

Village of Carol Stream

BOARD MEETING

AGENDA

AUGUST 18, 2008

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES:

1. Approval of the Minutes of the August 4, 2008 Meeting.

C. AUDIENCE PARTICIPATION & PUBLIC HEARINGS:

1. 2007-2008 Illinois Traffic Safety Challenge Awards.
2. Proclamation – Declaring Every May 1st – National Silver Star Families of America Day.
3. Public Hearing: Preannexation Agreement for the Benjamin School Property.
Request from Benjamin School District #25 to enter into a preannexation agreement to allow connection to the Carol Stream water system.
4. Public Hearing: Annexation Agreement and Annexation of the Value Place Hotel Property.
Request from VP Ventures for approval of an annexation agreement and annexation of the 4.8-acre property on the south side of North Avenue, west of Gary Avenue, for an extended-stay hotel and commercial development.

D. SELECTION OF CONSENT AGENDA:

If you are here for an item which is added to the consent agenda and approved, the Village Board has acted favorably on your request.

E. BOARD AND COMMISSION REPORTS:

1. PLAN COMMISSION:
 - a. #08116 – Windsor Park Manor – 124 Windsor Park Drive
Sign Code Variations
APPROVED WITH CONDITIONS (4-0).
Request for approval of Sign Code variations to allow informational signs to be placed throughout the 60-acre campus.
 - b. #08193 – Wendy's – 423 S. Schmale Road

Village of Carol Stream

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Sign Code Variations

DENIED (4-0).

Request for approval of Sign Code variation to allow a nearly 10-foot tall ground sign.

c. #06362 – Village of Carol Stream – 500 N. Gary Avenue

Text Amendments – Utility Structures

CONTINUED TO 8-28-08 MEETING (4-0).

Text Amendments to establish standards for utility structures.

F. OLD BUSINESS:

G. STAFF REPORTS & RECOMMENDATIONS:

1. Pond Shoreline and Wetland Maintenance for May 2008 through April 2009 – Waiver of Bids and Award of Contract.

Engineering staff recommends that the bid process be waived for the Pond Shoreline and Wetland Maintenance for May 2008 through April 2009 and the contract be awarded to LaFayette Home Nursery in the amount of \$27,660.00.

2. Award of Consultant Contract – Phase III Construction Services for Fullerton Avenue LAPP.

This federally funded project requires inspection and documentation in accordance with federal procedures and guidelines. The consultant is familiar with these requirements and will provide assistance to Village staff. Therefore staff recommends the contract be awarded to TranSystems Corporation in the amount of \$19,604.30.

H. ORDINANCES:

1. Ordinance No. _____, Granting a Zoning Code Variation for Lot Coverage at 178 Carriage Lane.

Residential lot coverage variation for a deck to be constructed between an existing pool and house.

2. Ordinance No. _____, Authorizing the Execution of an Annexation Agreement (200 W. North Avenue).

See C2.

Village of Carol Stream

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3. Ordinance No. _____, Annexing Certain Property to the Village of Carol Stream, DuPage County, Illinois (200 W. North Avenue).
See C2.
4. Ordinance No. _____, Zoning Newly Annexed Property (200 W. North Avenue).
See C2.
5. Ordinance No. _____, Approving a Preliminary Planned Unit Development Plan and Special Uses for a Shopping Plaza and Drive-Up Service Window and Hotel (200 W. North Avenue).
See C2.
6. Ordinance No. _____, Authorizing the Execution of an Annexation
7. Agreement (Benjamin School – 28W300 St. Charles Road).
See C3.

I. RESOLUTIONS:

1. Resolution No. _____, Appointing Members to the Local Youth Council.
2. Resolution No. _____, Declaring Surplus Property Owned by the Village of Carol Stream.
The Police Department requests the Village Board declare 14 police VMR's as surplus equipment. Disposition will include donating six to the Carol Stream Fire Protection District, sell seven units to the Addison Fire Department for \$200 each and use one non-functioning unit for parts.

J. NEW BUSINESS:

1. Raffle License Application – Parents and Teens Together, Inc., - JP Fun Run.
P.A.T.T. is requesting approval for a raffle license and waiver of license fee and Manager's fidelity bond in conjunction with their JP Fun Run scheduled for August 31, 2008.

K. PAYMENT OF BILLS:

1. Regular Bills:

Village of Carol Stream

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2. Addendum Warrant:

L. REPORT OF OFFICERS:

1. Mayor: Change September 1st Board meeting to September 2nd due to Labor Day Holiday.
2. Trustees:
3. Clerk:
4. Treasurer's Report: Revenue/Expenditure Statement & Balance Sheet, Month End, July 31, 2008.

M. EXECUTIVE SESSION:

N. ADJOURNMENT:

LAST ORDINANCE: 2008-08-42

LAST RESOLUTION: 2360

NEXT ORDINANCE: 2008-08-43

NEXT RESOLUTION: 2361

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES

Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County, Illinois

August 4, 2008

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 8:00 p.m. and directed Village Clerk Beth Melody to call the roll.

Present: Trustees Michael Drager, Don Weiss, Greg Schwarze, Matt McCarthy, Rick Gieser and Pam Fenner
Absent: None
Also Present: Village Manager Joe Breinig, Assistant Village Manager Bob Mellor, Attorney Stewart Diamond, Village Clerk Beth Melody, Deputy Village Clerk Wynne Progar

Mayor Saverino led those in attendance in the Pledge of Allegiance.

MINUTES:

Trustee McCarthy moved and Trustee Fenner made the second to approve the Minutes of the Meeting of July 21, 2008 as presented. The results of the roll call vote were:

Ayes: 4 Trustees Drager, McCarthy, Gieser and Fenner
Nays: 0
Abstain: 2 Trustees Weiss and Schwarze
Absent: 0

AUDIENCE PARTICIPATION AND PUBLIC HEARINGS:

Annexation Agreement and Annexation of the Spina Property – south side of St. Charles Road, just east of Schmale Road:

Trustee Gieser moved and Trustee Fenner made the second to open the public hearing for the annexation agreement and annexation. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
Nays: 0

There were no comments or questions from those in attendance at the call for public hearing.

Trustee McCarthy moved and Trustee Schwarze made the second to close the public hearing. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
Nays: 0

CONSENT AGENDA:

Trustee Schwarze moved and Trustee Fenner made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
 Nays: 0

Trustee Fenner moved and Trustee McCarthy made the second to put the following items on the Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
 Nays: 0

1. No Action required: Sign Code Variation – Dominicks, 560 Schmale Rd.
2. No Action required: Minor Modification to PUD Plan – Goodwill Industries, 520 Schmale Rd.
3. Acceptance & Final Change Order – 2007 Flexible Pavement Project
4. Award of Contract: Town Center Grass Parking Lot Reseeding
5. Award of Contract: Consultant for Spec. Management Area Reviews
6. Approve Change Order # 1-Repairs of Sand Filter @ WRC
7. Request to Reconsider: Award of Purchase of computer equipment
8. Ordinance 2008-08-36: Amend Chap.11 Art. 2, Inc. Class A Liq. Lic. 8 to9
9. Ordinance 2008-08-37: Amend Chap. 5, Art. 9, Municipal Hotel Tax
10. Ordinance 2008-08-38: Authorize Execution of Annexation Agree.- Angel
11. Ordinance 2008-08-39: Annexing Certain Property – Angel
12. Ordinance 2008-08-40: Zoning Newly Annexed Property – Angel
13. Ordinance 2008-08-41: Rezoning Prop. B-2 to B-3: 381 Schmale Rd.
14. Ordinance 2008-08-42: Approve final PUD/Spec. Uses – Shopping Plaza, Drive-up Service Window & Auto Laundry-E. side Schmale Rd.- So. St.Chas. Rd.
15. Resolution 2357: 1st Supplemental for MFT
16. Resolution 2358: Amend R. 2354 Adopting Employee Pay Plan 2008/09
17. Resolution 2359: Approve non-exclusive license agree. Cricket Comm.
18. Resolution 2340: Approve Final Plat Consolidation/Carols Court
19. Regular Bills, Addendum Warrant of Bills

Trustee Fenner moved and Trustee McCarthy made the second to approve the Consent Agenda for this meeting by omnibus vote. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
 Nays: 0

The following is a brief explanation of those items approved on the Consent Agenda for this meeting.

Acceptance & Final Change Order – 2007 Flexible Pavement Project:

The Board accepted the 2007 Flexible Pavement Project for maintenance and approved the final Change Order reducing the contract amount by 1.1% to \$2,669,562.01.

Award of Contract: Town Center Grass Parking Lot Reseeding:

The Board approved a contract with LaFayette Home Nursery, Inc. in the amount of \$19,894.98 seeding the Town Center grass parking.

Award of Contract: Consultant for Spec. Management Area Reviews:

The Board approved a contract for Professional Engineering Services by Christopher B. Burke Engineering Ltd. For plan review and inspection services for Special Management Areas at rates specified in the memo by Director of Engineering Services on July 30, 2008.

Approve Change Order # 1-Repairs of Sand Filter @ WRC:

The Board approved Change Order # 1 to the contract with A1 Filter Rehab Contracting Corp. in the amount of \$4,840.00.

Request to Reconsider: Award of Purchase of computer equipment:

The Board rescinded the approval of the purchase of "thick client " Dell computers and authorized Information Services Coordinator Mark Talavera to pursue a thin and fat client hybrid solution for the management of hardware and software.

Ordinance 2008-08-36: Amend Chap.11 Art. 2, Inc. Class A Liq. Lic. 8 to9:

The Board adopted Ordinance 2008-08-36, AN ORDINANCE AMENDING CHAPTER 11, ARTICLE 2 OF THE CAROL STREAM CODE OF ORDINANCES BY INCREASING THE NUMBER OF CLASS A LIQUOR LICENSES FROM 8 TO 9 (VANGELO'S TOWN CENTER GRILL, 1021 FOUNTAINVIEW DRIVE).

Ordinance 2008-08-37: Amend Chap. 5, Art. 9, Municipal Hotel Tax:

The Board adopted Ordinance 2008-08-37, AN ORDINANCE AMENDING CHAPTER 5, ARTICLE 9 AMENDING THE MUNICIPAL HOTEL TAX.

Ordinance 2008-08-38: Authorize Execution of Annexation Agree.-Angel:

The Board adopted Ordinance 2008-08-38, AN ORDINANCE AUTHORIZING THE EXECUTION OF AN ANNEXATION AGREEMENT – ANGEL ASSOCIATES, LP (24W349 ST. CHARLES ROAD).

Ordinance 2008-08-39: Annexing Certain Property – Angel Associates LP (24W349 St. Charles Road):

The board adopted Ordinance 2008-08-39, AN ORDINANCE ANNEXING CERTAIN PROPERTY TO THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS – (24W349 ST. CHARLES ROAD).

Ordinance 2008-08-40: Zoning Newly Annexed Property – Angel Associates LP- (24W349 St. Charles Road).

The Board adopted Ordinance 2008-08-40, AN ORDINANCE ZONING NEWLY ANNEXED PROPERTY – (24W349 ST. CHARLES ROAD).

Ordinance 2008-08-41: Rezoning Prop. B-2 to B-3: 381 Schmale Rd.:

The Board adopted Ordinance 2008-08-41, AN ORDINANCE REZONING A PROPERTY FROM B-2 GENERAL RETAIL DISTRICT TO B-3 SERVICE DISTRICT – (381 SCHMALE ROAD).

Ordinance 2008-08-42: Approve Final PUD/Spec.Uses – Shopping Plaza, Drive-up Service Window & Auto Laundry- East side Schmale Rd/ .South of St. Charles Rd.:

The Board adopted Ordinance 2008-08-42, AN ORDINANCE APPROVING A FINAL PLANNED UNIT DEVELOPMENT PLAN AND SPECIAL USES FOR A SHOPPING PLAZA AND DRIVE-UP SERVICE WINDOW & AUTO LAUNDRY – (EAST SIDE OF SCHMALE ROAD, 450 SOUTH OF ST. CHARLES ROAD).

Resolution 2357: 1st Supplemental for MFT:

The Board adopted Resolution 2357, A FIRST SUPPLEMENTAL RESOLUTION BY MUNICIPALITY UNDER THE ILLINOIS HIGHWAY CODE. This is to appropriate the additional sum of \$183,113.14 for the 2007 Flexible Pavement Project.

Resolution 2358: Amend R. 2354 Adopting Employee Pay Plan 2008/09:

The Board adopted Resolution 2358, A RESOLUTION AMENDING RESOLUTION NO. 2354, ADOPTING THE 2008-09 EMPLOYEE PAY PLAN FOR THE VILLAGE OF CAROL STREAM.

Resolution 2359: Approve non-exclusive license agree. Cricket Comm.:

The Board adopted Resolution 2359, A RESOLUTION APPROVING A NON-EXCLUSIVE LICENSE AGREEMENT BETWEEN CRICKET COMMUNICATIONS AND THE VILLAGE OF CAROL STREAM.

Resolution 2340: Approve Final Plat Consolidation/Carols Court:

The Board adopted Resolution 2340, A RESOLUTION APPROVING A FINAL PLAT OF CONSOLIDATION – (CAROLS COURT, EAST SIDE OF SCHMALE ROAD, 450 FEET SOUTH OF ST. CHARLES ROAD).

Regular Bills, Addendum Warrant of Bills:

The Board approved the payment of the Regular Bills in the amount of \$731,406.94. The Board approved the payment of the Addendum Warrant of Bills in the amount of \$705,655.04.

REGULAR MEETING:

Zoning Code Variation for Lot Coverage – 178 Carriage Drive:

Trustee McCarthy asked William Coley, the homeowner, is he would be willing to eliminate the corner of the deck by the air conditioner so that the variation for lot coverage would not be as big as what he originally requested. A diagram of the agreed upon size of the deck was given to the Board and the petitioner and it was agreed by both parties to work this out with staff and come back for the next Board meeting.

Mr. Diamond stated that since there isn't an ordinance for this matter, the Board can, by motion, restore this matter to the Consent Agenda, and direct staff to provide an ordinance for the next meeting after the petitioner has met with them to show the agreed upon modification. Trustee McCarthy moved and Trustee Fenner made the second to restore this matter to the Consent Agenda and direct staff to modify the request of the petitioner. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
 Nays: 0

REPORT OF OFFICERS:

Trustee Weiss gave a public service announcement regarding the Community meeting to be held at Benjamin School regarding the proposed Consolidation of several school districts. He urged all Carol Stream residents to attend this important informational meeting. Trustee Weiss noted that he attended one day of the Youth Business Camp at the Wheaton Christian Center. He explained that this was a one week program for middle school and high school students where they actually learn while doing a complete program on how to prepare a business plan, how to get started and how to keep it going. Trustee Weiss said that he was absolutely impressed at what these young people came up with and said that it was something that other organizations should attend and look into and complimented everyone involved.

Trustee Schwarze said that on August 26th there will be "A Battle of the Badges" for the Police and Fire District on which group can get out the most blood donors on that day. He encouraged everyone to make an appointment to donate. Shop Carol Stream ended his report.

Trustee Gieser noted that tomorrow evening is National Night Out to be held at Community Park and he invited residents to attend. He also reminded everyone of the Thursday night concerts and Friday's movie will be Ratatouille.

Trustee Drager thanked everyone for their prayers for a friend that has been wounded and also to continue to pray for all of our troops. He also wished his daughter Ashley a Happy 21st Birthday.

Trustee McCarthy commented that the Board was given a live demonstration of the tornado sirens and how well they work right before the meeting tonight. He noted that the Youth Council will be working the Pettit group at Armstrong Park from 9 to 3 and he added that he will be asking for the appointment of three new members.

Mayor Saverino commented that the Chamber fund raiser golf outing was a great success. He said that on July 31st he met with Jose Torres, the new U-46 superintendent, and noted that this is the first time in his seven years on the Board that anyone from U-46 has met with the Village to discuss ideas about the District. Mayor Saverino said that he thinks that U-46 will be in good hands with this new leadership. In regard to Town Center events, Mayor Saverino said that there has been great attendance at the concerts, and suggested that it may be due to the high price of gasoline that people are staying close to home. He noted that August 14th will have a local favorite, Tony Spavone and that Classic Cars and Rods will have a car show and ask for unwrapped toy to be given to Toys 4 Tots for Christmas Sharing. Mayor Saverino stated that there have been more than 1,000 more vehicle stickers sold this year than last year and suggested that the increased fine may have inspired more residents to get their stickers on time. He also invited the residents to participate in the National Night Out at Community Park.

At 8:30 p.m., Trustee McCarthy moved to adjourn and Trustee Fenner made the second. The results of the roll call vote were:

Ayes: 6 Trustees Drager, Weiss, Schwarze, McCarthy, Gieser & Fenner
 Nays: 0

FOR THE BOARD OF TRUSTEES

**Regular Meeting-Plan Commission/Zoning Board Of Appeals
Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County,
Illinois**

August 11, 2008

All Matters on the Agenda may be discussed, amended and acted upon

Chairman Pro-Tem Angelo Christopher called the Regular Meeting of the Combined Plan Commission Zoning Board of Appeals to order at 7:30 p.m. and directed Recording Secretary Wynne Progar to call the roll.

Present: Commissioners Anthony Manzzullo, Angelo Christopher, Lateef Vora and Joyce Hundhausen
Absent: Commissioners Ralph Smoot, Dee Spink and David Michaelson
Also Present: Community Development Director Bob Glees and Recording Secretary Wynne Progar

MINUTES:

Commissioner Manzzullo moved and Commissioner Hundhausen made the second to approve the Minutes of the Meeting of July 28, 2008 as presented. The results of the roll call vote were:

Ayes:	3	Commissioner Manzzullo, Christopher and Vora
Nays:	0	
Abstain:	1	Commissioner Hundhausen
Absent:	3	Commissioners Smoot, Spink and Michaelson

PUBLIC HEARING:

**# 08116: WINDSOR PARK MANOR – 124 Windsor Park Drive
*Sign Code Variation***

Dan Salamone 2650 C W. Bradley Place, Chicago, IL was sworn in as a witness in this matter. He explained that Windsor Park Manor is an assisted living/ retirement community that has requested a comprehensive sign program that will provide directional and informational signs that will assist residents and guests find their way around the many buildings. He also said that some of the signs do exceed the size allowed in the Code.

There were no comments or questions from those in attendance at the call for public hearing.

Mr. Glees reported that Windsor Park Manor wishes to place 13 informational signs throughout their campus in order to assist residents and visitors in finding their various facilities. The campus has many buildings, and it can be difficult for unfamiliar drivers to find their way. A total of 15 signs are proposed as part of Windsor Park's new signage plan. Two of these, Signs 1.1 and 1.2 are ground signs for the Windsor Park campus, and these are not included in the issue at hand, which is signs regulating on-premises traffic. Thirteen such informational signs are proposed, at the locations given on the site plan. The applicant is requesting variations from the Sign Code as follows: 1). Variation for sign height of 7.5 feet rather than six feet for Signs 2.1 and 2.2. 2). Variation for sign area, a. 15.4 square feet rather than six square feet for Signs 2.1 and 2.2, b. 10.0 square feet

rather than six square feet rather than for Signs 3.1 through 3.7 and 5.1, c. 28.0 square feet rather than six square feet for Signs 4.1 and 4.2. 3) Variation to provide no clearance beneath the signs. Staff would not that Section 6-11-15(B) (!0) of the Sign Code is intended more for commercial/industrial properties, in which motorists need to discern the locations of such things as parking, delivery doors or exit drives. Windsor Park Manor is unique in that it is a residential community, it is very large, it consists of numerous buildings and onsite traffic has a fairly high percentage of senior drivers. It is certainly understandable that the applicant would wish to provide helpful information to motorists attempting to navigate the site, and to provide it in a clear and helpful way. Regarding the requirement for clearance below the signs, this is based on motorists being able to detect other vehicles which may otherwise be obstructed by the sign, and staff shares this concern. It is important that none of the signs be located within a sight triangle at a confluence of traffic movements. Therefore, even though the Sign Code does not require a permit for signs regulating on-premises traffic, staff recommends that a no-fee permit be required for each of the 13 signs, and that a location plan be required as part of the permit submittal. This will allow the Engineering Services Department to determine whether any of the signs may pose a sight obstruction.

Staff recommends approval of the Sign Code Variations for 13 informational signs at Windsor Park Manor, as noted above, subject to the following conditions:

1. That a no-fee sign permit must be obtained for each of the 13 signs, and that a location plan be required as part of the permit submittal;
2. That encroachment of a sign into the sight distance triangle must be avoided wherever possible;
3. That in the event encroachment of a sign into the sight distance triangle cannot be avoided, traffic control measures must be provided to the satisfaction of the Village Engineer; and
4. That the signs shall comply with all state, county, and village codes and requirements.

Commissioner Manzzullo asked if the size of the signs are larger because the information has to be of a bigger size to be more readable and he was told that that is part of the reason. In response to the questions about reflective lettering, Mr. Salamone said that that the letters will be reflective as well as being the signs being contrasting colors. He also agreed with the conditions noted in the staff report.

Commissioner Hundhausen moved and Commissioner Vora made the second to approve the request for Sign Code Variation for Windsor Park Manor in accordance the conditions noted in the staff report. The results of the roll call vote were:

Ayes:	4	Commissioners Manzzullo, Vora, Hundhausen & Christopher
Nays:	0	
Absent:	3	Commissioners Smoot, Spink and Michaelson

**# 08193: WENDY'S – 423 S. Schmale Road
Sign Code Variation**

Mr. Grees reported that the petitioner called him and said that since staff recommended denial he was opting not to attend this hearing. He also noted that the petitioner was going to look into some of the suggestions that were made by staff to avoid needing a variance.

There were no comments or questions by those in attendance at the call for public hearing.

Mr. Glees reported that Wendy's is request a variation from the Sign Code to allow a Sign nine feet, ten inches in height. The Sign Code permits single-use properties to have one ground sign per street frontage, not to exceed 72 square feet in area or six feet in height. There is an existing ground sign on the property, and it is to be replaced by the proposed ground sign. The existing ground sign is approximately 25 square feet in area and six feet in height. In the final analysis of the Sign Code Variation requests, staff finds the Village's consistent application of the Sign Code, particularly with respect to ground sign height, to be the most compelling factor. As such, staff cannot support the requested Sign Code variation related to sign height. However, staff notes that other businesses in the Schmale Road corridor, outside of the Carol Stream village limits, have been permitted to have taller signs, as was pointed out in a similar recent case.

Staff finds that the evaluation criteria for variation requests have not been satisfied, and as such staff cannot support the variation.

Commissioner Manzullo moved and Commissioner Hundhausen made the second to deny the request for a sign code variation for Wendy's, 423 S. Schmale Road. The results of the roll call vote were:

Ayes:	4	Commissioners Manzullo, Vora, Hundhausen & Christopher
Nays:	0	
Absent:	3	Commissioners Smoot, Spink and Michaelson

06362

VILLAGE OF CAROL STREAM – 500 N. Gary Avenue
Text Amendments – Utility Structures
(Continued from 6-9-08 Meeting)

Mr. Glees stated that the public hearing for this matter was published as required by law for this date. He suggested that since this is a big case, the Commissioners present could continue the matter so that discussion can be held by all of the members at the next meeting.

Commissioner Manzullo moved and Commissioner Vora made the second to continue this matter to the next meeting, 8/25/08. The results of the roll call vote were:

Ayes:	4	Commissioners Manzullo, Vora, Hundhausen & Christopher
Nays:	0	
Absent:	3	Commissioners Smoot, Spink and Michaelson

Commissioner Hundhausen moved and Commissioner Vora made the second to close the public hearing. The motion passed by unanimous voice vote.

Under New Business, Mr. Glees announced that Don Bastian will begin his duties as Assistant Community Development Director on August 25th.

At 7:45 p.m. Commissioner Vora moved and Commissioner Manzullo made the second to adjourn. The motion passed by unanimous voice vote.

FOR THE COMBINED BOARD


AGENDA ITEM

C-1 8-18-08

Village of Carol Stream

Interdepartmental Memo

To: Acting Village Manager Bob Mellor

From: 
Chief Rick Willing

Date: August 13, 2008

Re: 2007-2008 Illinois Traffic Safety Challenge Awards

On August 13, Carol Stream Police Department officials and Mayor Saverino attended the Illinois Association of Chiefs of Police annual Traffic Safety Challenge Awards ceremony.

This ceremony recognizes police agencies that through education, enforcement and special projects have made a significant impact on traffic safety.

I am very proud to report that the Carol Stream Police Department was named co-champions in the municipal class of 51-100 officers. In addition, the Department received the Impaired Driving Award for excellence in identifying and removing impaired drivers from the roadway.

I would like to present these awards before the Village Board at the August 18th meeting and recognize Sgt. John Jungers and Ofc. Julie Johnson-Zalak for their outstanding work of preparing this award winning application.

A brief summary of the Traffic Safety Challenge is attached.

What Is The Traffic Safety Challenge?

The *Illinois Traffic Safety Challenge* is coordinated by the Illinois Association of Chiefs of Police Traffic Committee, and is designed to challenge police departments, county sheriff agencies, state police districts and other law enforcement agencies to tackle the traffic safety problems in their jurisdictions in unique ways. Each year every law enforcement agency in the state is sent an application which outlines the criteria for the requirements for a submission. Agencies need to document their policies and procedures, officer training, traffic safety recognition programs, public information and education efforts, crash data and effectiveness information. Applications are due in April of each year for efforts conducted during the previous calendar year.

Applications are then judged by members of the Illinois Chiefs Traffic Committee in May. Applications are grouped into categories based on agency type and number of officers, and are graded on certain criteria. Eventually a first, second and third place winner is determined in each category and those agencies are recognized at the breakfast. Special category awards are also presented for the following best programs: Impaired Driving, Speed Awareness, Bike/Pedestrian Safety and Commercial Vehicle Safety. There is also a Rookie of the Year award presented to the best submission from a first-time applicant and a Judges Award for the best overall program that year (excluding previous Judges Award winners).

There is also a Championship Class category pitting all of the first place winners from the previous year against each other, regardless of agency type or size. All applications are then forwarded to the International Association of Chiefs of Police for consideration in the National Law Enforcement Challenge awards, which are presented in October at the IACP Conference.

PROCLAMATION

**DECLARING EVERY MAY 1ST
NATIONAL SILVER STAR FAMILIES
OF AMERICA DAY**

WHEREAS, the Village of Carol Stream has always honored the sacrifice of the men and women in the Armed Forces; and

WHEREAS, The Silver Star Families of America was established to honor the blood sacrifice of our wounded and ill servicemen and servicewoman by designing and manufacturing a Silver Star Banner and Flag; and

WHEREAS, to date The Silver Star Families of America have freely given thousands of Silver Star Banners to the wounded and their families, and

WHEREAS, the members of The Silver Star Families of America have worked tirelessly to provide the wounded of Carol Stream and those in our nation's communities across our great country with Silver Star Banners, Flags and care packages; and

WHEREAS, The Silver Star Families of America's sole mission is to develop a national awareness of the courageous sacrifice made by the members of our nation's Armed Forces by seeing a Silver Star Banner in a window or a Silver Star Flag flying; and

WHEREAS, the residents of the Village of Carol Stream are asked to remember and keep alive the proud and honorable sacrifices made by the men and women of our nation's Armed Forces.

NOW THEREFORE, I, FRANK SAVERINO SR., MAYOR OF THE VILLAGE OF CAROL STREAM, do hereby proclaim my appreciation of the Silver Star Families of America and honor their commitment to our wounded Armed Forces members. I hereby declare May 1st "SILVER STAR BANNER DAY" the permanent and official day to honor the wounded and ill Soldiers of the Village of Carol Stream.

APPROVED THIS 18TH DAY OF AUGUST OF 2008.

Frank Saverino Sr. - Mayor

ATTEST:

Beth Melody, Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Robert J. Mellor, Assistant Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: August 14, 2008

RE: **Agenda Item for the Village Board Meeting of August 18, 2008**
Benjamin School - 28W300 St. Charles Road
Preannexation Agreement For Connection To Village Water System

PURPOSE

The purpose of this memorandum is to present the referenced agreement to the Village Board and recommend approval.

DISCUSSION

The Village's project to extend its public water distribution system out to Fair Oaks Road is scheduled to go to bid this fall. During the preparation of design plans for the project, staff coordinated with adjacent property owners along the route of the new water main for the purposes of seeking utility easements and discussing the process for connection to the system. As with all connections of unincorporated properties to Carol Stream utilities, property owners are required to enter into a preannexation agreement if they should desire such a connection.

The Village Board should recall that one of the desired benefits of the water main project is that it would bring a safe water supply system to Benjamin School, and so staff and Mayor Saverino met several times with school district staff in order to commence the development of a preannexation agreement. The attached agreement was developed by the Village Attorney and the Benjamin School District 25 attorney, and was approved by the District 25 Board of Education on August 11, 2008. Staff has reviewed that agreement and we find it acceptable.

RECOMMENDATIONS

Staff recommends approval of the attached agreement. If the Village Board concurs with the staff recommendation and the proposed preannexation agreement, they should approve the ordinance prepared for that purpose.

RJG:bg

u:\annexations\benjamin.vbmemo1.doc

Village of Carol Stream
Interdepartmental Memo

TO: Robert J. Mellor, Assistant Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: August 14, 2008

RE: **Agenda Item for the Village Board Meeting of August 18, 2008**
Value Place - 200 W. North Avenue
Annexation Agreement and Annexation of property
Rezoning to B-3 Service District Upon Annexation
Special Uses - Planned Unit Development, Hotel, Shopping
Plaza, Drive-Up Service Window
Preliminary Planned Unit Development Plan

PURPOSE

The purpose of this memorandum is to present the requests of the petitioner, VP Ventures, LLC, for annexation and zoning approvals to allow a hotel and shopping plaza development on two parcels located on the south side of North Avenue, west of Gary Avenue.

DISCUSSION

VP Ventures, LLC, has submitted a petition for annexation and application for several zoning approvals to allow a multi-building commercial development on two parcels located at 200 W. North Avenue. The proposed development would consist of two buildings with shared stormwater management facilities, for which the applicant is requesting a Special Use Permit for a Planned Unit Development. The applicant is requesting Preliminary Planned Unit Development Plan approval for the proposed development. The first proposed building is an approximate 42,900 square foot, 121-room hotel, for which the applicant is requesting a Special Use Permit. The second proposed building is a 12,000 square foot, multi-tenant commercial shopping plaza with a drive-up service window, for which the applicant is requesting approval of Special Use Permits.

The project was presented to the Village Board with the recommendations of the Plan Commission at their regular meeting on June 16, 2008, for information and discussion only. No Village Board action was requested other

than to direct staff to prepare an annexation agreement and schedule a public hearing for annexation. At that meeting, the motion to direct staff to prepare an annexation agreement failed by a vote of 3-4. At the request of the applicant, the Village Board agreed to hear a detailed presentation of the project at their next meeting on July 7, 2008. At that meeting, the Village Board directed staff to prepare an annexation agreement, and provided input regarding several issues, including building architecture, hotel tax, and a cash contribution in lieu of sales tax.

Status of Issues

Included in the Village Board's packet are draft ordinances for approval of the applicant's requests, including the draft annexation agreement. The issues identified by the Village Board have been addressed by the applicant as follows:

Architecture – The applicant has made substantial changes to the building facades of the hotel and commercial buildings, in response to comments received from the Village Board at the July 7th meeting. Attached to the agreement are revised color renderings illustrating the new proposed architecture.

Hotel Tax – Item No. 8A of the agreement stipulates that hotel tax shall be paid regardless of the duration of stay. Also, at their August 4, 2008, meeting, the Village Board passed Ordinance No. 2008-08-37, amending the Municipal Hotel Tax by eliminating the exemption for stays in excess of thirty consecutive days. With this action, the collection of hotel sales tax revenue will be consistent throughout the Village.

Timing of the Shopping Plaza Construction – In order to address the Village Board's concern that the commercial building be constructed at the same time as the hotel, the applicant's attorney and the Village Attorney have developed the language given in Item No. 9 of the agreement. This item stipulates that the developer shall submit, at time of permit application, an escrow in the amount of \$150,000 to be held by the Village. The developer has until January 1, 2010, to complete the commercial building and obtain leases for the commercial spaces. The Village is guaranteed a revenue of no less than \$4,167 per month for a period of three years, commencing April 1, 2010. In the event all or a portion of such revenue is not produced, the necessary funds will be obtained from the escrow. If the commercial building is not built or leased by March 31, 2013, the developer is under no further obligation.

Safety, Crime and Maintenance – In order to address the Village Board's concern that the hotel may attract an unsavory element, or be poorly maintained, the applicant's attorney and the Village Attorney have developed the language given in Item No. 8 of the agreement. A number of operational standards are incorporated into the agreement.

RECOMMENDATIONS

As directed by the Village Board, staff and the Village Attorney have worked with the petitioner to develop an annexation agreement that meets the concerns as identified during the hearing process. The PC/ZBA has recommended approval of the petitioner's requests for Rezoning to B-3 Service District Upon Annexation, Special Uses for Planned Unit Development, Hotel, Shopping Plaza and Drive-Up Service Window, and Preliminary Planned Unit Development Plan. The Village Attorney has reviewed the proposed annexation agreement, and finds it acceptable.

If the Village Board concurs with the PC/ZBA recommendation and finds the proposed annexation agreement acceptable, they should approve ordinances to authorize the following:

1. Execution of an annexation agreement with Bank Financial, FSB, (the property owner) and V.P. Ventures, LLC, (the developer) for the annexation and development of the Value Place property.
2. Execution of a Plat of Annexation for the property.
3. Amendment of the Official Zoning Map to classify the Value Place development as B-3 *Service District*.
4. Approval of Special Use Permits for Planned Unit Development, Shopping Plaza and Drive-up Service Window, and the Preliminary PUD Plan, for the Value Place development subject to the following conditions:
 - a. The development shall be designed and constructed in accordance with the Preliminary PUD Plan prepared by Roake and Associates dated June 11, 2008, the Landscape Plan prepared by Stan's Landscaping dated April 28, 2008, the building elevations prepared by arete' 3 dated August 5, 2008, and the color renderings prepared by arete' 3 dated August 6, 2008.
 - b. That the multi-tenant shopping plaza building shall not be permitted to have more than 1,200 square feet allocated toward food service use;

- c. That the stormwater management areas shall require final approval from the Engineering Services Department at time of building permit;
- d. That traffic control signage be provided to the satisfaction of the Village Engineer;
- e. That the access drive to North Avenue shall require approval from the Illinois Department of Transportation;
- f. That the landscaping along North Avenue must be a hardy, salt tolerant variety to avoid winter die-off;
- g. That all landscape materials shall be maintained in a neat and healthy manner, with dead or dying materials replaced with similar size and type species on an annual basis;
- h. That the parking stalls shall be striped in accordance with the Village's looped striping requirements;
- i. That all rooftop equipment shall be completely screened from view in all directions;
- j. That all ground-mounted mechanical equipment shall be screened from view from surrounding public streets, and if landscaping is used, it must be equally effective in winter as it is in summer;
- k. That all trash enclosures shall be constructed with masonry materials to match the masonry on the buildings;
- l. That separate building permits are required for all trash enclosures and signs; and
- m. That the development of the site and buildings will comply with all State, County and Village Codes and requirements.

RJG:bg

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State of Illinois)
) SS
County of DuPage)

PETITION FOR ANNEXATION

200 W. North Avenue

To: The President and Board of Trustees
of the Village of Carol Stream
DuPage County, Illinois

This Petition is made by Bank Financial, FSB as Trustee under a Trust Agreement dated December 20, 2006 and known as Trust Number 010914 (hereinafter, "Petitioner"). Petitioner states the following under oath:

1. The subject of this Petition is an approximately 4.76-acre parcel of unimproved land located on the south side of North Avenue (Illinois Route 64), approximately 920 feet west of Gary Avenue, in DuPage County, Illinois (the "Property"). The Property is legally described as:

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, (DESCRIBED BY COMMENCING AT THE NORTHWEST CORNER OF MODAFF'S PLAT OF LOTS 2 AND 3 (RECORDED FEBRUARY 19, 1959 AS DOCUMENT 912843), SAID POINT BEING ON THE CENTERLINE OF NORTH AVENUE, AND RUNNING THENCE NORTHWESTERLY ON SAID CENTERLINE 500.0 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO RECREATION SERVICES, INC. BY DOCUMENT R75-55124; THENCE SOUTH ON THE WEST LINE OF SAID PROPERTY 101.24 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE AS CONSTITUTED AFTER CONDEMNATION CASE 16685, FOR A POINT OF BEGINNING; THENCE CONTINUING SOUTH, ON THE WEST LINE OF PROPERTY CONVEYED BY DOCUMENT R75-55124, A DISTANCE OF 527.51 FEET (RECORDED 528.0) TO AN IRON PIPE AT THE SOUTHWEST CORNER THEREOF; THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, 488.08 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 09 MINUTES 50 SECONDS WEST, ON SAID WEST LINE, 604.75 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE; THENCE SOUTH 81 DEGREES 02 MINUTES; 17 SECONDS EAST, ON SAID SOUTHERLY LINE, 495.86 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 130 FEET THEREOF). IN DUPAGE COUNTY, ILLINOIS.

2. Title to the Property is held by Petitioner.
3. The Property is not situated within the corporate limits of any municipality. The Property is contiguous to the boundary of the Village of Carol Stream (hereinafter, the "Village").

4. No electors reside on the Property.
5. V.P. Ventures, LLC, an Alaska limited liability company (hereinafter, V.P. Ventures), has contracted to purchase the Property from Petitioner, and intends to improve the Property with hotel and shopping plaza buildings in accordance with plans approved by the Village. V.P. Ventures joins in this Petition.
6. Petitioner and V.P. Ventures desire that the Property, together with public streets adjacent thereto that have not previously been annexed to any municipality, be annexed to the Village in accordance with the terms of an Annexation Agreement by and between the Village, Petitioner and V.P. Ventures.
7. A Plat of Annexation of the territory to be annexed pursuant to this Petition, certified by a Registered Illinois Land Surveyor, is attached hereto as Exhibit A.
8. All statements of fact in this Petition are, to best of Petitioner's knowledge and information, true.

PETITIONER HEREBY REQUESTS AND STATES:

- A. That the Property be annexed to the Village by an ordinance duly adopted by the President and Board of Trustees of the Village pursuant to Section 7-1-8 of the Illinois Municipal Code (65 ILCS 5/7-1-8).
- B. That the annexation requested herein is contingent upon the prior execution of an Annexation Agreement by the Village, Petitioner and V.P. Ventures, said Annexation Agreement having been approved by the Village Board of Trustees in accordance with Sections 11-15.1-1 through 11-15.1-5 of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 to 11-15.1-5).
- C. That the Village Clerk give such notices as are required by law to give effect to the requested annexation of the Property.
- D. That the Village Clerk cause a copy of the ordinance annexing the Property and an accompanying plat of annexation to be duly recorded with the DuPage County Recorder, and duly filed with the DuPage County Clerk and other governmental agencies and public utilities identified in Section 12-1-3 of the Village's Code of Ordinances.
- E. That the Village Clerk send notice of annexation of the Property to the DuPage County Election Commission and the U.S. Post Office branch serving the Property by certified mail.

F. That such further action be taken by the Village as may be necessary or appropriate to effect this Petition.

Dated this ____ day of August, 2008

Bank Financial, FSB, not personally
but as Trustee aforesaid

By: _____

Its: _____

Attest:

By: _____

Its: _____

V.P. Ventures, LLC

By: _____

Its: Member

State of Illinois)
) SS
County of _____)

The undersigned Notary Public, in and for the County and State aforesaid, does hereby certify that _____ and _____, personally known to me as _____ and _____, of Bank Financial, FSB, acknowledged that they signed and delivered the foregoing instrument on behalf of Bank Financial, FSB as Trustee aforesaid, as their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 2008.

Notary Public

State of Illinois)
) SS
County of _____)

The undersigned Notary Public, in and for the County and State aforesaid, does hereby certify that Robert Parsons, personally known to me as a Member of V.P. Ventures, LLC, acknowledged to me that he signed and delivered the foregoing instrument on behalf of said company, as his own free and voluntary act for the purposes therein set forth.

Given under my hand and official seal, this ____ day of _____, 2008.

Notary Public

AGENDA ITEM
Ela 8-18-08

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Robert J. Glees, Community Development Director *RJG*
DATE: August 12, 2008
RE: **Agenda Item for the Village Board meeting of August 18, 2008: PC/ZBA Case # 08116 – Windsor Park Manor, 124 Windsor Park Drive – Sign Code Variations**

Windsor Park Manor wishes to place 13 informational signs throughout their campus in order to assist residents and visitors in finding their various facilities. The campus has many buildings, and it can be difficult for unfamiliar drivers to find their way. Two of the signs exceed the maximum height of six feet, all 13 signs exceed the maximum area of six square feet, and none of the 13 provides two feet of clearance below the sign. Therefore, the applicant is requesting variations from Section 6-11-15(B)(10) of the Sign Code for sign height, for sign area, and to provide no clearance beneath the signs.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on August 8, 2008. At their August 11, 2008, meeting, the PC/ZBA voted 4-0 to approve the Sign Code variation requests.

The Plan Commission has the authority to approve or deny Sign Code variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the Plan Commission within 21 days of the date that the request first appears before the Village Board. If the Village Board chooses to take action on the Sign Code Variation request, their decision is final. If the Board chooses not to take action within the 21-day period set forth in the Sign Code, the decision of the Plan Commission is final.

RJG:bg
cc: Dan Salamone, via fax, (773) 871-0382
Mary Clauss, via fax, (630) 510-2074
t:\planning\plan commission\staff report\2008 staff reports\08116b windsorparkmanor.signvar.doc

AGENDA ITEM

EL 8-18-08

Village of Carol Stream

Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: August 12, 2008

RE: **Agenda Item for the Village Board meeting of August 18, 2008: PC/ZBA Case # 08193 – Wendy's, 424 S. Schmale Road – Sign Code Variation**

Wendy's wishes to replace their existing ground sign, and replace it with one that includes a message board. The existing ground sign is approximately 25 square feet in area and six feet in height. The proposed sign would be constructed at the same location as the existing ground sign, and would be 9'-10" in height and 45 square feet in area. The applicant is requesting a Sign Code variation to allow the sign to exceed the six foot height requirement of the Code.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on August 8, 2008. At their August 11, 2008, meeting, the PC/ZBA voted 4-0 to deny the Sign Code variation request.

The Plan Commission has the authority to approve or deny Sign Code variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the Plan Commission within 21 days of the date that the request first appears before the Village Board. If the Village Board chooses to take action on the Sign Code Variation request, their decision is final. If the Board chooses not to take action within the 21-day period set forth in the Sign Code, the decision of the Plan Commission is final.


RJG:bg

cc: Mike Allegro, via fax, (815) 929-9737

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AGENDA ITEM
G-1 8-18-08

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: William N. Cleveland, Assistant Village Engineer 
DATE: August 11, 2008
RE: Pond Shoreline and Wetland Maintenance for May '08 through April '09 - Waiver of Bids and Award of Contract.

Three years ago, Engineering Staff worked with LaFayette Home Nursery to create a three-year plan for pond shoreline and wetland maintenance. Rather than awarding a three-year contract, it was decided to award each contract on a yearly basis.

This contract is for the renewal of a new three-year plan and includes: selective cutting, herbiciding, burning and replanting. The amount of the contract for this year, is \$27,660, which is within the budget amount of \$31,000. We have requested that the contractor evaluate the results of the program and provide recommendations for future projects, which was done and is attached.

The selection of LaFayette Home Nursery was based on a previously bid pond shoreline maintenance projects and offered a substantial saving over previous projects. Engineering Staff therefore recommends that the bid process be waived, and the Pond Shoreline and Wetland Maintenance Contract be awarded to LaFayette Home Nursery for \$27,660.00.

Cc: James T. Knudsen, Director of Engineering Services
Stan Helgerson, Finance Director
Al Turner, Director of Public Works

Attachment



La Fayette Home Nursery INC.

LaFAYETTE, ILLINOIS 61449-9702

"ON ROUTE 17 IN STARK COUNTY"

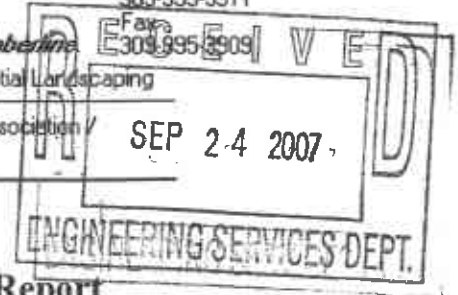
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Telephone
309-995-3311

Fax
309-995-3909



**Village of Carol Stream
Pond Shoreline & Wetland Maintenance Report
& Recommended Maintenance For 3 Years,
May, 2008 through April 3, 2011**

NW Corner of Gary Avenue & Lies Road Pond – Response to Previous Maintenance (R.P.M.):
Burn – Good, prairie grasses establishing at Shoreline. Chemical Treatment (C.T.) – Fair, teasel
population reduced by 60% - reseeding to be completed in Fall '07, under current contract. 2
mowings should be conducted in 2008, high mow in the Summer and low mow in late Fall, continue
C.T. of invasives.

Town Center North - R.P.M.: Burn – Excellent, prairie grasses and wildflowers have established
around Shoreline. C.T. – 95% of willows have been eliminated. Future burns should keep the
willows in check.

Town Center Basin – R.P.M.: Wildflowers installed in 2006 are blooming. Additional species
should be added using with funds from other ponds not needed this year, i.e.; reseeding Community
Park Wetland \$925.00.

Shenandoah Valley South – R.P.M.: Clearing of trash trees and seeding - Very Good. Continue
C.T. at reduced price and burn maintenance in the future.

Shenandoah Valley Center – R.P.M.: Several colonies of Water Lilly's have established despite
40 – 50 ducks present at the pond on 8/30/07. No future maintenance planned for this pond.

Shenandoah Valley North – R.P.M.: Burn – Good. C.T – Good, more native species and less
invasive species. Continue to burn and C.T.

Carol Stream Venture West – R.P.M: Burn – Very Good, prairie is responding to burn with
additional wildflower and grass species in abundance. C.T – Fair, LHN will retreat invasives at NC
week of 9/10/07.

Carol Stream Venture East – R.P.M: Burn – Basin Bottom Good, cattails are being replaced by
bulrushes, Side Slopes Fair to Poor, considerable disturbances by homeowners, i.e ; grass clippings,
brush, lawn waste, carpeting & debris. Seed heavy Switch Grass on Slopes to establish grass matrix
for burning. Will need large willows cleared in future.

Cambridge Walk Wetland - R.P.M: - Clearing on west bank, Very Good, locust thicket is gone.
Seeding – Good, temporary species and some permanent species seeded in 2006 are established.
The basin bottom is a monoculture of cattails. Native plants are not responding to the burn like
Venture East has. Therefore, future burns will be limited to the prairie buffer on the banks for over
\$1,000.00 savings in burn costs.



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Illinois State Nurserymen's Association

**Village of Carol Stream
Pond Shoreline & Wetland Maintenance Report
& Recommended Maintenance For 3 Years,
May, 2008 through April 3, 2011**

Day Lilly Park – R.P.M.: Burn – Very Good, Ironweed and False Dragonhead have appeared since the burn in 2006. C.T. – Good, fewer loosestrife, teasel and cattails are apparent. Future maintenance will include: Cut alder trees and zebra grass back off South side of the path and 1 volunteer willow (not weeping willow) on Northeast corner.

Jay Stream Pond – R.P.M.: Burn – Very Good. Seeding – Good, no washouts, seeded species apparent. C.T. – Poor, LHN crews will treat invasives week of 9/10/07, No Charge. Future maintenance: Cut, treat stumps, remove and dispose of properly 3 trash trees on North side and 1 ash tree by South inlet pipe. Wick invasives and burn prairie areas.

Maple Ridge Pond – R.P.M.: Burn – Fair, more prairie grasses. C.T. – Good, invasive species have been reduced by 50%. Future maintenance: chemical treatment of invasives and burn.

Mill Valley Pond – R.P.M.: Seeding – Good. C.T. – Fair, needs retreatment of willows by LHN – No Charge. Future Maintenance: C.T. invasives and burn prairie areas.

Community Park Wetland – R.P.M.: Burn – Good. C.T. – Good. The grass path on the South side wasn't installed because of the rough terrain and peat that will not grow turf grass. Future Maintenance: Chemically treat invasives, burn and cut back sumac off path by North East bridge.

Carol Point Wetland – R.P.M.: C.T. – Fair, needs future chemical treatment on South slope and swale that extends to Lies Road.

Kehoe Reservoir – R.P.M.: Burn – Good. C.T. – Good, teasel was reduced by 50%. Future Maintenance: spray 1 time yearly to further reduce the teasel infestation.

Fair Oaks Road – Heavy weed content was mowed back to just above the prairie species, finished 9/05/07. The prairie that was recently planted next to the curb was hanging/leaning out in the road by 3 to 4 feet. In the Spring of 2008 the first 4 to 5 feet from the curb should be replaced with a low maintenance turf grass. Future maintenance will include: Chemical Treatment to invasive species and burn.

CAROL STREAM SPECIES LIST

NW Gary & Lies

Aster novae-angliae (New England Aster)
Andropogon gerardii (Big Blue Stem)
Coreopsis lanceolata (Sand Coreopsis)
Panicum virgatum (Prairie Switch Grass)
Silphium perfoliatum (Cup Plant)
Sorghastrum nutans (Indian Grass)

Town Center North

Allium cernuum (Nodding Wild Onion)
Andropogon gerardii (Big Blue Stem)
Asclepias incarnata (Swamp Milkweed)
Aster novae-angliae (New England Aster)
Desmanthus illinoensis (Illinois Sensitive Plant)
Eupatorium perfoliatum (Common Boneset)
Helenium autumnale (Sneezeweed)
Panicum virgatum (Prairie Switch Grass)
Physostegia virginiana (False Dragonhead)
Pontederia cordata (Pickerel Weed)
Pycnanthemum virginianum (Mountain Mint)
Rudbeckia hirta (Black-Eyed Susan)
Scirpus acutus (Hard Stem Bulrush)
Scirpus validus (Soft-Stem Bulrush)
Silphium perfoliatum (Cup Plant)
Sorghastrum nutans (Indian Grass)
Spartina pectinata (Prairie Cord Grass)
Vernonia fasciculata (Ironweed)

Town Center Basin

Shenandoah Valley North

Andropogon gerardii (Big Blue Stem)
Sorghastrum nutans (Indian Grass)
Spartina pectinata (Prairie Cord Grass)

Carol Stream Venture West

Andropogon gerardii (Big Blue Stem)
Elymus virginicus (Virginia Wild Rye)
Helenium autumnale (Sneezeweed)
Helianthus laetiflorus [rigidus] (Prairie Sunflower)
Monarda fistulosa (Prairie Bergamot)
Panicum virgatum (Prairie Switch Grass)
Ratibida pinnata (Yellow Coneflower)
Silphium integrifolium (Rosin Weed)
Silphium laciniatum (Compass Plant)
Silphium terebinthinaceum (Prairie Dock)
Solidago rigida (Stiff Goldenrod)
Sorghastrum nutans (Indian Grass)
Spartina pectinata (Prairie Cord Grass)
Verbena hastata (Blue Vervain)
Vernonia fasciculata (Ironweed)

Cambridge Walk Wetland

Aster novae-angliae (New England Aster)
Chrysanthemum maximum (Shasta Daisy)
Coreopsis palmata (Prairie Coreopsis)
Desmanthus illinoensis (Illinois Sensitive Plant)
Echinacea purpurea (Purple Coneflower)
Eupatorium perfoliatum (Common Boneset)
Monarda fistulosa (Prairie Bergamot)
Pontederia cordata (Pickerel Weed)
Ratibida pinnata (Yellow Coneflower)
Rudbeckia hirta (Black-Eyed Susan)
Silphium terebinthinaceum (Prairie Dock)
Solidago rigida (Stiff Goldenrod)

Jay Stream Pond

Andropogon gerardii (Big Blue Stem)
Asclepias incarnata (Swamp Milkweed)
Aster novae-angliae (New England Aster)
Coreopsis lanceolata (Sand Coreopsis)
Eleocharis palustris (Common Spike Rush)
Eupatorium perfoliatum (Common Boneset)
Helenium autumnale (Sneezeweed)
Iris virginica shrevei (Blue Flag Iris)
Monarda fistulosa (Prairie Bergamot)
Panicum virgatum (Prairie Switch Grass)
Physostegia virginiana (False Dragonhead)
Pycnanthemum virginianum (Mountain Mint)
Ratibida pinnata (Yellow Coneflower)
Rudbeckia hirta (Black-Eyed Susan)
Scirpus acutus (Hard Stem Bulrush)
Scirpus validus (Soft-Stem Bulrush)
Silphium perfoliatum (Cup Plant)
Solidago rigida (Stiff Goldenrod)
Sorghastrum nutans (Indian Grass)
Verbena hastata (Blue Vervain)
Vernonia fasciculata (Ironweed)

Carol Point Wetland


Andropogon gerardii (Big Blue Stem)
Helenium autumnale (Sneezeweed)
Sorghastrum nutans (Indian Grass)

Kehoe Reservoir

Kuhnia eupatorioides (False Boneset)
Panicum virgatum (Prairie Switch Grass)
Ratibida pinnata (Yellow Coneflower)
Solidago speciosa (Showy Goldenrod)

G-2 8-18-08

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: William N. Cleveland, Assistant Village Engineer 
DATE: August 14, 2008
RE: Award of Consultant Contract - Phase III Construction Services for Fullerton Avenue LAPP

Engineering Services has received a proposal from TranSystems Corporation to provide construction management services for the referenced project. The construction costs of the resurfacing project are being funded by Surface Transportation Program monies, therefore special procedures and documentation is required beyond the expertise of Village staff.

TranSystems Corporation has been involved with Federally funded projects with the Village in the past, assisting inspection and documentation of the Lies Road Bike Trail and LAPP projects. The cost estimate for consultant services is \$19,604.30, which is to help staff with federal inspection and documentation procedures. Also included is quality assurance field testing required by IDOT. Full time construction administration for this project would be around \$100,000. The contract amount is within the budget of \$46,000.00, which included asphalt plant inspection and testing that is now done by IDOT, and some field inspection and testing that will be done by Village Staff.

Engineering staff therefore recommends that the Phase III Construction consultant contract be awarded to TranSystems Corporation for \$19,604.30. If you have any questions, please call me.

Cc: James T. Knudsen, Director of Engineering Services
Stan Helgerson, Finance Director
Fred Ceranek, Engineering Inspector

H-1 8-18-08

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A LOT COVERAGE VARIATION
(178 CARRIAGE LANE)**

WHEREAS, William Coley, owner of the property at 178 Carriage Lane, is requesting a variation in accordance with Section 16-8-3(G) of the Carol Stream Zoning Code to allow a deck to be constructed adjacent to the existing pool which would exceed the maximum allowable lot coverage of the R-3 One-Family Residence District; and

WHEREAS, pursuant to proper notice, the Combined Plan Commission/Zoning Board of Appeals, at its public hearing on July 28, 2008 reviewed this request for a lot coverage variation and have submitted their findings to the corporate authorities; and

WHEREAS, the Combined Board has filed its minutes regarding its recommendation of approval for this request with the Corporate Authorities; and

WHEREAS, the Corporate Authorities of the Village have determined that approval of the lot coverage variation would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of the Ordinance, commonly known as 178 Carriage Drive, be granted approval of the variation to allow lot coverage of 38.4% on the property at 178 Carriage Lane to permit the construction of a 347 square foot deck in accordance with 16-8-3(G) of the Zoning Code, provided the applicant obtain a the required building permit for the deck.

LEGAL DESCRIPTION:

Lot 21 in the Park Hill of Quail Run Subdivision being a subdivision of part of Section 32, Township 40 North, Range 10 East of the Third Principal Meridian according to the plat thereof recorded December 21, 1977 as Document R77-117884 in DuPage County, Illinois.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

I, _____, being the owner or other party of interest of the
(please print)
property legally described within this Ordinance, having read a copy of the Ordinance,
do hereby accept, concur and agree to develop and use the subject property in
accordance with the terms of this Ordinance.

(Date)

(signature)

H-2 8-18-08

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING THE EXECUTION
OF AN ANNEXATION AGREEMENT
(200 W. NORTH AVENUE)**

WHEREAS, VP Ventures, LLC, owner of the property located at 200 W. North Avenue, such property being legally described in the Annexation Agreement, wishes to enter into a binding agreement with respect to the annexation of this property to the Village of Carol Stream; and

WHEREAS, the Village Board of Trustees, pursuant to proper legal notices, has held a public hearing regarding the annexation of this property; and

WHEREAS, an annexation agreement has been drafted and found acceptable by the parties thereto.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Mayor and Village Clerk are hereby authorized to execute an annexation agreement regarding the annexation of the property commonly known as 200 W. North Avenue, legally described in the Annexation Agreement, appended to and made a part of this Ordinance as Appendix A.

SECTION 2: This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

APPENDIX A

ANNEXATION AGREEMENT

Value Place Hotel and Retail Center Property 200 W. North Avenue

THIS ANNEXATION AGREEMENT ("Agreement") is made and entered into as of _____, 2008, by and between **Bank Financial, FSB** as trustee U/T/A dated December 20, 2006 and known as Trust Number 010914 ("Owner"), **V.P. Ventures, LLC**, an Alaska limited liability company ("Developer"), and the **Village of Carol Stream**, an Illinois municipal corporation located in DuPage County (the "Village"). Owner, Developer and the Village are sometimes hereinafter referred to individually as a "Party" and collectively as the "Parties".

RECITALS

A. The subject of this Agreement is an approximately 5.25-acre tract of unimproved land (the "Subject Property") legally described on Exhibit A hereto. The Subject Property consists of a 4.76-acre unincorporated parcel (the "Unincorporated Parcel"), and an adjacent 0.49-acre parcel that is within the corporate boundary of the Village (the "Incorporated Parcel"). The Unincorporated Parcel and the Incorporated Parcel are legally described on Exhibit A hereo. The Incorporated Parcel is zoned B-3 Service District. The Subject Property is located on the south side of North Avenue (Illinois Route 64) approximately 920 feet west of Gary Avenue.

B. Owner is the owner of record of the Subject Property. Developer has contracted with Owner to purchase the Subject Property, subject to obtaining Village approvals with regard to annexation, zoning and subdivision. Upon acquisition of the Subject Property, Developer intends to develop the Subject Property substantially in accordance with the Preliminary Planned Unit Development Plan prepared by Roake and Associates. Inc. (Job No. 692.003, dated

11/01/07, last revised 06/11/08) attached hereto as Exhibit B (the "Preliminary PUD Plan"), and construct thereon a four-story, 121-guest room hotel and a single-story, 12,000-square foot shopping plaza building in substantial conformance with building elevation and perspective plans prepared by Arête 3 Ltd. (Job No. 08180, dated 7/18/08 (last revised 8/5/08) and 8/6/08 respectively) attached hereto as Exhibit C, and the landscape plan prepared by Stan's Landscaping (Project No. 07-573214975M, dated 4/28/08) attached hereto as Exhibit D. The building and landscape plans attached hereto as Exhibits C and D are hereinafter collectively referred to as the "Building Plans."

C. The Unincorporated Parcel is not within existing territorial limits of any municipality, but is within the planning area of the Village, is contiguous the Village, and may be annexed to the Village as provided in Article VII of the Illinois Municipal Code (65 ILCS 5/7-1-1 et. seq.).

D. Developer submitted an application to the Village requesting zoning of the Unincorporated Parcel to B-3 Service District upon annexation, and also requesting preliminary planned unit development, special use permits for a hotel, shopping plaza and drive-up service window, Gary/North Avenue Corridor Review and preliminary plat of subdivision approvals for the Subject Property.

E. On May 12 and June 9, 2008, the Village Plan Commission/Zoning Board of Appeals held a public hearing on the proposed rezoning of and preliminary planned unit development, special use permits, Gary/North Avenue Corridor Review and preliminary plat of subdivision approvals requested for the Subject Property, pursuant to notice published and given as required by law.

F. The Village Plan Commission/Zoning Board of Appeals has submitted its Findings of Fact and Recommendations to the Board of Trustees of the Village and has recommended that the Unincorporated Parcel be given the zoning classification of B-3 Service District upon annexation Village, and that the requested preliminary planned unit development, special use permits and preliminary plat of subdivision approvals requested by Developer be granted for the Subject Property, subject to the Preliminary PUD Plan and the Building Plans. The Village Plan Commission/Zoning Board of Appeals also found that the Preliminary PUD Plan and Building Plans complied with the Gary/North Avenue Corridor Review criteria.

G. The Parties desire that the Property be annexed to the Village on the terms and under the conditions hereafter set forth.

H. A proposed annexation agreement, in substance and form substantially the same as this Agreement, was submitted to the President and Trustees of the Village ("Corporate Authorities"), and all notices, publications, public hearings and other matters required for the consideration, approval and execution of this Agreement have been performed by the Corporate Authorities as required by Sections 7-1-8 and 11-15.1-1 *et seq.* of the Illinois Municipal Code, and by all applicable ordinances, regulations and procedures of the Village.

I. The Corporate Authorities, after due and careful consideration, have concluded that the annexation of the Unincorporated Parcel and development of the Subject Property in accordance with the Preliminary PUD Plan and Building Plans, and in accordance with terms and conditions hereinafter set forth, would further the growth of the Village, would properly and beneficially extend the corporate limits and jurisdiction of the Village, would enable the Village to control development of the area and would otherwise promote the proper growth, general welfare and best interests of the Village.

J. By a favorable vote of at least two-thirds (2/3) of the Corporate Authorities, an ordinance was adopted approving the terms of this Agreement and authorizing the execution of this Agreement by the Village President and the Village Clerk in the name of, and on behalf of, the Village.

PROVISIONS

NOW, THEREFORE, in consideration of the foregoing Recitals and the mutual covenants, agreements, terms and conditions herein set forth, Owner, Developer and the Village agree as follows:

1. INCORPORATION OF RECITALS. The Recitals hereinabove set forth are hereby restated and incorporated herein by this reference.
2. AUTHORITY. This Agreement is made pursuant to and in accordance with the provisions of Article XI, Division 15.1 of the Illinois Municipal Code (65 ILCS 5/11-15.1-1 *et seq.*).
3. ANNEXATION PETITION. Owner shall, concurrent with the execution this Agreement, file with the Village Clerk a duly executed petition to annex the Unincorporated Parcel pursuant to and in accordance with the provisions of 65 ILCS 5/7-1-8, together with a plat of annexation for the Unincorporated Parcel in the form approved by the Village Director of Community Development.
4. ANNEXATION ORDINANCE & PLAT; ANNEXATION FEES. Within thirty (30) days after written notification from Developer that it or a related entity has acquired the Subject Property, which must be provided on or before June 1, 2009, the Village shall adopt an ordinance annexing the Unincorporated Parcel and shall approve and execute the plat of annexation submitted by Owner. The Village shall notify all governmental entities and officials

of such annexation in accordance with all applicable statutory and ordinance requirements. In accordance with Sections 7-8-19, 12-1-1 and 12-1-2 of the Village Code of Ordinances (“Village Code”), upon payment to the Village of an annexation fee of \$2,856 and a fire protection district contribution of \$2,856 by Owner or Developer, the Village Clerk shall record the annexation ordinance and plat of annexation with the DuPage County Recorder and shall file copies of the same documents with the DuPage County Clerk and other governmental agencies and public utilities identified in Section 12-1-3 of the Village Code. No permits for construction on the Subject Property will be granted until the annexation fee and all other applicable fees have been paid.

5. ZONING. At the same meeting of the Corporate Authorities that the ordinance annexing the Unincorporated Parcel is adopted, the Village shall adopt an ordinance providing as follows: (a) classification of the newly annexed portion of the Subject Property B-3 Service District; (b) approval of preliminary planned unit development of the Subject Property in accordance with the Preliminary PUD Plan and Building Plans; (c) grant of a special use permit for a hotel on the Subject Property; (d) grant of a special use permit for a shopping plaza on the Subject Property; (e) grant of special use permit for a drive-up service window on the shopping plaza building on the Subject Property for any use allowed in a B-3 Service District; and (d) approval of a two-lot preliminary plat of subdivision of the Subject Property. The preliminary planned unit development approval shall include exemptions from Village Zoning Code requirements to allow: 20-foot front yard parking setback [Sec. 16-5-6(J)(4)]; 90-foot front yard building setback for shopping plaza building [Sec. 16-5-6(J)(3) and 16-9-4(g)(1)]; and 5.9% parking lot landscape area [Sec. 16-5-6(L)(3)(a)].

6. FINAL PLATS OF PLANNED UNIT DEVELOPMENT & SUBDIVISION; BUILDING PERMITS. Upon adoption of this Agreement by the Village, Developer may submit to the Village applications and plans for final planned unit development and final subdivision approvals for the Subject Property. Upon submission, the Village shall timely review such applications and plans in accordance with the requirements and procedures of its Zoning Code and Subdivision Code, and shall hold such public hearings and meetings as are required for approval of such applications and plans. Subsequent to annexation of the Unincorporated Parcel and adoption of the ordinance granting zoning approvals in accordance with Section 5 of this Agreement, the Village shall adopt such resolutions and ordinances necessary or appropriate for the approval of final planned unit development and final subdivision plans and plats for the Subject Property that substantially conform to the approved preliminary planned unit development plan and preliminary plat of subdivision for the Subject Property, and otherwise conform to the standards and requirements of the Village Zoning Code and Subdivision Code. Approval of final planned unit development and final subdivision plans and plats can be given at the same meeting of the Corporate Authorities at which the ordinance granting zoning approval in accordance with Section 5 of this Agreement is adopted. Upon payment of review fees as may be reasonably required by the Village, applications and plans for building permits for the hotel and shopping plaza building may be submitted to the Village prior to annexation of the Unincorporated Parcel, but such permits shall not be issued until final planned unit development and final subdivision plans and plats for the Subject Property have been approved by the Village.

7. PLAN AMENDMENTS. Developer retains the right to seek to modify the Preliminary PUD Plan, Building Plans and other plans and plats approved by the Village

pursuant to this Agreement. Any modifications to such plans proposed by Developer can be approved by a majority of the Corporate Authorities without the need to amend this Annexation Agreement, but the decision as to whether to grant such modifications to the Plans shall be solely within the exclusive power of the Village for the term of this Annexation Agreement. The Property may not be developed, even under the ordinances of the Village, in a manner contrary to the Preliminary PUD Plan and Building Plans except after Village approval by a majority of the Corporate Authorities.

8. HOTEL OPERATIONS AND MAINTENANCE; INSPECTIONS & ENFORCEMENT.

A. Developer has represented to the Village that the hotel building constructed on the Subject Property will be operated as an extended stay hotel under the franchised brand Value Place. The hotel shall be constructed in its initial phase to have 121 guest rooms and no additional guest rooms shall be permitted without an amendment to this Agreement. Regardless of any change in ownership, operator, name, franchise or brand, (1) no room in the hotel shall be rented to any person for less than seven (7) days and extended occupancy shall be permitted provided that rental payments must be received at least weekly, (2) all moneys received for rental of rooms in the hotel, regardless of the length of occupancy, shall be subject the Village's Municipal Hotel Tax imposed in accordance with Section 5-9-2 of the Village Code, as that section may be amended from time to time, and (3) no occupant of a room in the hotel shall be considered a "permanent resident" as that term is defined in Section 5-9-1 of the Village Code. The hotel shall at all times be operated under the ownership or franchise of a hotelier of national or regional stature, unless otherwise approved by a majority of the Corporate Authorities. The hotel building shall not be used for any purpose other than an extended stay hotel without the

approval of a majority of the Corporate Authorities. For so long as the hotel is operated as an extended stay hotel, hotel guests shall be charged for minimum stay of seven (7) days at a rate of not less than \$249 per guest room for such seven-day period, unless otherwise approved by a majority of the Corporate Authorities. In each case, as provided for above, the approval or rejection by the Corporate Authorities shall be within its absolute discretion.

B. For so long as the hotel is in operation, the following standards and requirements shall be met by the owner and operator of the hotel:

(1) The owner and the person or entity retained by the owner to operate the hotel, if any, shall obtain a Village business license in accordance with Chapter 10, Article 1 of the Village Code, and shall comply with all standards and requirements therein, including provisions thereof enacted after the date of this Agreement that are applicable to all hotel owners, operators and managers in the Village;

(2) The hotel premises shall be maintained in a clean and orderly manner, free of accumulations of garbage and debris, and free of rodent and insect infestation. All safety, fire suppression, telephone, television, internet, communication, plumbing, electrical and heating/cooling/ventilation equipment and systems on the hotel premises, including interior and exterior lighting fixtures, shall be in full working order at all times. The roof, exterior walls and windows shall be kept in good repair. The hotel premises shall at all times be in compliance with the Property Maintenance Code of the Village as adopted and modified pursuant to Chapter 6, Article 7 of the Village Code, including provisions thereof enacted after the date of this Agreement that are applicable to all hotel premises in the Village;

(3) Regular hours for operation of the hotel's guest services/front desk shall be posted on the main entry door of the hotel, and an employee of the hotel owner or operator shall be

stationed at the guest services/front desk during the posted hours. The hours for operation of the hotel's guest services/front desk shall extend from at least 9:00 a.m. to 5:00 p.m., on weekdays, and from 10:00 a.m. to 2:00 p.m. on Saturdays;

(4) A telephone or intercom shall be available in the front entry vestibule of the hotel that can be used for communication with an on-premises employee of the hotel owner or operator during hours when the guest services/front desk is not operating;

(5) At least one (1) employee of the hotel owner or operator shall be on the hotel premises at all times, meaning 24 hours a day – seven days a week, and shall be available and responsible for after hours guest check-ins and check-outs, responding to guest complaints, evicting disruptive guests, and security inspections of the hotel premises; and

(6) No employee of the owner or operator on the hotel premises shall be a registered child sex offender, have been convicted of a felony in the last five years, have been convicted of any crime involving moral turpitude or violence, or have been identified as a known gang member in the Illinois State Police LEADS system.

C. Upon 24-hours notice to the owner or operator, without necessity of a search warrant, Village police officers and inspection officials shall have free access to the hotel premises, except occupied guest rooms, and records kept thereon to determine compliance with the standards and requirements set forth in this Section 8, Paragraphs A and B. The foregoing authorization shall not be construed as a waiver of any right of Village police officers and inspection officials to enter the hotel premises on other occasions, when permitted by law. The hotel owner and operator shall cooperate with Village inspections, and a principal or employee of the hotel owner or operator may accompany any police officer or inspection official during any such inspection.

D. As an alternative to the remedies for breach of this Agreement provided in Section 17 hereof, the Village may cite and prosecute the hotel owner and operator, separately or jointly, for violations of the Village's Property Maintenance Code, or other ordinances, in the manner provided therein, and may cite and prosecute the hotel owner and operator, separately or jointly, for violations of the Village's business licensing regulations in the manner provided Chapter 10, Article 1 of the Village Code. As an alternative to the remedies provided for breach of this Agreement provided in Section 17 hereof, the Village may cite and prosecute the hotel owner and operator, separately or jointly, for violations of the standards and requirements set forth in this Section 8 that are not otherwise found in the Village Code in the same manner and to the same extent as violations of the Village's Property Maintenance Code, and may collect fines of not less than \$500.00 nor more than \$750.00 for each violation. Each day on which a violation shall occur shall be a separate offense. In the event that the Village believes that a violation has occurred, it may suggest a fine to the Developer, who may pay that amount as a settlement, or if no compromise is reached, the Village may pursue an alleged breach of the conditions of this Annexation Agreement in the Circuit Court in the same manner as if it were an ordinance violation.

9. SHOPPING PLAZA CONSTRUCTION; ESCROW FOR PAYMENTS IN LIEU OF SALES TAX RECEIPTS. Developer will use its best efforts to construct the approved shopping plaza building on the Subject Property and have it available for lease before January 1, 2010. Upon approval by the Village of the final planned unit development and final subdivision plans and plats for the Subject Property, concurrent with issuance of a building permit for the hotel building, Developer shall deposit \$150,000 to an interest-earning escrow account held by the Village, subject to the following terms: If the shopping plaza building is not constructed

prior to January 1, 2010, and the business or businesses in that building are not producing sales or use taxes, of which the Village's share is not at least \$4,167.00 per month, then for a thirty-six month period beginning on April 1, 2010, and continuing until March 31, 2013, the Village may draw from the escrow monthly payments of \$4,167.00 less the amount of any aforesaid sales or use taxes received and pro-rated on a monthly basis from the shopping plaza building. At the end of the thirty-six month period, the Village shall pay out to the Developer any funds remaining in the escrow account plus interest earned thereon. Developer will require each shopping plaza building tenant to sign an agreement with the Illinois Department of Revenue that directs said Department to release the tenant's sales and use tax revenue information to the Village on a quarterly basis. The Village and Developer hereby agree not to disclose sales and use tax revenue information received from any business in the shopping plaza building to any other person, entity or governmental body or agency.

10. VILLAGE SERVICES. The Village agrees to make Village police and emergency services available to the buildings, uses, occupants and tenants within the Subject Property in the same manner such services are provided to all non-residential developments within the Village. Further, the Village agrees to provide sanitary sewer and potable water services to buildings, uses, occupants and tenants within the Subject Property in the same manner such services are provided to all non-residential developments within the Village. Developer shall install sanitary sewer and potable water improvements necessary to serve buildings, uses, occupants and tenants within the Subject Property at no cost to the Village. As directed by the Village Engineer, Developer and Owner shall dedicate necessary public utility easements and access easements within the Subject Property and on adjacent land owned by Owner, and will

turn over to the Village sanitary sewer and potable water improvements installed within the Subject Property and required by the Village to be transferred to it by a bill of sale.

11. SEWER AND WATER FEES AND CHARGES. The Water and Sewer Expansion Connection Fee, water meter fee, sewer connection tap-on fee and water connection tap-on fees and user fees imposed by the Village relating to sanitary sewer and potable water installations and services within the Subject Property shall be in accordance with charges generally applicable in the Village for similar installations and services at the time that the fees or charges are due.

12. OTHER DONATIONS. The Owner and Developer shall not be required by the Village to donate any land or money to the Village or any other governmental body, except as provided in this Agreement. In addition, the Owner and Developer shall not be required to construct any improvements or improve any streets except as required by the plans approved pursuant to this Agreement

13. FIRE PROTECTION AND PARK DISTRICTS. The Subject Property is within the Carol Stream Park District and the Carol Stream Fire Protection District. 14.

WARRANTY. The Village, Owner and Developer warrant that they have the authority to enter into this Agreement. The Village further warrants that it will perform all its obligations under this Agreement, and will cause this Agreement to be recorded upon payment of the annexation fee specified in Section 4 hereof. Whenever any approval or consent of the Village, or any of its departments, officials or employees, is called for by this Agreement, the same shall not be unreasonably withheld or delayed.

15. TERMINATION OF AGREEMENT. In the event that Developer fails to give notice to the Village that it or a related entity has acquired the Subject Property in accordance

with Section 4 hereof within 180 days after the date of this Agreement, this Agreement shall automatically terminate and be of no further force or effect.

16. BINDING EFFECT/TERM/DISCONNECTION. Subject to Section 15 hereof, this Agreement shall be binding upon and inure to the benefit of the Parties and the successors and assigns of Owner and Developer in title to all or any part of the Subject Property, and upon any successor municipalities of the Village, for a period of twenty (20) years from the date of hereof. The expiration of the term of this Agreement shall not affect the continuing validity of the annexation or zoning of the Subject Property pursuant to this Agreement, or any other ordinance enacted by the Village pursuant to this Agreement. In the event that the annexation or zoning of the Property shall or might be held invalid as a result of any curable technical defect in the manner of the annexation or zoning, the Parties shall promptly take all actions necessary to cure such defects, including, without limitation, the giving of such notices, the holding of such public hearings and the adoption of such ordinances and resolutions as may be necessary to further the spirit and intent of this Agreement. In the event that any provision of this Agreement is rendered invalid by legislation or court order, the Village, Owner and Developer shall, at the request of any Party, enter into good faith negotiations to seek to cause the fulfillment of the provision which has been invalidated in some lawful manner which gives to the Parties the benefits and obligations previously bargained for. During the term of this Annexation Agreement, and any extensions thereof, neither Owner nor Developer shall file a petition or take any action seeking the disconnection of any portion of the Subject Property from the Village.

17. REMEDIES. Any Party may by civil action, mandamus, injunction or other proceeding, enforce and compel performance of this Agreement, or seek damages for breach of this Agreement. Before any such action is taken, the Party claiming breach shall notify in

writing the Party alleged to have breached and specify the alleged breach, and demand performance or payment. Absent an emergency situation, no lawsuit or claim shall be filed upon a breach of this Agreement until thirty (30) days after demand for performance or payment has been made to the alleged breaching Party.

18. NUMBERS AND PARAGRAPH HEADINGS. All numbers and paragraph headings in this Annexation Agreement are for convenience of reference only and are not intended to qualify the meaning of any clause or paragraph.

19. SEVERABILITY. In the event a court of competent finds any portion of this Agreement invalid, such finding of invalidity as to that portion shall not affect the validity or enforceability of the balance of this Agreement.

20. NOTICES. All notices, requests, demands and other matters required to be given or which may be given hereunder shall be in writing and shall be deemed given when delivered in person or when deposited in the United States mail, registered or certified, postage prepaid, addressed to the Parties at the following addresses (or at such addresses as the Parties may designate by future notice):

If to the Village: Village of Carol Stream
Attn: Village Manager
500 N. Gary Avenue
Carol Stream, IL 60188

With a copy to: Stewart Diamond, Esq.
Ancel Glink Law Firm
140 South Dearborn Street, Suite 600
Chicago, Illinois 60603

If to Developer: V.P. Ventures, LLC
Attn: Robert Parsons
20550 S. LaGrange Road, Suite 310
Frankfort, Illinois 60423

With a copy to: Anthony G. Barone, Esq.

Barone & Jenkins, P.C.
635 Butterfield Road, Suite 145
Oakbrook Terrace, Illinois 60181

If to Owner: Bank Financial, FSB
Attn: Trust No. 010914
15W060 N. Frontage Road
Burr Ridge, IL 60527

With a copy to: Ramy Saif
731 Town Place
Hinsdale, Illinois 60521.

21. COUNTERPARTS AND DUPLICATE ORIGINALS. This Agreement may be executed in any number of counterparts or duplicate originals, each of which shall be deemed an original, but all of which shall be deemed one and the same instrument.

IN WITNESS WHEREOF, the Parties have entered into this Annexation Agreement as of the date and year first above written.

Village of Carol Stream

By: _____
President

ATTEST:

By: _____
Village Clerk

**Bank Financial, FSB, as Trustee for
Trust No. 010914**

By: _____

Its: _____

ATTEST:

By: _____

Its: _____

V.P. Ventures, LLC

By: _____

Its: _____

NOTARY CERTIFICATES

STATE OF ILLINOIS)
) SS
COUNTY OF DU PAGE)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that Frank Saverino Sr. personally known to me to be the President of the Village of Clarendon Hills and Beth Melody, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, and that they acknowledged that as such President and Village Clerk they signed and delivered said instrument and caused the corporate seal of said municipal corporation to be affixed thereto as their free and voluntary act, pursuant to authority given by the Corporate Authorities of said municipal corporation, for the purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2008.

Notary Public

State of Illinois)
) SS
County of Cook)

The undersigned Notary Public, in and for the County and State aforesaid, does hereby certify that _____ and _____, personally known to me as _____ and _____, of Bank Financial FSB, acknowledged that they signed and delivered the foregoing instrument on behalf of Bank Financial FSB as Trustee aforesaid, as their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 2008.

Notary Public

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that Robert Parsons, personally known to me as a member of V.P. Ventures, LLC, acknowledged to me that he signed and delivered the foregoing instrument on behalf of said company as his own free and voluntary act for the purposes therein set forth.

GIVEN under my hand and official seal, this ____ day of _____, 2008.

Notary Public

EXHIBIT A
Legal Descriptions

SUBJECT PROPERTY

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE NORTHWEST CORNER OF MODAFF'S PLAT OF LOT 2 AND 3 (RECORDED FEBRUARY 19, 1959 AS DOCUMENT 912843), SAID POINT BEING ON THE CENTERLINE OF NORTH AVENUE, AND RUNNING THENCE NORTHWESTERLY ON SAID CENTERLINE 500.0 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO RECREATION SERVICES, INC. BY DOCUMENT R75-55124; THENCE SOUTH ON THE WEST LINE OF SAID PROPERTY 101.24 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE AS CONSTITUTED AFTER CONDEMNATION CASE 16685, FOR A POINT OF BEGINNING; THENCE CONTUINING SOUTH, ON THE WEST LINE OF PROPERTY CONVEYED BY DOCUMENT R75-55124, A DISTANCE OF 527.51 FEET (RECORDED 528.0) TO AN IRON PIPE AT THE SOUTHWEST CORNER THEREOF; THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, 488.08 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 09 MINUTES 50 SECONDS WEST, ON SAID WEST LINE, 604.75 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE; THENCE SOUTH 81 DEGREES 02 MINUTES; 17 SECONDS EAST, ON SAID SOUTHERLY LINE, 495.86 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 80 FEET AND ALSO EXCEPT THAT PART OF THE WEST 50 FEET OF THE EAST 130 FEET LYING NORTH OF THE SOUTH 430 FEET THEREOF), IN DUAPGE COUNTY, ILLILNOIS.

UNINCORPORATED PARCEL

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, (DESCRIBED BY COMMENCING AT THE NORTHWEST CORNER OF MODAFF'S PLAT OF LOTS 2 AND 3 (RECORDED FEBRUARY 19, 1959 AS DOCUMENT 912843), SAID POINT BEING ON THE CENTERLINE OF NORTH AVENUE, AND RUNNING THENCE NORTHWESTERLY ON SAID CENTERLINE 500.0 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO RECREATION SERVICES, INC. BY DOCUMENT R75-55124; THENCE SOUTH ON THE WEST LINE OF SAID PROPERTY 101.24 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE AS CONSTITUTED AFTER CONDEMNATION CASE 16685, FOR A POINT OF BEGINNING; THENCE CONTUINING SOUTH, ON THE WEST LINE OF PROPERTY CONVEYED BY DOCUMENT R75-55124, A DISTANCE OF 527.51 FEET (RECORDED 528.0) TO AN IRON PIPE AT THE SOUTHWEST CORNER THEREOF; THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, 488.08 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 09 MINUTES 50 SECONDS WEST, ON SAID WEST LINE, 604.75 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE; THENCE SOUTH 81 DEGREES 02 MINUTES; 17 SECONDS EAST, ON SAID

SOUTHERLY LINE, 495.86 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST
130 FEET THEREOF). IN DUPAGE COUNTY, ILLINOIS.

INCORPORATED PARCEL

[LEGAL DESCRIPTION NEEDED]

PRELIMINARY PLANNED UNIT DEVELOPMENT FOR VALUE PLACE CAROL STREAM, ILLINOIS

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DAUPAGE COUNTY, ILLINOIS

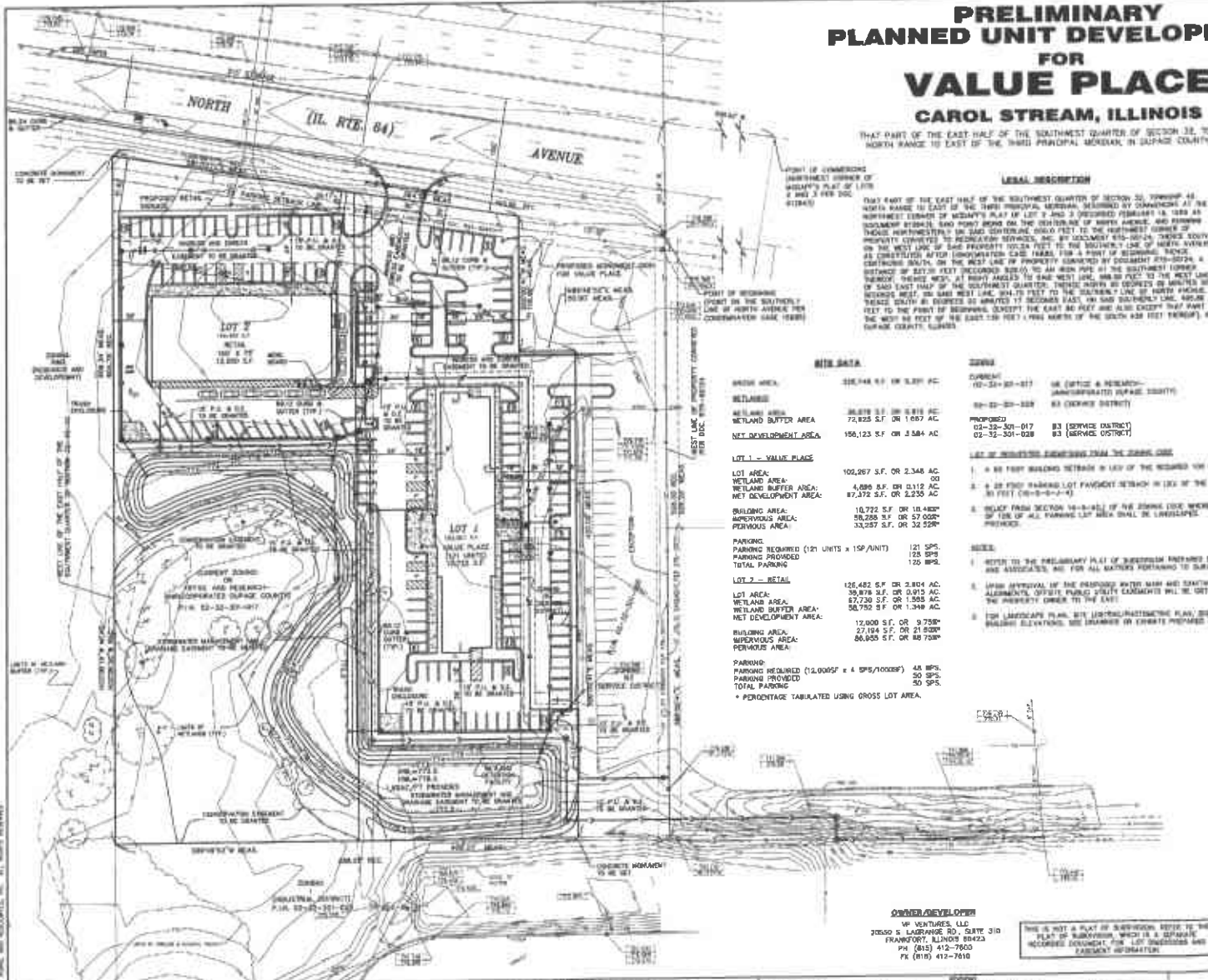


ABBREVIATIONS

WOODSTOCK MARK	MEASURED DATA
CONCRETE	COMPUTER DATA
WELDED WIRE	REPAIR DATA
P.A. & S.E.	PUBLIC UTILITIES & DRAINAGE EASEMENTS
+	PUBLIC SIDEWALK EASEMENT
o	PLANTS
o	ASL ELEVATION
o	PERMANENT MEASUREMENT
o	EDGE OF STONE

LEGEND

PROPOSED	EXISTING	DESCRIPTION
[Symbol]	[Symbol]	WELLS
[Symbol]	[Symbol]	SEWER MAIN
[Symbol]	[Symbol]	WALK
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	WELDED WIRE
[Symbol]	[Symbol]	WALK & WALL
[Symbol]	[Symbol]	WALK @ 60%
[Symbol]	[Symbol]	FIRE HOSEWAY
[Symbol]	[Symbol]	ERECT LIGHT
[Symbol]	[Symbol]	POWER LINE
[Symbol]	[Symbol]	CONTROLS
[Symbol]	[Symbol]	ELEVATION
[Symbol]	[Symbol]	SEWER
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	STRUCTURE OUTLINE
[Symbol]	[Symbol]	ELECTRIC LINE
[Symbol]	[Symbol]	WIRE LINE
[Symbol]	[Symbol]	TELEPHONE LINE
[Symbol]	[Symbol]	PROPERTY BOUNDARY
[Symbol]	[Symbol]	EXISTING LOT LINE
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	PUBLIC UTILITY & DRAINAGE EASEMENT
[Symbol]	[Symbol]	STORMWATER MANAGEMENT & DRAINAGE EASEMENT
[Symbol]	[Symbol]	BUILDING SETBACK LINE
[Symbol]	[Symbol]	SECTION LINE
[Symbol]	[Symbol]	MONUMENT TO BE SET



SITE DATA

WETLAND AREA	328,748 S.F. OR 7.507 AC.
WETLAND BUFFER AREA	72,828 S.F. OR 1.671 AC.
NET DEVELOPMENT AREA	156,123 S.F. OR 3.584 AC.

LOT 1 - VALUE PLACE

LOT AREA	102,267 S.F. OR 2.348 AC.
WETLAND AREA	4,898 S.F. OR 0.112 AC.
WETLAND BUFFER AREA	87,372 S.F. OR 2.023 AC.
BUILDING AREA	10,722 S.F. OR 0.245 AC.
IMPERVIOUS AREA	58,288 S.F. OR 1.335 AC.
PERVIOUS AREA	33,057 S.F. OR 0.757 AC.
PARKING REQUIRED (121 UNITS x 1SP/UNIT)	121 SPS.
PARKING PROVIDED	125 SPS.
TOTAL PARKING	125 SPS.

LOT 2 - RETAIL

LOT AREA	126,482 S.F. OR 2.894 AC.
WETLAND AREA	30,978 S.F. OR 0.711 AC.
WETLAND BUFFER AREA	67,730 S.F. OR 1.555 AC.
NET DEVELOPMENT AREA	58,752 S.F. OR 1.340 AC.
BUILDING AREA	12,800 S.F. OR 0.292 AC.
IMPERVIOUS AREA	27,184 S.F. OR 0.622 AC.
PERVIOUS AREA	86,935 S.F. OR 1.978 AC.
PARKING REQUIRED (12,000SF x 4 SPS/1000SF)	48 SPS.
PARKING PROVIDED	50 SPS.
TOTAL PARKING	50 SPS.

* PERCENTAGE TABULATED USING GROSS LOT AREA.

- ZONING**
- 10-20-20-20-20 (OFFICE & RESEARCH - UNINCORPORATED DAUPAGE COUNTY)
 20-20-20-20 (OFFICE DISTRICT)
 20-20-20-20 (OFFICE DISTRICT)
 20-20-20-20 (OFFICE DISTRICT)
- LET BY SUBDIVISION EASEMENTS FROM THE ZONING CODE**
- A 50 FOOT BUILDING SETBACK IN LIEU OF THE REQUIRED 100 FEET (P-10-10-3)
 - A 5 FOOT PARKING LOT FAUCET SETBACK IN LIEU OF THE REQUIRED 30 FEET (P-10-10-4)
 - RELAY FROM SECTION 10-10-10 OF THE ZONING CODE WHEREBY A MINIMUM OF 10% OF ALL PARKING LOT AREA SHALL BE LANDSCAPED - 8 DAYS WITHIN
- NOTES**
- REFER TO THE PRELIMINARY PLAN OF SUBDIVISION PREPARED BY PAVAR AND ASSOCIATES, INC. FOR ALL MATTERS PERTAINING TO SURVEY.
 - LEGAL APPROVAL OF THE PROPOSED UNITARY MAP AND CERTAINITY OF EASEMENTS, OFFERS PUBLIC SAFETY EASEMENTS WILL BE OBTAINED FROM THE PROPERTY OWNER TO THE EAST.
 - FOR LANDSCAPE PLAN, SEE LANDSCAPE ARCHITECTURE PLAN, SIGNAGE AND BUILDING ELEVATIONS, SEE IMPROVED OR EXISTING PREPARED BY OTHERS.

ROAKE AND ASSOCIATES, INC.
 CONSULTING ENGINEERS - LAND SURVEYORS - PLANNERS
 1847 HIGH GROVE LN - NAPERVILLE, IL 60563
 (630) 968-6262 - FAX 1800-968-6267

VP VENTURES, LLC - CAROL STREAM
 10544 SOUTH LAURA ROAD, SUITE 310
 FRANKFORT, ILLINOIS 60423
 PH (815) 412-7800
 FX (815) 412-7810

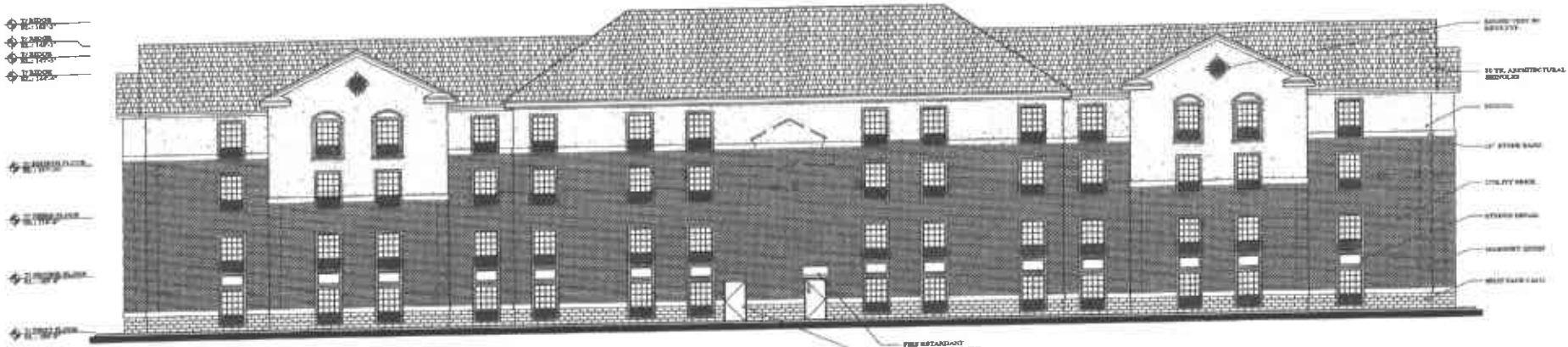
NO.	DATE	DESCRIPTION	BY	CHKD

VALUE PLACE - CAROL STREAM
 PRELIMINARY PLANNED UNIT DEVELOPMENT

NO. OF SHEETS	NO. OF SHEETS	NO. OF SHEETS	NO. OF SHEETS
1	1	1	1

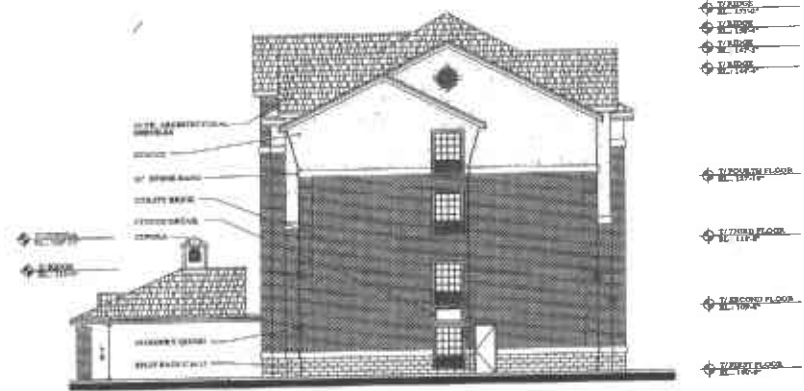
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EXHIBIT B



PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0" 0 5 10 20'



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 5 10 20'

HOTEL ELEVATIONS

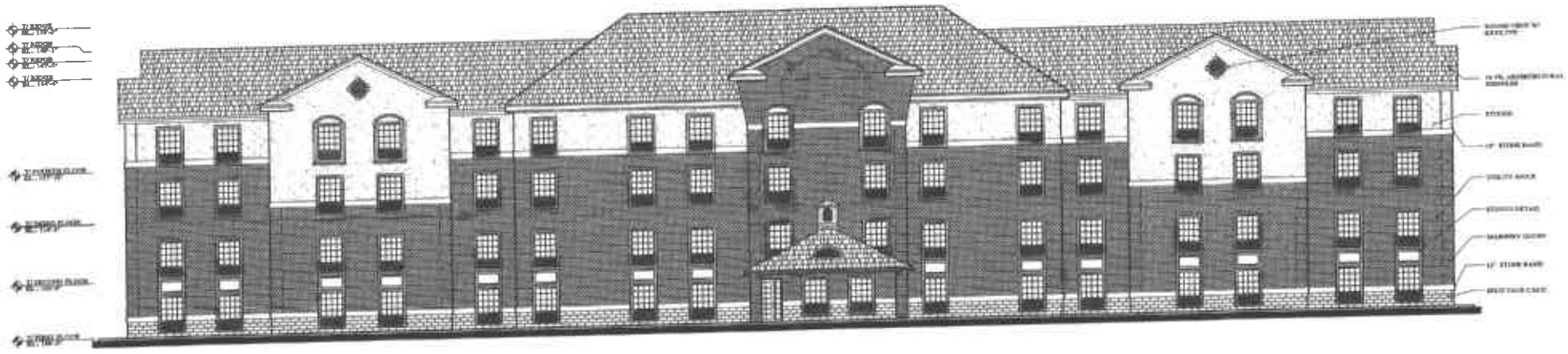
CAROL STREAM
RETAIL &
HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

EXHIBIT C
1 of 6



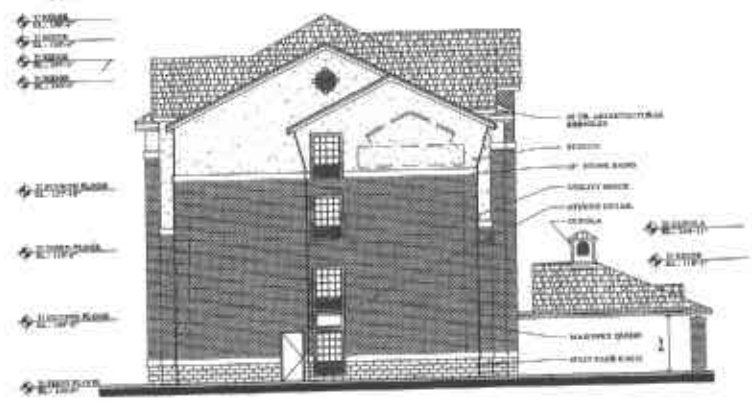
EL-2
JOB # 08180
ORIGIN: 05-18-08
REV. DATE: 08-18-08
SCALE: AS NOTED
© COPYRIGHT 2008 ARETE' 3 LTD.
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DESIGN BUILDER



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0" 0 8 16 24



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0" 0 8 16 24

DESIGN BUILDING

EL-1

JOB # 00192
 DESIGN 07-18-08
 REV. DATE 08-20-08
 SCALE AS NOTED
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HOTEL ELEVATIONS

CAROL STREAM
 RETAIL &
 HOTEL
 200 W. NORTH AVENUE
 CAROL STREAM, IL

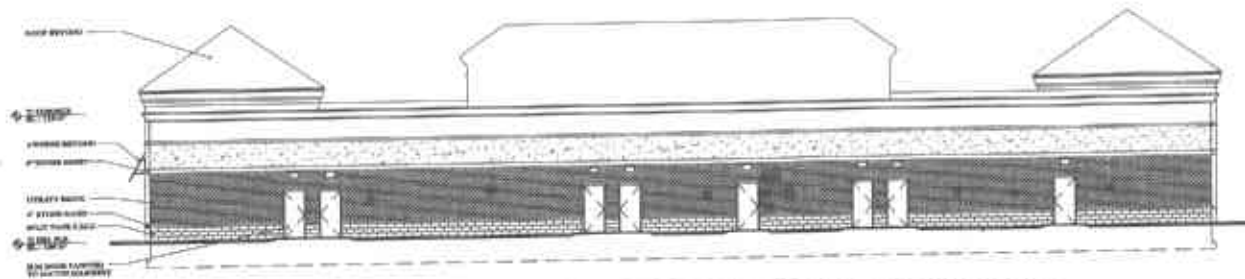
EXHIBIT C
 2 of 6



PROPOSED
RETAIL
ELEVATIONS

CAROL STREAM
RETAIL &
HOTEL

200 W. NORTH AVENUE
 CAROL STREAM, IL



PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"

EXHIBIT C
 3 of 6

JOB #: 09109
 ORIGIN: 07-18-08
 REV. DATE: 09-01-09
 SCALE: AS NOTED
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08180R-3

08/18/08
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All Rights Reserved
*Architectural rendering is conceptual only and does not constitute a design.

CAROL STREAM RETAIL & HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

EXHIBIT C
4 of 6

Arreté 3rd

ARCHITECT • INTERIOR DESIGN • LANDSCAPE ARCHITECTURE
13440 West Chicago Blvd., Chicago Park, IL 60477



EXHIBIT C
5 of 5

08180R-2

08-06-08
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*Renderings represent concepts only and are not final design

CAROL STREAM RETAIL & HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

Lareté 3rd
architectural & landscape planning • interior & exterior design
18440 North Creek Drive • Carol Stream, IL 60131



08180R-1

0806000
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*Renderings represent anticipated only and are not final design.

CAROL STREAM RETAIL & HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

EXHIBIT C
6 of 6

 areté 3
interiors • architecture • design • landscape
1644 West 21st Street • Chicago, IL 60617

H-3 8-18-08

ORDINANCE NO. _____

**AN ORDINANCE ANNEXING CERTAIN PROPERTY TO THE
VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS
(200 W. NORTH AVENUE)**

WHEREAS, VP Ventures, LLC, is the record owner of property commonly known as 200 W. North Avenue, in unincorporated DuPage County, Illinois, such property being legally described on the Plat of Annexation attached hereto as Exhibit A and made a part hereof (the "Property"); and

WHEREAS, VP Ventures, LLC has duly executed and filed with the Village Clerk a petition for annexation requesting that the Property be annexed to the Village of Carol Stream; and

WHEREAS, the Property is not within the corporate limits of any municipality, but is contiguous to the corporate limits of the Village of Carol Stream; and

WHEREAS, legal notices regarding the intention to annex the Property have been sent to all public bodies required to receive such notice by the statutes of the State of Illinois; and

WHEREAS, all petitions, documents and other necessary legal requirements have been done in full compliance with the statutes of the State of Illinois; and

WHEREAS, the Mayor and Board of Trustees of the Village of Carol Stream have determined that it is in the best interests of the Village to annex the Property to the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the foregoing recitals be incorporated in this Ordinance as if restated in their entirety.

SECTION 2: That the Property, and all unincorporated roads contiguous thereto, be and the same are hereby annexed to and made a part of the Village of Carol Stream, DuPage County, Illinois.

SECTION 3: That this property has been annexed to the Village pursuant to the terms of an annexation agreement, which was approved in Ordinance _____, dated August 18, 2008. That annexation agreement will govern the zoning category of the property for twenty (20) years and contains certain restrictions regarding the use of the property.

SECTION 4: That the Village Clerk is hereby directed to record with the Recorder of Deeds and to file with the County Clerk a certified copy of this Ordinance, together with the Plat of Annexation attached hereto.

SECTION 5: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as provided by law.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

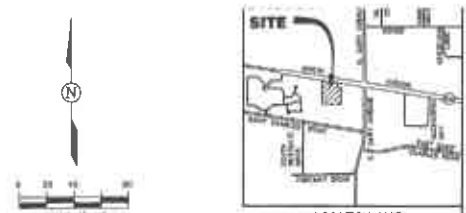
Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

PLAT OF ANNEXATION

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40
NORTH RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUNAGE COUNTY, ILLINOIS.



LOCATION MAP
P.L.N. 02-32-301-017



ABBREVIATIONS

000.00' MEAS.	MEASURED DATA
000.00' REC.	RECORD DATA
P.U. & D.E.	PUBLIC UTILITIES & DRAINAGE CASSEMENT
PN	PROMINENT INDEX NUMBER



LEGAL DESCRIPTION

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED BY COMBINES THE NORTHWEST CORNER OF HOSKINS'S PLAT OF LOTS 2 AND 3 SUBDIVIDED PERFORMY 74, FROM AS COMBINED WITH SAID PART BEING BY THE CORNER OF NORTH AVENUE, AND BEARING THENCE NORTH 89°30'00" W 101.00' TO THE NORTHWEST CORNER OF PROPERTY OWNED BY HEDGECOCK SERVICES, INC. BY BEARING 87°30'00" W 100.00' TO THE WEST LINE OF SAID PROPERTY, 101.00 FEET TO THE SOUTHWEST LINE OF NORTH AVENUE AS LOCATED AFTER CUMMAMATIAN CASE 1891, FROM A POINT OF BEGINNING, THENCE CORNERING SOUTH, ON THE WEST LINE OF PROPERTY OWNED BY HEDGECOCK 470'-00", A DISTANCE OF 327.00 FEET, BEARING S 82°10'00" W 54.00' TO AN IRON PIN AT THE SOUTHWEST CORNER THEREOF, THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, ABRIDGE FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER, THENCE NORTH 89°30'00" W ALONG THE WEST LINE SAID NORTH ABRIDGE, 86.00 FEET TO THE SOUTHWEST LINE OF NORTH AVENUE, THENCE SOUTH 89°30'00" W ALONG THE WEST LINE, 86.00 FEET TO THE POINT OF BEGINNING, (EXCEPT THE EAST 130 FEET THEREOF), IN DUNAGE COUNTY, ILLINOIS.

THIS PLAT HAS BEEN SUBMITTED FOR RECORDATION BY AND RECEIVED BY
NAME: VILLAGE OF CAROL STREAM
ADDRESS: 100 N. CORY AVENUE
CAROL STREAM, ILLINOIS
62016-1850

THERE ARE NO HABITABLE STRUCTURES OR ELECTORS ON THE PROPERTY.

AREA SUMMARY

GROSS AREA OF ANNEXATION	307,236.33 SQ. FT. (7.036 ACRES) (A.C.)
NET AREA OF ANNEXATION	307,236.33 SQ. FT. (7.036 ACRES) (A.C.)

REGISTER'S CERTIFICATE

STATE OF ILLINOIS | IN COUNTY OF DUNAGE
I, MICHAEL S. HENRY, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM THE BEST AVAILABLE RECORDS FOR THE PURPOSE OF ANNEXING SAID PROPERTY TO THE VILLAGE OF CAROL STREAM, ILLINOIS.
WITNESSED MY HAND AND SEAL THIS DAY OF _____ A.D., 2008.
MICHAEL S. HENRY, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 0198
ILLINOIS LICENSE NUMBER: 02008-2141338
NOT VALID WITHOUT ORIGINAL SIGNATURE

RECORDED
APR 30 2008



ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS

PREPARED FOR:
VF VENTURES, LLC - CAROL STREAM
30550 SOUTH LADRANGE ROAD, SUITE 310
FRANKFORT, ILLINOIS 60433
PH. (815) 412-7600
FX. (815) 412-7610

NO.	DATE	SECTION	REVISION		APPROVED
			BY	DATE	

VALUE PLACED - CAROL STREAM
PLAT OF ANNEXATION

ISSUED BY	ISSUE DATE	FILE NO.	PL. NO.	PL. SHEETS	TOTAL SHEETS	SHEET NO.
ISSUED BY: MSH/MS	ISSUE DATE: 10/14/07	FILE NO.: 08-06	PL. NO.: 02-32-301-017	PL. SHEETS: 1	TOTAL SHEETS: 1	SHEET NO.: 1 OF 1

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H-4 8-18-08

ORDINANCE NO. _____

**AN ORDINANCE ZONING NEWLY ANNEXED PROPERTY
(200 W. NORTH AVENUE)**

WHEREAS, the land described in this Ordinance has been annexed to the Village of Carol Stream; and

WHEREAS, such land is the subject of an annexation which provides that the Village would zone the land in accordance with that agreement; and

WHEREAS, prior to the annexation the land and the entrance into the annexation agreement, all hearings required to be held before agencies of the Village took place, pursuant to proper legal notice, including a public hearing concerning the zoning for this property.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the land legally described in Section 1 of this Ordinance shall be zoned B-3 Service District pursuant to the Carol Stream Zoning Code, Section 16-15-7, legally described in the Annexation Agreement.

LEGAL DESCRIPTION

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE NORTHWEST CORNER OF MODAFF'S PLAT OF LOTS 2 AND 3 (RECORDED FEBRUARY 19, 1959 AS DOCUMENT 912843), SAID POINT BEING ON THE CENTERLINE OF NORTH AVENUE AND RUNNING THENCE NORTHWESTERLY ON SAID CENTERLINE 500.0 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO RECREATION SERVICES, INC. BY DOCUMENT R-75-55124; THENCE SOUTH ON THE WEST LINE OF SAID PROPERTY, 101.24 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE AS CONSTITUTED AFTER CONDEMNATION CASE 16685, FOR A POINT OF BEGINNING; THENCE CONTINUING SOUTH, ON THE WEST LINE OF PROPERTY CONVEYED BY DOCUMENT R75-55124, A DISTANCE OF 527.51 FEET (RECORDED 528.0) TO AN IRON PIPE AT THE SOUTHWEST CORNER THEREOF;

THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, 488.08 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 09 MINUTES 50 SECONDS WEST, ON SAID WEST LINE, 604.75 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE; THENCE SOUTH 81 DEGREES 02 MINUTES 17 SECONDS EAST, ON SAID SOUTHERLY LINE, 495.86 FEET TO THE POINT OF BEGINNING (EXCEPT THE EAST 130 FEET THEREOF), IN DUPAGE COUNTY, ILLINOIS.

SECTION 2: That the zoning for the land described in Section 1 shall require the land described therein shall be developed solely in accordance with the terms of an agreement known as Annexation Agreement for 200 W. North Avenue, which was approved in Ordinance No. _____, dated August 18, 2008, and that all exhibits thereto, passed and approved by the Mayor and Board of Trustees of the Village of Carol Stream.

SECTION 3: This ordinance shall be in full force and effect from and after this passage, approval and publication in pamphlet form as provided by law, provided, however, that this ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 4: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this ordinance, after execution of said ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the village of Carol Stream Zoning Ordinance.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST;

Beth Melody, Village Clerk

ORDINANCE NO. _____

APPROVING A PRELIMINARY PLANNED UNIT DEVELOPMENT PLAN AND SPECIAL USES FOR A SHOPPING PLAZA AND DRIVE UP SERVICE WINDOW & HOTEL (200 W. NORTH AVENUE)

WHEREAS, VP Ventures, LLC., has requested approval of a Special Use for Planned Unit Development in accordance with Section 16-9-4(C)(1) and 16-9-2 (C)(1) of the Carol Stream Zoning Code, a Special Use for a Shopping Plaza in accordance with Section 16-9-4 (C)(13) of the Carol Stream Zoning Code, A Special Use for Drive-Up Service Window in accordance with Section 16-9-4 C)(1) and 16-9-3 (C)(12) and a Special Use for a Hotel in accordance with Section 16-9-4(C)(1) and 16-9-3(C)(6) in the B-3 Service District; and

WHEREAS, pursuant to proper legal notice, on May 12, 2008 and continued on June 9, 2008, the Combined Plan Commission/Zoning Board of Appeals considered the request for these special uses and have determined that they would not pose a negative effect on property values in the area nor would they be unreasonably detrimental to the public health, safety or general welfare; and

WHEREAS, the corporate authorities find that the approval of the Preliminary Planned Unit Development (PUD) Plan and the granting of these special uses for a Shopping Plaza with a Drive Up Service Window and Hotel would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village, provided certain conditions are met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as 200 W. North Avenue, be granted approval of the Preliminary

Planned Unit Development, a Special Use for a Shopping Plaza with Drive-Up Service Window, and a Special Use for a Hotel, as shown on the attached June 11, 2008), and Landscape Plan (Exhibit B, prepared by Stan's Landscaping, dated April 28, 2008) and the Building Elevations (Exhibit C, prepared by arete' 3, Ltd., dated August 5, 2008), subject to the following conditions:

1. That the multi-tenant shopping plaza building shall not be permitted to have more than 1,200 square feet allocated toward food service use.
2. That the drive-up lane must be removed from the Preliminary PUD Plan before it is brought to the Village Board for final approval.
3. That the Final PUD Plan shall include pedestrian facilities.
4. That the stormwater management areas shall require final approval from the Engineering Services Department at time of building permit.
5. That traffic control signage be provided to the satisfaction of the Village Engineer.
6. That the access drive to North Avenue shall require approval from the Illinois Department of Transportation.
7. That the landscaping along North Avenue must be a hardy, salt tolerant variety to avoid winter die-off.
8. That all landscape materials shall be maintained in a neat and healthy manner, with dead or dying materials replaced with similar size and type species on an annual basis.
9. That the parking stalls shall be striped in accordance with the Village's looped striping requirements.
10. That all rooftop equipment shall be completely screened from view in all directions.
11. That all ground-mounted mechanical equipment shall be screened from view from surrounding public streets, and if landscaping is used, it must be equally effective in winter as it is in summer.
12. That all trash enclosures shall be constructed with masonry materials to match the masonry on the buildings.
13. That separate building permits are required for all trash enclosures and signs.
14. That the development of the site and buildings will comply with all State, County and Village Codes and requirements.

LEGAL DESCRIPTION:

THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE NORTHWEST CORNER OF MODAFF'S PLAT OF LOTS 2 AND 3 (RECORDED FEBRUARY 19, 1959 AS DOCUMENT 912843), SAID POINT BEING ON THE CENTERLINE OF NORTH AVENUE AND RUNNING THENCE NORTHWESTERLY ON SAID CENTERLINE 500.0 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO RECREATION SERVICES, INC. BY DOCUMENT R-75-55124; THENCE SOUTH ON THE WEST LINE OF SAID PROPERTY, 101.24 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE AS CONSTITUTED AFTER CONDEMNATION CASE 16685, FOR A POINT OF BEGINNING; THENCE CONTINUING SOUTH, ON THE WEST LINE OF PROPERTY CONVEYED BY DOCUMENT R75-55124, A DISTANCE OF 527.51 FEET (RECORDED 528.0) TO AN IRON PIPE AT THE SOUTHWEST CORNER THEREOF; THENCE WEST, AT RIGHT ANGLES TO SAID WEST LINE, 488.08 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER; THENCE NORTH 00 DEGREES 09 MINUTES 50 SECONDS WEST, ON SAID WEST LINE, 604.75 FEET TO THE SOUTHERLY LINE OF NORTH AVENUE; THENCE SOUTH 81 DEGREES 02 MINUTES 17 SECONDS EAST, ON SAID SOUTHERLY LINE, 495.86 FEET TO THE POINT OF BEGINNING (EXCEPT THE EAST 130 FEET THEREOF), IN DUPAGE COUNTY, ILLINOIS.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in

accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

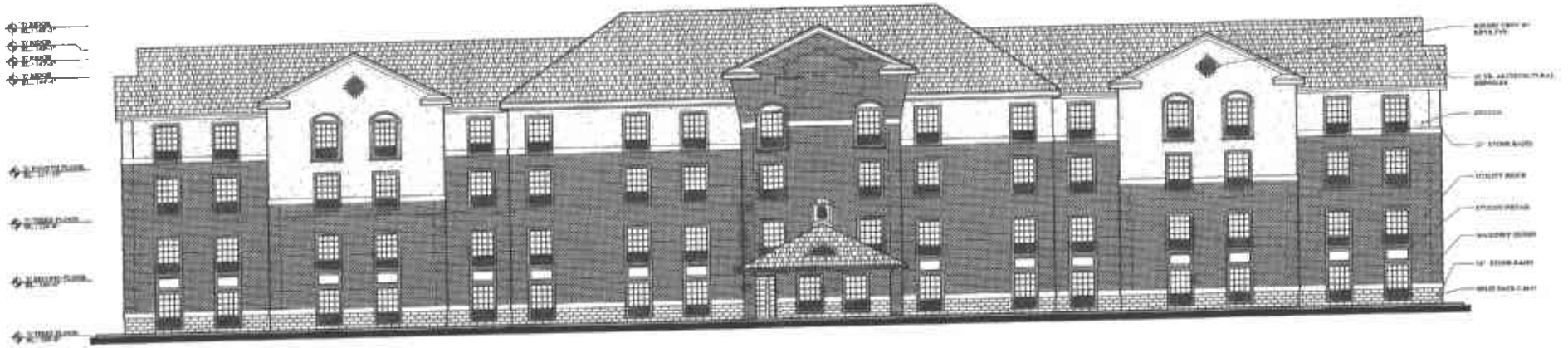
I, _____, being the owner or other party of interest of the property

(please print)

legally described within this Ordinance, having read a copy of the Ordinance, do hereby accept, concur and agree to develop and use the subject property in accordance with the terms of this Ordinance.

(Date)

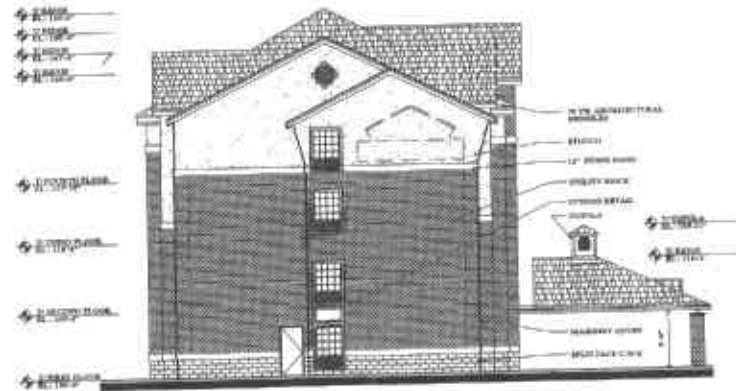
(signature)



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

0 5 10 20



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

0 5 10 20

HOTEL ELEVATIONS

CAROL STREAM
RETAIL &
HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

EXHIBIT C
1 of 3

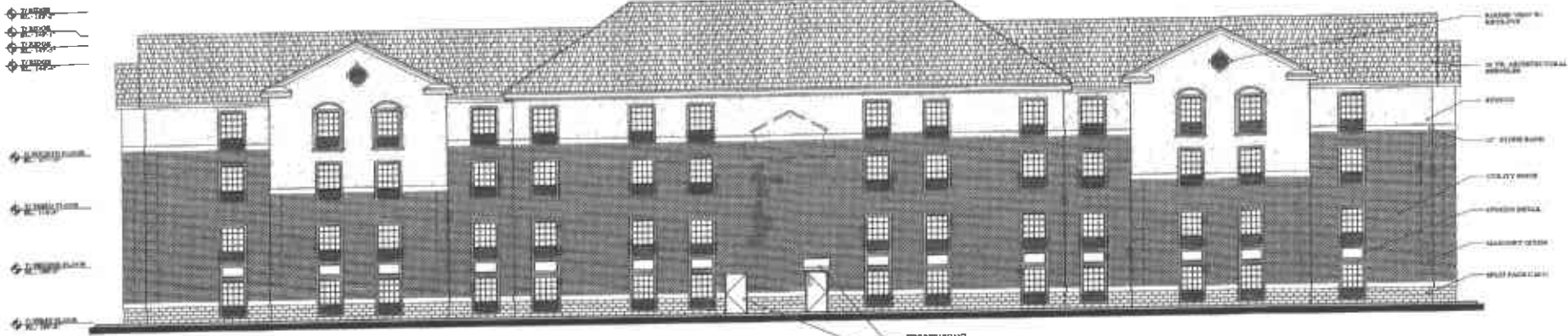

arete' 3 ltd
design group

1844 South West Circle
Itasca Park, Itasca, IL 60143
TEL: 630-250-0000
TOLL-FREE: 1-261-5
www.3.com

DESIGN BUILDING

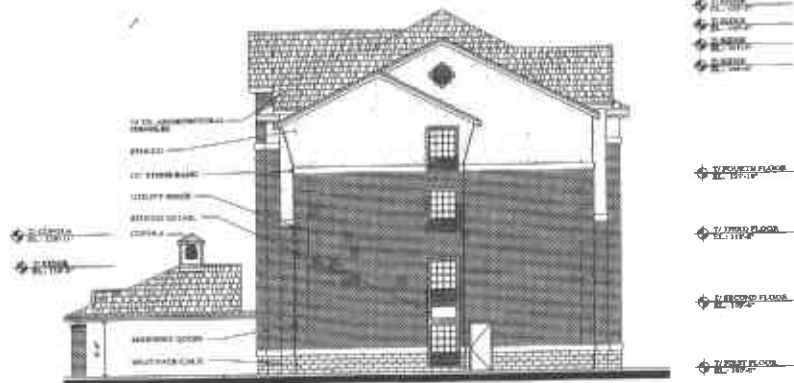
EL-1

JOB # 08180
CONSID. 07-18-08
REV. DATE 08-05-08
SCALE: AS NOTED
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FOR STAIRWELL
 GANTRY WINDOW, TYP
 3/4\"/>

PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



HOTEL ELEVATIONS

CAROL STREAM
 RETAIL &
 HOTEL
 200 W. NORTH AVENUE
 CAROL STREAM, IL

EXHIBIT C
 2 of 3



EL-2

JOB # 0812
 DESIGN 07-13-08
 REV. DATE 08-04-08
 SCALE AS NOTED
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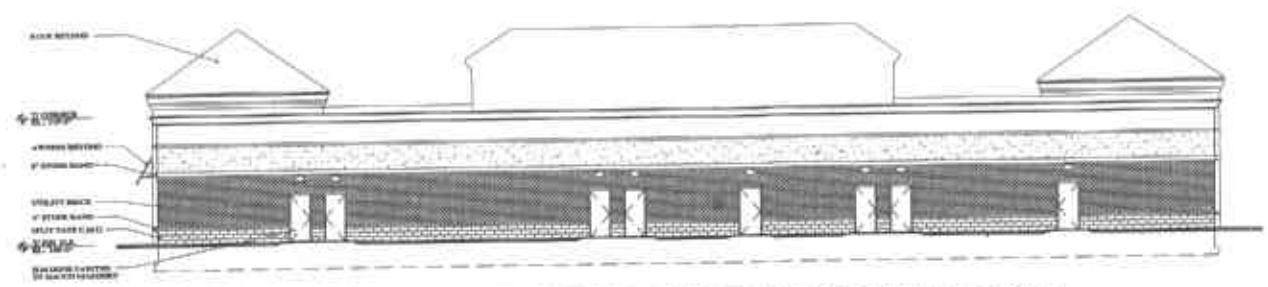
PROPOSED
RETAIL
ELEVATIONS

CAROL STREAM
RETAIL & HOTEL

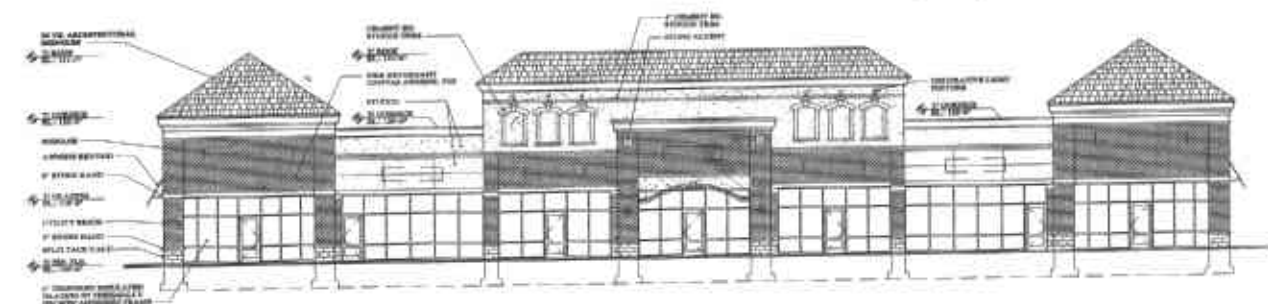
200 W. NORTH AVENUE
 CAROL STREAM, IL

EXHIBIT C
 3 of 3

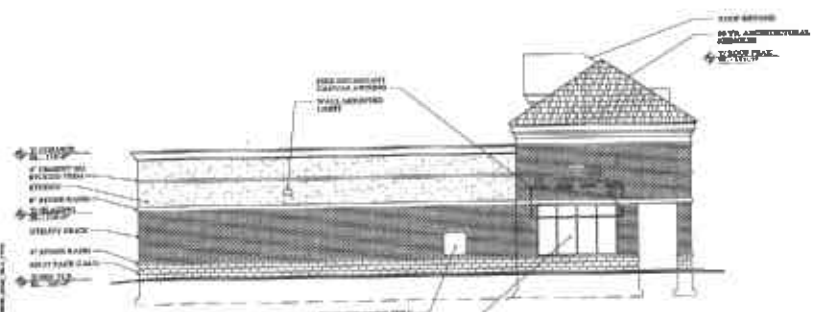
JOB #: 04280
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 REV. DATE: 08-01-09
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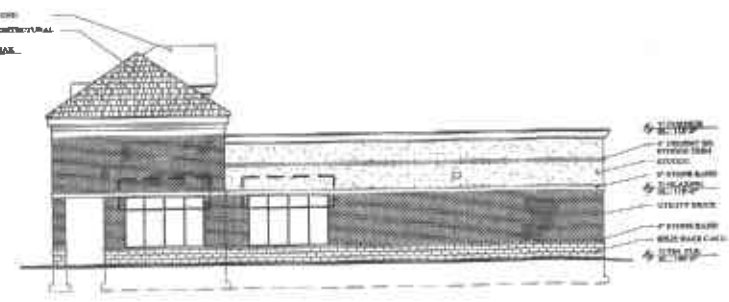
PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"




EXHIBIT D
1 of 3

08180R-1

08-06-08
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*Renderings represent concepts only and are not final design.

CAROL STREAM RETAIL & HOTEL
200 W NORTH AVENUE
CAROL STREAM, IL

 **areté 3** inc

interiors • site planning • master • graphic design
1865 West Coker Drive • Suite 204 • Carol Stream, IL 60131



EXHIBIT D
2 of 3

08180R-2

08-06-08

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CAROL STREAM RETAIL & HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

 **areté 3** llc

interiors • food service • fitness • special design
1833 West Creek Drive • Chicago Park, IL 60457



08180R-3

08/01/08
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*Renderings represent concepts only and are not final design.

CAROL STREAM RETAIL & HOTEL
200 W. NORTH AVENUE
CAROL STREAM, IL

EXHIBIT D
3 of 3

 arreté 3rd
ARCHITECTURE • INTERIORS • LANDSCAPE ARCHITECTURE
18415 West Creek Drive • Tinley Park, IL 60477

ORDINANCE NO. _____

**AN ORDINANCE AUTHORIZING THE EXECUTION
OF AN ANNEXATION AGREEMENT
(BENJAMIN SCHOOL - 28W300 ST. CHARLES ROAD)**

WHEREAS, The Board of Education of School District #25, owner of the property at 28W300 St. Charles Road, such property being legally described in the Annexation Agreement, wishes to enter into a binding agreement with respect to the future annexation of this property to the Village of Carol Stream; and

WHEREAS, the Village Board of Trustees, pursuant to proper legal notices, has held a public hearing regarding the annexation of this property; and

WHEREAS, an annexation agreement has been drafted and found acceptable by the parties thereto.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Mayor and Village Clerk are hereby authorized to execute an annexation agreement regarding the annexation of this property at 28W300 St. Charles Road, Benjamin School, legally described in the Annexation Agreement, appended to and made a part of this Ordinance as Appendix A.

SECTION 2: This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

**ANNEXATION AGREEMENT
SOUTHWEST CORRIDOR**

This Agreement made and entered into this _____ day of _____, 2008, by and between the Village of Carol Stream, an Illinois municipal corporation (hereinafter referred to as the "Village") and the Board of Education of Benjamin School District No. 25, Du Page County, Illinois (hereinafter referred to as the "Owners").

WITNESSETH:

WHEREAS, the Owners are the Owners of record of certain real estate, described as follows:

That part of the West Half of Section 25, Township 40 North, Range 9, East of the Third Principal Meridian, described as follows: Commencing at the Northeast corner of South Half of the Southwest Quarter of said Section 25; thence North 00° 27' 48" East along the East line thereof for a distance of 1531.32 Feet; thence North 89° 32' 12" West 40.00 Feet; thence South 70° 00' 00" West 537.00 Feet; thence South 20° 00' 00" East 100.00 Feet to the point of beginning of this description; thence South 70° 00' 00" West 238.00 Feet; thence North 90° 00' 00" West 170.00 Feet; thence South 35° 00' 00" West; 170.00 Feet; thence North 55° 00' 00" West 97.99 Feet; thence South 1° 04' 07" East 534.94 Feet to a point 574.32 Feet North (Measured at right angles) of the North line of the South Half of the Southwest Quarter of said Section 25; thence North 88° 55' 53" East 64.25 Feet to a point of curve; thence Easterly along an arc of a circle convex Southerly having a radius of 367.00 Feet for a distance of 128.11 Feet; thence South 21° 04' 07" East along a radial line of the last described arc for a distance of 133.0 Feet; thence Northeasterly along another arc of a circle, having a radius of 500.0 Feet and being concentric with the first described arc for a distance of 304.56 Feet to a point of tangency; thence North 34° 01' 53" East tangent to last described arc for a distance of 451.85 feet to a point in the arc of a circle whose center is along the last described tangent line extended; thence Northwesterly along said arc of a circle, having a radius of 380.0 Feet for a distance of 238.55 Feet to a point of tangency; thence North 20° 00' 00" West tangent to last described arc for a distance of 54.88 Feet to the point of beginning, in Du Page County, Illinois.

(hereinafter referred to as the "Property"); and

WHEREAS, the parties hereto desire that the Property be annexed to the Village on the terms and under the conditions hereafter set forth; and

WHEREAS, the Property is not located within the corporate boundaries of any municipality, but is within the planning area of the Village, and may be now or will, within a period of twenty (20) years, be contiguous to the Village; and

WHEREAS, the parties wish to enter into a binding agreement with respect to the future annexation of the Property and to provide for various other matters related directly or indirectly to said future annexation, in accordance with the provisions of 65 ILCS 5/11-15.1-1 et seq.; and

WHEREAS, the Village Board has determined that the future annexation of the Property would further the orderly growth of the Village and promote the general welfare of the Village.

NOW, THEREFORE, in consideration of the mutual covenants, agreements, terms and conditions herein set forth, the Owners and the Village agree as follows:

1. The provisions of the preamble hereinabove set forth are hereby restated and incorporated herein by reference.
2. The Owners, within thirty (30) days after a written notice from the Village indicating that the Property is now contiguous to the Village, shall submit to the Village an executed Petition for Annexation and plat of annexation in the form provided by law. The Owners shall pay the publication fees and recording fees.
3. This Agreement shall be binding upon the Owners, as well as the Owners' successors, assigns and heirs. This Agreement shall constitute a covenant running with the land and shall be binding upon all persons taking any interest or right in the Property after the date of the execution of this Agreement. Any person acquiring any rights or interest in the Property after the date of this Agreement shall be bound by the terms thereof and shall be deemed to have accepted and approved this Agreement in full. The Property may not be annexed to any City or Village other than the Village of Carol Stream during the term of this Agreement.
4. If ownership of the Property or any portion thereof changes subsequent to the execution of this Agreement and prior to annexation, the new Owner or Owners shall submit to the

Village a properly executed acknowledgement and acceptance of this Agreement within thirty (30) days of acquiring such interest which shall also notify the Village of the identity of the new Owner and the new Owner's address and telephone number. It shall be the responsibility of the new Owner or Owners to see to the submission of these items. Provided, however, the failure, refusal or neglect to submit these items shall in no way affect the continued validity of this Agreement.

5. The Village may record any Petition for Annexation submitted and this Agreement in the Office of the Recorder of Deeds of DuPage County.
6. The Owners and the Village respectively agree to do all things necessary or appropriate to cause the Property to be duly and validly annexed to the Village as promptly as practicable after the Property becomes contiguous to the Village. Upon contiguity, the Village either on its own or with any other properties may, at any time prior to expiration of this Agreement, annex the Property. The Owners, or their successors in interest, shall assist the Village and take all actions or steps necessary, including, but not limited to, preparing and executing new petitions for annexation, waivers and plats to accomplish said annexation. The Owners shall, at the expense of the Village, within fourteen (14) days after receiving a written request from the Village, join in any court proceeding, (represented by an attorney experienced in such matters chosen by the Village), which can result in the annexation of the Property, wither itself or along with other Property, to the Village. Upon annexation, the Property shall become subject to all applicable ordinances of the Village, except as may be otherwise provided in law or this Agreement.
7. The Owners may connect to the Village water and sewer systems, upon payment of the Special Southwest Utility construction fee in the amount of \$9,679.12 which shall be paid at the time the Agreement is executed.
8. The Owners shall connect to the Village sewer and water systems and utilize only Village water within one year from the date of this Agreement. The Owners shall abide by the same rules and regulations with respect to water and sewer service as consumers and customers within the corporate limits of the Village. This provision includes, but is not limited to, any sprinkling bans or limitations which may be imposed by the Village. The Owners shall pay regular Village connection charges and tap-on fees. Until the Property is

annexed to the Village, the Owners shall pay 150% of the customer charges applicable to uses within the Village.

9. Upon annexation, the property will be zoned to permit public school and related activities. All new development on the property, after the execution of this Agreement, shall take place only in accordance with the provisions of the Planned Unit Development section of the Carol Stream Zoning Ordinance. The Village shall retain authorization for site plan approval for all new construction on the property. The site plan approval shall include the approval of ingress and egress, location and number of structures, parking, lighting, drainage, subdivision code and all other requirements of the Village's Planned Unit Development Ordinance, and other ordinances of the Village dealing with land development or construction, unless jurisdiction is otherwise exercised by another entity (such as the Regional Office of Education) by law. The Village Board, either with or without a public hearing before itself or some Board or Commission, may waive by motion the necessity of the Owners to comply with all such provisions. Whenever in this Agreement prior to annexation the Owners are required to seek approval of the Village for a plan, permit or other activity, the Owners shall be required to pay to the Village the appropriate fee associated with the review, inspection and administration of that municipal regulation. Provided, however, that where there is additional supervision and payments required by the County, the Village shall choose to reduce the amount of the fee or charge to reflect, in those cases where it is applicable, the fact that the Village may, at its option, permit the regulation and personnel time of the County to suffice with a second level of action by the Village. The Owners shall also pay such fees as are normally paid to outside consultants to review documents and applications. During the life of this annexation agreement, neither the Owner nor any tenant on the Property shall enter into a sales tax rebate agreement which would cause sales at retail to be reported as approved in another jurisdiction which agrees to return a rebate.
10. The Parties may seek to enforce the terms of this Agreement through a suit seeking specific performance, damages, injunction and its costs of enforcing the agreement, including attorneys' and expert witnesses' fees. The parties intend that the standard, which a court would use under such circumstances, shall be the same standard which would be used if the Property were within the Village. The intent of the Village and the Owners in agreeing to the provisions of this Agreement is not to unduly restrict the ability of the Owners to develop the Property, but rather to make certain that the Property, which will ultimately be

within the corporate boundaries of the Village, is developed fully in accordance with the ordinances of the Village.

11. Where land annexed to the Village is not annexed to any fire protection district or park district, the Owners shall promptly, upon annexation to the Village, petition for annexation to the Carol Stream Park District and the Carol Stream Fire Protection District.
12. The Parties or their successors or assigns, may, in equity, by suit, action, mandamus, injunction, or other proceedings in court, enforce and compel the performance of this Agreement, including suits for specific performance, but they may not seek monetary damages.
13. This Agreement may only be amended by written instruments signed by both parties, and after the procedures required by law or ordinance to cause the amendment of an annexation agreement.
14. The term of this Agreement shall be twenty (20) years from the date of execution hereof. And, if permitted by law, within one (1) year before or after the expiration of the initial twenty (20) year term, the Village may, at its option, extend the term of this Agreement for an additional 20 years if the property has not been annexed by the Village.
15. If any portion of this Agreement or ordinance enacted pursuant hereto shall be declared invalid, the same shall not affect the validity of this Agreement as a whole other than the part so declared invalid. The parties shall then negotiate in good faith to seek to reestablish the powers and duties found to be invalid. The Owners or the Village shall be obligated to execute any document or take any additional action which may be required to correct any defect which has resulted or could result in the invalidation of this Agreement in whole or in part.
16. This Agreement may be executed in multiple counterparts of duplicate originals or with multiple signature pages each of which shall constitute and be deemed one and the same document.
17. The undersigned Owners warrant that it constitutes all Owners of the Property and that it has full authority and power to sign the Agreement and any petitions submitted hereunder and that it has not and will not take any action to change ownership in the Property until after this Agreement is recorded.

IN WITNESS WHEREOF this Agreement has been duly executed by whose names are subscribed below or on the signature pages attached hereto from time to time, and which pages are specifically incorporated herein.

OWNERS

VILLAGE OF CAROL STREAM

By: _____
President, Board of Education

By: _____
Mayor

(print name)

(print name)

By: _____
Secretary, Board of Education

Attest: _____
Village Clerk

(print name)

(print name)

Subscribed and sworn to before me this

_____ Day of _____, 20_____

Notary Public

AGENDA ITEM

I-1 8-18-08

RESOLUTION NO. _____

APPOINTING MEMBERS TO THE LOCAL YOUTH COUNCIL

WHEREAS, Resolution 2161 adopted on November 7, 2005, created a local Youth Council consisting of five (5) members; and

WHEREAS, Resolution No. 2169, adopted February 6, 2006, amended Resolution 2161 to allow a local Youth Council of not less than five (5) nor more than ten (10) members; and

WHEREAS, eight (8) Carol Stream residents are currently appointed to serve on the local Youth Council; and

WHEREAS, Nicolette Augustyn will no longer be serving on the Council; and

WHEREAS the names of three (3) Carol Stream residents between fourteen (14) and nineteen (19) years of age have been recommended for appointment to the local Youth Council, which if approved, would provide a total of ten (10) members; and

WHEREAS, the Mayor and Board of Trustees upon review of the names provided concur with the recommendation.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: **Parth Dalal – Glenbard North**
 Usman Zafar – Glenbard North
 Joseph Welcome - Glenbard North

are hereby appointed to the local Youth Council.

SECTION 2: In addition to the above noted appointments, the local Youth Council shall continue to include the following:

Matt Tucek
Nikki Cyrier
Ben Crosby
Gianna Consalvo
Samantha Augustyn
Laura Westerholm
Zaeem Zafar

SECTION 3: This Resolution shall be in full force and effect from and after its approval as provided by law.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

RESOLUTION NO. _____

**A RESOLUTION DECLARING SURPLUS PROPERTY
OWNED BY THE VILLAGE OF CAROL STREAM**

WHEREAS, in the opinion of the corporate authorities of the Village of Carol Stream, Illinois, it is no longer necessary or useful, or for the best interests of the Village of Carol Stream to retain ownership of the personal property hereinafter described; and

WHEREAS, the described surplus property has been determined by the corporate authorities of the Village of Carol Stream to have negligible value to the Village; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Carol Stream to dispose of the surplus property described in Exhibit "A" attached to this Ordinance.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Mayor and Board of Trustees of the Village of Carol Stream find that the personal property described in the attached "Exhibit "A", now owned by the Village of Carol Stream, is no longer useful and authorize donation of four VRM 850's and two VRM 650's to the Carol Stream Fire Protection District and authorize the sale of six VRM 650's to DuComm. The remaining non-functional VRM 650 be donated to DuComm for spare parts.

SECTION 2: This resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED AND APPROVED THIS 18TH DAY OF AUGUST 2008.

AYES:

NAYS:

ABSENT:



Frank Saverino, Sr., Mayor

ATTEST:

Beth Melody, Village Clerk

Village of Carol Stream

Interdepartmental Memo

TO: Joe Breinig, Village Manager
REVIEWED AND APPROVED BY: Rick Willing, Chief of Police 
FROM: Lieutenant Jerry O'Brien 
DATE: August 13, 2008

RE: *The Police Department requests that the Village Board declare 14 police department VRM's as surplus equipment. A surplus disposition will include donating six of them to the Carol Stream Fire Protection District, sell seven units to the Addison Fire Department for \$200 fair market value each and use one non-functioning unit for parts.*

The police department has four Motorola 850 VRM's and ten Motorola 650 VRM's that are no longer useful to us. A VRM transmits data over a radio connection to our dispatch center. We currently utilize applications that no longer function on this technology. These units have not been used for over two years.

The Carol Stream Fire District and other DuComm fire agencies can use these VRM's to transmit dispatch data for fire and medical calls. The purchase of new equipment would be expensive, especially considering that this technology will most likely be obsolete in a few years.

The surplus units are:

MODEL	SERIAL NUMBER
VRM650	508SCL0994
VRM650	508SBS1259
VRM650	508SBS1256
VRM650	508SCL0993
VRM650	508SBS1255
VRM650	508SBS1260
VRM650	508SBS1257
VRM650	508SCL0992
VRM650	508SAL1158
VRM650	508SCL0991 Non Functional
VRM850	508SFA0047
VRM850	508SDS0091
VRM850	508SDS0095
VRM850	508SFA0048

I propose that the Village Board declare these VRM's as surplus. I also propose that the four VRM 850's and two VRM 650's be donated to the Carol Stream Fire Protection District. The value of these items is approximately \$4000.00.

I also propose that the remaining seven functional VRM650's be sold to the Addison Fire Department. DuComm estimated the fair market value of these units at \$200.00 each. The Addison Fire Department has contacted us and will pay \$200.00 for each functional unit. The nonfunctional unit will be made available to DuComm for spare parts.

J-1 8-18-08

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Terry Davis, Secretary *td*
DATE: August 13, 2008
RE: Raffle Application
Parents and Teens Together, Inc.

Douglas and Yvonne Petit in conjunction with Parents and Teens Together, Inc. ("P.A.T.T.") are hosting their 4th Annual JP Fun Run on Sunday, August 31, 2008 at Armstrong Park-North Pavilion #2 from Noon to 6:00 PM. P.A.T.T. is a 501c(3) not-for-profit charitable organization which addresses underage drinking in the Carol Stream community.

A raffle license application has been submitted along with a letter requesting a waiver of the raffle fee and the manager fidelity bond in connection with this application. This raffle application is available for reviewing in the Clerk's office.

Please place this item on the agenda for the August 18, 2008 meeting for the Board's review and consideration.

td
Attachment

PARENTS AND TEENS TOGETHER

Phone: (630) 690-2461

Fax: (630) 871-0952

E-Mail: Yvonne.Petit@advocatehealth.com



August 13, 2008

Dear Board Memebers,

On behalf of P.A.T.T. (Parents and Teens Together), we would like to ask that you wave the Raffle License Application fee and the Manager's Fidelity Bond. P.A.T.T. is a legal 501c(3) non for profit charitable organization.

Our mission is to address underage drinking in the Carol Stream community. We will work with our village partners to spearhead preventive community wide functions designed to promote the positives within our community. We will enable our young people to live long and healthy lives.

Our vision is to establish PATT as a long-term community asset. PATT will focus on the preventive aspect of underage drinking. PATT will be a source of information, a leader in the local community, and a participant for positive change.

On August 31st we are hosting our 4th Annual JP Fun Run. This fundraiser not only helps us to continue to support our local youth organizations but offers awareness to our community on the continuing problem of underage drinking.

We would like to thank you for your generosity and support and we hope that you join us on August 31st for lots of fun in the park.

Best Wishes,

Yvonne & Doug Petit
Parent and Teens Together, INC.

VILLAGE OF CAROL STREAM SCHEDULE OF BILLS AUGUST 18, 2008

AGENDA ITEM
K-1 8-18-08

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
3M H&S SERVICE					
REFUND FOR EXTR EXAM	-975.00	01662700 52236	MANAGEMENT PHYSICALS	08/06 CR-B	
REFUND FOR EXTR EXAM	-175.00	01664700 52236	MANAGEMENT PHYSICALS	08/06 CR-A	
REFUND FOR EXTR EXAM	-150.00	01662400 52236	MANAGEMENT PHYSICALS	08/06 CR-C	
REFUND FOR EXTR EXAM	-100.00	01660100 52236	MANAGEMENT PHYSICALS	08/06 CR-D	
REFUND FOR EXTR EXAM	-100.00	01662300 52236	MANAGEMENT PHYSICALS	52236	
	-1,500.00				
A 1 FILTER REHAB CONTRACTING CO					
INSTL 80 PLATES & INSTALL FILT	4,840.00	04101100 52244	MAINTENANCE & REPAIR	07/11/08 (A)	
	4,840.00				
A FREEDOM FLAG CO					
FLAGS FOR 4TH OF JULY	201.00	01750000 52288	CONCERT SERIES	13643	
	201.00				
ADT SECURITY SERVICES INC					
SERV KUHN 7/08-9/08	38.25	04200100 52244	MAINTENANCE & REPAIR	73332532	
SERVICE PWC 7/08-9/08	38.25	01670100 52244	MAINTENANCE & REPAIR	73332603	
SERVICE WRC 7/08-9/08	38.25	04100100 52244	MAINTENANCE & REPAIR	73332664	
	114.75				
AMERICAN FIRST AID					
1ST AID SUPPLIES-PWC	72.72	01670100 53317	OPERATING SUPPLIES	49415	
FIRST AID RESTOCK	170.52	01650100 53317	OPERATING SUPPLIES	48863	
	243.24				
AMERICAN MESSAGING					
SERV FRM 07/01-07/31	3.65	01670100 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	3.65	01670500 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	3.65	01652800 52230	TELEPHONE	U1-113407	
SERV FRM 07/01-07/31	7.30	01662600 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	7.30	01680000 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	10.94	01690100 52264	EQUIPMENT RENTAL	U1-113407	
SERV FRM 07/01-07/31	10.94	01662500 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	14.59	01662300 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	21.89	01664700 52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	29.18	01662400 52243	PAGING	U1-113407	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
SERV FRM 07/01-07/31	32.83	01662700	52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	32.83	04201600	52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	33.32	01660100	52243	PAGING	U1-113407	
SERV FRM 07/01-07/31	51.58	01670200	52243	PAGING	U1-113407	
SERV FRM 07/01-7/31	3.65	01640100	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	3.60	01640100	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	3.60	01670100	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	3.60	01670500	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	3.60	01652800	52230	TELEPHONE	U1-113407	
SERV FRM 6/01-6/30	7.21	01662600	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	7.21	01680000	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	10.81	01690100	52264	EQUIPMENT RENTAL	U1-113407	
SERV FRM 6/01-6/30	10.81	01662500	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	18.02	01662300	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	21.62	01664700	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	28.83	01662400	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	28.85	04201600	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	32.43	01660100	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	46.85	01670200	52243	PAGING	U1-113407	
SERV FRM 6/01-6/30	64.54	01662700	52243	PAGING	U1-113407	
	558.88					
AMERICAN PLUS INC						
BL+GRN MARK FLAGS	237.95	04201600	53317	OPERATING SUPPLIES	32671	
	237.95					
AMERICAN PUBLIC WORKS ASSOCIATION						
08/01/08 THRU 07/31/09	550.00	01620100	52255	SOFTWARE MAINTENANCE	MICRO PVR FEE	
APWA SELFASSESSMENT	109.00	01670100	53317	OPERATING SUPPLIES	129001	
	659.00					
AMERICAN WATER WORKS ASSOCIATION						
AL TURNER DUES	165.00	04200100	52234	DUES & SUBSCRIPTIONS	2000650528	
MEMB RNWL-HOFFRAGE	165.00	04200100	52234	DUES & SUBSCRIPTIONS	2000650527	
	330.00					
ANTHONY ROOFING CO						
ROOF REPAIR	2,550.00	01670400	52244	MAINTENANCE & REPAIR	S100852	20090090
	2,550.00					
ARTHUR CLESEN INC						
JETSPRAY,WEED KILL CO	665.44	01680000	53381	TC MAINTENANCE & SUPPLIES	241222	
	665.44					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
ATCO INTERNATIONAL						
PRESSURE WASHER SUPPL	267.50	04200100	53317	OPERATING SUPPLIES	10212606	
	<u>267.50</u>					
AVALON PETROLEUM COMPANY						
GAS PURCHASES FOR FY 2009	7,292.00	01696200	53356	GAS PURCHASED	438282	20090009
	<u>7,292.00</u>					
B & F TECHNICAL CODE						
BUILDING CONSULTANT FEES	547.70	01641900	52253	CONSULTANT	28922	20090086
BUILDING CONSULTANT FEES	1,179.07	01641900	52253	CONSULTANT	28913	20090086
BUILDING CONSULTANT FEES	2,219.25	01641900	52253	CONSULTANT	28914	20090086
PLUMBING INSPECTIONS	2,540.00	01641300	52253	CONSULTANT	28860	20090049
	<u>6,486.02</u>					
BARCO PRODUCTS CO						
COVERS FOR E-85 TANKS	810.33	01670400	54412	OTHER EQUIPMENT	BB-118887	
	<u>810.33</u>					
BATTERY SERVICE CORPORATION						
5 BATTERIES	395.76	01696200	53354	PARTS PURCHASED	178085	
	<u>395.76</u>					
BATTERYHOUSE						
9V,AA,AAA,C,D BATTERI	127.92	01670100	53317	OPERATING SUPPLIES	12390	
	<u>127.92</u>					
BAXTER & WOODMAN INC						
ENGINEERING SERVICES	550.03	04200100	54480	CONSTRUCTION	0136192	20080146
HOFFRAGE & YORK SCADA SYSTM	65.00	04100100	52223	TRAINING	REGIS AUGUST 20	
HOFFRAGE & YORK SCADA SYSTM	65.00	04200100	52223	TRAINING	REGIS AUGUST 20	
	<u>680.03</u>					
BENNETT DOOR SERVICE INC						
REPAIR MECHANIC DR #3	207.00	01670400	52244	MAINTENANCE & REPAIR	20248	
	<u>207.00</u>					
BHFX DIGITAL IMAGING						
GLOSSY PHOTO PAPER	205.75	01620100	53317	OPERATING SUPPLIES	885285	
	<u>205.75</u>					
BLAINS FARM & FLEET						
D MYERS SAFETY SHOES	100.00	01696200	53324	UNIFORMS	16009	
	<u>100.00</u>					
BRACING SYSTEMS						
ARBOR REDUCERS	10.36	01670700	52212	AUTO MAINTENANCE & REPAIR	116001	
DIESEL LIGHT TOWER	200.00	01750000	52287	SUMMER IN THE CENTER	113332	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
INSPECTION SUPPLIES	32.44	01620100	53317	OPERATING SUPPLIES	115730	
JULY 4 PARADE SUPPLIE	75.42	01664700	53317	OPERATING SUPPLIES	115299	
YELLOW TRAF PAINT	47.88	01750000	52291	MISC EVENTS/ACTIVITIES	115381	
	<u>366.10</u>					
BRISCOE SIGNS LLC						
BLACK PVC SIGN	20.00	01680000	53319	MAINTENANCE SUPPLIES	51807	
	<u>20.00</u>					
BROOK ELECTRICAL DISTRIBUTION						
ELECTRICAL BRKR-TC	37.92	01680000	53381	TC MAINTENANCE & SUPPLIES	S2148218.001	
	<u>37.92</u>					
BUCK BROS INC						
2 DAY RENTAL-AUGER	250.00	01670300	52264	EQUIPMENT RENTAL	182092	
HOUSING,BLADES,ARMS	546.07	01670400	52212	AUTO MAINTENANCE & REPAIR	01 278716	
RENTAL OF GATOR	225.00	01750000	52287	SUMMER IN THE CENTER	182090	
WINDOW PANE	64.90	01670400	52212	AUTO MAINTENANCE & REPAIR	01279226	
	<u>1,085.97</u>					
BUDS & BLOOMS						
HOSPITAL-MELODY	65.00	01600000	52242	EMPLOYEE RECOGNITION	6/13/08	
	<u>65.00</u>					
C S CHAMBER OF COMMERCE						
GOLF OUTING	640.00	01643600	52246	ECONOMIC DEVELOPMENT	8120	
	<u>640.00</u>					
C S PARK DISTRICT						
SWIMMING PACT CAMP	19.00	01664775	53325	COMMUNITY RELATIONS	280669	
	<u>19.00</u>					
CALL ONE						
SERV FRM 06/15 - 7/14	2,809.27	01650100	52230	TELEPHONE	1010 6641 JU	0
SERV FRM 06/15-07/14	306.99	04101500	52230	TELEPHONE	1010 6641 JU	0
SERV FRM 06/15-07/14	1,701.52	04201600	52230	TELEPHONE	1010 6641 JU	0
	<u>4,817.78</u>					
CAROL STREAM LAWN & POWER						
REPAIR PARTS	240.26	01670700	52212	AUTO MAINTENANCE & REPAIR	219791	
REPLACEMENT CUPS	27.00	01670700	53317	OPERATING SUPPLIES	218821	
	<u>267.26</u>					
CAROYLN ASCHER LLC						
PLANT MTC JULY 08	229.00	01680000	52244	MAINTENANCE & REPAIR	13934	
	<u>229.00</u>					
CARQUEST AUTO PARTS						

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
AIR+FUEL FILTER,SPARK	68.95	01696200	53354	PARTS PURCHASED	2420-112983	
BEARING	24.78	01696200	53354	PARTS PURCHASED	2420-112219	
BRAKE PADS & ROTORS	346.67	01696200	53354	PARTS PURCHASED	2420-113357	
CON+TRACTOR BATTERY	225.96	01696200	53354	PARTS PURCHASED	2420-112795	
FUEL FILTER - #26	16.94	01696200	53354	PARTS PURCHASED	2420-112768	
FUEL FILTERS	12.04	01696200	53354	PARTS PURCHASED	2420-112670	
HD AIR FILTERS	30.14	01696200	53354	PARTS PURCHASED	2420-112278	
HD AIR FILTERS	87.75	01696200	53354	PARTS PURCHASED	2420-111775	
HD FUEL FILTERS	33.88	01696200	53354	PARTS PURCHASED	2420-112763	
HD HYD FILTERS	74.14	01696200	53354	PARTS PURCHASED	24220-112900	
LD OIL FILTER	9.08	01696200	53354	PARTS PURCHASED	2420-113388	
LD OIL FILTERS	69.24	01696200	53354	PARTS PURCHASED	2420-113387	
MOTOR & REGULATOR	171.42	01696200	53354	PARTS PURCHASED	2420-111265	
OIL DRAIN PLUG -#64	5.68	01696200	53354	PARTS PURCHASED	2420-112913	
PITMAN ARM	22.78	01696200	53354	PARTS PURCHASED	2420-111501	
PRESSURE REGULATOR	70.01	01696200	53354	PARTS PURCHASED	2420-111633	
PWR BIT SET	6.98	01696200	53316	TOOLS	2420-112663	
RETURNED BAT CORE	-20.00	01696200	53354	PARTS PURCHASED	2420-112977	
RUB COMPOUND,SPER BUF	106.67	01696200	53317	OPERATING SUPPLIES	2420-111146	
SHEET METAL INSERTS	20.22	01696200	53354	PARTS PURCHASED	2420-112663	
SPARK PLUGS	12.54	01696200	53354	PARTS PURCHASED	2420-112592	
SPARK PLUGS	39.52	01696200	53354	PARTS PURCHASED	2420-113002	
STARTER FOR #12	133.16	01696200	53354	PARTS PURCHASED	2420-113802	
TRANS FILTER KITS	140.42	01696200	53354	PARTS PURCHASED	2420-112052	
VICTOLEX SHEETS	13.65	01696200	53354	PARTS PURCHASED	2420-112664	
	1,722.62					
CDBH-PAHCS II						
POST OFFER MED/DRUG SCREEN	125.50	01600000	52225	EMPLOYMENT PHYSICALS	88815	
	125.50					
CENGAGE LEARNING						
REFUND OF TAX	-6.60	01640100	53318	REFERENCE MATERIALS	85702642	
REFUND OF TAX	-2.20	01640100	53318	REFERENCE MATERIALS	85702641	
	-8.80					
CENTER FOR PROBLEM ORIENTED POLICING						
POP CONFR SCHNEIDER	450.00	01662700	52223	TRAINING	KO7563	
	450.00					
CHEM CARE INC						
TP PAPER, CFOLD TOWEL	291.25	01670100	53319	MAINTENANCE SUPPLIES	29447	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	291.25					
CHICAGO OFFICE TECHNOLOGY GROUP						
MONTHLY COPY FEES	19.30	01662700	52226	OFFICE EQUIPMENT MAINTENAN	793025	
PATROL COPY 6/9-7/9	23.16	01662700	52226	OFFICE EQUIPMENT MAINTENAN	800576	
	42.46					
CHRISTOPHER B BURKE ENGR LTD						
SITE PLAN & WETLAND SPECIAL MA	70.00	01621900	52253	CONSULTANT	81145	20090082
SITE PLAN & WETLAND SPECIAL MA	235.50	01621900	52253	CONSULTANT	81147	20090082
SITE PLAN & WETLAND SPECIAL MA	490.00	01621900	52253	CONSULTANT	81148	20090082
SITE PLAN & WETLAND SPECIAL MA	588.00	01621900	52253	CONSULTANT	81146	20090082
SITE PLAN & WETLAND SPECIAL MA	628.00	01621900	52253	CONSULTANT	80053	20090082
SITE PLAN & WETLAND SPECIAL MA	1,391.50	01621900	52253	CONSULTANT	80052	20090082
SITE PLAN & WETLAND SPECIAL MA	1,658.25	01621900	52253	CONSULTANT	81144	20090082
SITE PLAN & WETLAND SPECIAL MA	3,923.50	01621900	52253	CONSULTANT	80051	20090082
	8,984.75					
CITIZEN OBERSERVER LLC						
YEARLY SUBSCRIPTION	780.00	01660100	52234	DUES & SUBSCRIPTIONS	3136	
	780.00					
COMED						
SERV FOR 6/27 - 7/30	8.63	06320000	52248	ELECTRICITY	1662139005 7	
SERV FOR 6/27 - 7/30	8.63	06320000	52248	ELECTRICITY	5904042016 7	
SERV FOR 6/27 - 7/30	8.63	06320000	52248	ELECTRICITY	8109050024 7	
	25.89					
COMMUNICATIONS SUPPLY CORP						
REFUND ON OVERCHARGE	-35.40	01650100	54412	OTHER EQUIPMENT	3547799	
	-35.40					
COMPLETE FENCE INC						
CHAIN LINK FENCE	19,850.00	11740000	55486	ROADWAY CAPITAL IMPROVEME	CF08275	20090089
	19,850.00					
COUNTY CLERK						
NOTARY COMM RENEWAL	10.00	01664700	52234	DUES & SUBSCRIPTIONS	BRYAN PECE	
	10.00					
COUNTY COURT REPORTERS INC						
PLAN COMM MTG JULY 28	150.00	01530000	52241	COURT RECORDER FEES	096495	
	150.00					
CREATIVE CARE MANAGEMENT LTD						
EMPLOYEE ASSISTANCE SERVICES	1,214.04	01600000	52273	EMPLOYEE SERVICES	081Q82	20090085
	1,214.04					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
CREATIVE PRODUCT SOURCING INC - DARE					
DARE SUPPLIES	549.85	01664765 53325	COMMUNITY RELATIONS	9775	
	549.85				
D F V ENTERPRISES					
1 YR RENEWAL SUBSRIPT	1,500.00	01690100 52234	DUES & SUBSCRIPTIONS	10063	
	1,500.00				
DAILY HERALD					
ADS FOR 4-DAY EVENT	3,320.00	01750000 52287	SUMMER IN THE CENTER	158	
PN 07052	168.00	01530000 52240	PUBLIC NOTICES/INFOR	T4079422	
PN 178 CARRIAGE	67.00	01530000 52240	PUBLIC NOTICES/INFOR	T4082979	
TREE BID NOTICE	35.00	01580000 52240	PUBLIC NOTICES/INFORMATION	T4075982	
	3,590.00				
DELUX TOWING					
SEIZURE TOW NISSAN	135.00	01660100 53317	OPERATING SUPPLIES	62346	
SEIZURE TOW PONTIAC	20.00	01660100 53317	OPERATING SUPPLIES	62618	
SEIZURE TOW PONTIAC	135.00	01660100 53317	OPERATING SUPPLIES	60676	
	290.00				
DOJES FORENSIC SUPPLIES					
EVIDENCE SUPPLIES	30.95	01662760 53317	OPERATING SUPPLIES	14569	
	30.95				
DON BASTIAN					
PLANNER CONSULTING	725.00	01641700 52253	CONSULTANT	JULY 2008	20090053
	725.00				
DRESSBARN					
CLOTH ALLOW - NICKLES	42.99	01662400 53324	UNIFORMS	61724	
	42.99				
DRIVERS LICENSE GUIDE COMPANY					
US IDENT MANUAL	82.50	01660100 53318	REFERENCE MATERIALS	150967	
	82.50				
DUPAGE AUTO BATH					
CAR WASH JAN,FEB,MAR	386.33	01662700 52212	AUTO MAINTENANCE & REPAIR	6/24/08	
	386.33				
DUPAGE CELLULAR COMM					
CELL PHONE BATTERY	49.99	01620100 53317	OPERATING SUPPLIES	10045210	
	49.99				
DUPAGE COUNTY					
DATA PROCESSING JULY POLICE	250.00	01662600 52247	DATA PROCESSING	5171	
	250.00				

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
DUPAGE COUNTY RECORDER					
RECORDING FEE	16.00	01580000 52233	RECORDING FEES	20080721 0055	
RECORDING FEES	8.00	01580000 52233	RECORDING FEES	200807210057	
	<u>24.00</u>				
DUPAGE MAYORS AND MANAGERS CONFERENC					
DINNER CHRG 7/16/08	40.00	01590000 52222	MEETINGS	5386	
	<u>40.00</u>				
EBAY INC					
EBAY VEHICLE SALES	769.80	01664700 53317	OPERATING SUPPLIES	063008	
	<u>769.80</u>				
EDWARDS ENGINEERING INC					
MTC AGR JUNE	287.00	01680000 52244	MAINTENANCE & REPAIR	M53139	
	<u>287.00</u>				
EMPIRE COOLER SERVICE INC					
ICE - 4 DAY EVENT	219.00	01750000 52287	SUMMER IN THE CENTER	12085872	
ICE FOR T C EVENT	189.00	01750000 52287	SUMMER IN THE CENTER	112 085374	
	<u>408.00</u>				
ERNIES TOWING INC					
TOW 656	25.00	01662753 52212	AUTO MAINTENANCE & REPAIR	78043	
TOW 689	25.00	01662753 52212	AUTO MAINTENANCE & REPAIR	79631	
	<u>50.00</u>				
EXELON ENERGY INC					
SERV FOR 6/18- 07/21	2,505.92	04201600 52248	ELECTRICITY	1470402	
SERV FOR 05/20 - 6/18/08	1,810.05	04201600 52248	ELECTRICITY	3963097040 7	
SERV FOR 6/18 - 07/22	1,831.22	04201600 52248	ELECTRICITY	3963097040 8	
	<u>6,147.19</u>				
FACTORY MOTOR PARTS					
AC CLUTH,PULL,COIL696	234.06	01696200 53354	PARTS PURCHASED	63-002830	
	<u>234.06</u>				
FASTENAL INDUSTRIAL & CONSTRUCTION SUPP					
EARLY PAYMENT CREDIT	-52.63	04201600 53317	OPERATING SUPPLIES	ILHAN5606	
RIDGID IN-LINE	700.68	04201600 53317	OPERATING SUPPLIES	ILHAN5606	
	<u>648.05</u>				
FEDEX					
INV SUMMARY AUG 06	15.86	01650100 52229	POSTAGE	2 849 71506	
	<u>15.86</u>				
FLAG LADY CORP					
US & VILLAGE FLAGS	994.10	01650100 53317	OPERATING SUPPLIES	23066	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	<u>994.10</u>				
FLOLO CORPORATION					
PREDICTIVE MTC MAY	300.00	04201600 52244	MAINTENANCE & REPAIR	081691	
	<u>300.00</u>				
FLOOD BROTHERS DISPOSAL					
YARD WASTE STICKERS	2,703.60	01 14120	YARD WASTE STICKERS	1451817	
	<u>2,703.60</u>				
FOREST PRESERVE DISTRICT OF DPG CO					
MONTHLY PURCHASE OF E85 FUEL	2,413.57	01696200 53356	GAS PURCHASED	JULY	20090040
	<u>2,413.57</u>				
G F O A					
GFOA GUIDE HELGERSON	43.02	01610100 53318	REFERENCE MATERIALS	2590517	
	<u>43.02</u>				
GALLS					
FLASHLIGHT	86.74	01664700 53317	OPERATING SUPPLIES	0000818302A	
	<u>86.74</u>				
GEN POWER					
4 DAY TC EVENT	78.88	01750000 52287	SUMMER IN THE CENTER	M00174	20090092
4 DAY TC EVENT	1,660.60	01750000 52287	SUMMER IN THE CENTER	R14724	20090092
4 DAY TC EVENT	2,954.40	01750000 52287	SUMMER IN THE CENTER	R14732	20090092
	<u>4,693.88</u>				
GLASS DOCTOR					
REPLACE WINDSHIELD#60	196.38	01696200 53353	OUTSOURCING SERVICES	104934	
	<u>196.38</u>				
GOLF & BUSSE TOWING					
SEIZURE TOW	135.00	01660100 53317	OPERATING SUPPLIES	7763	
SEIZURE TOW CHEV LUM	135.00	01660100 53317	OPERATING SUPPLIES	9688	
SEIZURE TOW-FORD	172.50	01660100 53317	OPERATING SUPPLIES	7355	
SEIZURE TOW-FORD TBIR	135.00	01660100 53317	OPERATING SUPPLIES	10001	
SEIZURE TOW-LINCOLN	135.00	01660100 53317	OPERATING SUPPLIES	6918	
	<u>712.50</u>				
GORDON FLESCH COMPANY INC					
COPY FEE 5/24-6/24	127.41	01662600 52226	OFFICE EQUIPMENT MAINTENAN	OCS1241	
	<u>127.41</u>				
GRAINGER					
KICK STAND MONITOR VC	75.91	04201600 53317	OPERATING SUPPLIES	9686889479	
SQ HEAD PLUG,SAW BLAD	49.90	04200100 53317	OPERATING SUPPLIES	1061226839	
SQ HEAD PLUGS,FUSE	10.25	04200100 53317	OPERATING SUPPLIES	1061226839	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	136.06					
GUARDIAN QUEST						
CUSTOMER SERVICE TRAINING	512.19	01662500	52223	TRAINING	08 193	20090084
CUSTOMER SERVICE TRAINING	512.19	01664700	52223	TRAINING	08 193	20090084
CUSTOMER SERVICE TRAINING	614.62	01662400	52223	TRAINING	08 193	20090084
CUSTOMER SERVICE TRAINING	614.62	01662600	52223	TRAINING	08 193	20090084
CUSTOMER SERVICE TRAINING	819.50	01660100	52223	TRAINING	08 193	20090084
CUSTOMER SERVICE TRAINING	2,356.05	01662700	52223	TRAINING	08 193	20090084
	5,429.17					
HALLORAN & YAUCH INC						
FOUNTAIN REPAIR	581.56	01680000	53381	TC MAINTENANCE & SUPPLIES	26695	
RPR VALVE FOUNTAIN	329.99	01680000	53381	TC MAINTENANCE & SUPPLIES	26696	
	911.55					
HD SUPPLY WATERWORKS						
COUPLING	18.00	04201600	53317	OPERATING SUPPLIES	7441486	
CURB BOX,LID W/PLUGS	86.25	04201600	53317	OPERATING SUPPLIES	7502451	
PRECO PLUGS (5 GAL)	185.00	01670600	53317	OPERATING SUPPLIES	7292608	
	289.25					
HEALY ASPHALT COMPANY LLC						
ASPHALT	450.11	06320000	53345	STREET SUPPLIES	14396MB	
	450.11					
HOME DEPOT						
1/2X10FT BLK	40.96	01670600	52212	AUTO MAINTENANCE & REPAIR	0172031	
BATTERIES	10.97	01696200	53317	OPERATING SUPPLIES	0551598	
BATTERIES	77.24	01660157	53317	OPERATING SUPPLIES	041148/20511	
MTC SUPPLIES	19.89	01560000	53317	OPERATING SUPPLIES	5831748	
SELF-COMBO KIT	303.68	01696200	53317	OPERATING SUPPLIES	0551598	
	452.74					
HOTELS-MASTERCARD						
LODG D WELLS GREAT	756.50	01664700	52223	TRAINING	0978	
	756.50					
ICCI						
REFUND FOR CODE BOOKS	-476.25	01640100	53318	REFERENCE MATERIALS	5230890CR	
	-476.25					
IGFOA						
IGFOA CONFR HELGERSON	275.00	01610100	52223	TRAINING	1225706	
STATE CONFR-B WYDRA	275.00	01612900	52223	TRAINING	SEPT 2008	
	550.00					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
IRMA					
JULY DEDUCTIBLES	-752.11	01650100 52263	PROPERTY INSURANCE	8220	
JULY DEDUCTIBLES	10.65	01670100 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	50.21	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	213.80	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	624.95	01650100 52263	PROPERTY INSURANCE	8220	
JULY DEDUCTIBLES	961.86	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	1,044.41	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	1,680.18	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	2,314.60	01662700 51114	WORKERS COMP	8220	
JULY DEDUCTIBLES	2,500.00	01662700 51114	WORKERS COMP	8220	
JULY OPTIONAL DEDUCTIBLE	7,500.00	01662700 51114	WORKERS COMP	8279	
	16,148.55				
ILLINOIS ASSN OF TECHNICAL ACCIDENT INVE					
JUNGERS, COOPER, WHITE, KALINOV	1,280.00	01662300 52223	TRAINING	REG SEPT 9-12	
	1,280.00				
ILLINOIS CITY COUNTY MANAGEMENT ASSN					
2008-09 MEMBERSHIP DUES	209.00	01590000 52234	DUES & SUBSCRIPTIONS	ROBERT MELLOR	
	209.00				
ILLINOIS DEPT OF PUBLIC HEALTH					
REG FEE-STURM	50.00	01560000 52223	TRAINING	07-17-2008	
	50.00				
ILLINOIS EMERGENCY MGMNT AGENCY					
NORM STURM CONF.	133.75	01560000 52223	TRAINING	SEPT 2-4	
	133.75				
ILLINOIS PAPER COMPANY					
COPY PAPER	7,085.50	01650100 52231	COPY EXPENSE	468426-000	20090087
	7,085.50				
ILLINOIS SECRETARY OF STATE					
NOTARY COMM RENEWAL	10.00	01662600 52234	DUES & SUBSCRIPTIONS	SHEILA MCMAHON	
NOTARY COMM RNWL NAME CHG	10.00	01660100 52234	DUES & SUBSCRIPTIONS	ANTOINETTE FORD	
	20.00				
INDUSTRIAL TOOL BOX					
AID KIT, PLUGS, EXT COR	193.13	01670700 53317	OPERATING SUPPLIES	32066	
	193.13				
INDUSTRIES FOR THE BLIND INC					
PACT SUPPLIES	42.60	01664775 53325	COMMUNITY RELATIONS	163359	
	42.60				

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
INTELLIGENT SOLUTIONS					
COMPUTER CONSULT 6/8	3,080.00	01660100 52253	CONSULTANT	08-1003	
	3,080.00				
INTERNET PURCHASE MASTERCARD					
DIGITAL IMAGING SUP.	25.96	01660100 53317	OPERATING SUPPLIES	W35606440101	
DIGITAL IMAGING SUP.	187.77	01660100 53317	OPERATING SUPPLIES	W35606440102	
GOOGLE SITE SEARCH	100.00	01652800 52255	SOFTWARE MAINTENANCE	718422276846	
INK CARTRIDGES-COBAN	82.23	01660156 53314	OFFICE SUPPLIES	846237	
REFUND OF SALES TAX	-1.87	01652800 52255	SOFTWARE MAINTENANCE	00000	
SURVEY SUBSCRIPTION	19.95	01660100 52234	DUES & SUBSCRIPTIONS	15724209	
	414.04				
J C PENNY					
CLOTH ALLOW - QUINN	191.99	01662400 53324	UNIFORMS	7371	
CLOTH ALLOW-HARRISON	119.94	01662400 53324	UNIFORMS	4830	
	311.93				
JULIE INC					
LOCATES FOR JULY	131.73	01670300 52272	PROPERTY MAINTENANCE(NPDI 07 08 0351		
LOCATES FOR JULY	131.73	04201600 52272	PROPERTY MAINTENANCE(NPDI 07 08 0351		
LOCATES FOR JULY	131.74	04101500 52272	PROPERTY MAINTENANCE(NPDI 07 08 0351		
LOCATES FOR MAY	179.33	01670300 52272	PROPERTY MAINTENANCE(NPDI 05 08 0351		
LOCATES FOR MAY	179.33	04201600 52272	PROPERTY MAINTENANCE(NPDI 05 08 0351		
LOCATES FOR MAY	179.34	04101500 52272	PROPERTY MAINTENANCE(NPDI 05 08 0351		
	933.20				
KAMMES AUTO & TRUCK REPAIR INC					
2 TK STATE TESTINGS	58.00	01670700 52212	AUTO MAINTENANCE & REPAIR	234710	
	58.00				
KANSAS STATE BANK					
10 MONTHLY PAYMENTS FOR VOICE	253.00	01660100 52226	OFFICE EQUIPMENT MAINTENANCE	PYMNT 44	20090050
	253.00				
KELLER HEARTT COMPANY INC					
5 W 20 OIL	984.06	01696200 53354	PARTS PURCHASED	0060226-IN	
AFT III	789.80	01696200 53354	PARTS PURCHASED	0060227-IN	
	1,773.86				
KOHL'S					
CLOTH ALLOW - CADLE	32.74	01662400 53324	UNIFORMS	0506/25/1235	
	32.74				
KPW TRUCKING INC					
CA6 AND SAND DELIVERY	791.25	06320000 53347	CA-6	257	20090083

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
CA6 AND SAND DELIVERY	908.39	06320000 53336	SAND	257	20090083
	<u>1,699.64</u>				
LANDMARK FORD					
5-2008 FORD CROWN VICTORIA POI	108,555.00	01662700 54415	VEHICLES	5-2008 FORD CRWN	20090025
	<u>108,555.00</u>				
LEHIGH SAFETY SHOES					
ENG DEPT SAFETY SHOES	374.96	01620100 53324	UNIFORMS	303493	
HOFFRAGE SAFETY SHOES	74.99	04200100 53324	UNIFORMS	303493	
	<u>449.95</u>				
LOWE'S HOME CENTERS					
ADJUST BUNGEE,TIEDOWN	33.91	01670100 53317	OPERATING SUPPLIES	10041	
BEE KILLER FRMHOUSE	6.94	01680000 53319	MAINTENANCE SUPPLIES	10421	
CRED FOR UMBRELLA	-68.86	01680000 53381	TC MAINTENANCE & SUPPLIES	14913	
DRYWAL SAW,PLUGS,WD40	19.18	01670300 53317	OPERATING SUPPLIES	14747	
GATOR CONVERSION	105.42	01670100 52212	AUTO MAINTENANCE & REPAIR	14487	
HOSE CAPS	6.38	01680000 53381	TC MAINTENANCE & SUPPLIES	10398	
MAINT SUPPLIES	10.93	01680000 53381	TC MAINTENANCE & SUPPLIES	14387	
MAINT SUPPLIES	31.44	01680000 53319	MAINTENANCE SUPPLIES	09522	
MAINTC SUPPLIES	2.48	01680000 53319	MAINTENANCE SUPPLIES	02646	
MAINTENANCE SUPPLIES	9.96	01680000 53319	MAINTENANCE SUPPLIES	14263	
MAINTENANCE SUPPLIES	43.99	01560000 53317	OPERATING SUPPLIES	14263	
PRTS VLG HL BLKBRD	1.87	01680000 53319	MAINTENANCE SUPPLIES	14799	
SPRINKLER SYS PRTS	5.68	01680000 53381	TC MAINTENANCE & SUPPLIES	14273	
SPRINKLER SYS PRTS	23.85	01680000 53381	TC MAINTENANCE & SUPPLIES	10982	
TWN CTR SUPPLIES	5.47	01680000 53319	MAINTENANCE SUPPLIES	14191	
TWN CTR SUPPLIES	74.82	01680000 53381	TC MAINTENANCE & SUPPLIES	14913	
UMBRELLA VLG HALL	48.86	01680000 53319	MAINTENANCE SUPPLIES	14915	
VLG HL SUPPLIES	26.37	01680000 53319	MAINTENANCE SUPPLIES	14779	
WEED KLR TC & FRMHS	19.97	01680000 53381	TC MAINTENANCE & SUPPLIES	10379	
	<u>408.66</u>				
MAGELLAN PROMOTIONS LLC					
TSHIRTS (GARAGE)	110.00	01696200 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	73.40	01670200 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	73.40	01670300 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	73.40	01670500 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	73.40	01670600 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	73.40	01670700 53324	UNIFORMS	1225	
TSHIRTS (STREETS DIV)	183.50	01670400 53324	UNIFORMS	1225	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
TSHIRTS (W/S DIV)	36.70	04201400 53324	UNIFORMS	1225	
TSHIRTS (W/S DIV)	73.40	04201300 53324	UNIFORMS	1225	
TSHIRTS (W/S DIV)	146.80	04201600 53324	UNIFORMS	1225	
	917.40				
MCNICHOLS CO					
BAR GRATING & FRT	3,756.00	01670400 52244	MAINTENANCE & REPAIR	220940	20090091
	3,756.00				
MEADE ELECTRIC COMPANY INC					
JUN 08 TRAF SIG MAINT	150.00	06320000 52244	MAINTENANCE & REPAIR	635813	
	150.00				
MEIJERS					
PACT SUPPLIES	175.11	01664775 53325	COMMUNITY RELATIONS	A019802SGX65	
	175.11				
MENARDS					
SUPPLIES TWN CTR	102.60	01680000 53381	TC MAINTENANCE & SUPPLIES	039038	
	102.60				
MEYER MATERIAL COMPANY					
3 CY CONCRETE	431.00	06320000 53338	CONCRETE	29081	
6 CY CONCRETE	722.00	06320000 53338	CONCRETE	32642	
	1,153.00				
MICHAELS STORE					
PACT SUPPLIES	94.08	01664775 53325	COMMUNITY RELATIONS	36258677002	
	94.08				
MIDCO					
ON SITE DEDUCTIBLE	95.00	01680000 52244	MAINTENANCE & REPAIR	213549	
SHARED RISK DEDUCTIBLE	45.00	01680000 52244	MAINTENANCE & REPAIR	213324	
SHARED RISK ON SITE DEDUCT	95.00	01680000 52244	MAINTENANCE & REPAIR	213550	
	235.00				
MIDWAY TRUCK PARTS					
ALTERNATOR	288.97	01696200 53354	PARTS PURCHASED	550521	
	288.97				
MIDWEST HEART SPECIALISTS					
MEDICAL SERVICES	480.00	01600000 51111	GROUP INSURANCE	INSURANCE CLAIM	
	480.00				
MOCIC					
MOCIC CONFR-CADLE	200.00	01662400 52223	TRAINING	SEPT 16-18	
	200.00				
MR SITCO					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
METER READS 7/08	1,623.75	04103100 52221	UTILITY BILL PROCESSING	50347	20090064
METER READS 7/08	1,623.75	04203100 52221	UTILITY BILL PROCESSING	50347	20090064
	3,247.50				
NEMRT					
CADLE 3/25-27	50.00	01662700 52223	TRAINING	107442	
CAROL NICKLES 4/8-9	350.00	01662400 52223	TRAINING	107468	
PETRAGALLO 5/8/08	150.00	01664700 52223	TRAINING	108406	
TRAINING G WALKER	60.00	01662700 52223	TRAINING	109099	
	610.00				
NAPA AUTO CENTER					
VEHICLE SUPPLIES	10.58	01664700 53317	OPERATING SUPPLIES	001754	
	10.58				
NATIONAL ASSOCIATION OF TOWN WATCH					
NATL NITE OUT SHIRTS	30.50	01664769 53325	COMMUNITY RELATIONS	9425	
NATL NITEOUT SUPPLIES	892.50	01664769 53325	COMMUNITY RELATIONS	041820	
	923.00				
NATIONAL PEN CO					
GIVEAWAY PENS	247.36	01650100 53317	OPERATING SUPPLIES	104748146	
	247.36				
NEENAH FOUNDRY COMPANY					
ADJUSTING RING	291.36	06320000 54470	STREET RESURFACING	856651	
FRAME & GRATE	596.32	06320000 54470	STREET RESURFACING	854581	
FRAME & GRATE	596.32	06320000 54470	STREET RESURFACING	854582	
ROLL GRATE	167.80	01670600 53317	OPERATING SUPPLIES	852513	
ROLL GRATE	168.24	01670600 53317	OPERATING SUPPLIES	854458	
	1,820.04				
NEOPOST LEASING					
LEASE 07/08	422.44	01650100 52229	POSTAGE	5170802	
	422.44				
NEW YORK & CO					
CLOTH ALLOW - NICKLES	60.19	01662400 53324	UNIFORMS	1047	
	60.19				
NEXT GENERATION SCREEN PRINTING					
PACT T-SHIRTS	450.00	01664775 53325	COMMUNITY RELATIONS	5135	
	450.00				
NEXTEL COMMUNICATIONS					
SERV FRM 5/24-6/23	23.73	04203100 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	23.97	04103100 52230	TELEPHONE	760300514077	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
SERV FRM 5/24-6/23	48.16	01680000 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	56.94	01662500 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	66.45	01650100 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	76.52	01662400 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	97.52	04201600 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	118.65	01640100 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	166.35	01662700 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	246.41	01560000 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	254.42	01660100 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	275.46	01664700 52230	TELEPHONE	760300514077	
SERV FRM 5/24-6/23	294.01	01620100 52230	TELEPHONE	760300514077	
SERV FRM 5824-6/23	109.12	01670100 52230	TELEPHONE	760300514077	
	1,857.71				
NICOR GAS					
SERV FOR JULY 8TH THRU AUG 6	20.82	04201600 52277	HEATING GAS	13 81 12 1000 7 8	
SERV FROM JULY 09 THRU AUG 08	81.14	04201600 52277	HEATING GAS	86 60 60 1117 8 8	
	101.96				
NORTHWESTERN UNIVERSITY					
TRAINING KALINOWICZ-OCT, NOV	2,350.00	01662300 52223	TRAINING	24502	
	2,350.00				
NOTARIES ASSOCIATION OF ILL INC					
NOTARY COMM RENEWAL	36.00	01662600 52234	DUES & SUBSCRIPTIONS	SEILA MCMAHON	
RENEWAL OF COMMISSION-NM CHC	36.00	01660100 52234	DUES & SUBSCRIPTIONS	ANTOINETTE FORD	
	72.00				
OCE IMAGISTICS INC					
PWC COPIER JUN 08	20.28	01670100 52231	COPY EXPENSE	409950270	
WRC COPIER 4/08-6/08	73.12	04100100 52231	COPY EXPENSE	409978956	
	93.40				
OFFICE DEPOT					
BINDERS/DEACON	18.69	01662600 53314	OFFICE SUPPLIES	434485129	
CUSTOMER SERVE TRNG	68.61	01660100 52223	TRAINING	434674279	
DEACON FLOOR MAT	54.99	01660100 53314	OFFICE SUPPLIES	435310164001	
FOLDERS	54.12	01662400 53314	OFFICE SUPPLIES	435310164001	
INK CARTRIDGE	117.30	01610100 53317	OPERATING SUPPLIES	435299702001	
INV FLOOR MATS	274.95	01662400 53314	OFFICE SUPPLIES	435310164001	
MISC. SUPPLIES	70.47	01650100 53314	OFFICE SUPPLIES	436734172001	
OFFICE SUPPLIES	4.38	01613000 53314	OFFICE SUPPLIES	435299702001	
OFFICE SUPPLIES	11.38	01660100 53314	OFFICE SUPPLIES	435945806	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
OFFICE SUPPLIES	11.90	01660100 53314	OFFICE SUPPLIES	435296348	
OFFICE SUPPLIES	31.99	01612900 53314	OFFICE SUPPLIES	435299702001	
OFFICE SUPPLIES	32.76	01660100 53314	OFFICE SUPPLIES	436739109	
OFFICE SUPPLIES	459.75	01662600 53314	OFFICE SUPPLIES	434485129	
RETURN WALL RACK	-26.80	01650100 53314	OFFICE SUPPLIES	434208246001	
SOU FLOOR MATS	109.98	01664700 53314	OFFICE SUPPLIES	435310164001	
TONER,FILEFOLDERS	61.55	01600000 53314	OFFICE SUPPLIES	435585544001	
	1,356.02				
OFFICE MAX					
DVDS FOR COBAN	34.99	01660100 53317	OPERATING SUPPLIES	84441556	
	34.99				
ONESTI ENTERTAINMENT CORP					
2008 SUMMER CONCERT SERIES	2,700.00	01750000 52288	CONCERT SERIES	5390	20090061
AUG 7 & AUG 14 CONCERTS	3,300.00	01750000 52288	CONCERT SERIES	5394	20090061
JULY 25TH & AUG 8 CONCERTS	3,000.00	01750000 52288	CONCERT SERIES	5395	
	9,000.00				
ORIENTAL TRADING COMPANY INC					
PACT SUPPLIES	40.27	01664775 53325	COMMUNITY RELATIONS	625811066-01	
	40.27				
PARTY CENTRAL					
JULY 4TH FLOAT	63.92	01664765 53325	COMMUNITY RELATIONS	383182-001	
	63.92				
PESI SEMINARS					
TRNG-M THOMAS	299.00	01662500 52223	TRAINING	888249	
	299.00				
PJ'S CAMERA & PHOTO					
ET SUPPLIES	3.45	01662400 53317	OPERATING SUPPLIES	998	
ET SUPPLIES	12.96	01662400 53317	OPERATING SUPPLIES	872	
ET SUPPLIES	20.76	01662400 53317	OPERATING SUPPLIES	836	
ET SUPPLIES	53.70	01662400 53317	OPERATING SUPPLIES	929	
	90.87				
PLATINUM POOLCARE AQUATECH LTD					
FOUNTAIN SERV JUNE	1,447.00	01680000 52244	MAINTENANCE & REPAIR	3785	
	1,447.00				
PLOTE CONSTRUCTION INC					
	87,264.69	11 21112	RETAINAGE - PLOTE	PAYMENT 4	20090031
2008 FLEXIBLE PAVEMENT PROJ	342,695.73	11740000 55486	ROADWAY CAPITAL IMPROVEME	PAYMENT 4	20090031
	429,960.42				

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
POMPS TIRE SERVICE					
12 TIRES, USER FEES,F	854.00	01696200 53354	PARTS PURCHASED	80361	
	<u>854.00</u>				
POOLCARE-AQUTECH LTD					
SUMMERIZATION & WINTERIZATION	1,447.00	01680000 52244	MAINTENANCE & REPAIR	4899	20090095
	<u>1,447.00</u>				
PRAIRIE PATH CYCLES					
BIKE RODEO GIFT CERT	550.00	01664764 53325	COMMUNITY RELATIONS	014047	
	<u>550.00</u>				
PUBLIC AGENCY TRAINING COUNCIL					
CELL PH INV HARRISON	295.00	01662400 52223	TRAINING	7101 7/7-8	
	<u>295.00</u>				
PUBLIC STORAGE 28162					
STORAGE FEE 08-08	244.00	01662400 53317	OPERATING SUPPLIES	10817873 AUG	
	<u>244.00</u>				
QUEST DIAGNOSTICS					
DUI URINE TESTING	229.50	01660100 53317	OPERATING SUPPLIES	9123805420	
	<u>229.50</u>				
RADCO COMMUNICATIONS INC					
NEW SIREN SPEAKER	210.20	01662700 53350	SMALL EQUIPMENT EXPENSE	72402	
RADIO REPAIR	60.00	01662700 52227	RADIO MAINTENANCE	72467	
RADIO REPAIR	66.20	01662700 52227	RADIO MAINTENANCE	72402	
RADIO REPAIR	101.50	01662700 52227	RADIO MAINTENANCE	72436	
RADIO REPAIR	171.24	01662700 52227	RADIO MAINTENANCE	72583	
RELOCATE EQUIPMENT	302.90	01662700 52212	AUTO MAINTENANCE & REPAIR	72436	
SQUAD MAINTENANCE	147.72	01662700 52212	AUTO MAINTENANCE & REPAIR	72402	
SQUAD MAINTENANCE	33.00	01662700 52212	AUTO MAINTENANCE & REPAIR	72583	
SQUAD MAINTENANCE	210.00	01662700 52212	AUTO MAINTENANCE & REPAIR	72402	
SQUAD MAINTENANCE	225.90	01662700 52212	AUTO MAINTENANCE & REPAIR	72509	
SQUAD MAINTENANCE	271.40	01662700 52212	AUTO MAINTENANCE & REPAIR	72467	
	<u>1,800.06</u>				
RAY O'HERRON CO					
BARRICADE TAPE	99.50	01662700 53317	OPERATING SUPPLIES	41924	
BRADLEY SUMMER	497.50	01662700 53324	UNIFORMS	41958	4662694
COOPER SUMMER	155.80	01662300 53324	UNIFORMS	42135	4662694
DAUGERDAS SUMMER	192.75	01662700 53324	UNIFORMS	41889	4662694
DO'BRIEN SUMMER	322.65	01662700 53324	UNIFORMS	42136	4662694
EMBROIDERY LARSEN	21.00	01662400 53324	UNIFORMS	42063	4662694

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
FRY SUMMER	77.90	01662300 53324	UNIFORMS	41890	4662694
GARZA SUMMER	295.65	01664700 53324	UNIFORMS	41961	4662694
GILMORE SUMMER	29.95	01660100 53324	UNIFORMS	42134	4662694
JUNGERS SUMMER	548.50	01662300 53324	UNIFORMS	41957	4662694
LALLY SUMMER	10.95	01662700 53324	UNIFORMS	41888	4662694
LOVERDE SUMMER	248.75	01662700 53324	UNIFORMS	41884	4662694
MARCINIAK SUMMER	322.65	01664700 53324	UNIFORMS	42137	4662694
MIC HOLDERS	134.25	01662700 53317	OPERATING SUPPLIES	42138	
MOFFETT SUMMER	322.65	01662700 53324	UNIFORMS	41886	4662694
NEWSHAM SUMMER	139.85	01662600 53324	UNIFORMS	41959	4662694
P.KONIOR SUMMER	339.55	01662700 53324	UNIFORMS	41960	4662694
RAINEY SUMMER	322.65	01660100 53324	UNIFORMS	42064	4662694
RUDELICH SUMMER	295.65	01664700 53324	UNIFORMS	41962	4662694
SPIZZIRRI SUMMER	16.95	01662700 53324	UNIFORMS	41887	4662694
STAFIEJ SUMMER	73.90	01662700 53324	UNIFORMS	41891	4662694
TAX SUMMER	322.65	01664700 53324	UNIFORMS	41885	4662694
	4,791.65				
REFUNDS MISC					
SIDEWALK REIMBURSEMENT	100.00	01670500 52272	PROPERTY MAINTENANCE(NPDI 911 DODGE		
	100.00				
REINDERS INC					
FOUNTAIN AERATORS	316.80	01670400 54412	OTHER EQUIPMENT	1197949-01	20090088
FOUNTAIN AERATORS	333.59	01670400 54412	OTHER EQUIPMENT	1197950-01	20090088
FOUNTAIN AERATORS	7,947.80	01670400 54412	OTHER EQUIPMENT	1197949-00	20090088
FOUNTAIN AERATORS	9,933.00	01670400 54412	OTHER EQUIPMENT	1197950-00	20090088
	18,531.19				
RESTAURANT-MASTERCARD					
CS TRNG. REFRESHMENTS	51.96	01660100 52223	TRAINING	21628	
JULY 4 SIGN MTG	35.95	01664700 53325	COMMUNITY RELATIONS	82711	
ORAL INTERVIEWS	117.51	01660100 52222	MEETINGS	7/8/08	
ORAL INTERVIEWS	141.95	01660100 52223	TRAINING	8397	
ORAL INTERVIEWS 7/9	165.12	01660100 52222	MEETINGS	14961	
TRAINING-WILLING	10.24	01660100 52223	TRAINING	000025	
	522.73				
RIGGS BROS AUTO INTERIORS					
SEAT REPAIR- #654	245.00	01696200 53353	OUTSOURCING SERVICES	93001	
	245.00				
ROYALE HOUSE					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
ISI BRICK WITH LOGO	73.05	01750000 53302	BRICKS	5430	
	<u>73.05</u>				
SAFETY KLEEN					
MAINT GARAGE MACHINE	335.97	01696200 52284	EQUIPMENT MAINTENANCE	0036721740	
	<u>335.97</u>				
SCHWAAB INC					
STAMP	90.00	01650100 53314	OFFICE SUPPLIES	00000	
	<u>90.00</u>				
SEARS HARDWARE					
J CARNEY JEANS+SHOES	231.99	04201600 53324	UNIFORMS	011725238605	
	<u>231.99</u>				
SERVICE COMPONENTS INC					
FUSE,NUT,WASH,BRKT,SW	256.44	01696200 53354	PARTS PURCHASED	71286	
VEHICLE KEY RINGS	30.63	01696200 53317	OPERATING SUPPLIES	71286-1	
	<u>287.07</u>				
SEWER EQUIPMENT OF AMERICA					
NOZZLE & FRT	149.46	04201600 53317	OPERATING SUPPLIES	000092188	
	<u>149.46</u>				
SHOE CARNIVAL					
CLOTH ALLOW - NICKLES	19.98	01662400 53324	UNIFORMS	379058	
	<u>19.98</u>				
SHORE GALLERIES INC					
PATROL AMMO	1,994.00	01662700 53321	AMMUNITION	89948	
	<u>1,994.00</u>				
STEINER ELECTRIC COMPANY					
6AWG BUTT SPLICE	365.00	01670300 52271	STREET LIGHT MAINTENANCE	S00262765902	
HEAT SHRINK TUBING	305.48	01670300 52271	STREET LIGHT MAINTENANCE	99999	
	<u>670.48</u>				
STEPHEN A LASER ASSOCIATES P C					
PSYCH EVAL FOR POLC OFFCR CAN	575.00	01510000 52228	PERSONNEL HIRING	2001764	
	<u>575.00</u>				
STIPES PUBLISHING LLC					
LAW BOOKS	161.19	01660100 53318	REFERENCE MATERIALS	2008	
	<u>161.19</u>				
STREICHERS					
BALLISTIC VESTS	90.00	01664700 53324	UNIFORMS	3636	0
BALLISTIC VESTS	720.00	01660100 53324	UNIFORMS	3636	0
BALLISTIC VESTS	720.00	01662500 53324	UNIFORMS	3636	0

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
BALLISTIC VESTS	1,445.00	01662300 53324	UNIFORMS	3636	0
BALLISTIC VESTS	3,760.00	01662700 53324	UNIFORMS	3636	0
TACTICAL VESTS	4,304.00	01662700 53322	EMERGENCY EQUIPMENT	3636	0
	11,039.00				
SUNRISE CHEVROLET					
DEFLECTOR - #200	44.90	01696200 53354	PARTS PURCHASED	685222	
TRANSMITT-#621	51.93	01696200 53354	PARTS PURCHASED	685223	
	96.83				
TARGET					
HAND SOAP	5.48	01670100 53319	MAINTENANCE SUPPLIES	758255256	
	5.48				
TERRACE SUPPLY COMPANY					
GAS CYCL 5/15-6/15	64.79	01696200 52264	EQUIPMENT RENTAL	490434Z	
	64.79				
TESTING SERVICE CORP					
QUALITY ASSURANCE TESTING SEF	3,768.38	11740000 55486	ROADWAY CAPITAL IMPROVEME	INO72673	20090017
	3,768.38				
THE MENS WEARHOUSE INC					
CLOTH ALLOW - CADLE	188.45	01662400 53324	UNIFORMS	46191110649	
	188.45				
THIRD MILLENIU ASSOCIATES INCORPORATEI					
50% OF WATER BILL/LATE NOTICE	1,234.89	04103100 52221	UTILITY BILL PROCESSING	11012	20090042
50% OF WATER BILL/LATE NOTICE	1,234.89	04203100 52221	UTILITY BILL PROCESSING	11012	20090042
INTERNET EPAY MINIMUM MONTHLY	225.00	04103100 52221	UTILITY BILL PROCESSING	11008	20090041
INTERNET EPAY MINIMUM MONTHLY	225.00	04203100 52221	UTILITY BILL PROCESSING	11008	20090041
	2,919.78				
THOMAS F HOWARD JR					
LEGAL SERVICE FOR JULY	7,567.50	01570000 52238	LEGAL FEES	146	
	7,567.50				
TLC GROUP LIMITED					
JUNE 2008 MAINTENANCE	9,051.48	01670400 52272	PROPERTY MAINTENANCE(NPDI	23724	
MTC JULY VLG HL, TWN CTR, DAYL	2,501.27	01680000 52244	MAINTENANCE & REPAIR	23879	20090034
PROPERTY 1238 DOGWOOD	302.50	01642100 52260	WEED MOWING	23650	
PROPERTY 1341 CHARGER	152.50	01642100 52260	WEED MOWING	23764	
PROPERTY 475 ALEUT	173.50	01642100 52260	WEED MOWING	23765	
	12,181.25				
TRAVEL-MASTERCARD					
POP AIRFR -SCHNEIDER	447.00	01662700 52223	TRAINING	KXYCOC	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>		<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
	447.00					
UNI MAX MANAGEMENT CORP						
JANITORIAL SERVICES PROVIDED A	1,087.50	01670100	52276	JANITORIAL SERVICES	1871	20090020
JANITORIAL SERVICES PROVIDED A	3,262.50	01680000	52276	JANITORIAL SERVICES	1871	20090020
	4,350.00					
UNIFIRST CORPORATION						
6/24 - CLEAN UNIFORMS	8.92	01680000	52267	UNIFORM CLEANING	490650	
6/24 - CLEAN UNIFORMS	21.21	04200100	52267	UNIFORM CLEANING	490650	
6/24 - CLEAN UNIFORMS	31.51	01670100	52267	UNIFORM CLEANING	490650	
6/24 - CLEAN UNIFORMS	51.84	01696200	52267	UNIFORM CLEANING	490650	
6/24 - TOWELS	33.25	01670100	53319	MAINTENANCE SUPPLIES	490650	
6/24 - TOWELS	36.50	01696200	53317	OPERATING SUPPLIES	490650	
7/1 - CLEAN UNIFORMS	8.92	01680000	52267	UNIFORM CLEANING	491751	
7/1 - CLEAN UNIFORMS	21.21	04200100	52267	UNIFORM CLEANING	491751	
7/1 - CLEAN UNIFORMS	31.51	01670100	52267	UNIFORM CLEANING	491751	
7/1 - CLEAN UNIFORMS	51.09	01696200	52267	UNIFORM CLEANING	491751	
7/1 - TOWELS	33.25	01670100	53319	MAINTENANCE SUPPLIES	491751	
7/1 - TOWELS	36.50	01696200	53317	OPERATING SUPPLIES	491751	
7/15 - CLEAN UNIFORMS	8.92	01680000	52267	UNIFORM CLEANING	493963	
7/15 - CLEAN UNIFORMS	21.21	04200100	52267	UNIFORM CLEANING	493963	
7/15 - CLEAN UNIFORMS	31.51	01670100	52267	UNIFORM CLEANING	493963	
7/15 - CLEAN UNIFORMS	51.09	01696200	52267	UNIFORM CLEANING	493963	
7/15 - TOWELS	33.25	01670100	53319	MAINTENANCE SUPPLIES	493963	
7/15 - TOWELS	36.50	01696200	53317	OPERATING SUPPLIES	493963	
7/8 - CLEAN UNIFORMS	8.92	01680000	52267	UNIFORM CLEANING	492869	
7/8 - CLEAN UNIFORMS	21.21	04200100	52267	UNIFORM CLEANING	492869	
7/8 - CLEAN UNIFORMS	31.51	01670100	52267	UNIFORM CLEANING	492869	
7/8 - CLEAN UNIFORMS	52.59	01696200	52267	UNIFORM CLEANING	492869	
7/8 - TOWELS	33.25	01670100	53319	MAINTENANCE SUPPLIES	492869	
7/8 - TOWELS	36.50	01696200	53317	OPERATING SUPPLIES	492869	
	732.17					
UNIVERSITY OF PHOENIX						
TRAINING GILMORE	2,270.00	01660100	52223	TRAINING	9021380663	
	2,270.00					
UPS GROUND SERVICE						
C & L SAMPLES	7.59	04200100	52229	POSTAGE	828648635418	
C & L SAMPLES	7.59	04200100	52229	POSTAGE	838648635263	
C & L SAMPLES	10.42	04200100	52229	POSTAGE	828648636970	

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
C & L SAMPLES	17.42	04200100 52229	POSTAGE	828648635871	
C & L SAMPLES POSTAGE	6.84	04200100 52229	POSTAGE	828648636279	
C & L SAMPLES POSTAGE	7.59	04200100 52229	POSTAGE	828648628813	
C & L SAMPLES POSTAGE	9.06	04200100 52229	POSTAGE	858648635513	
C & L SAMPLES POSTAGE	12.86	04200100 52229	POSTAGE	828648634178	
DELIVERY STATUS	75.00	01520000 52240	PUBLIC NOTICES/INFORMATION	0070068-IN	
L & C SAMPLES POSTAGE	12.86	04200100 52229	POSTAGE	82864863467	
LAPTOP REPAIRSHIPMENT	10.48	01662700 53317	OPERATING SUPPLIES	T03915584	
POSTAGE FOR UNIFORMS	3.21	01670100 53317	OPERATING SUPPLIES	161274-9551A	
	180.92				
UTILITY SUPPLY OF AMERICA					
J CARNEY FIREMAN BOOT	218.35	04201600 53324	UNIFORMS	633399	
	218.35				
VERIZON WIRELESS					
VERIZON CRD 5/14-6/13	1,538.35	01662700 52230	TELEPHONE	1871196594	
	1,538.35				
VILLAGE OF CAROL STREAM - CASH					
SERV FROM 06/03- 07/08	618.54	01680000 52277	HEATING GAS	111372	
	618.54				
WEST SIDE TRACTOR SALES					
2 - HOSES	26.08	01696200 53354	PARTS PURCHASED	N06614	
RETURNED 2 HOSES	-30.52	01696200 53354	PARTS PURCHASED	N06615	
	-4.44				
WESTERN ILLINOIS UNIVERSITY					
LODGING ZOCHERT	3.75	01662700 52223	TRAINING	082249A	
ZOCHERT 6/11-7/10	100.70	01662700 52223	TRAINING	082249	
ZOCHERT 6/8-6/13	3.75	01660100 52223	TRAINING	085951 JUN	
ZOCHERT 6/8-6/13	100.70	01660100 52223	TRAINING	3808300008JU	0
	208.90				
WHEATON TROPHY & ENGRAVERS INC					
RESOLUTION GRAVING #2352	87.52	01600000 52242	EMPLOYEE RECOGNITION	207844	
	87.52				
XEROX CAPITAL SERVICES LLC					
LEASE 04/08	2,719.83	01650100 52231	COPY EXPENSE	032404239	
LEASE 05/08	2,645.24	01650100 52231	COPY EXPENSE	033011851	
MTC CHRGR JUNE	46.34	01650100 52231	COPY EXPENSE	703760017	
	5,411.41				
Z ROSE PRODUCTIONS					

<u>VENDOR NAME</u>	<u>AMOUNT</u>	<u>ACCT #</u>	<u>ACCT DESCRIPTION</u>	<u>INVOICE</u>	<u>PO NUMBER</u>
BIKE RODEO SUPPLIES	279.41	01664764 53325	COMMUNITY RELATIONS	8868	
RECORDS POLOS	1,426.49	01662600 53324	UNIFORMS	8858	
	<u>1,705.90</u>				
ZIEBELL WATER SERVICE PRODUCTS INC					
1.25 FORD REPAIR LIDS	684.20	04201600 53317	OPERATING SUPPLIES	200330-000	
	<u>684.20</u>				
ZIEGLERS ACE HARWARE					
REPLACE SPARE KEY	3.99	01662700 53317	OPERATING SUPPLIES	D90403	
SAMPLING SUPPLIES	39.31	04201600 53317	OPERATING SUPPLIES	D93767/F	
	<u>43.30</u>				
	<u><u>799,280.09</u></u>				

The preceding list of bills payable totaling \$799,280.09 was received and approved for payment.

Approved:

Robert Mellor
Robert Mellor, Acting Village Manager

Date:

8/15/08

Authorized By:

Frank Saverino, Sr., Mayor

Beth Melody, Village Clerk

Date: _____

AGENDA ITEM

K-2 8-18-08

ADDENDUM WARRANTS Aug 5, 2008 thru Aug 18, 2008

Fund	Check #	Vendor	Description	Amount
General	A C H	Oak Brook Bank	Payroll June 30, 2008 - July 13, 2008	504,868.69
Water & Sewer	A C H	Oak Brook Bank	Payroll June 30, 2008 - July 13, 2008	37,284.42
General	A C H	Ill Funds	I P B C for July 2008	179,494.99
Water & Sewer	A C H	Ill Funds	I P B C for July 2008	<u>14,903.14</u>
				<u>736,551.24</u>

Approved this _____ day of _____, 2008

By: _____
Frank Saverino, Sr. - Mayor

Beth Melody, Village Clerk

AGENDA ITEM

L-4 8-18-08

VILLAGE OF CAROL STREAM REVENUE / EXPENDITURE STATEMENT FOR 3 MONTH ENDED JULY 31, 2008

FUND	REVENUE			EXPENDITURES			NET MONTHLY REV. - EXPEND.
	BUDGET	MONTH	Y.T.D.	BUDGET	MONTH	Y.T.D.	
GENERAL CORPORATE	23,275,752	1,699,974.24	6,440,252.86	23,275,752	1,775,650.79	4,850,625.87	(75,676.55)
WATER & SEWER O/M	10,191,829	702,164.69	1,923,238.59	8,874,628	447,173.86	1,080,693.50	254,990.83
MOTOR FUEL TAX	1,952,522	81,955.60	290,361.88	1,348,196	18,259.29	24,690.68	63,696.31
GENERAL CORPORATE - CIP	7,708,000	22,782.88	198,076.72	7,708,000	719,620.97	719,749.06	(696,838.09)
GENEVA CROSSING - TIF	555,462	2,248.08	272,705.76	404,173	0.00	86,586.25	2,248.08
TOTAL	43,683,565.00	2,509,125.49	9,124,635.81	41,610,749.00	2,960,704.91	6,762,345.36	(451,579.42)

FISCAL BASIS

	EARNED/MONTH		EARNED/YEAR-TO-DATE		COLLECTIONS
	FY 08	FY 09	FY 08	FY 09	
SALES TAX	503,491.08	529,023.07	6,193,006.49	6,259,110.82	APR 2008
HOME RULE SALES TAX	176,739.23	186,365.49	2,199,401.55	2,197,605.92	APR 2008
UTILITY TAX - COM ED	183,023.40	150,894.34	321,593.50	285,963.57	JUN 2008
UTILITY TAX - TELECOM.	170,291.64	141,799.24	1,854,028.43	1,908,617.15	APR 2008
USE TAX -NATURAL GAS	19,215.60	23,496.93	60,220.49	61,032.06	JUN 2008
INCOME TAX	336,680.06	186,365.19	336,680.06	186,365.19	MAY 2008

	BILLINGS/MONTH		BILLINGS/YEAR-TO-DATE	
	FY 08	FY 09	FY 08	FY 09

WATER	367,993.60	355,134.37	1,039,850.98	1,016,778.29
SEWER	247,295.14	242,821.81	683,126.57	683,437.78

	CASH RECEIPTS/MONTH		CASH RECEIPTS/YEAR-TO-DATE	
	FY 08	FY 09	FY 08	FY 09

WATER & SEWER	600,781.51	646,547.61	1,513,573.77	1,541,020.75
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The Village is on an accrual basis of accounting and financial reporting. This report is for ease of understanding, on a cash basis, which recognizes revenues when collected and expenditures when made.

**VILLAGE OF CAROL STREAM
BALANCE SHEET**

JULY 31, 2008

FUND	CASH	INVESTMENTS	OTHER ASSETS	TOTAL ASSETS	LIABILITIES	ADJ.FUND BAL.	LIAB. & EQUITY
GENERAL CORPORATE	961,606.40	20,006,439.51	6,792,335.89	27,760,381.80	3,260,934.28	24,499,447.52	27,760,381.80
WATER & SEWER	956,597.71	15,179,486.36	45,145,183.86	61,281,267.93	6,851,385.67	54,429,882.26	61,281,267.93
MOTOR FUEL TAX	(35,360.81)	1,537,468.85	103,030.49	1,605,138.53	97,929.04	1,507,209.49	1,605,138.53
GENERAL CORPORATE - CIP		18,408,249.47	181,127.45	18,589,376.92	726,024.88	17,863,352.04	18,589,376.92
GENEVA CROSSING - TIF*	1,177,443.66	0.00	96,077.12	1,273,520.78	0.00	1,273,520.78	1,273,520.78
TOTAL	3,060,286.96	55,131,644.19	52,317,754.81	110,509,685.96	10,936,273.87	99,573,412.09	110,509,685.96

* Funds invested in JP Morgan Bank money market fund.