its approval, the Village Manager shall either issue a permit within 24 hours, or reject the application for a permit for the holding of a parade or public assembly.

(Am. Ord. 92-05-60, passed 5-26-92)

§ 15-3-7 PROCEDURE WHEN PERMIT DENIED.

Permits may be rejected on the basis of improper or incomplete application. The reasons for rejection shall be made known to the applicant, in writing, at the time of rejection. The applicant shall be allowed to correct or complete any improper application and resubmit it to the Village Manager within 24 hours prior to the time of the event.

(Am. Ord. 92-05-60, passed 5-26-92)

§ 15-3-8 SIMULTANEOUS APPLICATIONS.

If the Village Manager shall receive more than one application for a parade or public assembly at the same time and the same place, or on the same day, the application filed first in time shall take precedence. An application shall be considered to be "at the same time" if the event is scheduled to commence within two hours before or after the holding of another event. An application shall be considered to be "at the same place" if the requested parade route comes at any point within six blocks or any equivalent distance from the route of another parade, or if the public assembly is to be conducted within one-half mile of another public assembly. If the Village Manager receives an application for more than one parade or public assembly in a single day, he or she may set a time for the duration of each parade or public assembly, which time shall not, without the consent of the group seeking the permit, be less than three hours.

(Am. Ord. 92-05-60, passed 5-26-92)

VILLAGE OF CAROL STREAM SCHEDULE OF BILLS

JULY 5, 2011

AGENDA ITEM

K-1 7-5-11

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
7TH HEAVEN						
7/14/11 CONCERT SERIES-TWN CTR	1,500.00	01750000	52288	CONCERT SERIES	7/14 CONCERT	
	<u>1,500.00</u>					
AT & T						
SERV FRM JUN 16 THRU JUL 15	415.41	01652800	52230	TELEPHONE	630Z57651906JUN/11	
	<u>415.41</u>					
ALANIZ LAWCARE INC						
WEED ABATEMENT VARIOUS AREAS	1,043.00	01642100	52260	WEED MOWING	4187	
	<u>1,043.00</u>					
ANDY FRAIN SERVICES						
CROSSING GUARD SERV'S MAY 2011	14,224.94	01662300	52105	CROSSING GUARDS	151091	
	<u>14,224.94</u>					
B & F TECHNICAL CODE						
BUILDING PLAN REV'S 180 KEHOE	1,070.00	01643700	52253	CONSULTANT	33289	20120007
BUILDING PLAN REV'S 795 KIMBERLY	347.75	01643700	52253	CONSULTANT	33302	20120007
BUILDING PLAN REV'S 990 COUNTY FARM	808.56	01643700	52253	CONSULTANT	33296	20120007
	<u>2,226.31</u>					
BAXTER & WOODMAN INC						
CONSULTING ENGR SERV THRU 6/17/11	1,650.00	04101500	54480	CONSTRUCTION	0157101	20120029
TUBEWAY STRM WTR LIFT STN THRU 6/18/11	5,610.73	11740000	55488	STORMWATER UTILITIES	0157099	20120036
	<u>7,260.73</u>					
COMED						
SERV FRM 04/20-6/21	981.01	06320000	52248	ELECTRICITY	5853045025MAY/11	
SERV FRM 05/20 - 06/20	35.01	04201600	52248	ELECTRICITY	2514004009JUN/11	
SERV FRM 05/20 - 06/20	260.91	06320000	52248	ELECTRICITY	6213120002JUN/11	
SERV FRM 05/20 - 06/21	583.14	04101500	52248	ELECTRICITY	2496057000JUN/11	
SERV FRM 05/23 - 06/22	103.62	06320000	52248	ELECTRICITY	1353117013JUN/11	
SERV FRM 05/23 THRU 06/22	14.23	06320000	52248	ELECTRICITY	7219135017JUN/11	
SERV FRM 05/23 THRU 06/22	31.41	01662300	52298	ATLE SERVICE FEE	4202129060JUN/11	
SERV FRM 05/23 THRU 06/22	53.05	04101500	52248	ELECTRICITY	2073133107JUN/11	
SERV FRM 05/23 THRU 06/22	140.00	01670600	52248	ELECTRICITY	0803155026JUN/11	
SERV FRM 05/23 THRU 06/22	141.87	01670600	52248	ELECTRICITY	1865134015JUN/11	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
SERV FRM 05/24 - 06/22	140.26	04101500	52248	ELECTRICITY	0291093117JUN/11	
SERV FRM 05/24 - 06/23	18.66	06320000	52248	ELECTRICITY	1603109101 JUN/11	
SERV FRM 05/25 - 06/23	217.27	01670600	52248	ELECTRICITY	5838596003JUN/11	
SERV FRM 5/20 - 6/21	15.95	01670600	52248	ELECTRICITY	4483019016JUN/11	
SERV FRM 5/20 THRU 6/21	143.43	01670600	52248	ELECTRICITY	6337409002JUN/11	
SERV FRM 5/23 THRU 06/22	29.26	06320000	52248	ELECTRICITY	1043062112JUN/11	
SERV FRM 5/23 THRU 6/21	131.55	06320000	52248	ELECTRICITY	6675448009JUN/11	
SERV FRM 5/23 THRU 6/22	73.32	06320000	52248	ELECTRICITY	0030086009JUN/11	
SERV FRM 5/23 THRU 6/22	80.83	06320000	52248	ELECTRICITY	3153036011JUN/11	
SERV'S FRM 05/12 TO 06/11	48.14	01670600	52248	ELECTRICITY	6827721000MAY/11	
SRV FRM 05/20 THRU 06/20	670.15	04201600	52248	ELECTRICITY	0300009027JUN/11	
SRV FRM 05/23 THRU 06/22	87.05	06320000	52248	ELECTRICITY	6597112015JUN/11	
	<u>4,000.12</u>					
CONCEPT TO PROJECT MANAGEMENT LLC						
NEW GEOMELT MOTOR & PUMP	803.95	01670200	53317	OPERATING SUPPLIES	21882	
	<u>803.95</u>					
CORRECTIVE ASPHALT MATERIALS						
2011 ASPHALT RESTORATIVE SEALR	3,184.35	01670500	52286	PAVEMENT RESTORATION	11-2455A	20120025
	<u>3,184.35</u>					
DAVID G BAKER						
VLG BOARD MTG TELECAST 06/20/11	105.00	01650100	52253	CONSULTANT	062011	
	<u>105.00</u>					
DENNY DIAMOND INC						
JUN 30TH TWN CTR CONCERT	1,500.00	01750000	52288	CONCERT SERIES	6/30 CONCERT	
	<u>1,500.00</u>					
DOUG NEWLIN						
REIMBURSEMENTS FOR 3- ASE TESTS	126.00	01696200	52223	TRAINING	3 ASE TESTS REIMB	
	<u>126.00</u>					
EARTH INC						
BLACK DIRT	49.00	01670500	52212	AUTO MAINTENANCE & REPAI	100882	
	<u>49.00</u>					
EXELON ENERGY INC						
SERV FRM 05/20 - 06-19	2,597.14	04201600	52248	ELECTRICITY	100559500200	
SERV FRM 05/20 THRU 06/20	1,453.16	06320000	52248	ELECTRICITY	200214600120	
SERV FRM 05/23 - 06/21	2,300.18	04201600	52248	ELECTRICITY	100431200200	
SERV FROM 5/12- 6/10	598.02	04101500	52248	ELECTRICITY	100431100200	
SERVICE EST REQUEST	1,382.52	01670600	52248	ELECTRICITY	100559500190A	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
SERVICE EST REQUEST	1,382.52	04201600	52248	ELECTRICITY	100559500190A	
	<u>9,713.54</u>					
FEECE OIL CO						
E-85 GASOLINE	5,675.42	01696200	53356	GAS PURCHASED	3175562	
	<u>5,675.42</u>					
IEPA						
ANNUAL NPDES PERMIT FEE	30,000.00	04100100	52272	PROPERTY MAINTENANCE(NF	7/1/11 - 6/30/12	
PERMIT FEE 7/1/11 THRU 6/30/12	1,000.00	01620100	52272	PROPERTY MAINTENANCE(NF	NPDES PERMIT	
	<u>31,000.00</u>					
ILLINOIS SECRETARY OF STATE						
REGIS FOR RNWL OF NOTARY COMM	10.00	01660100	52234	DUES & SUBSCRIPTIONS	DANIEL HOFFMAN	
	<u>10.00</u>					
JOHN L FIOTI						
SERV FOR JUNE 2011	156.00	01570000	52238	LEGAL FEES	C S 30	
SERV FOR JUNE 2011	156.50	01662300	52310	ATLE LEGAL ADJUDICATION	C S 30	
	<u>312.50</u>					
KAMMES AUTO & TRUCK REPAIR INC						
SWEEPER SAFETY TEST	58.00	01670600	52212	AUTO MAINTENANCE & REPAI	283350	
	<u>58.00</u>					
KEVIN THOMAS BYRNE						
HAYMARKET RIOT CONCERT TWN CTR	1,100.00	01750000	52288	CONCERT SERIES	7/4 CONCERT	
	<u>1,100.00</u>					
KLEIN, THORPE & JENKINS, LTD						
LEGAL SERVICES THRU 5/31/11	209.00	04203100	52238	LEGAL FEES	153125	
LEGAL SERVICES THRU 5/31/11	4,076.50	11740000	52238	LEGAL FEES	153124	
LEGAL SERVICES THRU 5/31/11	5,377.00	01570000	52238	LEGAL FEES	153124	
	<u>9,662.50</u>					
LUDWIG LINGWAI						
SIDEWALK REIMBURSEMENT 5 SQUARES	100.00	01670500	52272	PROPERTY MAINTENANCE(NF	915 DODGE	
	<u>100.00</u>					
LUTHERAN CHURCH OF THE MASTER						
RIGHT OF WAY PURCHASE	5,000.00	11740000	55486	ROADWAY CAPITAL IMPROVE	KUHN RD BIKE PATH	
	<u>5,000.00</u>					
MAGNIFICENT EVENTS LTD						
UNDER WATER PEOPLE CONCERT TWN CT	750.00	01750000	52288	CONCERT SERIES	6/23/11	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	<u>750.00</u>					
MIDWEST GANG INVESTIGATORS ASSOCIATION						
REGIS SPIZZIRRI, GREY, ZOCHERT	375.00	01664700	52223	TRAINING	NOV 1-2 MGIA 2ND AN	
	<u>375.00</u>					
NICOR GAS						
SERV FRM 05/10 TO 06/10	83.44	04101500	52277	HEATING GAS	86-60-60-117-8	
	<u>83.44</u>					
NORTHEASTERN ILLINOIS PUBLIC SAFETY						
DRV SIMULATION PWKS 4/25/11	90.00	01696200	52223	TRAINING	7700	
HAZ MAT AWARENESS 4/13/11	80.00	01670100	52223	TRAINING	7417	
	<u>170.00</u>					
NORTHERN ILLINOIS UNIVERSITY						
GIS SCOPE ENGR SERV GRNT G5B70035	9,926.50	01652800	52257	GIS SYSTEM	61511	20120020
	<u>9,926.50</u>					
NOTARIES ASSOCIATION OF ILL INC						
NOTARY COMM RNWL	38.00	01660100	52234	DUES & SUBSCRIPTIONS	DANIEL HOFFMAN	
	<u>38.00</u>					
ORTIZ BROTHERS						
REMOVE FALLEN COTTONWOOD	800.00	01680000	52244	MAINTENANCE & REPAIR	9717	
	<u>800.00</u>					
P & M MERCURY MECHANIC						
REPL BEARING ASSEMBLY & COUPLER	2,348.00	01680000	52244	MAINTENANCE & REPAIR	62003	
REPL CONDENSER FAN MOTRO FOR HVAC	1,653.00	01680000	52244	MAINTENANCE & REPAIR	619009	
	<u>4,001.00</u>					
PAULING BROS						
STRAW	114.00	01670400	53317	OPERATING SUPPLIES	3437	
	<u>114.00</u>					
THOMAS F HOWARD JR						
LEGAL SERVICE FOR JUNE 2011	6,776.25	01570000	52312	PROSECUTION DUI	181	
	<u>6,776.25</u>					
TRANSYSTEMS CORPORATION						
FAIR OAKS RD PVMNT REHAB 5/7-6/3	1,593.09	11740000	55486	ROADWAY CAPITAL IMPROVE 2(2108871)		20120034
KUHN RD BIKE TRL PH II CONST	1,164.96	11740000	55486	ROADWAY CAPITAL IMPROVE 8(2108865)		20120038
WEST BRANCH TRL PROJECT 5/7-6/3	2,097.93	11740000	55486	ROADWAY CAPITAL IMPROVE 2(2108864)		20120035

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	<u>4,855.98</u>				
UNI MAX MANAGEMENT CORP					
JANITORIAL SERVS VLG HL/PWK-JUNE	623.75	01670100 52276	JANITORIAL SERVICES	2311	20120033
JANITORIAL SERVS VLG HL/PWK-JUNE	1,871.25	01680000 52276	JANITORIAL SERVICES	2311	20120033
	<u>2,495.00</u>				
	<u><u>129,455.94</u></u>				

The preceding list of bills payable totaling \$129,455.94 was reviewed and approved for payment.

Approved by:



Joseph Breisig - Village Manager

Date:

7/1/11

Authorized by:

Frank Saverino Sr – Mayor

Beth Melody, Village Clerk

Date: _____

AGENDA ITEM

ADDENDUM WARRANTS K-2 7-5-11 June 21, 2011 thru July 5, 2011

Fund	Check #	Vendor	Description	Amount
General	A C H	Charter One Bank	Payroll June 12, 2011 to June 26, 2011	458,857.13
Water & Sewer	A C H	Charter One Bank	Payroll June 12, 2011 to June 26, 2011	29,972.86
General	A C H	Ill Funds	Dupage Water Commission - May 2011	<u>231,183.99</u>
				<u>720,013.98</u>

Approved this _____ day of _____, 2011

By: _____
Frank Saverino Sr - Mayor

Beth Melody - Village Clerk