

Village of Carol Stream

BOARD MEETING

AGENDA

AUGUST 1, 2011

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE: Eagle Scout Colton Wegner to lead the Audience in the Pledge of Allegiance.

B. MINUTES: Approval of the Minutes of July 18, 2011 Board Meeting.

C. AUDIENCE PARTICIPATION & PUBLIC HEARINGS:

1. Introduction of New Employee – Todd Hoppenstedt, Superintendent of Water & Sewer.

D. SELECTION OF CONSENT AGENDA:

If you are here for an item which is added to the consent agenda and approved, the Village Board has acted favorably on your request.

E. BOARD AND COMMISSION REPORTS:

1. PLAN COMMISSION:

- a. #11179 – Illinois Central School Bus – 640 Kimberly Drive
Special Use Permit – Outdoor Activities and Operations
Special Use Permit – Garage and Parking Lot Not Incidental to a Permitted Use
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (5-0)
Request for zoning approvals for redevelopment of the former BOC Gases property.

- b. #11188 – Temple-Inland Corporation – 139 Fullerton Avenue
Special Use Permit – Outdoor Activities and Operations
Special Use Permit – Structure Exceeding 50 Feet in Height
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (4-0-1).
Gary Avenue Corridor Review
APPROVED SUBJECT TO CONDITIONS (4-0-1)
Additional zoning approvals for the redevelopment of the Temple-Inland property.

F. OLD BUSINESS:

1. Appeal from Bulldog Ale House of the Plan Commission/Zoning Board of Appeals' denial of Gary Avenue Corridor Review.
As part of the zoning approvals for an outdoor seating area, the Bulldog Ale House is appealing the decision of the PC/ZBA. This item is continued from the July 18, 2011 agenda.

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G. STAFF REPORTS & RECOMMENDATIONS:

1. Crossing Guards – U-46
School District U-46 has provided notice that it will no longer fund crossing guards for Spring Trail School.

H. ORDINANCES:

1. Ordinance No. _____, Approving a Special use Permit to Allow Outdoor Activities and Operations and a Garage and Parking Lot Not Incidental to a Permitted Use in the I Industrial Zoning District (640 Kimberly Drive). *See E1a.*
2. Ordinance No. _____, Approving a Special Use Permit to Allow Outdoor Activities and Operations and a Structure Exceeding 50 Feet in Height in the I Industrial Zoning District (Temple-Inland Corporation, 139 Fullerton Avenue). *See E1b.*
3. Ordinance No. _____, Approving a Special Use Permit and an Amendment to an Approved PUD Plan (Bulldog Ale House, 1021 Fountain View Drive).
Staff recommends approval of zoning requests for an outdoor seating area in the Fountains at Town Center. This item is continued from the July 18, 2011 agenda. See F1.
4. Ordinance No. _____, Amending Chapter 8, Article 6 of the Carol Stream Traffic Code for Parking Schedules.
Staff recommends changes to the parking restrictions on Idaho Street for the Western Trails School.
5. Ordinance No. _____, Amending Chapter 8 Article 6 of the Carol Stream Traffic Code for Parking Schedules.
Staff recommends changes to the parking restrictions on Randy Road.

I. RESOLUTIONS:

J. NEW BUSINESS:

1. Request from the Carol Stream Fire Protection District for Waiver of Building Permit Fees.
The Carol Stream Fire Protection District requests a waiver of building permit fees for their upcoming roof projects at Stations One and Three.

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2. Raffle License Application and Sound Amplification Permit
Parents and Teens Together, Inc. (P.A.T.T.) is requesting a waiver of the raffle license fee and amplification fee and the manager fidelity bond in conjunction with their JP Fun Run event on Sunday, September 4, 2011.

K. PAYMENT OF BILLS:

1. Regular Bills:
2. Addendum Warrants:

L. REPORT OF OFFICERS:

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: Revenue/Expenditure Statement and Balance Sheet, Month End, June 30, 2011.

M. EXECUTIVE SESSION:

1. Review of Executive Session Minutes.

N. ADJOURNMENT:

LAST ORDINANCE: 2011-07-21

LAST RESOLUTION: 2542

NEXT ORDINANCE: 2011-08-22

NEXT RESOLUTION: 2543

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County, IL

July 18, 2011

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 8:00 p.m. and directed Assistant Village Manager Mellor to call the roll.

Present: Mayor Frank Saverino, Sr., Trustees Tony Manzzullo, Don Weiss and Matt McCarthy.
Absent: Trustees Mary Frusolone, Greg Schwarze and Pam Fenner
Also Present: Village Manager Joe Breinig, Assistant Village Manager Bob Mellor, Village Attorney Jim Rhodes.
Absent: Village Clerk Beth Melody

Mayor Saverino, Sr. led those in attendance in the Pledge of Allegiance.

MINUTES:

Trustee McCarthy moved and Trustee Weiss made the second to approve the Regular Board Meeting Minutes of July 5, 2011. The results of the roll call vote were as follows:

Ayes: 4 Trustees Manzzullo, Weiss, McCarthy and Mayor Saverino
Nays : 0
Absent: 3 Trustees Frusolone, Schwarze and Fenner

AUDIENCE PARTICIPATION AND PUBLIC HEARINGS:

Apartment Recycling Pilot Program Presentation - Greenway Recycles!

DuPage County Board member Jim Jay introduced Environmental Project Specialist Shefali Trivedi who gave a multi-media presentation detailing the successful inter-agency efforts between the US Dept. of Energy, the DuPage County Dept. of Economic Development & Planning, the Village of Carol Stream and Banner Apartments to increase apartment recycling in the 325-unit multi-family rental community - 'The Greenway at Carol Stream' that began on September 1, 2010. The presentation included data, photos, testimony and details on sustained cooperative efforts to reduce energy use and associated carbon emissions by increasing multi-family recycling.

CONSENT AGENDA:

Trustee Manzzullo moved and Trustee McCarthy made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 4 Trustees Manzzullo, Weiss, McCarthy and Mayor Saverino
Nays : 0
Absent: 3 Trustees Frusolone, Schwarze and Fenner

Trustee Manzzullo moved and Trustee McCarthy made the second to put the following items on the Consent Agenda established for this meeting.

The results of the roll call vote were as follows:

Ayes: 4 Trustees Manzullo, Weiss, McCarthy and Mayor Saverino
Nays : 0
Absent: 3 Trustees Frusolone, Schwarze and Fenner

1. Waiver of Permit Fees for Work to Repair Damage Caused by the Storm Event of July 11, 2011.
2. Resolution No. **2541** Approving an Intergovernmental Agreement with the Carol Stream Fire Protection District
3. Resolution No. **2542**, Declaring Surplus Property Owned by the Village of Carol Stream.
4. Authorization to Purchase Property in Conjunction with the Klein Creek Flood Plain Structure Buyout Project.
5. Sound Amplification Permit – Outreach Community Center
6. Raffle License Application - Village of Carol Stream.
7. Payment of Regular & Addendum Warrant of Bills

Trustee McCarthy moved and Trustee Weiss made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:

Ayes: 4 Trustees Manzullo, Weiss, McCarthy and Mayor Saverino
Nays : 0
Absent: 3 Trustees Frusolone, Schwarze and Fenner

The following are brief descriptions of those items approved on the Consent Agenda for this meeting.

Waiver of Permit Fees for Work to Repair Damage Caused by the Storm Event of July 11, 2011:

Staff requested and the Village Board approved waiving residential permit fees on a temporary basis for work necessary to repair damage from the recent storm.

Resolution No. 2541 Approving an Intergovernmental Agreement with the Carol Stream Fire Protection District:

The Village Board approved the staff recommendation for an intergovernmental agreement for the provision of services under the Village's adopted Fire Code and related ordinances.

Resolution No. 2542, Declaring Surplus Property Owned by the Village of Carol Stream:

The Village Board approved the Police Department request to declare 16 vehicles surplus property to be sold on eBay, donated, or scrapped.

Authorization to Purchase Property in Conjunction with the Klein Creek Flood Plain Structure Buyout Project:

The Village Board authorized staff to purchase three flood damaged properties as part of the Klein Creek Flood Plain Structure Buyout Project.

Sound Amplification Permit – Outreach Community Center:

The Village Board approved the Outreach Community Center request to waive the Sound Amplification fee for their Community Barbeque in connection with National Night Out on Tuesday, August 2, 2011.

Raffle License Application - Village of Carol Stream:

The Village Board approved a waiver of fee and manager's bond in connection with a raffle license for the Concert for the Troops on Thursday July 14, 2011.

Regular Bills and Addendum Warrant of Bills:

The Village Board approved the payment of the Regular Bills dated July 18, 2011 in the amount of \$428,554.29.

The Village Board approved the payment of the Addendum Warrant of Bills from July 6, 2011 – July 18, 2011 in the amount of \$710,249.65.

Non - Consent Agenda Item:

Appeal from Bulldog Ale House of the Plan Commission/Zoning Board of Appeals' denial of Gary Avenue Corridor Review:

*As part of the zoning approvals for an outdoor seating area, the Bulldog Ale House is appealing the decision of the PC/ZBA. **This item was continued to the next regularly scheduled Board meeting on August 1, 2011.***

Ordinance No. _____, Approving a Special Use Permit and an Amendment to an Approved PUD Plan (Bulldog Ale House, 1021 Fountain View Drive):

*Staff recommends approval of zoning requests for an outdoor seating area in the Fountains at Town Center for a Special Use Permit – Outdoor Seating Ancillary to a Restaurant and a PUD Plan – Amendment. **This item was continued to the next regularly scheduled Board meeting on August 1, 2011.***

Ayes: 4 Trustees Manzullo, Weiss, McCarthy and Mayor Saverino

Nays : 0

Absent: 3 Trustees Frusolone, Schwarze and Fenner

Report of Officers:

Trustee Manzullo thanked Park District for coordinating the tour of the Village with the Village Board and thanked them for their continued partnership on projects. He commented that there was a great turn out for the concert for the troops last Thursday and thanked residents for supporting our troops. Trustee McCarthy thanked all the volunteers and staff who helped out during the concert for the troops. Trustee McCarthy asked Director of Public Works Phil Modaff to provide a summary of current activities in the Public Works Department. Director of Public Works provided the following summary of activities:

- *The fuel pumps are currently being repaired*
- *The parking lot at the Public Works Center will be resurfaced shortly*
- *The assessment of the Ash tree population has been completed with over 2,700 trees identified. Removal of trees infected with the Emerald Ash Borer will begin shortly.*

- *Work continues on replacement of the chlorine line at the Water Reclamation Center as is the replacement of the blower motors with more energy efficient units.*
- *The 2 new lift stations with emergency backup generators are fully operational.*
- *A new SCADA system is being installed which will save the Village \$25,000-\$30,000 in telephone costs as well as associated overtime costs.*
- *The first phase of the Infiltration and Inflow (INI) study to identify storm water infiltration into the sanitary sewer system is being performed.*

Trustee McCarthy thanked Director of Public Works Modaff for the update and wished his son a happy 15th birthday. Trustee Weiss praised the sponsors of the concert for the troops and mentioned that he had the opportunity to videotape the concert along with resident commentary at the Mayor's request. He reminded everyone to shop Carol Stream. Assistant Village Manager Mellor wished Village Clerk Melody a speedy recovery. Manager Breinig stated the power outage that occurred last week affected approximately 2000 residents and that staff remained in contact with Comed throughout the outage keeping the Village Board and residents updated on the status of the outage. All power to Carol Stream residents had been restored by Friday July 15. Manager Breinig thanked staff for their efforts during the outage and stated that Carol Stream outage problems were minimal compared to other communities. Mayor Saverino thanked Comed for their efforts to restore power during one of the worst storm outages in the last decade. Mayor Saverino commented that there were close to 3,000 attendees at the concert for the troops last Thursday. Food collections will be accepted at the Village Hall through next week and then the items will be transported to the distribution facility to support the troops. Trustee Weiss stated he would video document the transfer when it occurs. Mayor Saverino thanked staff for their efforts at the concert as well as during the prolonged power outage last week. Mayor Saverino stated that Saturday, July 23 is his son Dominic's 37th birthday and that a memorial service is being held downtown at Our Lady of Pompei church for all fallen Chicagoland Italian American Charitable Organization (CIACO) members on Saturday.

At 8:41 p.m. Trustee McCarthy moved and Trustee Manzzullo made the second to adjourn the meeting.

Ayes:	4	Trustees Manzzullo, Weiss, McCarthy and Mayor Saverino
Nays :	0	
Absent:	3	Trustees Frusolone, Schwarze and Fenner

FOR THE BOARD OF TRUSTEES

Frank Saverino, Sr. Mayor

Beth Melody, Village Clerk

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

All Matters on the Agenda may be Discussed, Amended and Acted Upon

July 25, 2011

Chairman David Michaelson called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 7:30 p.m. and directed Secretary Linda Damron to call the roll. The results of the roll call vote were:

Present: Chairman Dave Michaelson and Commissioners Dee Spink, Timothy McNally, Angelo Christopher, and Ralph Smoot

Absent: Commissioner Frank Petella

Also Present: Don Bastian, Assistant Community Development Director, Linda Damron, Secretary and court reporter from DuPage County Court Reports.

MINUTES:

Commissioner McNally moved and Commissioner Spink made the second to approve the minutes of the meeting of June 27, 2011. The results of the roll call vote were:

Ayes: 5 Chairman Michaelson and Commissioners Spink, Smoot, Christopher and McNally

Nays: 0

Absent: 1 Commissioner Petella

PUBLIC HEARING:

Commissioner McNally moved and Commissioner Spink made the second to open the Public Hearing. The motion passed by unanimous voice vote.

**Case # 11179 Illinois Central School Bus, LLC – 640 Kimberly Drive
Special Use – Outdoor Activities and Operations
Special Use – Garage or Parking Lot Not Incidental to a
Permitted Use**

Chairman Michaelson swore in the witness, Attorney Gary S. Mueller, Greg Brandt, General Contractor, Dave Niedospial and Matt Finn from Illinois Central School Bus, LLC.

Attorney Gary Mueller first wanted to thank staff for all their help in making this submittal as easy as possible, staff was a pleasure to work with. Mr. Mueller stated that Illinois Central School Bus, LLC has purchased the property at 640 Kimberly Drive and they are asking for a Special Use to allow the outdoor parking of school buses, the outdoor installation of an above ground 2500 gallon diesel fuel tank, and a Special Use for a garage and parking lot for buses, and future parking expansion. Mr. Mueller is asking that the Plan Commissioners follow staff's recommendations that are listed in the staff report. ICSB is in full agreement with all of staff recommendations.

General Contractor Greg Brandt explained the site traffic circulation pattern, where cars would park, where buses would park and the use of the building, and future parking expansion.

Dave Neidospial for ICSB stated they would be using a 100 buses every day, and would have 100 bus drivers and 10 spare drivers, 5 shop workers and 7 office personnel. The office personnel start at 5:30 a.m. and the bus routes start at 6:30 a.m. – 9:00 a. m. and then slows down and picks up again around 2:00 p.m. until about 5:00 p.m. ICSB will also have field trip and athletic runs.

Chairman Michaelsen asked Mr. Bastian for the staff report.

Assistant Community Development Director Don Bastian stated ICSB is requesting Special Use approval for outdoor activities and operations in the form of outdoor vehicle parking and an outdoor aboveground fuel tank, and Special Use approval for the principal use of the property, which is a garage or parking lot not incidental to a permitted use. The site plan shows that there would be enough parking spaces for all the buses that would be stored on the property. Staff recommends approval with some suggested modifications that are listed as recommendation of approval in the staff report. The proposed 2,500 gallon aboveground diesel fuel tank is shown on the Site Plan just west of the building. The petitioner has stated that 10-inch diameter bollards filled with concrete will be installed around the tank to protect the tank from impact. The petitioner is aware that a permit for the tank will be required from the Office of the State Fire Marshal, and that the design and installation of the tank will need to comply with all applicable codes. Staff recommends approval of the Special Use – Outdoor Activities and Operations. ICSB is also asking for a Special Use – Garage or Parking Lot Not Incidental to a Permitted Use; for this type of use staff looks at the screening and if the site would function properly and if it is compatible with surrounding properties. With respect to the screening the bus parking areas would be behind a concrete wall and a chain link fence would extend across the front of the property, staff also believes that there will be enough parking spaces for both the automobiles and buses and that this use would be compatible with other adjacent industrial uses. Mr. Bastian wanted to mention that ICSB has shown a future parking expansion at the northwest portion of the site, they would like to ask permission at this time for the parking expansion. Staff recommends approval of the Special Use to allow outdoor activities and operations in the form of outdoor bus parking and an outdoor aboveground fuel tank, and of the Special Use to allow a garage or parking lot for motor vehicles not incidental to a permitted use, subject conditions listed in the staff report.

Chairman Michaelsen asked if anyone from the audience had any questions, there were no questions from the audience.

Chairman Michaelsen asked if any of his fellow Commissioners had any questions

Commission Spink wanted to know where the keys to the buses are kept, where the buses are maintained, how often are the buses checked for children and belongings, what are the fueling procedures and will the buses have cameras?

Dave Neidospial for ICSB stated the keys for buses are kept in the office, the buses will be maintained on site and any oil from an oil change would be picked up by a vender, and drivers have to do a safety check on the buses before the bus can leave the facility. Mr. Neidospial stated that the buses are checked to make sure everyone is off the every time the driver drops off children at the school and when the bus is brought back to the facility. Mr. Neidospial stated that each bus will have a GPS system and cameras. Mr. Neidospial stated that they have a fueling procedure and buses are fueled 2 to 3 times a week.

Commissioner Smoot did not have any questions.

Commissioner Christopher wanted to know the length of the buses.

Dave Neidospial for ICSB stated the buses are 41 feet long and weight is 11,000lbs.

Commissioner Christopher asked Donald Bastian, Assistant Community Development Director if there would be a requirement to have concrete aprons on Kimberly Drive. Mr. Bastian stated that would be something that would be review by the Engineering Department during the permit process.

Commissioner McNally wanted to know who and how often the tank would be serviced, and wanted to know what the snow removal procedure for this facility would be. Commissioner McNally has some concerns of the weight of the truck that would be servicing the above ground tank.

Matt Finn for ICSB stated the tank would be serviced by Palatine Oil and the tank will have a satellite read. At this time Mr. Finn did not know the size of the truck that would service the tank. General Contractor Greg Brandt answered the question of snow removal, he stated that there is enough room on site for snow to be removed and if need be snow could be hauled away.

Chairman Michaelsen wanted to make sure that the petitioner looks into the structure of the parking lot and curb on Kimberly Drive, to make sure it would support the weight of the buses and the service vehicle. Chairman Michaelsen wanted to know if there is sufficient lighting on the site, if the gates were manually operated, would the site have security cameras to protect the facility, how are old tires disposed of and would there be any painting of the buses on site. Chairman Michaelsen also wanted to know if ICSB would be renting out any part the site.

General Contractor Mr. Brandt state that they are working on repairing the lighting in the parking lot. Mr. Neidospial for ICSB stated that the gate works manually and the facility would have a fence around if for security. If in the future they saw a need for security cameras they would be added. Mr. Finn for ICSB stated that the tires are stored until the vendor picks them up. Mr. Neidospial for ICSB stated that there would not be any painting of the buses at this facility and they would not be renting out any part of the building.

Commissioner Spink moved and Commissioner McNally made the second to recommend approval of the request for the Special Use – Outdoor Activities and Operations and Special Use – Garage or Parking Lot Not Incidental to a Permitted Use.

The results of the roll call vote were:

Ayes: 5 Chairman Michaelsen and Commissioners Spink, Smoot, Christopher and McNally
Nays: 0
Absent: 1 Commissioner Petella

Chairman Michaelsen reminded the petitioner that the Plan Commission's recommendation would be forwarded to the Village Board at their next meeting on August 1, 2011, at which time the Board would take final action on the matter.

**Case # 11188 Northern Builders/Temple Inland Corporation – 139 Fullerton Avenue
Special Use – Outdoor Activities and Operations & Structure Exceeding 50 Feet in Height
Gary Avenue Corridor Review**

Chairman Michaelsen swore in the witness, Bradley Wood of Northern Builders and Stephen Crawford of Temple Inland Corporation.

Bradley Wood of Northern Builders stated that Temple Inland Corporation is back for two items, the first being a Special Use for the cyclone baler which will be located on east edge of the building. This cyclone baler will be replacing the current baler that is located in the center of the building. The baler will be visible from the Fullerton Avenue side, but you will not be able to see the baler from Gary Avenue. The cyclone baler is used for recycling paper from the facility and will be painted the same color as the building. The second item is for the monument sign, the monument sign will be at the same location as the current sign. The new sign will be the same color as the existing sign and have new wording, landscaping, stones and will be up lit.

Chairman Michaelsen asked Mr. Bastian for the staff report. Assistant Community Development Director Don Bastian stated the request is for a Special Use Outdoor Activities and Operations & Structure Exceeding 50 feet in Height and Gary Avenue Corridor Review. On page 2 of the staff report you can see pictures of the existing baler, at this point the plan is to remove this baler and replace it with a new one 200 feet east, further away from Gary Avenue. According to the line of sight study, the baler should not be visible from Gary Avenue. When staff looks at Outdoor Activities we are looking at screening, staff believes Temple Inland is doing everything they can to screen the baler from Gary Avenue. There are silos at other locations in Carol Stream, and staff believes this is consistent with past approvals. Staff recommends approval of the Special Use for Outdoor Activities and Operations, staff also supports the Special Use for the structure to exceed 50 feet in height. The cyclone baler unit itself is approximately 44 feet in height, but when installed on top of the 19 foot, 7 inch high roof, the total height to the top of the new cyclone would be 63 feet, 10 inches in height. Mr. Bastian mentioned that the cyclone baler will be painted to match the building, and that the village has approved special uses for structures over 50 feet in height; for example, for three 60 foot tall storage silos at Packaging Personified on Kehoe Boulevard. With respect to the GAC review is for a new sign that will be up lit, have the colors of Temple Inland current sign have new landscaping and be highlighted with of Eden Outcropping stone. Staff recommends approval of the Special Uses and the Gary Avenue Corridor subject to the recommendations found in the staff report.

Chairman Michaelsen asked if anyone from the audience had any questions, there were no questions from the audience.

Chairman Michaelsen asked if any of his fellow Commissioners had any questions.

Commissioner McNally, Christopher, Smoot and Spink did not have any questions.

Chairman Michaelsen wanted to know if a smaller baler could be used and if the sign was going to be ground lit.

Mr. Wood of Northern Builders stated that Temple Inland needed this size for the amount of volume / gravity. Mr. Wood stated that the sign would be ground lit.

Commissioner McNally moved and Commissioner Smoot made the second to recommend approval of the request for Special Use – Outdoor Activities and Operations & Structure Exceeding 50' in Height and Gary Avenue Corridor Review

The results of the roll call vote were:

Ayes: 4 Chairman Michaelsen, Commissioners Spink, Smoot, McNally
Nays: 0
Abstain: 1 Commissioner Christopher
Absent: 1 Commissioner Petella

Chairman Michaelsen reminded the petitioner that the Plan Commission's recommendation would be forwarded to the Village Board at their next meeting on August 1, 2011, at which time the Board would take final action on the matter.

Commissioner Smoot moved and Commissioner Spink made the second to close the Public Hearing. The motion passed by unanimous voice vote.

Ayes: 5 Chairman Michaelsen, Commissioner Spink, Smoot, Christopher, McNally
Nays:
Absent: 1 Commissioner Petella

NEW BUSINESS:

Discussion to cancel the August 8, 2011, Plan Commission meeting.

Commissioner Spink moved and Commissioner Christopher made the second to recommend approval to cancel the August 8, 2011 Plan Commission meeting.

The results of the roll call vote were:

Ayes: 4 Chairman Michaelsen, Commissioners Spink, Christopher, McNally
Nays: 1 Commissioner Smoot
Absent: 1 Commissioner Petella

ADJOURNMENT:

At 8:15 p.m. Commissioner Spink moved and Commissioner Christopher made the second to adjourn the meeting. The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Linda Damron
Community Development Secretary

Minutes approved by Plan Commission on this 22nd day of August, 2011.

Chairman

Village of Carol Stream

Interdepartmental Memo

TO: Joe Breinig, Village Manager

FROM: Philip J. Modaff, Director of Public Works

CC: Todd Hoppenstedt, Water & Sewer Superintendent

DATE: July 25, 2011

RE: Introduction – Water & Sewer Superintendent Todd Hoppenstedt

I am pleased to introduce Water & Sewer Superintendent Todd Hoppenstedt. Mr. Hoppenstedt started with the Public Works Department on July 18, following service in a similar position for the Village of Round Lake Beach. Todd has broad public works experience, having worked in a variety of operations for the City of Wheaton over a span of nine years. He also has experience with several private firms, including HD Supply Works in Carol Stream.

Todd has earned a Bachelor of Science degree from Illinois State University, a Supervision of Public Works Certificate from Joliet Junior College and a Class "C" Water Operator's license from the Illinois EPA.

Todd will supervisor all activities of the water and sewer division, including maintenance and repair of water system storage and distribution, sanitary sewer system, and components of the storm water system. He will serve as the water system Responsible Operator In Charge (ROIC).

Todd lives in St. Charles with his wife and two young children.

*Village of Carol Stream***Interdepartmental Memo**

TO: Joseph E. Breinig, Village Manager

FROM: Donald T. Bastian, Assistant Community Development Director *DB*

THROUGH: Robert J. Glees, Community Development Director *BA*

DATE: July 27, 2011

RE: **Agenda Item for the Village Board Meeting of August 1, 2011**
PC/ZBA Case 11179, Illinois Central School Bus – 640 Kimberly Drive
Special Use for *Outdoor Activities and Operations* and *Garage and Parking Lot Not Incidental to a Permitted Use*

Attorney Gary Mueller on behalf of Illinois Central School Bus (ICSB) has submitted the required plans and applications for the zoning approvals necessary to accommodate ICSB's use of the property at 640 Kimberly Drive as a school bus storage lot, offices, and light maintenance facility. Specifically, ICSB is seeking Special Use approval to allow *Outdoor Activities and Operations* in the form of the outdoor parking of up to 120 school buses and the outdoor installation of a 2,500 gallon diesel fuel tank. ICSB is also seeking Special Use approval for the principal use of the property as a *Garage and Parking Lot Not Incidental to a Permitted Use*. ICSB was recently awarded transportation contracts for several local school districts, including Districts 41, 44, 87 and 89, and so they purchased the property at 640 Kimberly Drive to serve as a base of operations to meet the transportation needs of the noted school districts. Approximately 100 bus drivers will operate out of this facility, and an additional 10-15 office and mechanic staff will be employed within the building. The plan also provides for a future expansion area should ICSB's operations necessitate additional bus or employee parking capacity.

The staff report presenting the requests, with supporting documentation, was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals (PC/ZBA) packet on July 22, 2011. At their July 25, 2011, meeting, by a vote of 5-0, the PC/ZBA recommended approval of the Special Uses for *Outdoor Activities and Operations* in the form of outdoor bus parking and an outdoor fuel tank, and for a *Garage and Parking Lot Not Incidental to a Permitted Use*, subject to the conditions noted in the staff report.

If the Village Board concurs with the PC/ZBA recommendation regarding the Special Uses, they should approve the Special Uses, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

DTB:db


c: Gary Mueller, Attorney (via e-mail)
Matt Finn, ICSB (via e-mail)


AGENDA ITEM

E16 8-1-2011

Village of Carol Stream Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Donald T. Bastian, Assistant Community Development Director 

THROUGH: Robert J. Glees, Community Development Director 

DATE: July 27, 2011

RE: **Agenda Item for the Village Board Meeting of August 1, 2011**
PC/ZBA Case 11188, Temple-Inland Corporation – 139 Fullerton Avenue
Special Use for *Outdoor Activities and Operations* and *Structure Exceeding 50' in Height*, and Gary Avenue Corridor Review

Brad Wood of Northern Builders on behalf of Temple-Inland Corporation has submitted the required plans and applications for the zoning approvals necessary to accommodate the installation of a new rooftop mounted cyclone baler and a new ground sign at Temple-Inland's facility at 139 Fullerton Avenue. Specifically, Temple-Inland is seeking Special Use approval to allow for the outdoor installation of process equipment, and for the equipment to exceed 50 feet in height. The new rooftop cyclone baler, which will be installed about 200 feet further to the east than the existing cyclone that will be removed, will allow for the collection and recycling of scrap cardboard and dust that is generated by the cardboard process operations in the building. The height of the new cyclone baler will be 63 feet, 10 inches, whereas the height of the cyclone baler that will be removed is 62 feet, 8 inches. The new cyclone baler will be painted (gray) to match the color that the building will be painted once renovations are complete.

The staff report presenting the requests, with supporting documentation, was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals (PC/ZBA) packet on July 22, 2011. At their July 25, 2011, meeting, by a vote of 4-0-1, the PC/ZBA recommended approval of the Special Uses for *Outdoor Activities and Operations* in the form of outdoor equipment installation, and for a *Structure Exceeding 50' in Height*, subject to the conditions noted in the staff report. For informational purposes, the PC/ZBA also approved the Gary Avenue Corridor Review for the new ground sign by a 4-0-1 vote.

If the Village Board concurs with the PC/ZBA recommendation regarding the Special Uses, they should approve the Special Uses, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance. The PC/ZBA action regarding the Gary Avenue Corridor Review serves as the final decision.

DTB:db

c: Stephen Crawford, Temple-Inland Corporation (via e-mail)
Brad Wood, Northern Builders (via e-mail)

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: July 13, 2011

RE: **Agenda Item for the Village Board Meeting of July 18, 2011**
PC/ZBA Case 11084, Bulldog Ale House
Appeal of the PC/ZBA Decision Denying Gary Avenue Corridor Review

PURPOSE

The purpose of this memorandum is to present to the Village Board an appeal of the Plan Commission / Zoning Board of Appeals' (PC/ZBA) denial of Gary Avenue Corridor Review for an outdoor seating area at the *Bulldog Ale House*, and to provide a staff recommendation.

DISCUSSION

At the regular meeting of the Village Board on July 5, 2011, the Village Board voted to overturn the PC/ZBA's recommendation for denial of zoning approvals for an outdoor seating area at the *Bulldog Ale House*. The Village Board directed staff to prepare the necessary ordinance approving the petitioner's zoning requests for the July 18, 2011, agenda, as well as a request for appeal of the PC/ZBA's denial of Gary Avenue Corridor Review. The ordinance is included in the Village Board's packet.

Attached is a letter from Paul Marrin, who has returned as manager of the *Bulldog Ale House*, requesting an appeal of the PC/ZBA's denial. Mr. Marrin's appeal is based on his observation that the PC/ZBA offered no objections to the proposed plan's compliance with the Gary Avenue Corridor Regulations, but rather denied all of *Bulldog Ale House's* requests on the basis of the impacts of the use itself. In the staff report for PC/ZBA Case No. 11084, presented to the PC/ZBA at the public hearing on May 9, 2011, staff found the patio to be in compliance with the architectural standards of the Gary Avenue Corridor regulations, and found the proposed changes to the site design to be consistent with the site design requirements of the Gary Avenue Corridor standards.

RECOMMENDATION

Staff recommends that the Village Board rule in favor of the petitioner's appeal and approve the petitioner's request for Gary Avenue Corridor Review for an outdoor seating area at the *Bulldog Ale House*. If the Village Board concurs with the staff recommendation, a supermajority vote of four trustees would be required to overturn the recommendation of the PC/ZBA. The Mayor's vote would not be counted towards meeting the requirement of four trustee votes.

RJG:bg

Bulldog Ale House
1021 Fountain View Dr.
Carol Stream IL. 60188
(630)690-0333

08/11/2011

To whom it may concern,

This letter is to request an appeal of the Carol Stream Planning Commission's denial for an outdoor seating area at Bulldog Ale House, 1021 Fountain View Dr. Carol Stream IL. 60188.

We feel that there is no reason to deny the seating area based on the current Gary Ave. Corridor stipulations. It is our understanding that the reason for the denial is based on the previous recommendation and holds no merit to the current Gary Ave Corridor P.U.D.

If you would like to discuss anything in greater detail please feel free to contact me at (630)690-0333 or at Bulldog_Paul@yahoo.com

Sincerely,

Paul Marrin

Bulldog Ale House


Carol Stream IL. 60188

AGENDA ITEM

G-1 8-1-2011

Village of Carol Stream

Interdepartmental Memo

DATE: July 29, 2011
TO: Mayor and Trustees
FROM: Joseph E. Breinig, Village Manager 
RE: Crossing Guards - U-46

The Village has provided crossing guards for both School District U-46 and School District 93. Under this long standing arrangement each District reimburses the Village for the costs incurred for the crossing guards. Until a few years ago the positions were filled with part-time Village employees. In cases of employee absence the positions were staffed with on-duty Community Service Technicians or Police Officers. Most recently the Village contracts with Andy Frain to staff the positions and the School Districts reimburse the full contract costs.

Attached you will find a letter from U-46 advising that they will no longer fund crossing guards for Spring Trail School located on Spring Valley Road near Army Trail Road. Two crossing guards are provided to Spring Trail School at the intersections of Georgetown/Spring Valley and Woodlake/Boa. The letter offers no explanation for this unilateral decision.

In FY10 U-46 paid a total of \$7,105 for crossing guards at the two locations. In FY11 U-46 paid \$6,465 for crossing guards at the same locations. A 1996 Daily Herald article reported that crossing guards in Carol Stream cost U-46 \$11,500. Clearly the change to contracted crossing guards has worked to the mutual benefit of U-46 and the Village.

While the magnitude of the cost for U-46 crossing guards may appear small it is important to note that the total contract for crossing guards in FY10 was \$119,586 and \$116,695 in FY11. Should the Village accept costs associated with crossing guards for U-46 it is likely that a similar request would be made by District 93. District 25 provides its own crossing guards at an unknown additional cost, but would likely also seek Village reimbursement if available. It would be inequitable to provide disparate levels of service to each school district.

The Village has not been adding \$6,000 expenditures to its budget let alone \$120,000 expenditures. Full-time staffing in the Police Department has been reduced. This includes the elimination of Police Officer and Community Service Technician positions. The FY 12 Police Department budget is approximately \$1 million less than the budget for FY11. In short neither the Village nor the Police Department find themselves in the position to accept this additional cost.

On July 22 the Village provided Andy Frain with a copy of the letter from U-46. The Village's contract with Andy Frain requires 30 day notice for cancellation. While not terminating the contract with Andy Frain staff felt that they should be made aware of the precipitous action taken by U-46. Staff believes the Village should preserve its right to terminate crossing guards at Spring Trail School.

While the terse, abrupt approach taken by U-46 is surprising it must be assumed that U-46 made this decision knowing the likely outcome. U-46 has apparently determined that crossing guards at Spring Trail School have lower priority for funding than other items receiving funding from its budget. The Village is not in a position to second guess how U-46 or any other taxing body chooses to spend its tax dollars.

It is unfortunate that the Village is left to deal with the consequences of the decision made by U-46. Staff recommends termination of the arrangement with Andy Frain for crossing guards at Spring Trail School. Staff further recommends that the Village initiate efforts to make its residents aware of the change through reverse 9-1-1 and other available means including but not limited to hand delivery of letters by volunteers. Village Board direction is requested on the recommendation. This matter is being placed on the August 1 agenda because of the limited time available for notice to Andy Frain and our residents.

Attachment



José M. Torres, Ph.D., Superintendent 5007

School District U-46
District Safety and Security
355 E. Chicago Street, Elgin IL 60120-6543
Tel: 847.888.5000 x4263
Fax: 847.888.7028

U-46.org

July 12, 2011

Mr. Kevin Orr, Chief of Police
Carol Stream Police Department
500 N. Gary Avenue
Carol Stream, IL 60188

Dear Chief Orr,

This letter is to notify your department that School District U-46 will no longer fund the crossing guard services provided to Spring Trail elementary school. If you can no longer provide these services, we will assist in a communication plan for the affected families.

Please contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "John Heiderscheidt".

John Heiderscheidt
Coordinator of School Safety and Security

JH:if

AGENDA ITEM

H-1 8-1-2011

ORDINANCE NO. 2011-08-___

AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW OUTDOOR ACTIVITIES AND OPERATIONS AND A GARAGE AND PARKING LOT NOT INCIDENTAL TO A PERMITTED USE IN THE I INDUSTRIAL ZONING DISTRICT (ILLINOIS CENTRAL SCHOOL BUS, 640 KIMBERLY DRIVE)

WHEREAS, Attorney Gary Mueller, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit to allow outdoor activities and operations in the form of outdoor school bus parking and the outdoor installation of an aboveground fuel tank, and for a garage and parking lot not incidental to a permitted use in the I Industrial Zoning District, as provided in Sections 16-10-2(B)(7) and (14) of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 640 Kimberly Drive, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals at a regular meeting thereof, held a public hearing on the above petition on July 25, 2011, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that a Special Use Permit be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village, after examining the Petition for a Special Use and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

5. Will provide adequate utilities, access roads, drainage, and other important and necessary community facilities.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees.

SECTION 2:

A Special Use Permit is hereby approved and granted, subject to the conditions set forth in Section 3, to allow outdoor activities and operations and a garage and parking lot not incidental to a permitted use, upon the real estate commonly known as 640 Kimberly Drive, Carol Stream, Illinois, and legally described as follows:

PARCEL 1

LOT 1 OF KIMBERLY NORTH, UNIT 2, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 2, 1984 AS DOCUMENT R84-79139, AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 11, 1991 AS DOCUMENT R91-134667 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2

EASEMENT APPURTENANT PARCEL 1 OVER THE WEST 20 FEET OF THE FOLLOWING DESCRIBED PARCEL: EXCEPTION NO. 2: THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER AND PART OF THE EAST 5 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF SECTION 29; THENCE WESTERLY ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 29, A DISTANCE OF 1,344.05 FEET TO A POINT ON THE WEST LINE OF THE EAST 5 FEET OF THE WEST HALF OF SAID SOUTHEAST QUARTER OF SECTION 29, BEING ALSO A POINT ON THE EAST LINE OF THE CAROL STREAM INDUSTRIAL PARK RIGHT OF WAY FOR USE BY THE ILLINOIS CENTRAL RAILROAD AND PUBLIC UTILITIES; THENCE NORTHERLY ALONG THE WEST LINE OF SAID EAST 5 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, BEING ALSO THE EAST LINE OF THE CAROL STREAM INDUSTRIAL PARK RIGHT OF WAY FOR USE BY THE ILLINOIS CENTRAL RAILROAD AND PUBLIC UTILITIES, A DISTANCE OF 50.04 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID WEST LINE OF THE EAST 5 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, BEING ALSO THE EAST LINE OF THE CAROL STREAM INDUSTRIAL PARK RIGHT A WAY FOR USE BY THE ILLINOIS CENTRAL RAILROAD AND PUBLIC UTILITIES, A DISTANCE OF 730.38 FEET; THENCE EASTERLY AND PERPENDICULAR TO THE LAST

DESCRIBED COURSE, A DISTANCE OF 752.18 FEET; THENCE SOUTHERLY AND PARALLEL WITH SAID WEST LINE OF THE EAST 5 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, BEING ALSO THE EAST LINE OF THE CAROL STREAM INDUSTRIAL PARK RIGHT OF WAY FOR USE BY THE ILLINOIS CENTRAL RAILROAD AND PUBLIC UTILITIES, A DISTANCE OF 223.42 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT OF THE LAST DESCRIBED COURSE EXTENDED AND HAVING A RADIUS OF 267.000 FEET, A DISTANCE OF 123.49 FEET TO POINT OF TANGENCY; THENCE SOUTHWESTERLY ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, A DISTANCE OF 100.00 FEET TO A POINT OF CURVATURE; THENCE SOUTHERLY ALONG A CURVE TO THE LEFT OF THE LAST DESCRIBED COURSE EXTENDED AND HAVING A RADIUS OF 333.00 FEET, A DISTANCE OF 154.02 FEET TO A POINT TANGENCY; THENCE SOUTHERLY ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, A DISTANCE OF 124.74 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF FULLERTON AVENUE DEDICATED AS A PUBLIC ROAD BY DOCUMENT NO. R76-08480; THENCE WESTERLY ALONG THE NORTH RIGHT OF WAY LINE OF SAID FULLERTON AVENUE, A DISTANCE OF 645.00 FEET TO THE POINT OF BEGINNING, AS CONVEYED BY THE STANLEY WORKS, CONNECTICUT CORPORATION AND VAN DER MOLEN PROPERTIES ASSOCIATION, AN ILLINOIS PARTNERSHIP AN ILLINOIS PARTNERSHIP DATED MAY 7, 1981 AND RECORDED MAY 27, 1981 AS DOCUMENT NO. R81-27339, CASE NUMBER 04-05727.

SECTION 3:

The approval of the Special Use Permit granted in Section 1 herein is subject to the improvements being installed in accordance with the attached exhibits, including the Site Plan (Exhibit A, dated 7/14/11) and Tree Survey (Exhibit B, dated 6/27/11), and is also subject to the following conditions:

1. That screening slats in the fence must be replaced at locations where they are damaged or missing, and that slats must be added to the gates on the north and south sides of the building;
2. That leaning sections of chain link fence north of the building must be repaired;
3. The applicant must obtain a permit for the aboveground fuel tank from the Office of the State Fire Marshal;
4. That the automobile parking spaces must be striped in accordance with the Village's looped striping requirements;
5. That modifications must be made, subject to an approved Village permit, to the northernmost driveway off of Kimberly Drive to include a reduction in the width of the apron and the extension of the new landscape island as part of the apron work;

6. That a "One-Way Do Not Enter" sign must be installed at the south end of this one-way drive aisle to prevent motorists from enter this drive aisle going in the wrong direction;

7. That the applicant must coordinate the payment of vehicle licenses with the Village's Finance Department on an annual basis;

8. That the dead or dying shrubs at the north end of the north automobile parking lot must be removed and replaced with healthy landscape materials;

9. That trees identified for removal on the Tree Survey (Exhibit B) must be replaced in cases where doing so would improve the screening of on-site activities;

10. That lighting for the parking lot and bus storage areas must be provided in accordance with the requirements of the Village Code;

11. That the applicant must coordinate with all applicable agencies, including the Illinois Environmental Protection Agency, regarding any and all permits necessary to operate the proposed use; and

12. That the facility must comply with all state, county, and Village codes and requirements.

SECTION 4:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 5:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 1st DAY OF AUGUST, 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

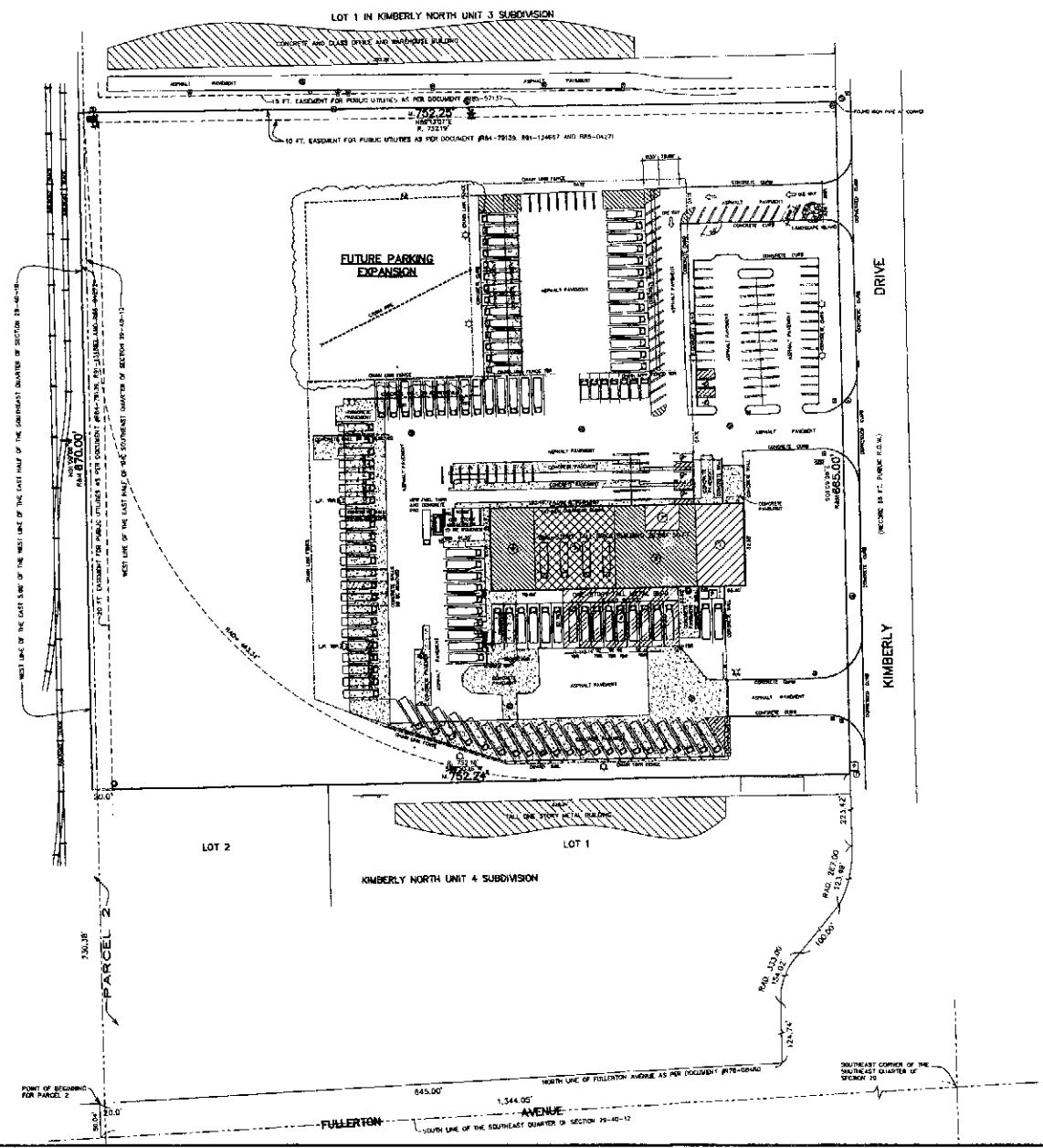
ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner/party in interest of the property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the subject property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit.

Date

Owner/Party In Interest



PARKING TABULATION	
12' x 45' BUS PARKING SPACES	85
12' x 45' COVERED PARKING SPACES	5
12' x 30' TRIM BUS PARKING SPACES	1
TOTAL BUS PARKING SPACES	91
12' x 18' LOCATED CAR PARKING SPACES	00
HANDICAP ACCESSIBLE PARKING SPACES	5
TOTAL PARKING SPACES PROVIDED	96

BUILDING OCCUPANCY AREAS	
OFFICE SPACE	1354 SF.
DRIVER BREAKROOM	386 SF.
MAINTENANCE SERVICE BAYS	6380 SF.
COVERED BUS PARKING AREA	6,660 SF.
UNOCCUPIED STORAGE / BARNHOUSE	9483 SF.
TOTAL	17,863 SF.

PROJECT NO. 1123
DATE 6-25-11
REVISED 7-14-11

ILLINOIS CENTRAL SCHOOL BUS COMPANY
640 KUMBERLY DRIVE, CAROL STREAM, IL

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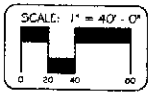
Exhibit A

C1.00

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WINGREN LANDSCAPE
 A LANDSCAPE ARCHITECTURE FIRM
 6125 Walnut Ave., Downers Grove, IL 60515 / TEL: 630.759.8103

Illinois Central School Bus
 640 Kimberly Dr.
 Carol Stream, IL



PROJECT NO: P000

DRAWN BY: M1

DATE: 6.27.2011

REVISIONS:

TREE SURVEY

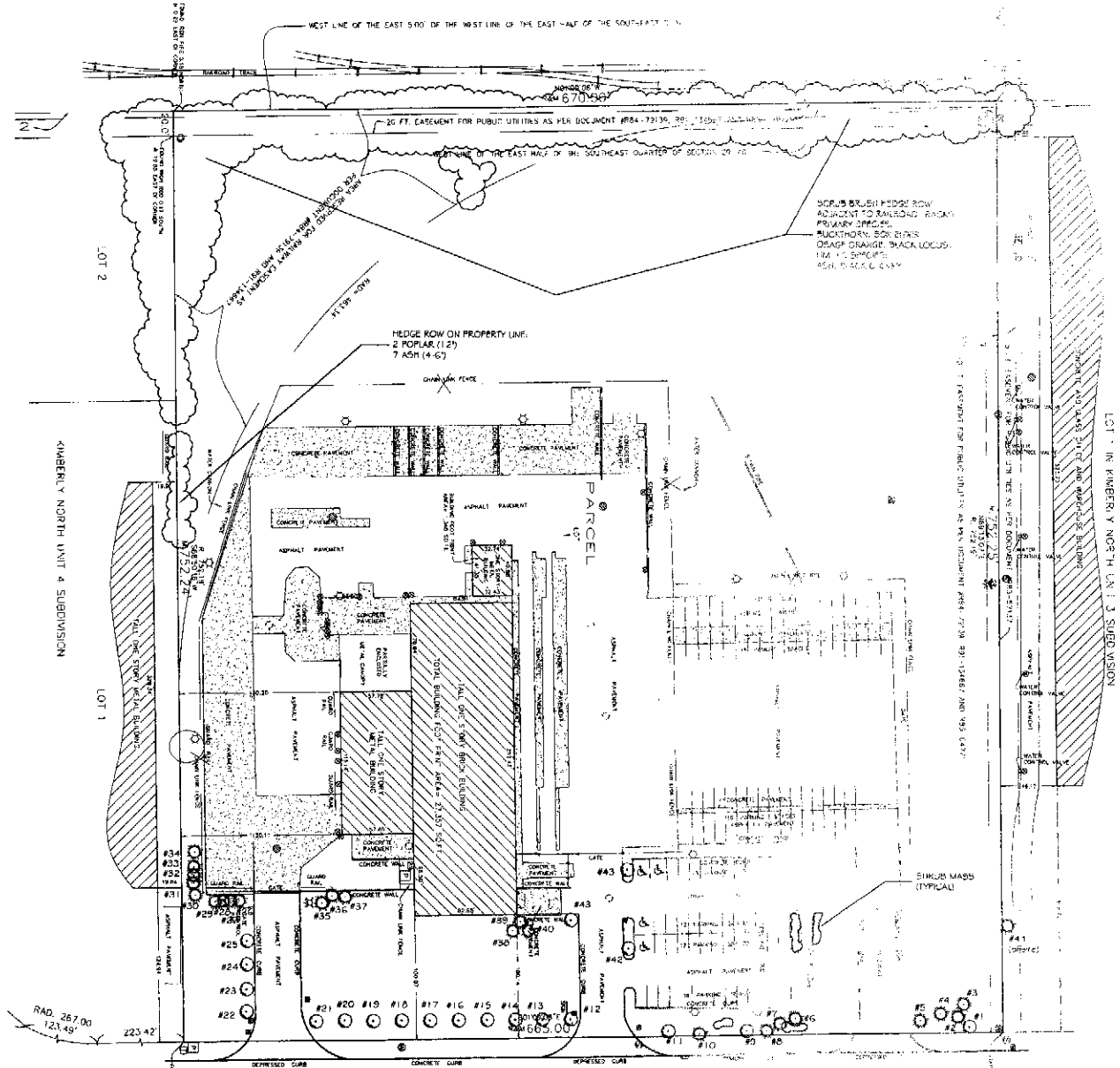
SHEET NO:
 L1.0

LEGEND
 ○ EXISTING DECIDUOUS TREE
 ● EXISTING EVERGREEN TREE

INDEX	SP/PLANT/COMMON	COMMON NAME	SIZE (DBH)	CONDITION	RECOMMENDATIONS
1	Prunus americana	White Ash	10"	Fair	Remove
2	Pinus strobus	Scotch Pine	10"	Dead	Remove
3	Pinus strobus	Scotch Pine	12"	3/4 dead	Remove
4	Pinus strobus	Scotch Pine	13"	Dead	Remove
5	Pinus strobus	Scotch Pine	10"	Dead	Remove
6	Pinus strobus	Scotch Pine	10"	Dead	Remove
7	Pinus strobus	Scotch Pine	10"	Dead	Remove
8	Pinus strobus	Scotch Pine	8"	Dead	Remove
9	Pinus strobus	Scotch Pine	8"	Good/Fair	Remove
10	Pinus strobus	Scotch Pine	12"	Dead	Remove
11	Abies balsamea	White Pine	7"	Good	Remove
12	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
13	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
14	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
15	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
16	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
17	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
18	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
19	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
20	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
21	Quercus laevis	Hawthorn	14"	Good/Fair	See out canopy
22	Tilia americana	Honeylocust	14"	Good/Fair	See out canopy
23	Tilia americana	American Linden	8"	Fair	Remove
24	Tilia americana	American Linden	8"	Fair	Remove
25	Tilia americana	American Linden	8"	Fair	Remove
26	Pinus strobus	Scotch Pine	8"	Good	Remove
27	Pinus strobus	Scotch Pine	8"	Dead	Remove
28	Pinus strobus	Scotch Pine	8"	Fair	Remove
29	Pinus strobus	Scotch Pine	8"	Fair	Remove
30	Pinus strobus	Scotch Pine	10"	Good	Remove
31	Pinus strobus	Scotch Pine	10"	Good	Remove
32	Pinus strobus	Scotch Pine	10"	Good	Remove
33	Pinus strobus	Scotch Pine	10"	Good	Remove
34	Pinus strobus	Scotch Pine	10"	Good	Remove
35	Pinus strobus	Scotch Pine	10"	Good	Remove
36	Pinus strobus	Scotch Pine	10"	Good	Remove
37	Pinus strobus	Scotch Pine	10"	Good	Remove
38	Pinus strobus	Scotch Pine	10"	Good	Remove
39	Pinus strobus	Scotch Pine	10"	Good	Remove
40	Pinus strobus	Scotch Pine	10"	Good	Remove
41	Magnolia	Magnolia	8" Clump	Good	Remove
42	Quercus laevis	Hawthorn	7"	Good	Remove
43	Pinus strobus	Scotch Pine	7"	Good	Remove
44	Pinus strobus	Scotch Pine	5"	Good	Remove

Exhibit B

LAND TITLE SURVEY PREPARED BY GREMLEY & BIEDERMANN.
 TREE SURVEY PREPARED BY WINGREN LANDSCAPE



KIMBERLY

(RECORD 88 91, PUBLIC R.O.W.)

CPINE

ORDINANCE NO. 2011-08-___

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW
OUTDOOR ACTIVITIES AND OPERATIONS AND A STRUCTURE EXCEEDING
50 FEET IN HEIGHT IN THE I INDUSTRIAL ZONING DISTRICT
(TEMPLE-INLAND CORPORATION, 139 FULLERTON AVENUE)**

WHEREAS, Brad Wood of Northern Builders, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit to allow outdoor activities and operations in the form of outdoor equipment installation and for a structure exceeding 50 feet in height in the I Industrial Zoning District, as provided in Sections 16-10-2(B)(4) and (14) of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 139 Fullerton Avenue, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals at a regular meeting thereof, held a public hearing on the above petition on July 25, 2011, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that a Special Use Permit be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village, after examining the Petition for a Special Use and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

5. Will provide adequate utilities, access roads, drainage, and other important and necessary community facilities.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees.

SECTION 2:

A Special Use Permit is hereby approved and granted, subject to the conditions set forth in Section 3, to allow outdoor activities and operations and a structure exceeding 50 feet in height (the rooftop mounted cyclone baler) upon the real estate commonly known as 139 Fullerton Avenue, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN JAY C. BENNETT, SR. – COUNTY CLERK CROWN ZELLERBACH CORPORATION ASSESSMENT PLAT, IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 12, 1985, AS DOCUMENT R85-17204 IN DUPAGE COUNTY, ILLINOIS

SECTION 3:

The approval of the Special Use Permit granted in Section 1 herein is subject to the improvements being installed in accordance with the attached exhibits, including the Geometric Plan (Exhibit A, dated 6/28/11), Cyclone Baler Schematic (Exhibit B), Line of Sight Study (Exhibit C, dated 6/21/11), Ground Sign Detail (Exhibit D, dated 7/6/11) and the Sign Area Landscape Plan (Exhibit E, dated 7/18/11), and is also subject to the following conditions:

1. That the cyclone baler shall be painted to match the color of the building;
2. That the required building permits must be received prior to the installation of the ground sign and cyclone baler;
3. That the landscape materials shall be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis; and
4. That the business and property shall be operated and maintained in accordance with all applicable state, county and village codes and requirements.

SECTION 4:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by

the owners or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 5:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 1st DAY OF AUGUST, 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

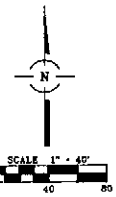
ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner/party in interest of the property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the subject property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit.

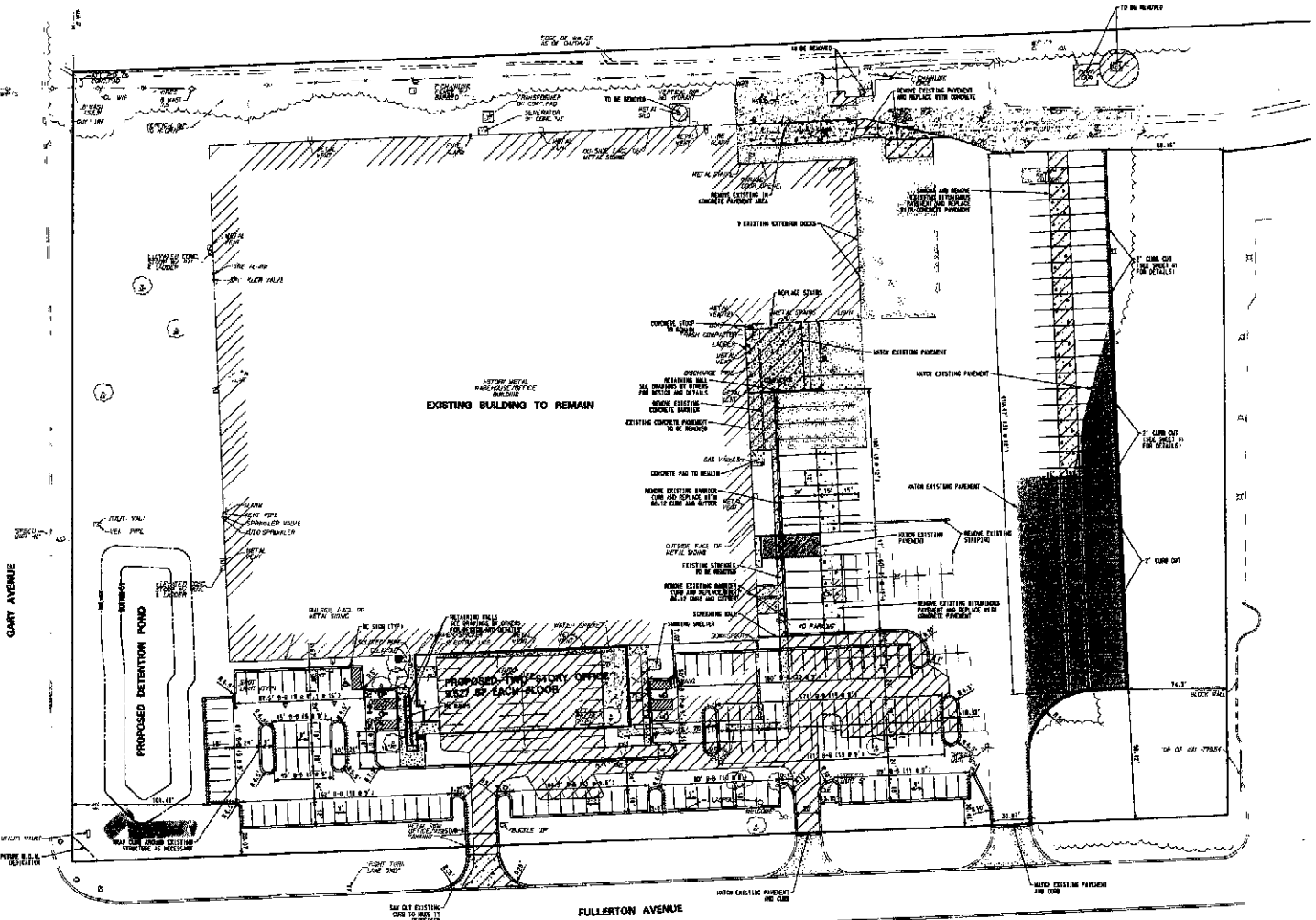
Date

Owner/Party In Interest



- LEGEND**
- EXISTING PAVEMENT/SUBGRADE TO BE REINFORCED
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - STANDARD PAVEMENT
 - PROPOSED SIDEWALK
 - PROPOSED 6 IN. CURB AND GUTTER, REVERSE PITCH
 - PROPOSED 6 IN. CURB AND GUTTER, STANDARD PITCH
 - DEPRESSED CURB

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. SEE SHEET TS FOR PAVEMENT SECTIONS.
 3. SEE ARCHITECTURAL PLANS BY HANDEE ARCHITECTS FOR DESIGN AND DETAILS OF BUILDING REVISIONS.
 4. ALL PAVEMENT SHALL BE STRIPPED IN ACCORDANCE WITH CORA STRIPPING TOLERANCE MAPS/DETAIL, WHICH CAN BE FOUND ON SHEET DI.
 5. ALL CURB GAMP TRUNCATED CORNERS SHALL BE IN A CONTRASTING COLOR TO THE SURROUNDING AREA.
 6. STRIPING FOR ALL ACCESSIBLE STALLS SHALL BE OF A HIGH QUALITY YELLOW PAVEMENT STRIPING PAINT.



NO.	DATE	REVISIONS

NO.	DATE	REVISIONS
1	06/27/11	PARKING STALLS ELIMINATED
NO.	DATE	REVISIONS

GEOMETRIC PLAN
TEMPLE - INLAND
139 E FULLERTON AVENUE
COROL STREAM LUNDS

CONSULTING ENGINEER
 SHERMAN BREWER & ASSOCIATES
 ARCHITECTS
 905 W. Hollywood Blvd., Suite 200
 Los Angeles, CA 90048
 Phone: (818) 941-6400 Fax: (818) 941-6400



SPACECO INC.

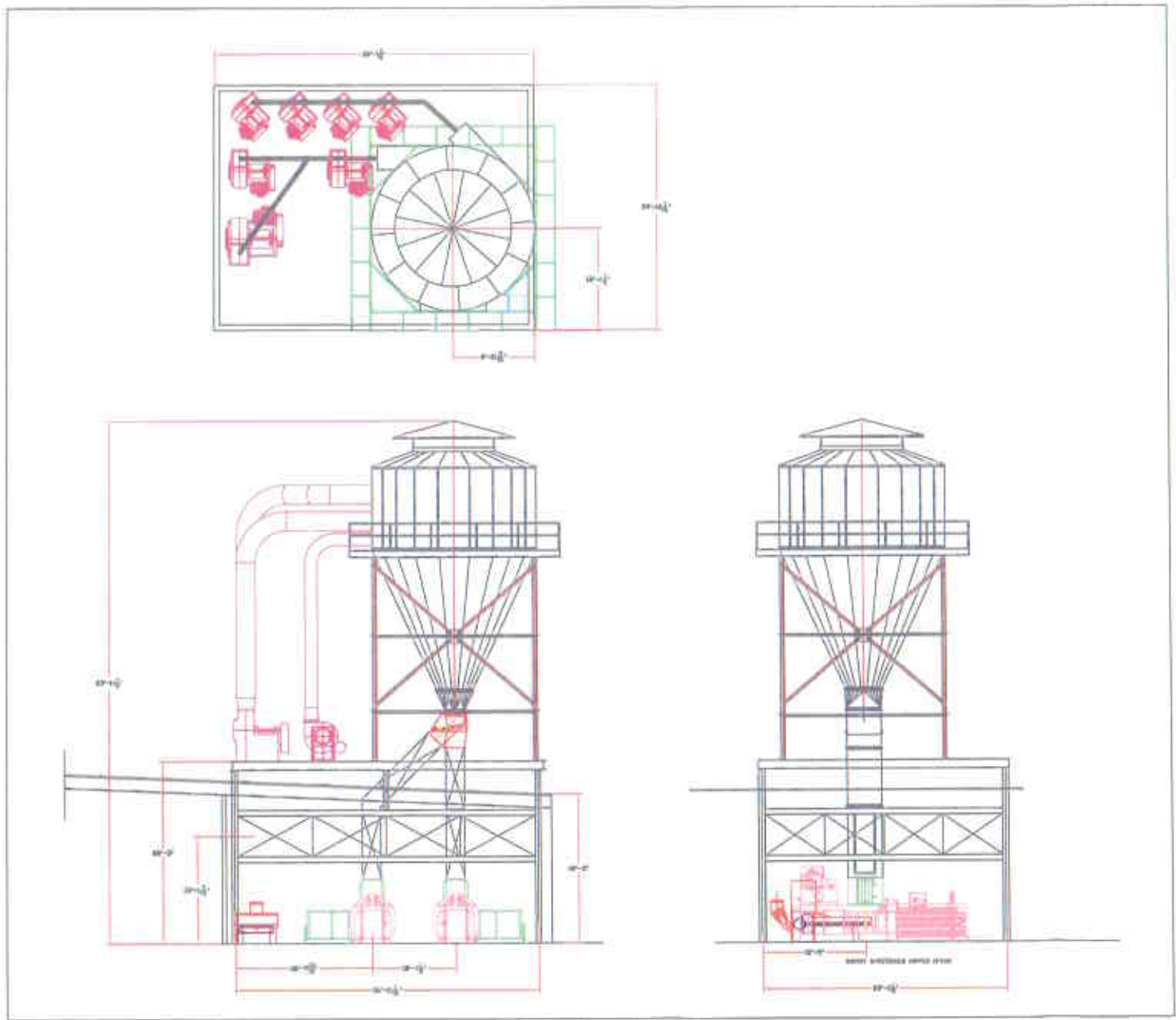
FILE NAME:
 47520401.DWG

DATE:
 08/15/11

JOB NO.
 4752

SHEET
 L1
 4 OF 12

Exhibit A



11/11/11

Exhibit B

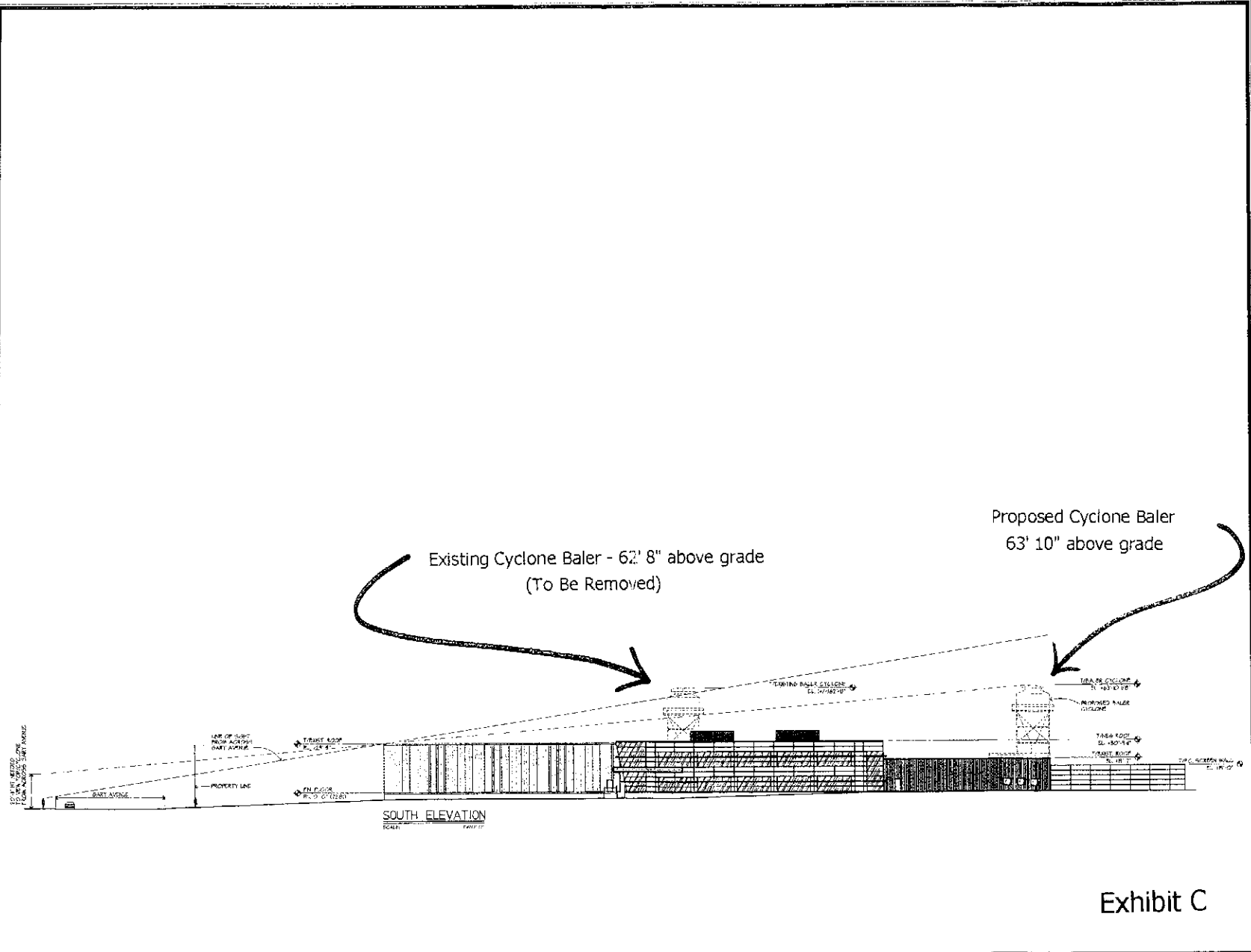


Exhibit C

northern
 Engineering - Charlotte, N.C.
 5230 River Road, Suite 100A, Charlotte, NC 28203
 704.375.5000

HARRIS ASSOCIATES, INC.
 ARCHITECTS
 1000 W. WILSON AVENUE, SUITE 200
 CHARLOTTE, NC 28203
 704.375.5000

OFFICE AND WAREHOUSE RENOVATION
TEMPLE INLAND
 151 PILLETTON AVE. CANDLER, STREAM, ILLINOIS

SCALE: 1/8" = 1'-0"
 DATE: 11/17/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: LOS1

Design: Fabrication, Installation, Maintenance
1435 Broadway Drive, Carol Stream, Illinois, 60158
Tel: 630-510-2874 Fax: 630-510-2874
e-mail: sign@parvinclaus.com
website: www.parvinclaus.com

PROJECT:

northern
NORTHERN BUILDERS INC.
Temple-Inland
139 E. Fullerton Ave.
Carol Stream, IL

CUSTOMER APPROVAL:

AUTHORIZED SIGNATURE _____

DATE _____

LANDLORD APPROVAL:

AUTHORIZED SIGNATURE _____

DATE _____

REPRESENTATIVE:

Lisa Vohlt

DRAWN BY: Don Blanton

DATE: 07.06.11

SCALE: 1/2"=1'

SHEET #: 1 of 3

DESIGN ORDER #: 64359

FILE NAME: NB\64359

REVISIONS:

1 _____

2 _____

3 _____

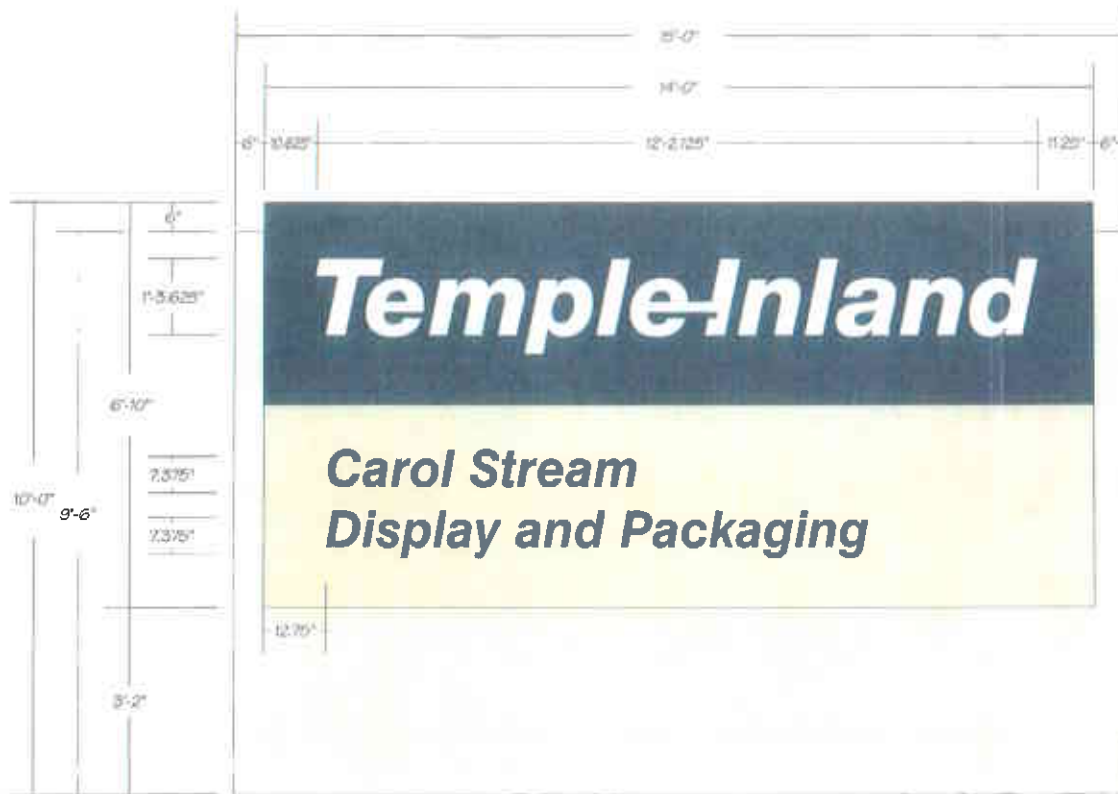
4 _____

5 _____

6 **Exhibit D** _____

7 _____

8 _____



6'-10" x 14'-0" Double Face Non-Illuminated Monument Sign (10'-0" x 15'-0" x 1'-7" Deep Overall)

Sign Panels - 6'-10" x 14'-0" x 4" Deep Fabricated .125" Aluminum Panels Painted Temple-Inland Gray Green (PMS #5615)

& Temple-Inland Pine (PMS #614).

Header Copy - HP White Vinyl, Location Copy - HP Vinyl Painted Temple-Inland Gray Green (PMS #5615).

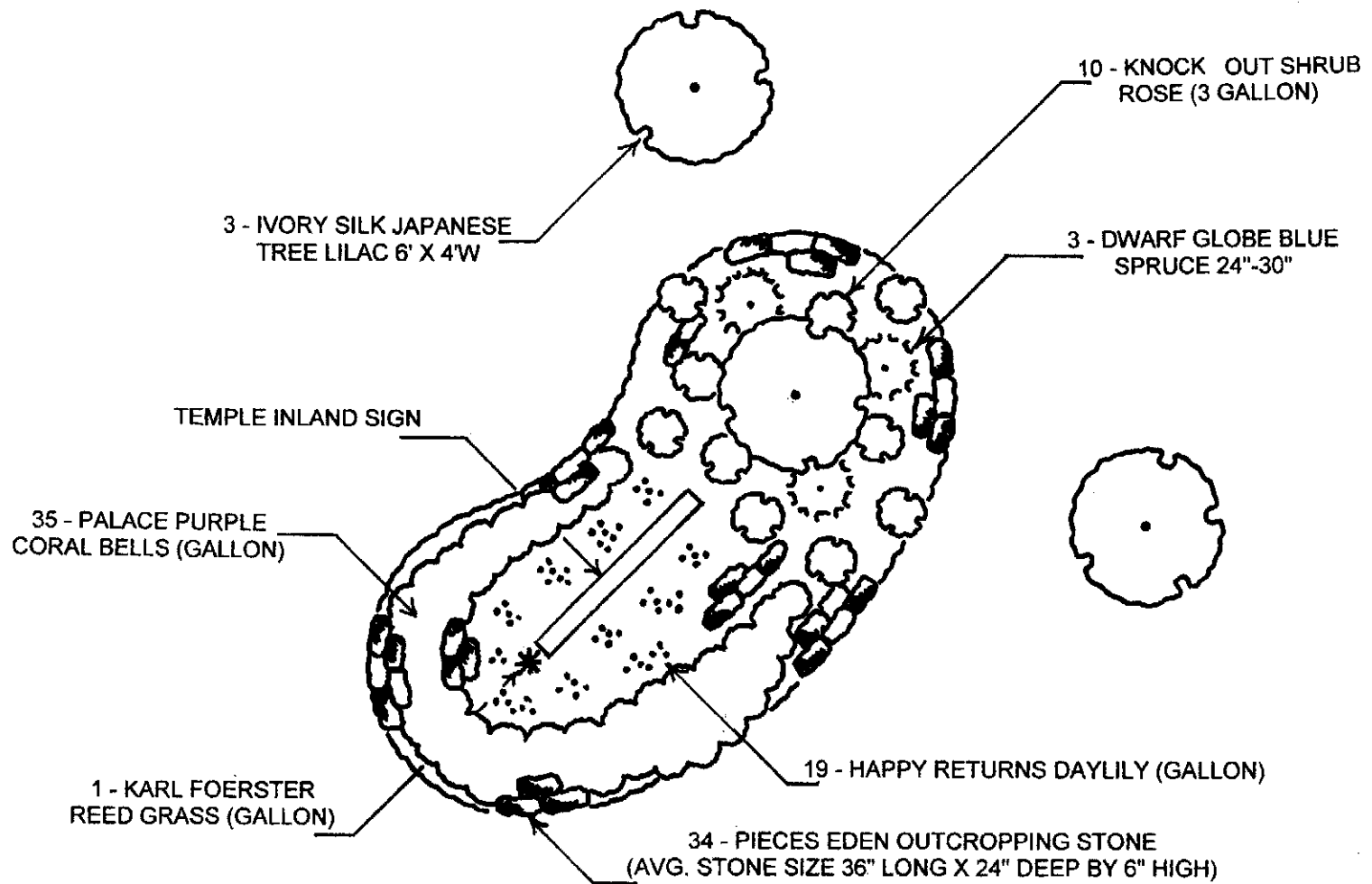
2" Fabricated Aluminum Reveal Painted Temple-Inland Pine (PMS #614)

Main Support Structure - Fabricated .125" Aluminum Painted Temple-Inland Khaki (PMS #5807).

Twin Column Mount - (2) 6x6 Square Steel Column Set in 2'-0" Diameter x 5'-0" Deep Concrete Foundations.



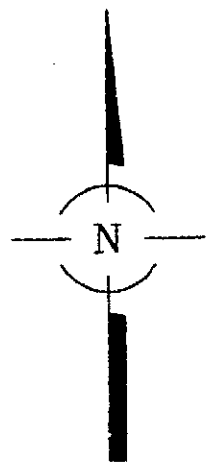
"This document is owned by, and the information contained in it is proprietary to, Parvin-Claus Sign Company. By receipt hereof the holder agrees not to use the information, disclose it to any third party, nor reproduce the document without the prior written consent of Parvin-Claus Sign Company. Holder also agrees to immediately return document upon request of Parvin-Claus Sign Company." © Copyright 2011 by Parvin-Claus Sign Company



TEMPLE-INLAND MONUMENT SIGN

139 E. FULLERTON AVENUE
CAROL STREAM, ILLINOIS

SCALE: 1/8"=1' DATE: JULY 18, 2011 DRAWN BY: CJD



AGENDA ITEM

H-3 8-1-2011

ORDINANCE NO. 2011-08-__

AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW AN OUTDOOR SEATING AREA ANCILLARY TO A RESTAURANT AND AN AMENDMENT TO AN APPROVED PLANNED UNIT DEVELOPMENT PLAN IN THE B-2 ZONING DISTRICT (BULLDOG ALE HOUSE, 1021 FOUNTAIN VIEW DRIVE)

WHEREAS, Fekrije Limani, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit to allow an outdoor seating area ancillary to a restaurant and for an amendment to an approved planned unit development plan in the B-2 Zoning District, as provided in Sections 16-9-3(C)(16) and (17) and Section 16-16-5 of the Carol Stream Code of Ordinances, on the property legally described in Section 1 herein and commonly known as 1021 Fountain View Drive, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals at regular meetings thereof, held a public hearing on the above petition on May 9 and June 13, 2011, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that a Special Use Permit and an amendment to an approved planned unit development plan be denied; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use with the Mayor and Board of Trustees; and

WHEREAS, the Board of Trustees have duly considered said Findings and Recommendations, and by supermajority vote have overturned the recommendation of the Combined Plan Commission/Zoning Board of Appeals and determined that the petition for a Special Use Permit and an amendment to an approved planned unit development plan be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village, after examining the Petition for Special Uses and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit and amendment to an approved Planned Unit Development Plan:

1. Are deemed necessary for the public convenience at the location.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

5. Will provide adequate utilities, access roads, drainage, and other important and necessary community facilities.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees.

SECTION 2:

A Special Use Permit and an amendment to an approved Planned Unit Development Plan are hereby approved and granted, subject to the conditions set forth in Section 3, to allow an outdoor seating area ancillary to a restaurant in the B-2 Zoning District upon the real estate commonly known as 1021 Fountain View Drive, Carol Stream, Illinois, and legally described as follows:

Lot G in the Fountains at Town Center Subdivision, being a subdivision of part of the southeast quarter of the southwest quarter of Section 20, Township 40 North, Range 10 East of the Third Principal Meridian, in DuPage County, Illinois (Document #R2005-042015)

SECTION 3:

The approval of the Special Use Permit and amendment to an approved Planned Unit Development Plan granted in Section 1 herein are subject to the following conditions:

1. That all improvements shall be constructed and completed in accordance with plans attached hereto as Exhibit A;

2. That the relocated handicapped accessible parking stall, and all required accessible ramps, must be provided in accordance with the requirements of the Illinois Accessibility Code;

3. That no live, amplified entertainment shall be permitted outdoors unless permit approval is granted by the Village's Administration Department;

4. That amplified sound for the patio area shall be controlled by facility management, shall be turned off no later than 10:00 p.m. every evening, and shall be maintained at a volume level that is not audible at the property line from any adjacent or surrounding residential properties;

5. That the content of television programming for the exterior televisions shall be strictly controlled by facility management;

6. That the egress gates from the patio shall be installed, located, operated and maintained in accordance with all applicable Code requirements;

7. That the fire pit shall be gas-fueled only, shall be covered, and shall be operated only by facility management;

8. That customers wishing to enter or leave the patio area must do so through the main entrance into Bulldog Ale House, with no direct access to or from the exterior of the patio;

9. That the petitioner shall ensure that employees of the Bulldog Ale House park only in the 9-foot wide spaces at the east end of the parking lot,

10. That the petitioner shall employ his best efforts to relocate the plants in the parking lot islands which are to be removed, and shall replace dead or dying plants;

11. That the cost of all improvements associated with the proposed outdoor seating area, including but not limited to the parking lot modifications necessary to relocate an existing handicap-accessible parking space and create four replacement parking spaces, shall be borne in full by the owners of the Bulldog Ale House;

12. That the construction of all parking lot modifications, including the four replacement parking spaces, must be fully completed, inspected and approved by the Village before the Village shall issue a certificate of occupancy for the patio; and

13. That the construction and operation of the facility shall comply with all state, county and Village codes and requirements.

SECTION 4:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 5:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 1st DAY OF AUGUST, 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner/party in interest of the property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the subject property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit.

Date

Owner/Party In Interest

DRAWING INDEX

TOP SHEET: TITLE SHEET
SECOND SHEET: ISOMETRIC
SHEET #1: AMENDED / FINAL P.U.D. PLAN
SHEET #1-A: ENLARGED / FINAL P.U.D. PLAN (PARTIAL)
SHEET #2: PATIO & ENLARGED PATIO PLAN
SHEET #3: EXISTING OCCUPANCY & EGRESS
SHEET #4: FOUNDATION / ELEVATIONS

BUILDING CONSTRUCTION TYPE

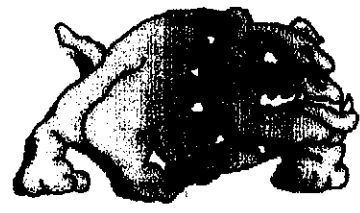
EXISTING OCCUPANCY - RES.
OCCUPANCY TYPE: A-3 OCCUPANCY LOAD: 80

APPLICABLE CODES

1. INTERNATIONAL BUILDING CODE - 2006 EDITION
2. NATIONAL ELECTRICAL CODE (NFPA 70) - 2008 EDITION
3. ILLINOIS PLUMBING CODE - CURRENT EDITION (2004)
4. INTERNATIONAL MECHANICAL CODE - 2006 EDITION
5. INTERNATIONAL FIRE CODE - 2006 EDITION
6. INTERNATIONAL RESIDENTIAL CODE - 2006 EDITION
7. INTERNATIONAL PROPERTY MAINTENANCE CODE - 2006 EDITION
8. INTERNATIONAL FUEL GAS CODE - 2006 EDITION
9. INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION
10. 2000 LIFE SAFETY (NFPA 101 - LSC)
11. CURRENT ACCESSIBILITY CODE (IAC)

IN CASE OF CONFLICT BETWEEN THE CODES, THE MOST RESTRICTIVE SHALL APPLY.

BULL DOG ALE HOUSE



1021 FOUNTAIN VIEW
CAROL STREAM, ILL.

JUL 26 2011

EXHIBIT A
Sheet 1 of 7
TITLE SHEET

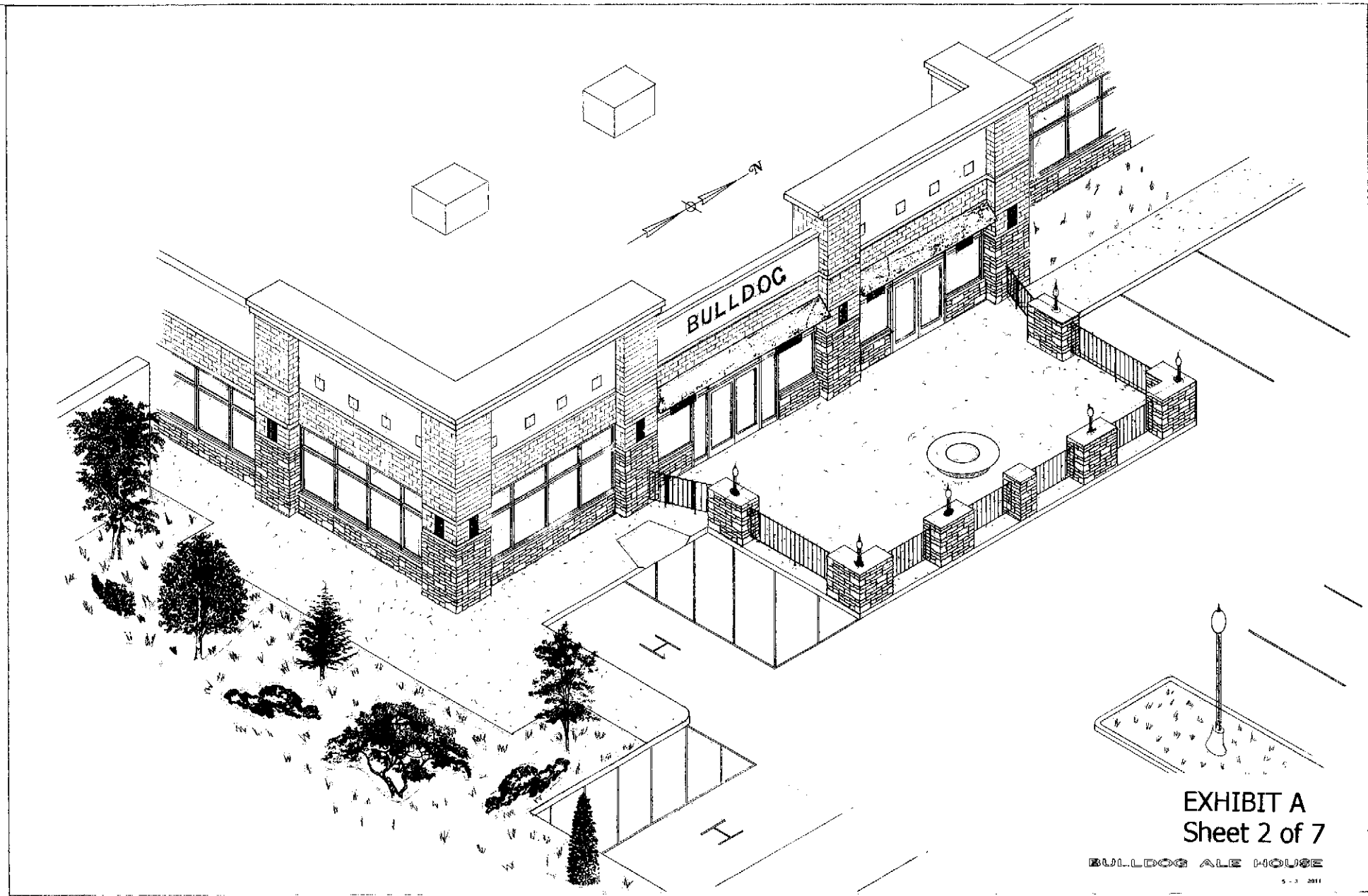


EXHIBIT A
Sheet 2 of 7

BULLDOG ALE HOUSE

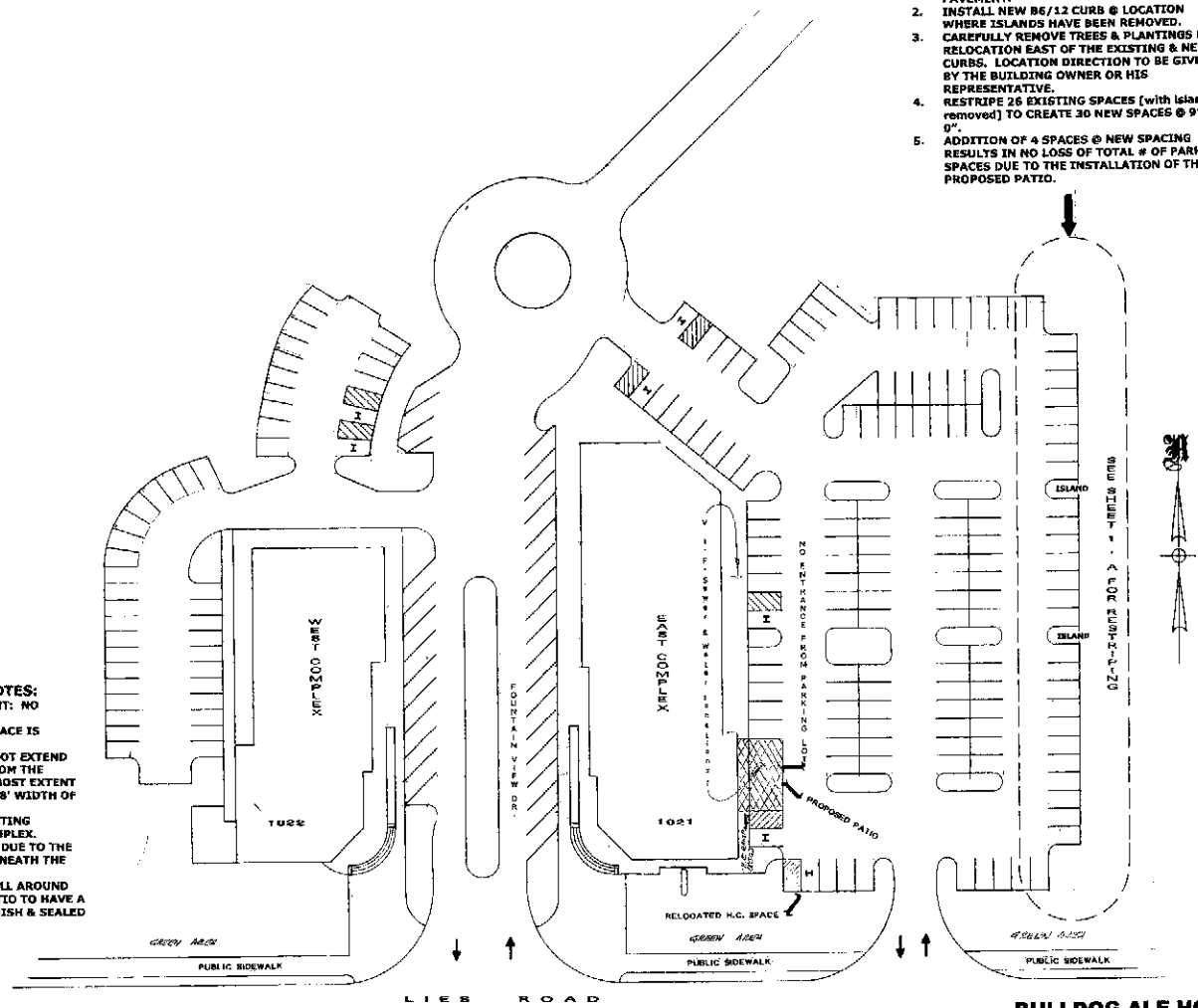
5-3-2011

DEMO/RESTRIPE/LANDSCAPE NOTES:

1. REMOVE 2 ISLANDS & PATCH ASPHALT IN THE SAME DESIGN AS THE EXISTING ASPHALT PAVEMENT.
2. INSTALL NEW 86/12 CURB @ LOCATION WHERE ISLANDS HAVE BEEN REMOVED.
3. CAREFULLY REMOVE TREES & PLANTINGS FOR RELOCATION EAST OF THE EXISTING & NEW CURBS. LOCATION DIRECTION TO BE GIVEN BY THE BUILDING OWNER OR HIS REPRESENTATIVE.
4. RESTRIPE 26 EXISTING SPACES (with islands removed) TO CREATE 30 NEW SPACES @ 9' - 0".
5. ADDITION OF 4 SPACES @ NEW SPACING RESULTS IN NO LOSS OF TOTAL # OF PARKING SPACES DUE TO THE INSTALLATION OF THE PROPOSED PATIO.

AMENDED P.U.D. GENERAL NOTES:

1. EXISTING PARKING SPACE COUNT: NO CHANGE.
2. RELOCATION OF 1 HANDICAP SPACE IS SHOWN.
3. PATIO MASONRY PIERS SHALL NOT EXTEND BEYOND THE 24' DIMENSION FROM THE BUILDING LINE TO THE OUTER MOST EXTENT OF THE PARKING SPACE & THE 38' WIDTH OF THE 4 EXISTING SPACES.
4. MINIMAL REMOVAL OF THE EXISTING SIDEWALK @ WEST SIDE OF COMPLEX. SPECIAL CARE IN THE REMOVAL DUE TO THE FACT WATER & SEWER LINES BENEATH THE SURFACE.
5. A 6" CURB WILL BE PROVIDED ALL AROUND THE 3 SIDES OF THE PATIO. PATIO TO HAVE A HARD TROWEL WITH BRUSH FINISH & SEALED WITH A CONCRETE SEALER.



AMENDED PRELIMINARY/FINAL P.U.D. PLAN
NO SCALE

BULLDOG ALE HOUSE
1021 Fountain View Dr.
Carol Stream, Illinois

EXHIBIT A
Sheet 3 of 7

BULLDOG ALE HOUSE

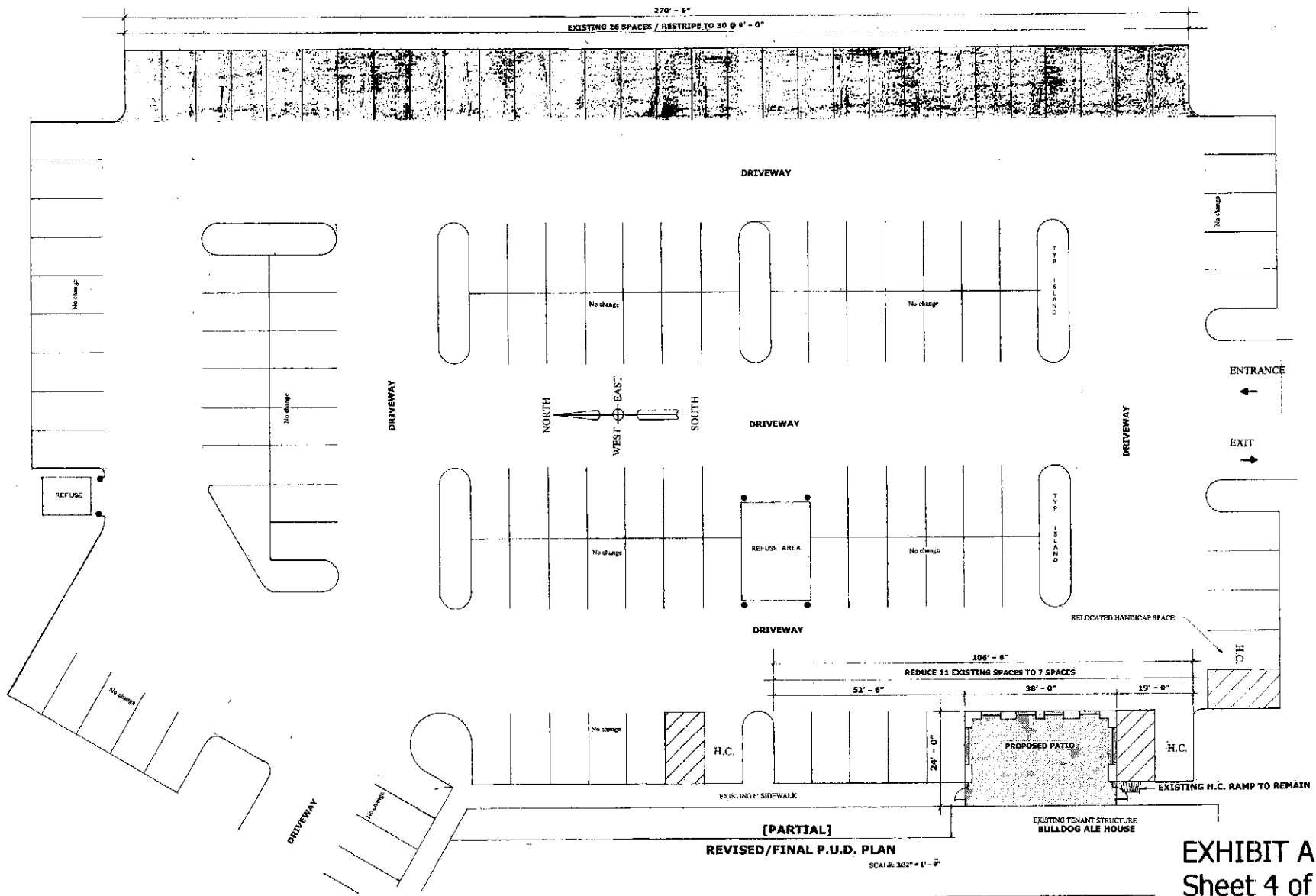
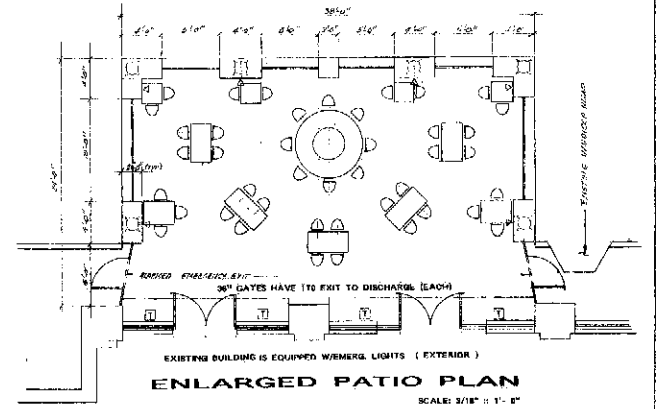
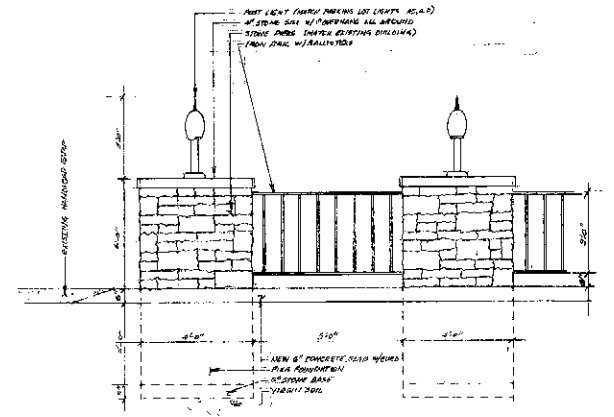
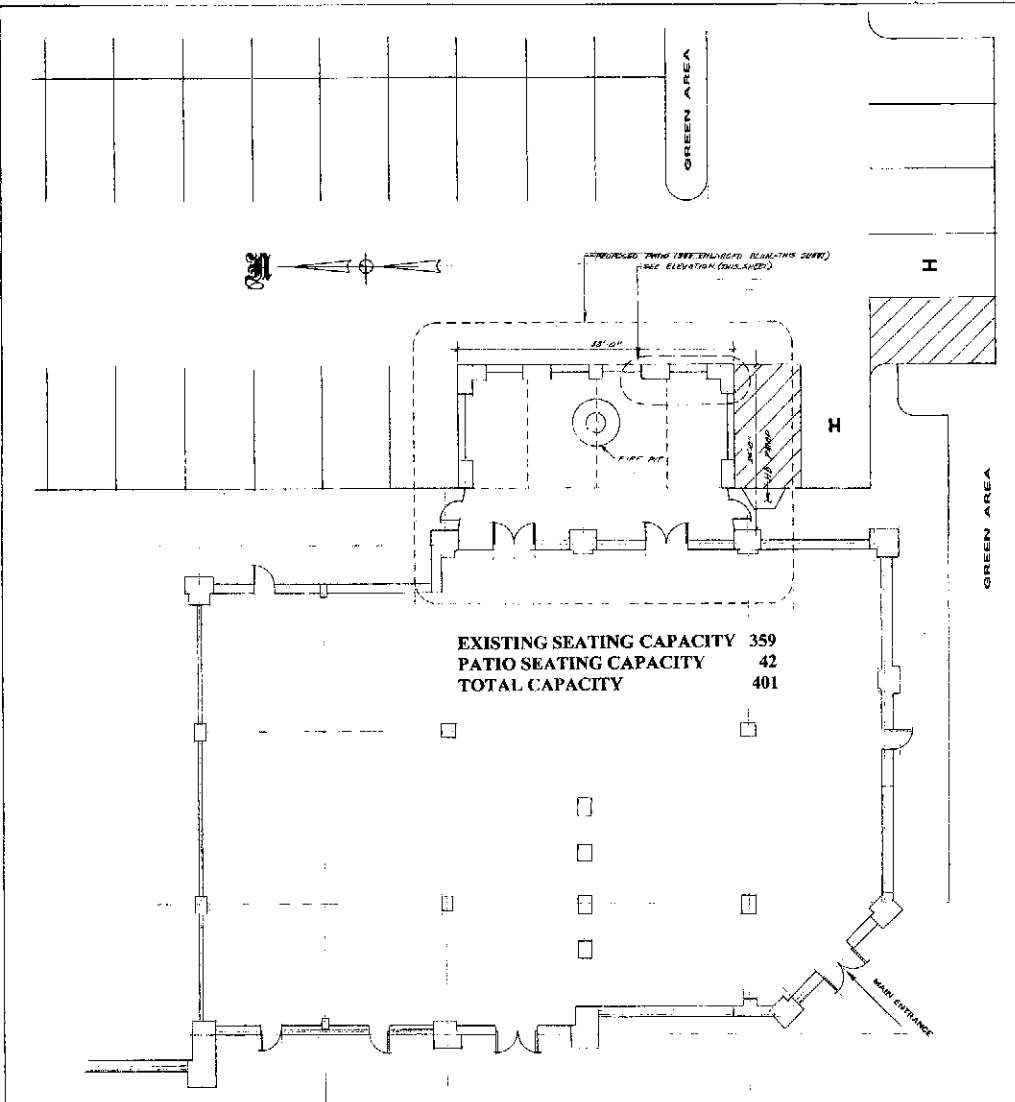
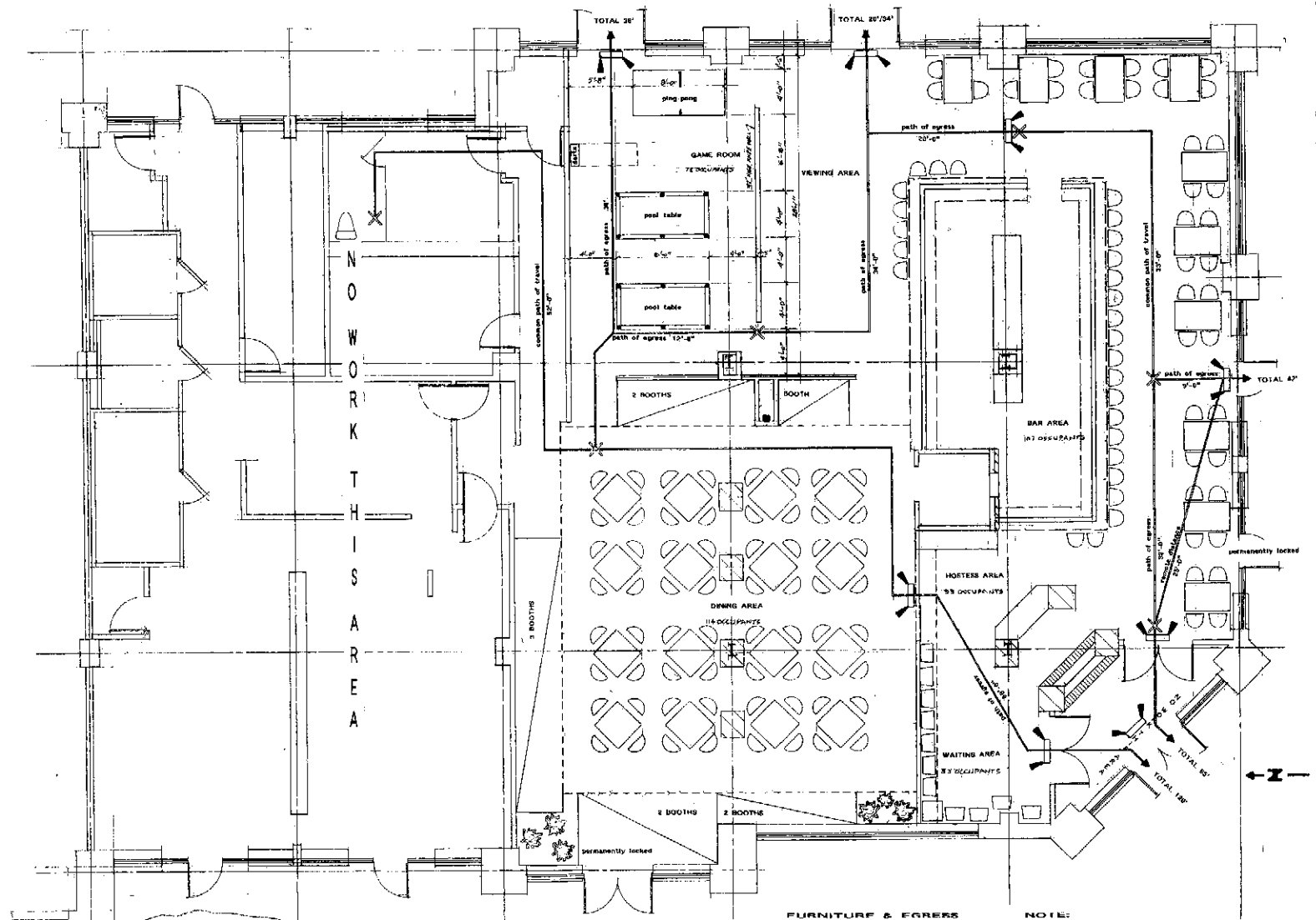


EXHIBIT A
Sheet 4 of 7



- ☐ POLE MOUNTED PIER LIGHT
- ▷ EMBEDDED MUSIC SPEAKER
- ⊞ TELEVISION

BULLDOG ALE HOUSE
 1021 Fountain View Dr.
 Carol Stream, Illinois

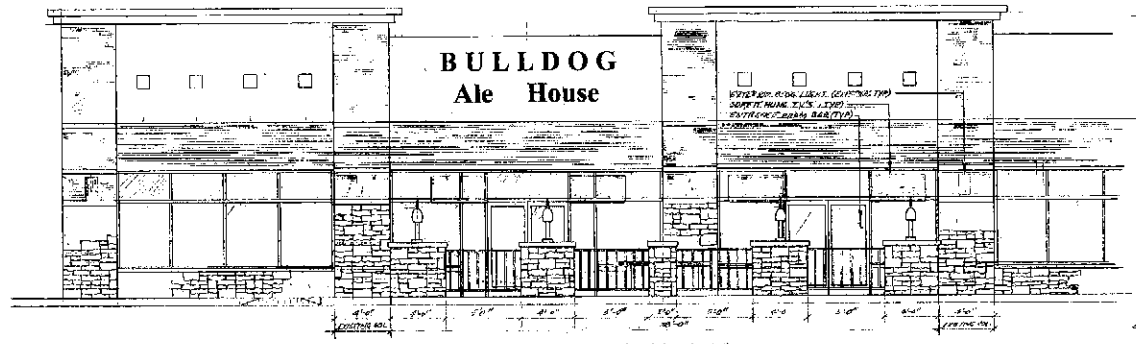


NO EXIT
EXIT @ MAIN ENTRANCE
SIGN TO HAVE DIRECTIONAL ARROW
LOCKED DOOR SIGNAGE

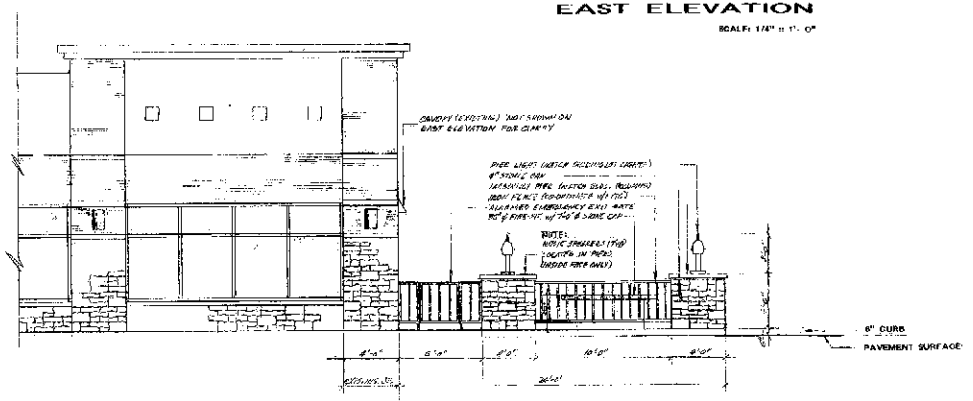
"BULL DOG ALE HOUSE"
1021 FOUNTAIN VIEW
CAROL STREAM, ILLINOIS

FURNITURE & EGRESS
FLOOR PLAN
SCALE: 1/8" = 1'-0"

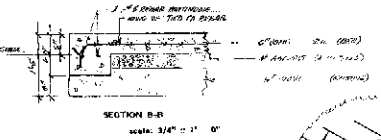
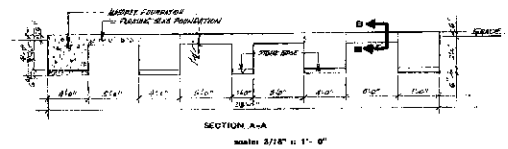
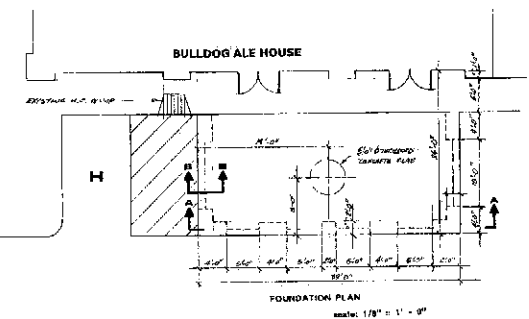
NOTE:
77' DOORS HAVE 340 EXIT DISCHARGE
26' DOORS HAVE 170 EXIT DISCHARGE
TOTAL OCCUPANCY 358
FIRE ALARM PULL STATION LOCATED @ SW CORNER NORTH END OF 1021 ADDRESS LOCATE



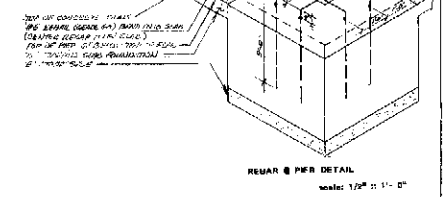
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 3/4" = 1'-0"



REAR B PIER DETAIL
SCALE: 1/2" = 1'-0"

BULLDOG ALE HOUSE
1021 Fountain View Dr.
Carol Stream, Illinois

EXHIBIT A
Sheet 7 of 7

AGENDA ITEM

H-4 8-1-2011

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 8, ARTICLE 6 OF THE CAROL STREAM TRAFFIC CODE – PARKING SCHEDULES

BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, that Chapter 8 Article 6, of the Traffic Code as amended, be further amended as follows:

SECTION 1: That Chapter 8, Article 6, Schedule III (Stopping, Standing, Parking Prohibited: Signs Required) of the Traffic Code be amended to remove the following streets:

<u>STREET</u>	<u>LOCATION</u>
Idaho Street	Both sides of street, 20 feet north and 20 feet south of the school crosswalk located north of Elk Trail.
Idaho Street	West side, 30 feet north and south of Western Trails School north parking lot driveway exit.

SECTION 2: That Chapter 8, Article 6, Schedule III (Stopping, Standing, Parking Prohibited: Signs Required) of the Traffic Code be amended to add the following street:

<u>STREET</u>	<u>LOCATION</u>
Idaho Street	West side of street, from 50 feet north of Western Trails School north property lot exit, to 50 feet south of Western Trails School south parking lot entrance.

SECTION 3: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, and the posting of the required signs in keeping with this Ordinance.

PASSED AND APPROVED THIS 1st DAY OF AUGUST, 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: William N. Cleveland, Assistant Village Engineer *WNC*
DATE: July 25, 2011
RE: No Parking on Idaho St. Ordinance Changes
for the Western Trails School

As part of the ordinance changes to the school speed zones enacted in February of this year and school crosswalk location changes made at Western Trails School this spring, parking restrictions were to be evaluated on the west side of Idaho to give better visibility to the crossing guard and drivers on Idaho. School officials, crossing guards and police staff have agreed that the new school crosswalk improves safety.

Last week, Public Works staff painted over the old crosswalks and relocated or removed old crosswalk signs to reflect the new pavement markings. Since this is a "mid-block" cross walk, parking adjacent to the crossing needs to be prohibited to improve visibility.

Engineering staff therefore recommends the following changes to be made to Chapter 8: Traffic Code, Article 6 Parking Schedules, Schedule III. "Stopping, Standing, Parking Prohibited; Signs Required.

Remove:

<u>Street</u>	<u>Location</u>
Idaho Street	Both sides of street, 20 feet north and 20 feet South of the school crosswalk located north of Elk Trail.
Idaho Street	West side, 30 feet north and south of Western Trails School north parking lot driveway exit.

Add:

<u>Street</u>	<u>Location</u>
Idaho Street	West side of street, from 50 feet north of Western Trails School north property lot exit, to 50 feet south of Western Trails School south parking lot entrance.

Attachment:

Cc: James T. Knudsen, Director of Engineering Services
Kevin Orr, Chief of Police
Phil Modaff, Director of Public Works
Brian Cooper, Traffic Sergeant



-  Stopping Standing or Parking Prohibited
-  CarolStreamParcels



Carol Stream
 © 1996 Village of Carol Stream
 Parking Prohibited
 Map



Prepared By:
 Department Of
 Engineering Services
 July 26, 2011
 1 inch = 167 feet

AGENDA ITEM

H-5 8-1-2011

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 8, ARTICLE 6 OF THE CAROL STREAM TRAFFIC CODE - PARKING SCHEDULES

BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, that Chapter 8 Article 6, of the Traffic Code as amended, be amended as follows:

SECTION 1: That Chapter 8, Article 6, Schedule I (Parking Prohibited; Signs Required) of the Traffic Code be amended to add the following streets:

<u>STREET</u>	<u>LOCATION</u>
Randy Road	10' each side of both driveways at 465 Randy Road.
Randy Road	On the north side 30' each side of the driveway opposite 444 Randy Road.
Randy Road	From 10' east of the driveway at 445 Randy Road to 10' west of the driveway at 383 Randy Road.
Randy Road	From 10' east of the driveway at 381 Randy Road to 10' west of the loading dock at 373 Randy Road.
Randy Road	From 10' east of the driveway at 373 Randy Road to 10' west of the driveway at 361 Randy Road.

SECTION 2: That Chapter 8, Article 6 Schedule I (Parking Prohibited: Signs Required) of the Traffic Code be amended to change the following street:

<u>STREET</u>	<u>LOCATION</u>
Randy Road	South side from Bonnie Lane Gerzevske Lane to Schmale Road.

SECTION 3: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, and the posting of the required signs in keeping with this Ordinance.

PASSED AND APPROVED THIS 1st DAY OF AUGUST, 2011.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

Village of Carol Stream

Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: William N. Cleveland, Assistant Village Engineer

DATE: July 27, 2011

RE: Randy Road Parking Restrictions



Several businesses along Randy Road have contacted the village to complain about parked vehicles on the north side of the street impeding access to parking lots and truck docks. Engineering and Police staffs investigated the complaint and observed large trucks parked to the edge of driveways, impeding employee's visibility and delivery driver's maneuverability. A truck repair business on Randy Road stages vehicles on the street during business hours.

Some businesses already had parking restrictions adjacent to their driveways and after research it was determined that these were approved by the Village Board, but had not been incorporated into the Village Code. This memo will recommend ordinance changes to address current and proposed parking restrictions.

Staff therefore recommends the following additions to Chapter 8: Traffic Code, Article 6: Parking Schedules, Schedule I. Parking Prohibited; Signs Required;

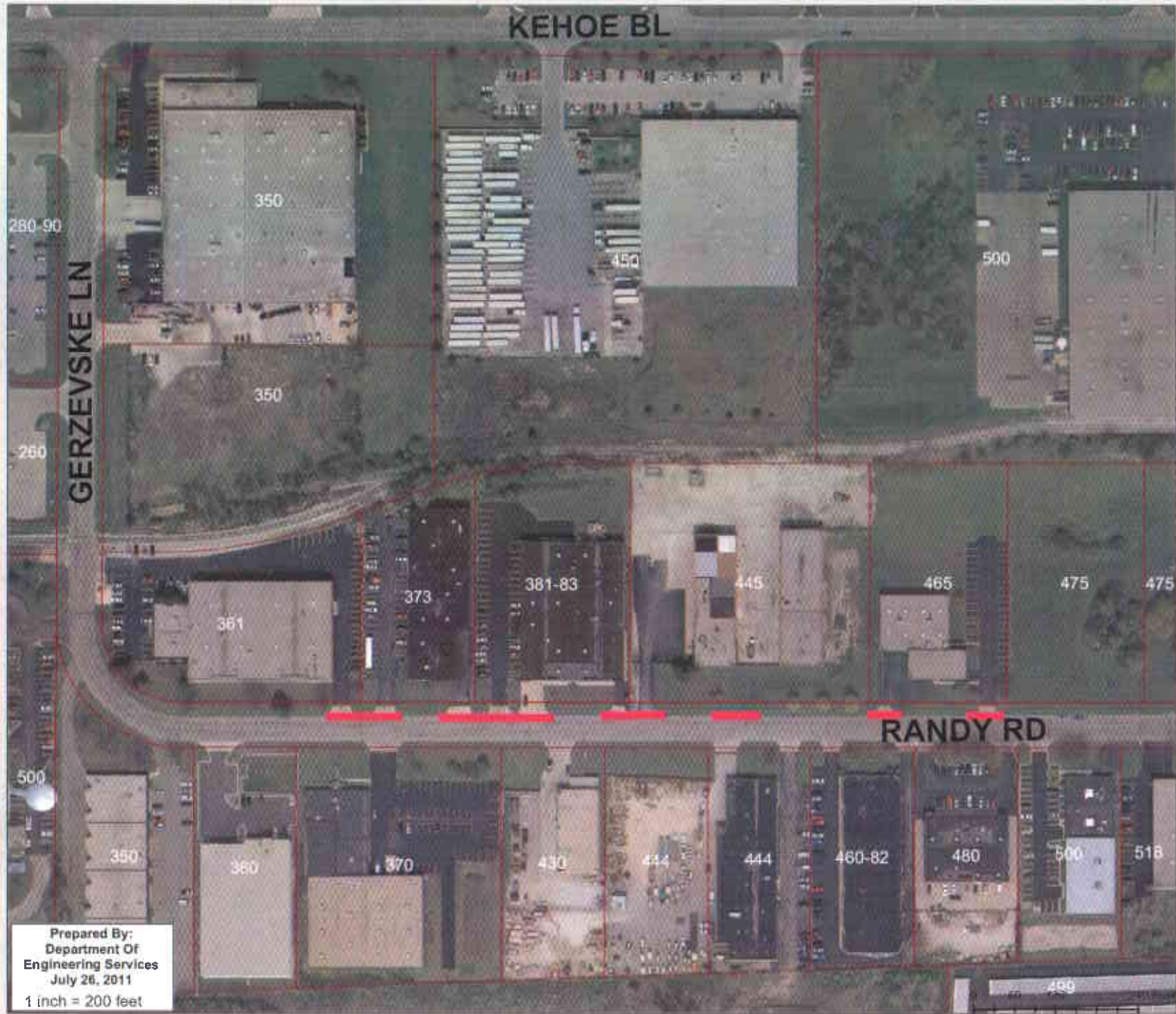
<u>Street</u>	<u>Location</u>
Randy Road	10' each side of both driveways at 465 Randy Road.
Randy Road	On the north side 30' each side of the driveway opposite 444 Randy Road.
Randy Road	From 10' east of the driveway at 445 Randy Road to 10' west of the driveway at 383 Randy Road.
Randy Road	From 10' east of the driveway at 381 Randy Road to 10' west of the loading dock at 373 Randy Road.
Randy Road	From 10' east of the driveway at 373 Randy Road to 10' west of the driveway at 361 Randy Road.

And change the following;

<u>Street</u>	<u>Location</u>
Randy Road	South side from Bonnie Lane Gerzevske Lane to Schmale Road

Attachment:

Cc: James T. Knudsen, Director of Engineering Services
Kevin Orr, Chief of Police
Phil Modaff, Director of Public Works
Mike Scaramella, Streets Superintendent



Carol Stream
 © 1996 Village of Carol Stream

**Parking Prohibited-
 Signs Required**



- - - - - Parking Prohibited Signs Required
- CarolStreamParcels

Prepared By:
 Department Of
 Engineering Services
 July 26, 2011
 1 inch = 200 feet

J-1 8-1-2011

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: July 27, 2011

RE: **Agenda Item for the Village Board Meeting of August 1, 2011 - Carol Stream Fire Protection District Request for Waiver of Building Permit Fees**

PURPOSE

The purpose of this memorandum is to coordinate with the Village Board a request from the Carol Stream Fire Protection District for the waiver of building permit fees associated with a roof improvement project.

DISCUSSION

Attached is a copy of letter from Deputy Fire Chief Perry Johnson requesting the waiver of permit fees for a roof improvement project, to take place this summer. The project will consist of full roof replacement at Fire Station Three on Lies Road and roof repairs at Fire Station One on Kuhn Road. For purpose of considering this request, it should be noted that the Village Board has waived building permit fees for governmental agencies in the past, with the exception of fees that cover actual costs to the Village.

RECOMMENDATION

The Fire Protection District's request is consistent with past precedent, and staff recommends approval. If the Village Board is inclined to approve the request, they should direct staff by motion to waive permit fees for the roof improvement project specified in Deputy Chief Johnson's letter dated July 22, 2011, with the exception of "pass-through" or "out-of-pocket" costs.

RJG:bg

C: Perry Johnson, Deputy Fire Chief

u:\miscellaneous\breinig\csfpd fee waiver 1.doc

P.O. BOX 88717
365 KUHN ROAD
CAROL STREAM, ILLINOIS 60188-0717
www.carolstreamfire.org

Richard W. Kolomay
Fire Chief

Business Phone: (630) 668-4836
Fax: (630) 668-4877

July 22, 2011

Mr. Joesph E. Breinig, Village Manager
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL. 60188

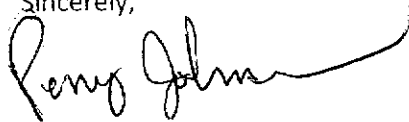
RE: Wavier of Fees Request

Dear Mr. Breinig:

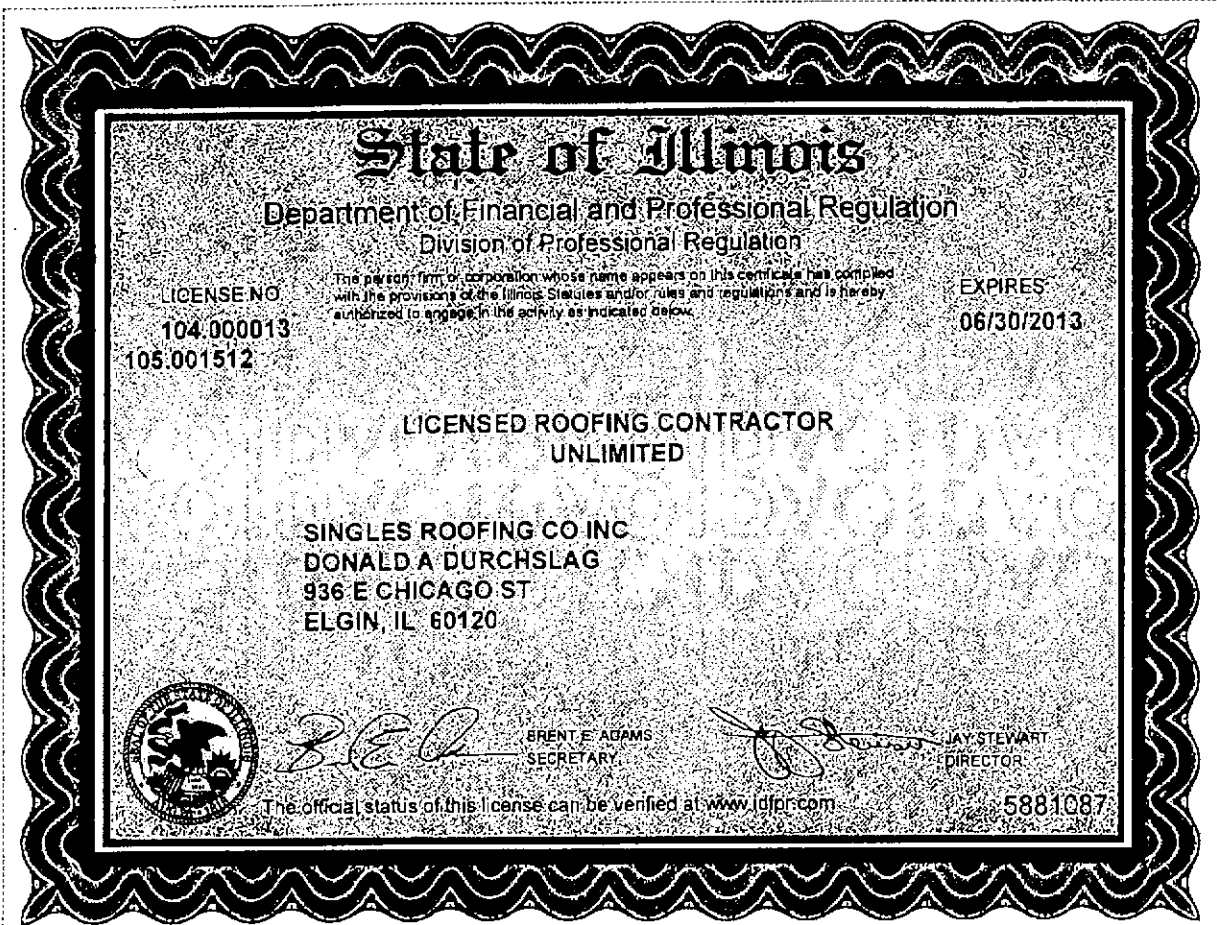
The Fire District will be replacing the entire roof at Fire Station Three and making repairs to the roof at Fire Station One. We will apply for a building permit. I would like to request that the Village waive the permit fees for these projects.

If you need any additional information, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read "Perry Johnson", with a long, sweeping horizontal stroke extending to the right.

Perry A. Johnson
Deputy Fire Chief



Cut on Dotted Line ✂

J-2 8-1-2011

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Terry Davis, Secretary *td*
DATE: July 18, 2011
RE: Parents and Teens Together, Inc.
Fee Waiver Request
Raffle License Application and Sound Amplification Permit

Yvonne and Doug Petit in conjunction with Parents and Teens Together, Inc. ("P.A.T.T.") are hosting their 7th Annual JP Fun Run on Sunday, September 4, 2011 at Armstrong Park-North Pavilion. P.A.T.T. is a 501c (3) not-for-profit charitable organization which addresses underage drinking in the Carol Stream community. During this event, applicant would like to hold a raffle and also play amplified music.

A Raffle License Application and a Sound Amplification Permit Application have been submitted and are available in the clerk's office for the Board's review.

Applicant is requesting a waiver of the raffle license fee, waiver of the manager fidelity bond and waiver of the sound amplification permit fee as indicated in the attached letters.

Staff has also confirmed that applicant has made arrangements with the Carol Stream Park District to hold their event at Armstrong Park.

Please place this item on the agenda for the August 1, 2011 board meeting for the Board's review and consideration. Thank you.

td
Attachments

cc: Carol Stream Park District

PARENTS AND TEENS TOGETHER

Phone: (630) 251-1809

Fax: (630) 990-5597

E-Mail: Yvonne.Petit@advocatehealth.com



June 28, 2011

Dear Board Members,

On behalf of P.A.T.T. (Parents and Teens Together), we would like to ask that you waive the Raffle License Application fee and the Manager's Fidelity Bond. P.A.T.T. is a legal 501c(3) non for profit charitable organization.

Our mission is to address underage drinking in the Carol Stream community. We will work with our village partners to spearhead preventive community wide functions designed to promote the positives within our community. We will enable our young people to live long and healthy lives.

Our vision is to establish PATT as a long-term community asset. PATT will focus on the preventive aspect of underage drinking. PATT will be a source of information, a leader in the local community, and a participant for positive change.

On September 4th we are hosting our 7th Annual JP Fun Run. This fundraiser not only helps us to continue to support our local youth organizations but offers awareness to our community on the continuing problem of underage drinking.

We would like to thank you for your generosity and support and we hope that you join us on September 4th for lots of fun in the park.

Best Wishes,

Yvonne & Doug Petit

Parent and Teens Together, INC.

PARENTS AND TEENS TOGETHER

Phone: (630) 251-1809

Fax: (630) 990-5597

E-Mail: Yvonne.Petit@advocatehealth.com



June 28, 2011

Dear Mr. Mayor and Trustees,

On behalf of P.A.T.T. (Parents and Teens Together), we would like to ask that you wave the Sound Amplifier Permit Application fee of \$25. P.A.T.T. is a legal 501c(3) non for profit charitable organization.

Our mission is to address underage drinking in the Carol Stream community. We will work with our village partners to spearhead preventive community wide functions designed to promote the positives within our community. We will enable our young people to live long and healthy lives.

Our vision is to establish PATT as a long-term community asset. PATT will focus on the preventive aspect of underage drinking. PATT will be a source of information, a leader in the local community, and a participant for positive change.

On September 4th we are hosting our 7th Annual JP Fun Run. This fundraiser not only helps us to continue to support our local youth organizations but offers awareness to our community on the continuing problem of underage drinking.

We would like to thank you for your generosity and support and we hope that you join us on September 4th for lots of fun in the park.

Best Wishes,

Yvonne & Doug Petit

Parent and Teens Together, INC.

VILLAGE OF CAROL STREAM SCHEDULE OF BILLS

AUGUST 1, 2011

AGENDA ITEM

K-1 8-1-2011

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
AT & T						
SERV 7/16-8/15/11	415.41	01652800	52230	TELEPHONE	630Z57651907 JULY 1	
	415.41					
ALANIZ LAWNCARE INC						
WEED ABATEMENT 350 MAIN PL	465.46	01642100	52260	WEED MOWING	4204	
WEED ABATEMENT 492 AZTEC	164.14	01642100	52260	WEED MOWING	4180	
WEED ABATEMENT 506 CHEROKEE	146.62	01642100	52260	WEED MOWING	4208	
WEED ABATEMENT 807 THUNDERBIRD	143.26	01642100	52260	WEED MOWING	4239	
WEED ABATEMENT MAIN PL & ARROWHEAD	648.42	01642100	52260	WEED MOWING	4242	
	1,567.90					
ANDY FRAIN SERVICES						
CROSSING GUARD SRV'S JUNE 2011	5,368.53	01662300	52105	CROSSING GUARDS	151534	
	5,368.53					
ASSOCIATED TECHNICAL SERVICES LTD						
UTILITY LOC SRV 245 KUHN ROAD	1,410.00	04101100	52244	MAINTENANCE & REPAIR	21278	
	1,410.00					
AVALON PETROLEUM COMPANY						
87 OCTANE FUEL	15,574.50	01696200	53356	GAS PURCHASED	007303	
FUEL PWKS	16,925.00	01696200	53356	GAS PURCHASED	451196	
	32,499.50					
B & F TECHNICAL CODE						
BUILDING PLAN REVIEWS 139 E FULLERTON	5,914.20	01643700	52253	CONSULTANT	33387	20120007
	5,914.20					
BAXTER & WOODMAN INC						
SW WATER MAIN EXT AMEND 2	40,480.00	04201600	54480	CONSTRUCTION	0157634	20120042
WRC ACTIVATION SLUDGE AERATION FINANCING	29,360.00	04101100	54412	OTHER EQUIPMENT	0157100	20120037
	69,840.00					
BURKE LLC						
	-7,740.70	11	21445	RETAINAGE BURKE LLC	PAY REQUEST 1	20120039
UNDERGROUND CONDUIT, WIRING AS OF 7/11	77,407.00	11740000	55487	FACILITY CAPITAL IMPROVEMENT	PAY REQUEST 1	20120039
	69,666.30					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
CALL ONE					
SERV FRM JUN 15 THRU JULY 14	347.00	04101500	52230	TELEPHONE	1010-6641 7/15/11
SERV FRM JUN 15 THRU JULY 14	1,992.75	04201600	52230	TELEPHONE	1010-6641 7/15/11
SERV FRM JUN 15 THRU JULY 14	2,639.20	01650100	52230	TELEPHONE	1010-6641 7/15/11
	4,978.95				
CIOSEK TREE SERVICE INC					
	2,430.00	01670700	52281	EAB REMOVAL/REPLACEMEN	JUNE 2011 REMOVAL20120030
TREE REMOVALS - 12	1,750.00	01670700	52268	TREE MAINTENANCE	JUNE 2011 REMOVAL20120030
	4,180.00				
COMED					
SERV FRM 6/11 THRU 7/11	35.57	01670600	52248	ELECTRICITY	6827721000JULY/11
SRV 06/21/11-7/20/11	315.06	04101500	52248	ELECTRICITY	2496057000 JULY 201
SRV 06/22-7/22/11	145.11	01670600	52248	ELECTRICITY	1865134015 JULY 201
SRV 06/22-7/25/11	100.89	04101500	52248	ELECTRICITY	0291093117 JULY 201
SRV 6/20/11-7/19/11	32.83	04201600	52248	ELECTRICITY	2514004009 JULY 201
SRV 6/20/11-7/20/11	248.67	06320000	52248	ELECTRICITY	6213120002 JULY 201
SRV 6/20/11-7/20/11	602.26	04201600	52248	ELECTRICITY	0300009027 JULY 201
SRV 6/20/11-7/20/11	699.21	06320000	52248	ELECTRICITY	5853045025 JULY 201
SRV 6/21/11-7/20/11	16.60	01670600	52248	ELECTRICITY	4483019016 JULY 201
SRV 6/21/11-7/21/11	133.52	06320000	52248	ELECTRICITY	6675448009 JULY 201
SRV 6/21/11-7/21/11	141.78	01670600	52248	ELECTRICITY	6337409002 JULY 201
SRV 6/22-7/22/11	13.41	06320000	52248	ELECTRICITY	7219135017 JULY 11
SRV 6/22-7/22/11	141.41	01670600	52248	ELECTRICITY	0803155026 JULY 201
SRV 6/22/11-7/21/11	30.67	01662300	52298	ATLE SERVICE FEE	4202129060 JULY 201
SRV 6/22/11-7/21/11	70.57	06320000	52248	ELECTRICITY	0030086009 JULY 201
SRV 6/22/11-7/21/11	78.28	06320000	52248	ELECTRICITY	3153036011 JULY 201
SRV 6/22/11-7/21/11	85.96	06320000	52248	ELECTRICITY	6597112015 JULY 201
SRV 6/22/11-7/21/11	97.04	06320000	52248	ELECTRICITY	1353117013 JULY 201
SRV 6/23-7/22/11	17.84	06320000	52248	ELECTRICITY	1603109101 JULY 11
SRV 6/23-7/25/11	235.02	01670600	52248	ELECTRICITY	5838596003 JULY 201
	3,241.70				
D F V ENTERPRISES					
SUBS RENEWAL 2011	1,500.00	01696200	52234	DUES & SUBSCRIPTIONS	19436
	1,500.00				
DAVID G BAKER					
VLG BOARD MTG TELECAST 7/18/11	105.00	01650100	52253	CONSULTANT	071811
	105.00				
DISCOVERY BENEFITS					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
JULY FLEX ADM FEES	230.00	01600000	52273	EMPLOYEE SERVICES	258570	
	<u>230.00</u>					
DUPAGE CO TREASURER						
DATA PROCESSING JUNE 2011	250.00	01662600	52247	DATA PROCESSING	9105	
	<u>250.00</u>					
EXELON ENERGY INC						
SERV FRM 06/11 - 07/11	490.66	04101500	52248	ELECTRICITY	100431100210	
SRV 6/20-7/19/11	2,712.52	04201600	52248	ELECTRICITY	100559500210	
	<u>3,203.18</u>					
FEECE OIL CO						
E85 FUEL	6,740.14	01696200	53356	GAS PURCHASED	3179306	
	<u>6,740.14</u>					
HALLORAN & YAUCH INC						
MOTOR PUMP IRRIGATION SYS	2,315.00	01680000	52244	MAINTENANCE & REPAIR	42671	
	<u>2,315.00</u>					
HOVING PIT STOP						
BATHROOMS TC JULY 4TH 2011	1,200.00	01750000	52291	MISC EVENTS/ACTIVITIES	44400	
	<u>1,200.00</u>					
IMPACT NETWORKNG LLC						
PRINTER MAINT 6/6/11-7/6/11	591.43	01652800	52226	OFFICE EQUIPMENT MAINTEN	105679	
PRINTER MAINT 7/6/11-8/6/11	601.01	01652800	52226	OFFICE EQUIPMENT MAINTEN	107714	
	<u>1,192.44</u>					
JULIE INC						
LOCATES 3RD QTR 2011	389.03	01670300	52272	PROPERTY MAINTENANCE(NF 2011 QTR 3		
LOCATES 3RD QTR 2011	389.03	04101500	52272	PROPERTY MAINTENANCE(NF 2011 QTR 3		
LOCATES 3RD QTR 2011	389.03	04201600	52272	PROPERTY MAINTENANCE(NF 2011 QTR 3		
	<u>1,167.09</u>					
JOHN L FIOTI						
JULY 13 HEARING	156.25	01662300	52310	ATLE LEGAL ADJUDICATION	CS31	
JULY 13 HEARING	156.25	01570000	52238	LEGAL FEES	CS31	
	<u>312.50</u>					
KLEIN, THORPE & JENKINS, LTD						
LEGAL SERVICES JUNE 2011	114.00	04203100	52238	LEGAL FEES	153543 & 153544	
LEGAL SERVICES JUNE 2011	342.00	04203100	52238	LEGAL FEES	153543 & 153544	
LEGAL SERVICES JUNE 2011	1,740.50	11740000	52238	LEGAL FEES	153543 & 153544	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
LEGAL SERVICES JUNE 2011	6,804.69	01570000 52238	LEGAL FEES	153543 & 153544	
	<u>9,001.19</u>				
NICK KRENGIEL					
SUMMER CONCERT	1,300.00	01750000 52288	CONCERT SERIES	AUG 11TH CONCERT	
	<u>1,300.00</u>				
NICOR GAS					
SERV FRM 06/07 - 07/08	26.31	04201600 52277	HEATING GAS	13-81-12-10007	
	<u>26.31</u>				
OMI					
MONTHLY WRC OPERATIONS-AUGUST/2011	134,927.58	04101100 52262	WRC CONTRACT	51865	20120012
MONTHLY WRC OPERATIONS-JULY 2011	134,927.58	04101100 52262	WRC CONTRACT	51753	20120012
	<u>269,855.16</u>				
PAHCS II/ CENTRAL DUPAGE BUSINESS HEALTH					
RANDOM DOT DRUG SCREENING	200.10	01600000 52225	EMPLOYMENT PHYSICALS	118332	
	<u>200.10</u>				
THE LEGENDS					
SUMMER CONCERT	1,200.00	01750000 52288	CONCERT SERIES	AUG 4TH CONCERT	
	<u>1,200.00</u>				
THOMAS F HOWARD JR					
PROSECUTION SRVS JULY 2011	5,745.00	01570000 52312	PROSECUTION DUI	182	
	<u>5,745.00</u>				
TRANSYSTEMS CORPORATION					
FAIR OAKS RD PAVEMENT REHAB PR 6/4-7/11	655.40	11740000 55486	ROADWAY CAPITAL IMPROVE	3(2124074)	20120034
KUHN RD BIKE TRL PH II CONST 6/4-7/8/11	2,777.93	11740000 55486	ROADWAY CAPITAL IMPROVE	9(2124069)	20120038
WEST BRANCH TRL PROJECT 6/4-7/8/11	20,256.86	11740000 55486	ROADWAY CAPITAL IMPROVE	3(2124068)	20120035
	<u>23,690.19</u>				
UNI MAX MANAGEMENT CORP					
JANITORIAL SRV'S FOR JULY 2011	623.75	01670100 52276	JANITORIAL SERVICES	2320	20120033
JANITORIAL SRV'S FOR JULY 2011	1,871.25	01680000 52276	JANITORIAL SERVICES	2320	20120033
	<u>2,495.00</u>				
WHEATLAND TITLE GUARANTY COMPANY					
EASEMENT PURCH FRM LUTHERAN CHR OI	180.50	11740000 55487	FACILITY CAPITAL IMPROVEM	378282	
	<u>180.50</u>				
	<u><u>530,991.29</u></u>				

The preceding list of bills payable totaling \$530,991.29 was reviewed and approved for payment.

Approved by:



Joseph Breinig - Village Manager

Date: 7/28/11

Authorized by:

Frank Saverino Sr - Mayor

Beth Melody, Village Clerk

Date: _____

AGENDA ITEM

K-2 8-1-2011

ADDENDUM WARRANTS July 19, 2011 thru August 1, 2011

Fund	Check #	Vendor	Description	Amount
General	A C H	Charter One Bank	Payroll July 11, 2011 to July 24, 2011	424,798.15
Water & Sewer	A C H	Charter One Bank	Payroll July 11, 2011 to July 24, 2011	30,943.82
General	A C H	Ill Funds	Dupage Water Commission -June 2011	<u>239,193.03</u>
				<u>694,935.00</u>

Approved this _____ day of _____, 2011

By: _____
Frank Saverino Sr - Mayor

Beth Melody - Village Clerk

Village of Carol Stream
General Fund Budget Summary
 For the Month Ended June 30, 2011

AGENDA ITEM

L-4 8-1-2011

MONTH

YTD

BUDGET

REVENUES

	Last Year	Current Year	Monthly Variance	
	Jun	Jun	\$	%
Sales Tax	\$ 440,187	\$ 414,599	(25,588)	-6%
Home Rule Sales Tax	153,567	237,744	84,177	55%
State Income Tax	214,673	237,051	22,378	10%
Utility Tax - Electricity	124,696	138,653	13,957	11%
Telecommunications Tax	148,626	138,771	(9,856)	-7%
Fines (Court, Ord., ATLE, Towing)	125,697	112,693	(13,004)	-10%
Natural Gas Use Tax	25,006	43,147	18,141	73%
Other Taxes (Use, Hotel, PPRT Real Estate, Road & Bridge)	205,940	213,055	7,115	3%
Licenses (Vehicle, Liquor, etc.)	203,289	217,406	14,117	7%
Cable Franchise Fees	-	-	-	0%
Building Permits	41,262	59,325	18,062	44%
Fees for Services	87,460	82,202	(5,257)	-6%
Interest Income	2,791	2,956	165	6%
All Other / Miscellaneous	39,665	44,316	4,651	12%
Revenue Totals	1,812,858	1,941,916	129,058	7%

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Sales Tax	\$ 794,980	\$ 781,981	(13,000)	-2%
Home Rule Sales Tax	279,612	436,972	157,360	56%
State Income Tax	617,274	616,039	(1,236)	0%
Utility Tax - Electricity	255,550	267,710	12,160	5%
Telecommunications Tax	284,402	268,224	(16,179)	-6%
Fines (Court, Ord., ATLE, Towing)	264,417	257,870	(6,547)	-2%
Natural Gas Use Tax	65,165	96,897	31,732	49%
Other Taxes (Use, Hotel, PPRT Real Estate, Road & Bridge)	283,552	476,585	193,033	68%
Licenses (Vehicle, Liquor, etc.)	355,848	349,396	(6,452)	-2%
Cable Franchise Fees	71,290	38,368	(32,922)	-46%
Building Permits	66,868	113,734	46,866	70%
Fees for Services	96,158	100,009	3,851	4%
Interest Income	5,949	6,182	234	4%
All Other / Miscellaneous	103,419	110,111	6,692	6%
Revenue Totals	3,544,485	3,920,078	375,593	11%

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Sales Tax	\$ 4,915,000	\$ 781,693	\$ 781,981	288	0%
Home Rule Sales Tax	2,654,000	422,014	436,972	14,958	4%
State Income Tax	3,140,000	721,842	616,039	(105,803)	-15%
Utility Tax - Electricity	1,750,000	250,185	267,710	17,525	7%
Telecommunications Tax	1,558,000	271,974	268,224	(3,751)	-1%
Fines (Court, Ord., ATLE, Towing)	1,708,000	288,032	257,870	(30,162)	-10%
Natural Gas Use Tax	525,000	78,718	96,897	18,179	23%
Other Taxes (Use, Hotel, PPRT Real Estate, Road & Bridge)	1,235,000	301,986	476,585	174,599	58%
Licenses (Vehicle, Liquor, etc.)	599,300	346,427	349,396	2,969	1%
Cable Franchise Fees	460,000	76,667	38,368	(38,298)	-50%
Building Permits	492,500	105,017	113,734	8,717	8%
Fees for Services	593,500	109,467	100,009	(9,458)	-9%
Interest Income	40,000	6,667	6,182	(484)	-7%
All Other / Miscellaneous	414,200	59,033	110,111	51,078	87%
Revenue Totals	20,084,500	3,819,721	3,920,078	100,357	3%

EXPENDITURES

Fire & Police Commission	549	-	(549)	-100%
Legislative Board	48,646	48,973	327	1%
Plan Commission & ZBA	450	670	220	49%
Legal Services	10,090	10,119	29	0%
Village Clerk	4,859	2,110	(2,748)	-57%
Administration	38,142	42,369	4,228	11%
Employee Relations	16,096	16,114	17	0%
Financial Management	106,673	55,964	(50,709)	-48%
Engineering Services	59,885	53,544	(6,341)	-11%
Community Development	54,291	53,849	(443)	-1%
Mangement Services	110,935	37,142	(73,794)	-67%
Police	1,007,797	902,356	(105,441)	-10%
Public Works	345,151	344,812	(340)	0%
Municipal Building	23,507	22,970	(538)	-2%
Municipal Garage	9,278	(8,686)	(17,964)	-194%
Transfers and Agreements	-	-	-	0%
Town Center	5,433	5,688	255	5%
Expenditure Totals	1,841,783	1,587,994	(253,789)	-14%
Net Increase / (Decrease)	(28,925)	353,923	382,847	

Fire & Police Commission	1,093	-	(1,093)	-100%
Legislative Board	58,936	51,291	(7,645)	-13%
Plan Commission & ZBA	450	897	447	99%
Legal Services	12,322	10,119	(2,203)	-18%
Village Clerk	9,743	7,364	(2,379)	-24%
Administration	78,889	90,762	11,873	15%
Employee Relations	32,855	32,979	124	0%
Financial Management	193,360	120,765	(72,595)	-38%
Engineering Services	130,147	104,711	(25,435)	-20%
Community Development	100,349	104,465	4,115	4%
Mangement Services	238,614	69,594	(169,020)	-71%
Police	1,865,888	1,867,350	1,462	0%
Public Works	544,010	495,239	(48,771)	-9%
Municipal Building	40,587	38,438	(2,149)	-5%
Municipal Garage	16,643	(36,664)	(53,307)	-320%
Transfers and Agreements	-	-	-	0%
Town Center	15,491	5,688	(9,803)	-63%
Expenditure Totals	3,339,378	2,962,999	(376,379)	-11%
Net Increase / (Decrease)	205,107	957,080	751,972	

Fire & Police Commission	18,198	3,034	-	(3,034)	-100%
Legislative Board	108,706	62,004	51,291	(10,714)	-17%
Plan Commission & ZBA	6,958	1,160	897	(263)	-23%
Legal Services	335,000	55,834	10,119	(45,715)	-82%
Village Clerk	75,440	11,749	7,364	(4,385)	-37%
Administration	508,850	78,385	90,762	12,378	16%
Employee Relations	229,612	32,470	32,979	509	2%
Financial Management	782,542	123,823	120,765	(3,058)	-2%
Engineering Services	807,009	128,202	104,711	(23,491)	-18%
Community Development	756,865	118,096	104,465	(13,631)	-12%
Mangement Services	771,830	122,451	69,594	(52,857)	-43%
Police	12,345,790	1,972,214	1,867,350	(104,864)	-5%
Public Works	2,882,701	454,143	495,239	41,096	9%
Municipal Building	345,689	54,981	38,438	(16,543)	-30%
Municipal Garage	-	-	(36,664)	(36,664)	100%
Transfers and Agreements	200,000	-	-	-	0%
Town Center	44,500	15,000	5,688	(9,312)	-62%
Expenditure Totals	20,219,690	3,233,545	2,962,999	(270,546)	-8%
Net Increase / (Decrease)	(135,190)	586,177	957,080	370,903	

Village of Carol Stream
Water and Sewer Fund Budget Summary
 For the Month Ended June 30, 2011

	MONTH				YTD				BUDGET				
	Last Year Jun	Current Year Jun	Monthly Variance \$ %		Last Year YTD	Current Year YTD	YTD Variance \$ %		Annual Budget	YTD Budget	YTD Actual	Variance \$ %	
REVENUES													
Water Billings	\$ 365,950	\$ 407,855	41,905	11%	\$ 667,623	\$ 736,385	68,762	10%	\$ 4,331,000	\$ 754,921	\$ 736,385	(18,535)	-2%
Sewer Billings	204,179	214,704	10,525	5%	380,955	392,003	11,048	3%	2,307,000	402,125	392,003	(10,122)	-3%
Penalties/Admin Fees	9,091	12,075	2,984	33%	17,211	21,688	4,477	26%	135,000	22,500	21,688	(812)	-4%
Connection/Expansion Fees	13,316	4,587	(8,729)	-66%	16,010	19,562	3,552	22%	143,200	23,867	19,562	(4,305)	-18%
Interest Income	2,726	3,631	906	33%	4,623	7,672	3,049	66%	50,000	8,333	7,672	(662)	-8%
Rental Income	16,897	9,098	(7,799)	-46%	25,394	26,708	1,315	5%	163,000	27,167	26,708	(458)	-2%
All Other / Miscellaneous	3,297	2,357	(940)	-29%	3,936	4,437	501	13%	61,870	3,900	4,437	537	14%
Revenue Totals	615,456	654,307	38,851	6%	1,115,751	1,208,456	92,704	8%	7,191,070	1,242,812	1,208,456	(34,357)	-3%
EXPENDITURES													
Salaries & Benefits	94,428	74,693	(19,735)	-21%	189,327	148,293	(41,034)	-22%	1,189,314	182,971	148,293	(34,678)	-19%
Purchase of Water	166,495	194,421	27,926	17%	335,346	393,656	58,309	17%	2,650,000	415,545	393,656	(21,890)	-5%
WRC Operating Contract	132,589	-	(132,589)	-100%	132,589	134,928	2,339	2%	1,636,465	272,744	134,928	(137,817)	-51%
Maintenance & Operating	84,384	47,590	(36,794)	-44%	117,898	77,704	(40,194)	-34%	1,102,220	183,703	77,704	(105,999)	-58%
IEPA Loan P&I	-	-	-	0%	-	-	-	0%	428,651	-	-	-	0%
DWC Loan P&I	-	-	-	0%	-	-	-	0%	12,751	-	-	-	0%
Capital Outlay	29,360	583	(28,778)	-98%	29,360	1,183	(28,178)	-96%	5,068,600	100,000	1,183	(98,818)	-99%
Expenditure Totals	507,255	317,287	(189,969)	-37%	804,521	755,763	(48,758)	-6%	12,088,001	1,154,964	755,763	(399,201)	-35%
Net Increase / (Decrease)	108,200	337,020	228,820		311,231	452,693	141,462		(4,896,931)	87,848	452,693	364,845	

Village of Carol Stream
Capital Budget Summary
 For the Month Ended June 30, 2011

CAPITAL PROJECTS FUND	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
REVENUES											
Capital Grants	\$ -	\$ -	-	0%	\$ -	\$ 3,289	3,289	100%	\$ 1,745,000	\$ 3,289	0%
Interest Income	57,486	2,211	(55,275)	-96%	100,255	33,782	(66,472)	-66%	87,000	33,782	39%
All Other / Miscellaneous	391	3,266	2,875	736%	391	3,266	2,875	736%	-	3,266	0%
Revenue Totals	57,877	5,477	(52,400)	-91%	100,646	40,337	(60,308)	-60%	1,832,000	40,337	2%
EXPENDITURES											
Roadway Improvements	1,893	9,909	8,016	423%	2,093	9,909	7,816	373%	3,747,000	9,909	0%
Facility Improvements	-	-	-	0%	-	-	-	0%	440,000	-	0%
Stormwater Improvements	-	4,949	4,949	100%	-	4,949	4,949	100%	151,000	4,949	3%
Miscellaneous	-	-	-	0%	-	-	-	0%	-	-	0%
Expenditure Totals	1,893	14,858	12,965	685%	2,093	14,858	12,765	610%	4,338,000	14,858	0%
Net Increase / (Decrease)	55,983	(9,381)	(65,365)	-117%	98,552	25,479	(73,073)	-74%	(2,506,000)	25,479	-1%

MFT FUND

REVENUES											
Motor Fuel Tax Allotments	\$ 85,497	\$ 82,486	(3,011)	-4%	\$ 173,864	\$ 166,566	(7,298)	-4%	\$ 1,048,000	\$ 166,566	16%
Interest Income	468	360	(108)	-23%	886	756	(130)	-15%	10,000	756	8%
Revenue Totals	85,965	82,845	(3,120)	-4%	174,750	167,321	(7,428)	-4%	1,058,000	\$ 167,321	16%
EXPENDITURES											
Street Resurfacing - Capital	253,479	-	(253,479)	-100%	253,479	-	(253,479)	-100%	-	-	0%
Crack Filling	-	-	-	0%	-	-	-	0%	144,000	-	0%
Salt	-	-	-	0%	-	-	-	0%	257,250	-	0%
Electricity	1,126	2,737	1,611	143%	1,126	2,737	1,611	143%	61,750	2,737	4%
Materials and Supplies	763	2,165	1,402	184%	763	2,165	1,402	184%	49,500	2,165	4%
Expenditure Totals	255,368	4,901	(250,466)	-98%	255,368	4,901	(250,466)	-98%	512,500	4,901	1%
Net Increase / (Decrease)	(169,403)	77,944	247,347	-146%	(80,618)	162,420	243,038	-301%	545,500	162,420	30%

* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream
Other Funds Budget Summary
 For the Month Ended June 30, 2011

	MONTH				YTD				BUDGET					
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance		
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%	
GENEVA CROSSING TIF														
REVENUES														
TIF Property Taxes	\$ 176,745	\$ 183,000	6,255	4%	\$ 176,745	\$ 183,000	6,255	4%	\$ 300,000	\$ 150,000	\$ 183,000	33,000	22%	
Interest Income	29	13	(16)	-55%	40	25	(15)	-37%	500	83	25	(58)	-70%	
Village Contribution	-	-	-	0%	-	-	-	0%	130,000	-	-	-	0%	
Revenue Totals	176,774	183,013	6,239	4%	176,785	183,025	6,240	4%	430,500	150,083	183,025	32,942	22%	
EXPENDITURES														
Principal Retirement	-	-	-	0%	-	-	-	0%	220,000	-	-	-	0%	
Interest Expense	78,330	73,868	(4,463)	-6%	78,330	73,868	(4,463)	-6%	147,735	73,867	73,868	1	0%	
Paying Agent Fees	-	-	-	0%	-	-	-	0%	3,000	-	-	-	0%	
Expenditure Totals	78,330	73,868	(4,463)	-6%	78,330	73,868	(4,463)	-6%	370,735	73,867	73,868	1	0%	
Net Increase / (Decrease)	98,444	109,145	10,702	11%	98,455	109,158	10,703	11%	59,765	76,216	109,158	32,941	43%	

POLICE PENSION FUND														
REVENUES														
Investment Income	\$ 234,910	\$ 30	(234,880)	-100%	\$ 104,617	\$ 265,477	160,860	154%	\$ 1,202,500	\$ 200,417	\$ 265,477	65,060	32%	
Employee Contributions	39,539	38,541	(999)	-3%	79,092	76,814	(2,278)	-3%	518,305	79,739	76,814	(2,925)	-4%	
Village Contribution	104,735	119,548	14,813	14%	209,470	239,096	29,626	14%	1,434,572	239,095	239,096	1	0%	
Other Revenues	-	1,267	1,267	100%	-	41,713	41,713	100%	-	-	41,713	41,713	100%	
Revenue Totals	379,184	159,386	(219,799)	-58%	393,180	623,100	229,920	58%	3,155,377	519,251	623,100	103,849	20%	
EXPENDITURES														
Investment and Admin Fees	205	802	597	292%	12,567	10,821	(1,746)	-14%	112,130	18,688	10,821	(7,867)	-42%	
Participant Benefit Payments	101,528	104,445	2,918	3%	203,055	208,890	5,835	3%	1,650,000	275,000	208,890	(66,110)	-24%	
Expenditure Totals	101,732	105,247	3,515	3%	215,622	219,712	4,089	2%	1,762,130	293,688	219,712	(73,977)	-25%	
Net Increase / (Decrease)	277,452	54,138	(223,314)		177,558	403,389	225,831		1,393,247	225,563	403,389	177,826		

Village of Carol Stream
Schedule of Cash and Investment Balances
 June 30, 2011

FUND	CASH	INVESTMENTS	TOTAL CASH & INVESTMENTS	LAST YEAR 6/30/2010
GENERAL FUND	\$ 2,638,723.94	\$ 14,551,218.23	\$ 17,189,942.17	\$ 15,304,014.58
WATER & SEWER FUND	3,128,768.62	14,479,050.55	17,607,819.17	17,030,304.52
CAPITAL PROJECTS FUND	-	19,243,748.90	19,243,748.90	17,816,715.20
MFT FUND	1,615.19	1,936,038.39	1,937,653.58	2,388,275.49
GENEVA CROSSING TIF FUND	1,612,584.00	-	1,612,584.00	1,439,936.34
POLICE PENSION FUND	143,927.05	29,887,456.53	30,031,383.58	26,437,061.08
TOTAL	<u>\$ 7,525,618.80</u>	<u>\$ 80,097,512.60</u>	<u>\$ 87,623,131.40</u>	<u>\$ 80,416,307.21</u>