

Village of Carol Stream

BOARD MEETING

AGENDA

JULY 17, 2006

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES: Approval of the Minutes of the June 17, 2006 Meeting.

C. AUDIENCE PARTICIPATION & PUBLIC HEARINGS:

1. Resolution No. 2193, Commending Jerry Morton Upon His Retirement from Village Service.

D. SELECTION OF CONSENT AGENDA:

E. BOARD AND COMMISSION REPORTS:

1. PLAN COMMISSION

- a. #06037–Harlem Irving/Folio, LLC, SW Corner of Gary Avenue and Stark Drive

Preliminary Plat of Subdivision

Special Use – Planned Unit Development

Special Use – Pre-School Learning Center

Preliminary Planned Unit Development Plan

Final Planned Unit Development Plan – Lot One

RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (7-0).

The developer is seeking approval for two-lot Planned Unit

Development, with the Crème-de-la-Crème early learning center on Lot One and Lot Two reserved for a restaurant.

- b. #06111 – Lakewood Homes, Fisher Farm Property on the North Side of North Avenue, West of Gary Avenue

Final Planned Unit Development Plan – Residential Subdivision

Variation – Sign Code

RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (7-0).

Lakewood Homes seeks final zoning approvals for the residential portion of the 59-acre property including 270 townhomes and stormwater management facilities.

- c. #06129 – Northern Builders, Northeast Corner of Fullerton Avenue and Center Avenue.

Special Use – Outdoor Storage

RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (7-0).

Glen Ellyn Moving & Storage, a moving van company, plans to construct a 103,160 square foot warehouse/distribution building and seeks zoning

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approval for outdoor parking of up to 56 trailers on the north side of the property.

- d. #06170 – Village of Carol Stream, 500 N. Gary Avenue
Variations – Zoning Code
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (6-1)
Request for variations from the Zoning Code to allow reconstruction of the parking lot at the Municipal Center.

- e. #06171 – Village of Carol Stream, 500 N. Gary Avenue
Variations – Sign Code
RECOMMENDED APPROVAL SUBJECT TO CONDITIONS (6-1).
Request for variations from the Sign Code to allow replacement of the changeable message sign at the Gregory J. Bielawski Municipal Center.

F. OLD BUSINESS:

G. STAFF REPORTS & RECOMMENDATIONS:

1. Award of Purchase – Gregory J. Bielawski Municipal Center Changeable Copy Sign.
This recommendation is to replace the existing 10-year old mechanical sign with a new digital sign with graphics capabilities.

2. Award of Purchase – Voice Over Internet Protocol Telephone System.
This recommendation is to replace the existing 10-year old telephone system with a new VOIP system for the Municipal, Public Works and Water Reclamation Centers.

3. Budget Transfer (Software Enhancements).
This item is a request to make a budget transfer for GPS Correct and GPS Analyst software enhancements for the Village's GIS.

4. Kuhn Road Bike Trail/Application for Funding.
Staff recommends that TranSystems Corporation submit an application for funding the referenced project to DuPage Mayors and Managers Conference Transportation Committee.

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H. ORDINANCES:

1. Ordinance No. _____, Declaring the Necessity and Convenience of Purchasing Right-of-Way from the Forest Preserve District of DuPage County.
This item is an ordinance declaring the necessity and convenience for the Village to purchase right-of-way from DuPage County for the Fair Oaks Project.
2. Ordinance No. _____, Annexing Certain Property to the Village of Carol Stream, DuPage County, Illinois (Fair Oaks Right-of-Way).
This is an ordinance annexing right-of-way purchased from the Forest Preserve District of DuPage County for the Fair Oaks Project.
3. Ordinance No. _____, Approving an Intergovernmental Agreement with the Forest Preserve District of DuPage County for the Improvement of Fair Oaks Road.
This is an ordinance approving an IGA with the Forest Preserve District of DuPage County to make certain improvements to Fair Oaks Road.
4. Ordinance No. _____, Approving Special Uses for a Planned Unit Development (PUD) and a Preliminary PUD Plan Approval (Southwest Corner of Gary Avenue and Stark Drive).
See E1a.
5. Ordinance No. _____, Approving a Final Planned Unit Development Plat and Special Use for a Preschool Learning Center.
See E1a.
6. Ordinance No. _____, Approving a Final Planned Unit Development (Lakewood Homes, Easton Park Development).
7. Ordinance No. _____, Granting a Special Use for Outdoor Activities and Operations (Northern Builders, NE Corner of Fullerton Avenue and Center Avenue).
See E1c.
8. Ordinance No. _____, Granting A Front Yard Parking Setback Variation and a Variation of the Required Parking Lot Landscaped Area (500 N. Gary Avenue).

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See Eld.

9. Ordinance No. _____, Ascertaining the Prevailing Rate of Wages for Laborers, Workers and Mechanics Employed on Public Works Projects of Said Village.

10. Ordinance No. _____, Changing a Policy for the Use of Village Property and Facilities.

Amendment to the use policy for events to allow religious services.

I. RESOLUTIONS:

1. Resolution No. _____, Approving a Preliminary Plat of Subdivision (Southwest Corner of Gary Avenue & Stark Drive).

See # 1a.

2. Resolution No. _____, Adopting Debt Management Policies for Village Government Decisions.

Establishing a debt management policy.

3. Resolution No. _____, Authorizing the Execution of an Intergovernmental By and Between the Village of Carol Stream and the City of West Chicago Providing for a Jurisdictional Boundary Agreement. *An update to the 1990 boundary agreement has been prepared taking into consideration the practicalities of bringing municipal water services to the unincorporated areas between Carol Stream and West Chicago.*

J. NEW BUSINESS:

1. Standard and Poors Issue Credit Rating.

Report on Standard and Poors AA rating given to the Village.

2. 2006 Tax Levy Determination.

Proposed tax levy for the Library's 2008 fiscal year.

3. Waiver of Amplification Permit Fee – Outreach Community Center.

Waiving the permit fee for the Community Barbecue to be held at Community Park on August 1.

K. PAYMENT OF BILLS:

Village of Carol Stream

BOARD MEETING

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JULY 17, 2006

All matters on the Agenda may be discussed, amended and acted upon

1. Regular Bills:

- a. June 30, 2006
- b. July 14, 2006

2. Addendum Warrant:

- a. June 8 thru July 3, 2006
- b. July 4 thru July 17, 2006

L. REPORT OF OFFICERS:

- 1. Mayor:
- 2. Trustees:
- 3. Clerk:
- 4. Treasurer's Report: Revenue/Expenditure and Balance Sheet, Month End, June 30, 2006.

M. EXECUTIVE SESSION:

N. ADJOURNMENT:

LAST ORDINANCE: 2006-06-28

LAST RESOLUTION: 2193

NEXT ORDINANCE: 2006-07-29

NEXT RESOLUTION: 2194

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County, Illinois

June 19, 2006

Mayor Ross Ferraro called the Regular Meeting of the Board of Trustees to order at 8:00 p.m. and directed Village Clerk Janice Koester to call the roll.

Present: Mayor Ferraro, Trustees McCarthy, Gieser, Saverino, Stubbs & Fenner
Absent: Trustee Shanahan
Also Present: Village Manager Breinig, Assistant Village Manager Mellor, Attorney Kling, Treasurer Manzzullo, Village Clerk Koester and Deputy Clerk Progar

MINUTES:

Trustee McCarthy moved and Trustee Fenner made the second to approve the Minutes of the Meeting of June 5,2006 as presented. The results of the roll call vote were:

Ayes: 5 Trustees McCarthy, Gieser, Saverino, Stubbs & Fenner
Nays: 0
Absent: 1 Trustee Shanahan

AUDIENCE PARTICIPATION AND PUBLIC HEARINGS:

Presentation of the Colors:

The Kindergarten T-Ball Orioles – Park District led those in attendance in the Pledge of Allegiance.

DUI Pin Recognition Program:

Sgt. John Jungers presented milestone pins to the following officers; Brian Cooper, Robert White, James Michalek and Jeremy Kalinowicz.

Recognition of Melody Grier Caldwell – Receipt of Girl Scout Gold Award for Community Service:

Mayor Ferraro read a proclamation recognizing Melody Grier Caldwell on her receipt of the Girl Scout Gold Award for Community Service. The members of the Board gave her a standing ovation for her achievement.

Illinois Recycling Assoc. 2006 Outstanding Government Recycling Program Award:

Chris Oakley, representing the Village accepted the 2006 Outstanding Government Recycling Award given by The Illinois Recycling Association. The change to the larger recycling toters has increased recycling by residents 13% since the first of the year.

CONSENT AGENDA:

Trustee Stubbs moved and Trustee McCarthy made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 5 Trustees McCarthy, Gieser, Saverino, Stubbs & Fenner
Nays: 0
Absent: 1 Trustee Shanahan

Trustee Fenner moved and Trustee Stubbs made the second to put the following items on the Consent Agenda for this meeting. The results of the roll call vote were:

Ayes: 5 Trustees McCarthy, Gieser, Saverino, Stubbs & Fenner
Nays: 0
Absent: 1 Trustee Shanahan

1. Continued at PC:-Harlem Irving/Folio – SWC Gary & Stark-Crème de la Crème
2. Off the Agenda: Wheaton Bible Church – North & Morton- North Ave. Corridor review
3. Rejection of Trash Pump Bids
4. Letter of Credit Reduction #7- Jason Court Subdivision
5. Ord. 2006-06-26: Amend Code- Dec. Class C Liq. Lic. 16 to 15
6. Ord. 2006-06-27: Amend Code –Inc. Class C. Liq. Lic. 15 to 16
7. Ord, 2006-06-28: Adopt revisions to DPC Stormwater & Floodplain Ord.
8. Resolution 2191: Accept grant of stormwater easements/vacation-Shoppes of CS
9. Resolution 2192: Accept Wetland/Detention Basin-Carol Point Bus. Center
10. Granted: Waiver of fees – Bud’s Run
11. Request for annual donation – 4th of July Parade Committee
12. Reschedule Reg. Meeting of 7/3 to 7/5 – notify press
13. Regular Bills, Addendum Warrant of Bills, Treasurer’s Report 5/31/06

Trustee McCarthy moved and Trustee Gieser made the second to approve the Consent Agenda for this meeting by omnibus vote. The results of the roll call vote were:

Ayes: 5 Trustees McCarthy, Gieser, Saverino, Stubbs & Fenner
Nays: 0
Absent: 1 Trustee Shanahan

The following is a brief description of those items placed on the Consent Agenda for this meeting.

Rejection of Trash Pump Bids:

The Board approved the rejection of bids for a 6” trailer mounted trash pump since the equipment bid cannot meet the performance required of this equipment. All bids are rejected and staff will rewrite the project specifications and rebid this project.

Letter of Credit Reduction #7- Jason Court Subdivision:

The Board approved letter of credit reduction #7 by the Patrick Group for the Jason Court Subdivision in the amount of \$28,929.25. All the work as shown on the reduction request has been completed per the approved plans and Village specifications. The remaining balance of the security is \$133, 714.92.

Ord. 2006-06-26: Amend Code- Dec. Class C Liq. Lic. 16 to 15:

The Board adopted Ordinance 2006-06-26, AN ORDINANCE AMENDING CHAPTER 11, ARTICLE 2 OF THE CAROL STREAM CODE OF ORDINANCES BY DECREASING THE NUMBER OF CLASS C LIQUOR LICENSES FROM 16 TO 15 – (WHITE HEN PANTRY, 331 S. SCHMALE ROAD).

Ord. 2006-06-27: Amend Code –Inc. Class C. Liq. Lic. 15 to 16:

The Board adopted Ordinance 2006-06-27, AN ORDINANCE AMENDING CHAPTER 11, ARTICLE 2 OF THE CAROL STREAM CODE OF ORDINANCES BY INCREASING THE

NUMBER OF CLASS C LIQUOR LICENSES FROM 15 TO 16 – (CORNER PANTRY, INC. 331 S. SCHMALE ROAD).

Ord, 2006-06-28: Adopt revisions to DPC Stormwater & Floodplain Ord.:

The Board adopted Ordinance 2006-06-28, AN ORDINANCE ADOPTING THE REVISED DUPAGE COUNTY COUNTYWIDE STORMWATER AND FLOODPLAIN ORDINANCE.

Resolution 2191: Accept grant of stormwater easements/vacation-Shoppes of CS:

The Board adopted Resolution 2191, A RESOLUTION ACCEPTING A GRANT OF STORMWATER MANAGEMENT AND CONVEYANCE EASEMENTS & VACATION OF DRAINAGE & UTILITY EASEMENT – (600 EAST NORTH AVENUE).

Resolution 2192: Accept Wetland/Detention Basin-Carol Point Bus. Center:

The Board adopted Resolution 2192, A RESOLUTION ACCEPTING PUBLIC IMPROVEMENTS – (CAROL POINT WETLAND & DETENTION BASINS).

Request for annual donation – 4th of July Parade Committee:

The Board approved a donation of \$18,000 for this year's parade. Of that amount, \$4,137.50 will come from resident donations.

Reschedule Reg. Meeting of 7/3 to 7/5 – notify press:

The Board approved to move the Regular Meeting from Monday, July 3, 2006 to Wednesday, July 5, 2006.

Regular Bills, Addendum Warrant of Bills, Treasurer's Report 5/31/06:

The Board approved the payment of the Regular Bills in the amount of \$890,853.93.

The Board approved the payment of the Addendum Warrant of Bills in the amount of \$1,110,277.94.

The Board received the Treasurer's Report for month ending May 31, 2006.

REPORT OF OFFICERS:

Mayor Ferraro thanked the staff, Public Works, Police Department and everyone involved for a great job at the Summer in the Center.

Trustee McCarthy thanked the Youth Council as well for their work at the Teen Stage and at the Relay for Life event. He also congratulated the Police officers for their work in getting drunk drivers off the road and said that he hoped that someday they will run out work because people will not drive drunk.

Trustee Saverino also thanked the Village Departments for their hard work in making the event a success. He also thanked the Rotary Club, and the American Legion for their assistance and noted that Onesti Entertainment provided really quality groups that was entertainment for everyone.

Trustee Fenner said that she echoes all of the compliments made and on a personal note asked if the four day event could be held on the first weekend in June next year since her son is getting married on the second weekend. She also applauded all of the participants in the Relay for Life where she made a welcome on behalf of the Mayor and the Village.

Trustee Stubbs reiterated the compliments and said that there is great value in getting the teens participating in these events. He reminded everyone of the Thursday night concerts and the 4th of July parade.

Trustee Gieser also thanked the staff and all for their efforts for the four-day event. He also noted that there are still some great concerts coming up on Thursday nights and invited

everyone to participate in the 4th of July Parade and thanked the T-ball team for their participation in the flag ceremony.

Clerk Koester said "ditto" in regard to all of the compliments for the Summer in the Center.

Mr. Breinig reminded everyone about Bud's run on Saturday and that the grand opening for the Lies Road Bike Path will be on July 22nd with many entities participating all along the path and he invited all to walk, run, bike, etc. on that day.

At 8:30 p.m. Trustee Stubbs moved and Trustee McCarthy made the second to adjourn. The motion passed by unanimous voice vote.

FOR THE BOARD OF TRUSTEES

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS
Gregory J. Bielawski Municipal Center, Carol Stream, DuPage County, Illinois

JULY 10, 2006

All Matters on the Agenda may be discussed, amended and acted upon

Chairman Donald Sutenbach called the Regular Meeting of the Combined Plan Commission / Zoning Board of Appeals to order at 7:30 p.m. and directed Recording Secretary Wynne Progar to call the roll.

Present: Commissioners Smoot, Vora, Spink, Weiss, Michaelsen, Hundhausen & Sutenbach
 Absent: None
 Also Present: Community Development Director Bob Glees, new Village Planner John Svalenka and Recording Secretary Progar

MINUTES:

Commissioner Spink moved and Commissioner Smoot made the second to approve the Minutes of the Meeting of June 26, 2006 as presented. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Vora, Spink, Weiss, Michaelsen,
 Hundhausen and Sutenbach
 Nays: 0

PUBLIC HEARING:

Commissioner Spink moved and Commissioner Michaelsen made the second to open the Public Hearing. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Vora, Spink, Weiss, Michaelsen,
 Hundhausen and Sutenbach
 Nays: 0

06171: Village of Carol Stream, 500 N. Gary Avenue
Variations – Sign Code
Continued from 6-26-06 meeting

Robert Glees, 500 N. Gary Avenue, Carol Stream was sworn in as a witness in this matter. Mr. Glees explained that a vendor from Chicago Sign will demonstrate the type and capabilities of the sign that is being considered by the Village Board outside in the parking lot and invited the Commissioners and anyone else present to step out to witness the demonstration. He stated that the existing Municipal Center sign, which was installed in 1998, is beginning to require more frequent maintenance, and several pixel boards, which illuminate the sign, have burned out. The existing pixel boards are obsolete and the manufacturer no longer makes them. The manufacturer does, however, make retrofit modules that would allow replacement of the existing boards with amber or red lights utilizing the existing sign cabinet. In order to evaluate sign replacement options, staff sought direction from the Village Board to invite sign vendors to demonstrate the latest sign technology. One such vendor, Chicago Sign, demonstrated a sign before a regular Village Board

meeting, and as a consequence, the Board directed staff to further evaluate the costs and approval requirements involved with the purchase of a new sign.

Staff has evaluated the value of replacing the existing pixel boards versus purchasing a new sign with current technology, and determined that the cost of the retrofit modules (\$25,920) is more than half the cost of replacing the sign (\$45,698). Although utilizing the retrofit modules would be less costly initially, staff feels it would be more cost-effective and a better use of Village funds to invest in a sign that utilizes current technology, which would be more dependable and provide greater programming flexibility now and in the future. The new sign technology would also be more reliable and have fewer moving parts than the current sign, which utilizes a mechanical panel to display the pixel boards. Village staff would prefer to be able to make use of modern technology in the conveyance of information and the display of images on the Municipal Center sign.

Everyone moved to the parking lot where the sign was explained and displayed by John Doyle; of Chicago Sign Co. and returned to the Board Room.

There were no comments or questions from those in attendance at the call for public hearing.

Mr. Glees stated that The existing Municipal Center sign is 13'-7" by 3'-10" in size, not including the mounting brackets, and is mounted atop a Lannon stone base as part of the decorative landscape wall feature along Gary Avenue. As can be seen on the attached picture, no part of the existing sign is permanent, the face is completely changeable. The proposed new sign is 13'-3" by 4'-0" in size, essentially the same as the existing sign. The proposed sign is a color LED electronic message sign capable of displaying crisp and lifelike video images at 30 frames per second. New sign technology uses Red/Green/Blue (RGB) technology to display messages, which is the same technology used in the computer industry. The software used to operate the sign is similar to PowerPoint, and provides the flexibility of utilizing graphics, which the existing sign does not have. The messages that would be displayed on the sign would include public service messages, event announcements, and general information. The images would include no flashing, blinking or pulsating images.

The Sign Code allows signs with electronic changeable copy; however the Code stipulates that the electronic copy cannot change more frequently than once every 3 seconds. In addition, the Code stipulates that $\frac{1}{3}$ of the sign be permanent. The replacement sign recommended by Village staff is capable of displaying video images that change on a continuous basis, and as is the case with the existing sign, the full area of the proposed sign would be changeable copy and no portion of the sign would be a permanent face. As such, staff is requesting two Variations from Section 6-11-12(B) of the Sign Code to allow the full sign to be changeable copy and the images to change more frequently than once every 3 seconds, as permitted by the Code.

The Village of Carol Stream was the first to make use of changeable copy electronic signs in Carol Stream. Since 1998, the Village has approved variations for other changeable copy signs, including Culver's Restaurant, Wheaton Christian Center, Mutual Bank, and EG Hardware Store; however, the proposed sign would be the first sign in Carol Stream to be approved for continuous video imagery. As noted above, the sign vendor has been invited to be present at the public hearing to demonstrate the proposed sign.

It is customary for staff to recommend, and the Plan Commission and Village Board to require, certain conditions of operation for changeable copy signage. The typical conditions, which include considerations such as limiting the maximum number of messages and the frequency with which the messages change, are aimed at maximizing the effectiveness of the signage while minimizing any safety risks to motorists who are attempting to read the messages while operating their automobiles. Staff also typically emphasizes that changeable copy signs are not permitted to be programmed to flash, blink or pulsate, or display messages that will in any

manner distract motor vehicle traffic. Although this is a requirement for all signage that is clearly stated in the Sign Code, it is appropriate to emphasize this requirement for changeable copy signs, as such features have an increased potential for displays that could be distracting to motorists.

The existing Municipal Center sign is beginning to require more maintenance, and the cost of replacement parts is more than half the cost of replacing the sign. After viewing various signs in the area and several sign options, staff recommends a complete upgrade to the existing sign. Staff feels it would be more cost-effective and a better use of Village funds to invest in a sign that utilizes current technology, which would be more dependable, and would provide greater programming flexibility now and in the future. The new sign technology would also be more reliable and have fewer moving parts than the current sign, which utilizes a mechanical panel to display the pixel boards.

Staff recommends approval of the requested Sign Code Variations to allow an electronic changeable copy sign with no permanent portion of the sign face and with streaming video capability, with the images capable of changing on a continuous basis, subject to the following conditions:

1. That the changeable copy sign shall not be programmed to flash, blink or pulsate, or display messages that will in any manner distract motor vehicle traffic; and
2. That the sign shall otherwise comply with all applicable standards of the Village Code.

Staff also suggests that it may be appropriate to consider a text amendment to the Sign Code to address the latest video technology, and we encourage the Plan Commission to comment on this.

Commissioner Spink commented that she finds that the existing sign changes are distracting enough since, to her, there is not enough time at the traffic light to read the messages. She asked if there is a way to limit the amount of information presented for a given amount of time and Mr. Doyle explained that there can be an unlimited number of messages and it is up to the programmer to deliver the number of messages that can be read and understood for a given amount of time. It would be foolish to put up more information than can be digested. In response to the questions, it was noted that the new sign is composed of modules, circuit boards and LEDs of a simple design as opposed to a mechanical system. There is a 5-year warranty, the sign has a 12 to 15 year life span and can be updated as technology increases. It was also stated that a typical "ad" is approximately 7 to 10 seconds in length and that amount read by passers-by is limited by the speed of traffic. Commissioner Spink said that to her the changing of colors is equivalent to blinking or flashing.

Commissioner Weiss commented that in regard to what is being presented tonight and what has come before this Board before, it is time to have a hearing for a text amendment recommendation to be given to the Village Board because like any other communication tool, the technology changes and there should be discussion and resolution on a text change to the requirements and determinations for the appropriate use of this new technology in the Code. Commissioner Smoot said that he agrees that the Village should make an attempt to keep up with technology if only to show the progressive thought of the Village staff. Chairman Sutenbach said that he finds that the requests for the variations are reasonable. Commissioner Weiss asked if the Village Board is aware that this is the technology the basis for the recommendation and Mr. Glees stated that the Board has also had a demonstration from this Company, however they haven't seen anything in terms of bringing forward quotes with a recommendation for a purchase yet.

Commissioner Weiss moved and Commissioner Vora made the second to recommend approval of the variations from the Sign Code, which will allow electronic changeable copy sign with no permanent portion of the sign and with messages changing more frequently than once every three second, based on the recommendations of staff and the presentation by the petitioner. The results of the roll call vote were:

Ayes:	6	Commissioners Smoot, Vora, Weiss, Michaelson, Hundhausen and Sutenbach
Nays:	1	Commissioner Spink

The petitioner was reminded that this matter will be reviewed by the Village Board at their meeting on July 17, 2006, and was advised to attend that meeting.

**# 06170: Village of Carol Stream, 500 N. Gary Avenue
Gary Avenue Corridor Review
Variations – Zoning Code**

Mr. Gles noted that a resident commented on this matter is an e-mail to him. He noted that the request is for Gary Avenue Corridor approval with variations from the parking lot setback requirement, and parking lot curb and landscape requirements of the Zoning Code. The parking lot at the Gregory J. Bielawski Municipal Center has existed in its present configuration since first constructed in 1981. Since that time, the Village passed the Gary Avenue Corridor Regulations in 1995 and constructed the landscaped frontage improvements along Gary Avenue in 1996. Because the parking lot is now in poor condition, reconstruction of the lot is included as a capital project for the current fiscal year. The existing asphalt and curbs would be replaced at essentially the existing lines and grades, with minor adjustments to improve drainage. The existing landscaped islands would be maintained, with dead plants being removed and new plants added. The existing building contains approximately 40,000 square feet of floor space, thus generating a parking requirement of 160 spaces. The existing parking lot provides 182 parking spaces, distributed such that Police Department fleet and employee parking is at the east side of the building, inspection vehicle parking at the south side, and visitor and employee parking at the west side; this configuration would remain with the proposed lot.

Gary Avenue Corridor Review

Because the majority of the parking lot is located within the 400-foot Gary Avenue Corridor (GAC), the Plan Commission must review and approve the proposed plans to ensure that the project is in conformance with the corridor regulations. The Plan Commission has the authority to make the final determination of conformance with the GAC regulations, and Village Board consideration is not required. The sections of the GAC regulations that apply to this project include §16-5-6(L) *Parking* and §16-5-6(M) *Landscape Design and Site Furnishings*.

Parking:

As noted, the parking lot was constructed prior to enactment of the Gary Avenue Corridor Regulations. The existing setback from the property line to the edge of pavement along Gary Avenue is 20 feet, as opposed to the current standard of 30 feet. Reconstruction of the parking lot at the current 20-foot setback would require approval of a Variation from §16-5-6(J)(4) of the Zoning Code. This Variation stems from the physical constraints of the site, in that the area currently available between the existing building and the property is not sufficient to provide the 30-foot setback without losing 22 parking spaces along the east side of the Police Department lot. This would present a hardship in that Police Department parking would need to be shifted to the west side of the building. In addition, the Municipal Center often needs the additional parking capacity for such things as voting and training events. Staff has no objection to the

requested Variation, because the lot is screened from view from Gary Avenue by the Lannon Stone wall and dense landscaping constructed in 1996, and so the intent of the 30-foot landscaped setback requirement is more than satisfied.

Landscape Design:

The GAC regulations require that “all parking lots will be paved and curbed.” Although curbs are provided at the existing landscape islands, the parking lot perimeter is not curbed. Wheel stops are provided to prevent parked vehicles from leaving the paved surface. With the proposed project, deteriorated or damaged curb would be replaced; however, the provision of new curb around the parking lot perimeter is not intended, and so a Variation is being requested from §16-5-6(L)(2). Staff has no objection to this Variation request, as the provision of additional curb would be quite costly, and is unnecessary from a drainage design standpoint, and because the turf adjacent is protected by the wheel stops.

The regulations also require that a minimum of 10% of the area within all parking lot areas must be landscaped. The landscaped areas are to be in the form of landscape islands, and landscape material is required within these landscape islands. The portion of the parking lot that falls within the 400-foot Gary Avenue Corridor consists of the areas to the east and directly south of the Municipal Center Building. The parking lot within this area measures approximately 44,400 square feet, and so the 10% greenspace area standard requires 4,440 square feet of parking lot greenspace. The landscape islands depicted on the landscape plan measure approximately 3,000 square feet in area, which equals 6.8% greenspace, so the standard is not met and a Variation is being requested. However, the landscape islands are required to have 2,220 points of landscape material, and based upon the proposed landscape plan, the islands would have 3,484 points of material, which far exceeds the required point value. To provide the additional landscaped island area, eight parking spaces would be lost in the vicinity of the Village’s Police and inspection vehicle fleet parking areas, and this would be a hardship. In addition, it is important to note that the parking lot is screened from Gary Avenue by the decorative Lannon Stone wall and dense landscaping along the roadway frontage. In view of the hardship of losing eight parking spaces, the extensive existing landscape screening and the proposed improvements to the existing landscaping, staff has no objection to the requested Variation.

The GAC landscape standards also require a landscape screen within the first five feet immediately adjacent to the parking lot along Gary Avenue, as well as landscaping within the setback area between the lot and the Gary Avenue right-of-way. As shown on Exhibit B, the existing Lannon Stone wall and landscaping along the Gary Avenue frontage far exceed this GACR requirement.

Variations:

With respect to requests for variations from any GAC standard, the GAC regulations direct the following:

“Variances. In the event of unusual circumstances, or a particular hardship, the developer or property owner may request that the Plan Commission adjust the applicability of this section to existing development. For the purpose of this section, all properties that were improved with structures prior to adoption of the Gary Avenue and North Avenue Corridor Regulations shall be considered unique and the Plan Commission shall use flexibility in consideration of variances to the requirements of this section. When reviewing a request, the Plan Commission shall consider the following factors:

1. The cost of the proposed property improvement as compared to the cost of the applicant adhering to the strict letter of this section;
2. The existing site design and the location of existing structures; and

3. The magnitude and impact of the proposed improvement on the Gary Avenue and North Avenue Corridors.”

With respect to the Gary Avenue Corridor Review, staff believes that the existing landscaping at the Municipal Center, including landscaped islands, landscaped frontage and Lannon stone wall, exceed the goals of the Gary Avenue Corridor standards. The proposed project would maintain those landscape features and would replace dead plants so as to restore the original level of quality. With respect to the Variations from the GAC landscape standards, staff does not object to maintaining the existing parking lot configuration, in view of the exceptional nature of the parking lot facilities, such as the Lannon stone screening wall, the densely landscaped frontage setback, and the parking lot landscaped areas.

RECOMMENDATION

Staff recommends approval of the Gary Avenue Corridor Review and the following Variations from the Zoning Code: a variation of the required front yard parking setback from 30 feet to 20 feet, a variation of the required parking lot landscaped area from 10% to 6.8%, and a variation to allow the perimeter of the new parking lot to not have curb, subject to the following conditions:

1. That the entire parking lot shall be striped in accordance with the Village’s looped parking stall striping standards;
2. That the new proposed landscape materials shall be installed in the quantity and size indicated on the landscape plan, with any dead or dying landscape materials being replaced with the approved size and type species on an annual basis;
3. That wheel stops be provided at all perimeter parking spaces.
4. That building permits shall be obtained, as necessary, for all work to be done on the property;
5. That the building and property shall comply with all applicable state, county and Village Codes and requirements.

Chairman Sutenbach read the e-mail received as follows: “To Whom It May Concern: I am unable to attend the meeting being held at the Village Hall this evening, but I would like to express my opinion on the repaving of the Village Hall parking lot. At this time the current appears to be in good repair. I currently do not see the need to repave the lot. The additional money set aside for this expenditure could be put to better use at this time. Thank You, Marcia Wojnowiak, 449 Heather Lane.

At the call for public hearing, Laura Resnick, 499 Blackhawk asked when the construction would start and how long a period of time would it take to get the parking lot done and Mr. Glees said that the project would be administered out of the Engineering Department so he cannot say with certainty how long it would last, but he would expect that it would take approximately one to two months. That is not say that there would be equipment working every day. In response to the question about the hours for construction, it was determined that the hours allowed are 6:00 a.m. to 8:00 p.m. Mon. – Fri. and 8:00 a.m. to 8:00 p.m. on Sat. and none on Sunday.

Commissioner Spink asked where the mailbox and drop box will be located and Mr. Glees responded that while it is not indicated on the proposed plan, they will have to be moved at various times during the construction to have drivable surface for access.

Commissioner Michaelsen asked if this will be done in stages and Mr. Glees responded that Engineering Services has not done any final engineering plans, but it would seem that with the amount of Village service and police vehicles, along with employees and residents vehicles it would have to be. It was also noted that the plan is for the asphalt to be replaced, however if there needs to be additions made to the stone base it will be done as discovered. It was also stated that there will some minor changes for enhanced drainage. Commissioner Michaelsen asked if the existing wheel stops will be re-used and was told that wheel stops that are still serviceable will be re-used and bad ones will be replaced.

Chairman Sutenbach commented that he agrees with the recommendation of staff.

Commissioner Weiss moved and Commissioner Hundhausen made the second to approve the Gary Avenue Corridor Review in accordance with staff recommendations. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Vora, Spink, Weiss, Michaelson,
Hundhausen and Sutenbach
Nays: 0

Commissioner Weiss moved and Commissioner Hundhausen made the second to recommend approval of the variations to the Zoning Code in accordance with the staff recommendations. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Vora, Spink, Weiss, Michaelson,
Hundhausen and Sutenbach
Nays: 0

The petitioner was reminded that this matter will be reviewed by the Village Board at their meeting on July 17, 2006, and was advised to attend that meeting.

**# 06172: Village of Carol Stream, 500 N. Gary Avenue
Text Amendment- Zoning Code and Chapter 14 of Municipal Code**

Mr. Glees said that recently the Village was contacted by the Federal Bureau of Alcohol, Tobacco and Firearms with a question regarding whether the sale of firearms was permitted in the Village of Carol Stream. The reason for the question is that the Bureau had received a request from a local Carol Stream resident for a Federal Firearms License and the ATF checked with the Village to make sure that this is a legal use in Carol Stream. Mr. Glees said that he checked with the Village Attorney because, while he was fairly certain that that sort of a use is not allowable in any of the Zoning Districts, he was not sure how the Zoning Code treated Home Occupations. If a use is not specified in any of the Zoning Districts might it still be allowable as a Home Occupation. The Village Attorney advised that, in his opinion, if a use is not allowable in any Zoning District, it is not allowable as a Home Occupation, but he suggested that we should probably make that a little more clear and recommended a text amendment to do so. Mr. Glees noted in passing, that there was at one time, a business in town that did sell either firearms or ammunition, or something firearms rated, but it is no longer in Carol Stream. He is not sure how that business was approved, or whether it existed prior to being annexed, or can explain how it happened. The Village Attorney was very clear that that use is not listed in any of the Zoning Districts and so it is not permitted at this time and it has never been permitted. This text amendment is not being proposed for the purpose of removing the sale of firearms or ammunition as an allowable use in Carol Stream, the fact is that it never has been. The purpose of this text amendment is rather to address the issue of firearms activities as a Home Occupation. In explaining further, Mr. Glees said that in researching this issue with the Police Department, he learned that there are several persons in the Village who currently hold a Federal Firearms License and they were issued such a license because they are involved in show, trade shows or gun shows and what they do is buy and sell weapons for their collector's value. Some individuals repair classic weapons or historic weapons or other types of repairs on weapons, others buy and sell as a collector and there are approximately five people in Carol Stream right now that have such a license to do that sort of activity. They have been licensed for all these years, this is an activity that ATF has licensed in the past. To his knowledge, Mr. Glees said that they have not questioned the Village if this was a legal activity. Staff has no reason to suggest that that activity should become illegal, should be made illegal. The Police Department has no objection to such individuals have Federal Firearms License for their home use because they feel that this sort of activity is very well regulated at the Federal level, there's

never been a problem from a local police standpoint and so the staff recommendation with respect to the text amendment is to make it clear that #1; the retail sale of firearms and ammunition is not included in the list of allowable uses in Carol Stream, #2; that persons who are able to obtain a legal Federal Firearms License from ATF for the activities related to the sale of firearms as a Home Occupation, that activity being maintained and not being made illegal with the proposed text amendment. Mr. Glees added that in the process of researching this matter, it was discovered that under the General Offenses section of the Village Code, Chapter 14, there is a section in there that refers to how a gun dealer, a gun retail dealer should display his merchandise, in locked cases and things like that, and since that is not an allowable retail activity in the first place, staff is recommending that Section B be deleted from the Code. However, the language in there that pertains to the safe storage of weapons, staff thinks is valuable and is recommending bringing that language into the proposed text amendment that addresses weapons as a Home Occupation.

There were no comments or questions from those in attendance at the call for public hearing.

The following staff report discusses and presents proposed text amendments to the Village of Carol Stream Code, Chapter 14 *General Offenses* and Chapter 16 *Zoning Code*. The impetus for the proposed text amendments is that staff recently was contacted by the United States Bureau of Alcohol, Tobacco and Firearms (ATF) regarding a request from a Carol Stream homeowner for a Federal Firearms License (FFL). Such a license is required of all persons who engage in the sale of firearms, including not only commercial gun dealers but also private parties who buy and sell guns, such as at trade shows. In discussing the Village's response to ATF with the Village Attorney, several points were brought to light:

1. **The *Home Occupations* section of the Zoning Code does not address Permitted Uses or Special Uses.** The implication here being that one could argue that as long as a use meets the performance standards contained in the Home Occupations section of the Zoning Code, it is permitted, even though not allowed as a business use in any zoning district. This is certainly not the intent of the Code.

2. **The Carol Stream Zoning Code has no listing of use for either the retail sale or the warehousing and distribution of firearms or ammunition in any zoning district – neither as a Permitted Use nor as a Special Use.** Since the Village's Zoning Code is exclusionary in nature – that is, if a use is not included then it is not permitted – the Village Attorney has given the opinion and the staff agrees that, under the current Zoning Code, the retail sale and the warehousing and distribution of firearms or ammunition are not permitted in the Village of Carol Stream because those uses are not included in the lists of allowable uses. It should be noted that there once were a firearms warehousing/distribution facility on Gerzevske Lane and a firearms retail operation on E. St. Charles Road, although those businesses have since departed. It is not clear how those businesses were approved for zoning. Please note it is not the intention of this text amendment to remove this particular use from the Zoning Code, but

rather to note that it does not exist at this time. In the event of a future request for location of a firearms retail or distribution facility in Carol Stream, the interested business would need to apply for approval of a text amendment to add the use to the Zoning Code.

3. **There are persons in Carol Stream who hold a valid Federal Firearms License for the purpose of buying and selling guns at activities such as trade shows.** The Carol Stream Police Department receives notice from ATF of individuals who have obtained a Federal Firearms License. These individuals most often are hobbyists or collectors who buy and sell firearms at trade shows. At this time, there are five such persons in Carol Stream. The Police Department has no objection to this activity, as it is very well regulated via the licensing process. It is not staff's intention to remove the right of such individuals to engage in this activity, as they have been doing for years.

Staff has worked with the Village Attorney to develop text amendments to §14-3-20 and §16-12-6 of the Municipal Code. In this report, each proposed text amendment is preceded by a brief introduction that will establish the rationale behind the proposed text amendment. Following the introduction, the current and proposed Zoning Code language is presented. Current text that is proposed to remain is presented in standard text, while current text that is proposed for deletion is presented in ~~strikethrough text~~. Finally, recommended new text is presented in an underline fashion. Staff encourages PC/ZBA discussion and questions during the review of the proposed text amendments.

PROPOSED TEXT AMENDMENT #1 – GENERAL OFFENSES

§14-3-20 WEAPONS; DISPLAY AND STORAGE OF FIREARMS AND AMMUNITION.

As noted previously, retail sale of firearms or ammunition is not permitted in the Village of Carol Stream; however, §14-3-20 establishes regulations for such retail operations. Please again note that the purpose of this proposed text amendment is not to remove this activity as an allowable use, but to provide consistency with the Zoning Code and remove any ambiguity or suggestion that retail sale of firearms or ammunition is permitted. As noted previously, persons interested in opening such a business in Carol Stream would need to apply for approval of a text amendment to add the use to the Zoning Code. In order to remove ambiguity, it is recommended that this entire section be deleted. Please note, however, that the requirements for safe storage and display are recommended to be carried into the Home Occupations

regulations.

**§ 14-3-20 WEAPONS; DISPLAY AND STORAGE
OF FIREARMS AND AMMUNITION.**

This Article deleted.

~~—(A) All retailers shall be required to display firearms either in locked cases or in racks in which the firearms are securely locked to the racks. Firearms ammunition shall only be displayed in locked cases.~~

~~—(B) All retailers shall be required to securely store ammunition and firearms in any store offering such goods for retail sale.~~

**PROPOSED TEXT AMENDMENT #2 – ZONING CODE
§ 16-12-6 HOME OCCUPATIONS**

The purpose of this proposed text amendment is to be clear that a use is not permitted as a home occupation unless it is allowed in one or more of Carol Stream's zoning districts. However, it is not staff's intention to remove an activity that has been allowed for years and licensed by the federal government. The proposed text amendment adds language regarding lawful activities, retains the right of individuals to conduct firearms-related home occupations if properly licensed, and adds regulations pertaining to storage and display.

(B) *Performance standards.*

(1) Only lawful activities that involve the performance of a business or occupation that is a permitted use or special use within the zoning districts contained within this Zoning Code may be conducted within a home occupation, provided however that a person who possesses a valid Federal Firearms License may carry out that business as a home occupation provided that all other regulations of this Section are complied with.

(12) All persons engaging in home

occupation activities for which a Federal Firearms License is required shall store firearms either in locked cases or in racks in which the firearms are securely locked to the racks. Firearms ammunition shall only be stored in locked cases.

Staff recommends approval of the presented text amendments, although we do encourage PC/ZBA discussion and input regarding the same. The PC/ZBA can recommend approval or denial of any of the text amendments, or they can recommend additional revisions to proposed text language. Final approval authority for the text amendments rests with the Village Board. Commissioner Weiss cited the second statement of the staff report, "In the event of a future request for location of a firearms retail or distribution facility in Carol Stream, the interested business would need to apply for approval of a text amendment to add the use to the Zoning Code" and asked if that should successfully occur would that then be a permitted use where a second or third applicant can go ahead and do that without any type of a hearing because it would have been made a text amendment? Mr. Glees said that it would depend on a number of things, first it would depend on if the text amendment were successful and the use was added to the Zoning Code and second would be the nature of the use under which the firearms retail activity were approved; if it were a straight permitted use, then anyone could come in and open such a business without any special approval; if it were to be included as a special use, then it would need to go through the public hearing process like any other special use. Mr. Glees said that staff is not proposing such an amendment at this time, staff is stating that the retail sale of firearms and ammunition is not currently an allowable use in the Village of Carol Stream and it never has been. Staff is not trying to give the impression that the Village is taking away a right that once existed, it never did exist. However, if a retailer were to wish to come into Carol Stream and open a store that sold firearms or ammunition, they would need to go through the text amendment process, they would need to receive approval of adding such a use, either as a permitted use or a special use, to the Village Code, they would need to be reviewed before the Plan Commission and the Village Board and get Board approval of the amendment to the text. Commissioner Smoot commented that it appears to him that staff is trying to say that this has never been allowed in the Village and yet the article suggested to be deleted specifically states that it shall be required on how to display it and it seems that the language is pretty clear that this has been allowed in the past. It can be said that we are not going to allow this anymore, but it certainly seems that it was approved before. Mr. Glees stated that staff is not trying to say that this was not approved before, but he is stating that this has never been an allowable use in the Carol Stream Zoning Code and the Village Attorney has rendered that opinion also. He said that he cannot explain how a business was able to open when the use was not an allowable use, or how it ever got approved and that this is being disclosed, at the same time, staff does not want someone to think that because that did happen in the past, that it was a legal, allowable use at one time and we are taking that right away, that is not how it happened. Mr. Glees stated that a search of the Carol Stream Zoning Code all the way back to 1970 and no where in there can you find the retail sales of firearms or ammunition as an allowable use in the Zoning Code.

Commissioner Smoot asked if there are any current businesses in the Village that will be impacted by this change and Mr. Glees replied no.

Chairman Sutenbach commented that he believes that K-Mart, years ago, in their sporting goods department sold .22 caliber rifles and shotguns and ammunition. It wasn't a business that was strictly selling firearms, but it was within a store that sold them. He said that he sees this as taking it out of the Municipal Code and putting it in the Home Occupation section. Mr. Glees noted that it would taking the section that Commissioner Smoot referred to, that was in the General Offenses, that talked about the lawful display, because that does present an

ambiguity and can be misleading, so it is being taken out there, eliminating it. However, the language is very useful, from a public safety standpoint, to include in the Home Occupation Section as long as we are addressing persons who undertake that sort of Home Occupation, we might as see that it is done safely. Chairman Sutenbach asked if the individuals that have the Federal Firearm Licenses have Home Occupation licenses as well and Mr. Glees responded that what is issued is not a Home Occupation License, it is a Business Registration, if some requests it. He noted that if a resident were to undertake this activity without notifying the Village there would be no way to find out. But if someone were to come in with a request for a Home Occupation to buy and sell guns at trade shows, staff would go to the Home Occupation section and not that it requires a Federal Firearms License and if they had one, it would be approved. Chairman Sutenbach commented that this seems to be more a hobby than a Home Occupation, so by putting it in the Home Occupation section, are we forcing these five individuals that have a FFL that they now have to have a Home Occupation license. Mr. Glees said that they do buy and sell, it is an activity in which there is buying and selling/money changes hands, ownership of merchandise changes hands either in the home or at a trade show. Chairman Sutenbach said that this is a hobby, not a Home Occupation, even at trade shows, and Mr. Glees said that since the Village is notified by ATF that these licenses have been issued, then the Village should require Business Registrations. Chairman Sutenbach said that since there is fee for the business registration then this does affect those current FFL holders and they don't even know about it and Mr. Glees concurred.

Commissioner Hundhausen commented that stamp collectors change property for money at trade shows, so would that be then considered a Home Occupation and if not, why should firearms collectors, etc. be singled out. Mr. Glees said that he would not think that that sort of activity rises to the level of a home occupation, but what is being referenced here are people that do a little more than owning a few guns and trading them now and then. This sort of activity is very much a business, referring to one individual who is a refurbisher/restorer. That is a business.

Chairman Sutenbach said that he is in favor of this because the Police Department has no objections to it and the Village Attorney has provided the language. He said that he would prefer to see that this be a stand-alone issue, not one sentence under performance standards. As an example he suggested that it might state that there be two separate matters, item 1 that only lawful activities....."the exception to the rule is.....item 2. If you hold a valid Federal Firearm License you may carry out that as a Home Occupation Business".

Commissioner Smoot said that he believes that there should be a standard established as to what level of sales, trades, etc. constitutes a Home Occupation, whether it is 2 times or 3 times or whatever before the Village is going to require a fee for a Business Registration. Mr. Glees said that the impetus for this was the contact from ATF because they were not going to issue an FFL because it is not an allowable business activity in the Village. It is not so much that staff is interested in trying to ferret out everyone who is conducting this activity and making sure that they have CS Business Registration, rather, it is recognizing that the ATF will not longer give anyone from Carol Stream a FFL because it is not an allowable business activity in the Village. Mr. Glees stated that the Village is not trying to create any regulation to layer on top of the existing Federal regulations. The concern is that ATF is now contacting municipalities to verify that this is a legal activity within their borders and our answer is it is not and ATF then refuses to issue an FFL. If we do not clear up our Zoning Code, with respect to this sort of activity, he expects that the ATF will no longer issue licenses to persons who do this sort of activity as a home activity. Commissioner Smoot said that he would like to see this reviewed because of the ambiguity of standards to meet to have or not need a Home Occupation or just have a hobby. Mr. Glees said that the text amendment being proposed does not put that on our doorstep, it is at the Federal doorstep. Commissioner Smoot said that it comes back to our doorstep and Mr. Glees said that no, that is not our intention, it is very clear. It says a person who possesses a valid Federal Firearms License may carry out that business as a Home Occupation provided that all other regulations of this section are complied with. Commissioner Smoot said that if we say no to the Feds there will never be another license issued in the Village

of Carol Stream. Mr. Glees asked by would we say no and Commissioner Smoot said that it says we don't allow that....Mr. Glees said that if we assume that we approve the text amendment and make everything clear, why would we say no.....the whole purpose of the text amendment is to make everything clear so that we can tell the ATF that yes, this sort of activity is allowable in Carol Stream in the home, not in a shopping center. Chairman Sutenbach said that that seems to be a contradiction.

Mr. Glees said that there is no reason that a decision regarding this matter has to be made tonight, if there are questions as to language for the text amendment, staff will come back with answers from the attorney.

Commissioner Vora asked if the Village has to notify the current license holders of this text amendment and Mr. Glees said no.

Chairman Sutenbach said that he is not sure that this belongs in Home Occupations and that he agrees that it is not clear at what point a hobby becomes a Home Occupation and he feels that there is not enough information for him to make a decision.

Commissioner Hundhausen moved and Commissioner Smoot made the second to continue this matter to the meeting of August 14, 2006 in order to allow clarification of the text amendments per the comments made. The results of the roll call vote were:

Ayes:	7	Commissioners Smoot, Vora, Spink, Weiss, Michaelsen, Hundhausen and Sutenbach
Nays:	0	

A short break was taken at this time, 9:15 p.m. and resumed at 9:22 p.m.

**# 06111: Lakewood Homes, Inc., Fisher Farms Property, North Side of North Avenue
West of Gary Avenue
Final Plat of Subdivision
Final Planned Unit Development Plan – Residential Subdivision
North Avenue Corridor Review – Residential Subdivision
Variation – Sign Code**

Curt Wandry, Lakewood Homes, Daniel Grove, Lakota Group, 212 W. Kinzie, Chicago, Chris Shackstead, Lakewood Home 2700 W. Higgins, Hoffman Estates, Kim Warner, Cemcon, 2280 White Oak Circle, Aurora, David Ravelle, Lakewood Homes were sworn in as witnesses in this matter.

Mr. Wandry presented a slide presentation of Easton Park in its final PUD plan.

There were no comments or questions from those in attendance at the call for public hearing.

Mr. Glees stated that the applicant is requesting approval of a Final Plat of Subdivision in accordance with Section 7-2-6 of the Subdivision Code, Final Planned Unit Development Plan in accordance with Section 16-16-4 of the Zoning Code, North Avenue Corridor Review in accordance with Section 16-5-6 of the Zoning Code, and Variations from Section 6-11-16(B) of the Sign Code to allow a project identification sign in the R-4 District to be located less than 150 feet from a proposed building, be greater than six feet in height, and be constructed of materials other than masonry or metal materials.

In December 2005, the Village Board adopted several ordinances approving Lakewood Homes' requests for an annexation agreement, annexation, rezoning, special use permit for a planned unit development, Preliminary PUD Plan and Preliminary Plat of Subdivision for the approximate 59-acre property located on the north side of North Avenue about 1,250 feet west of Gary Avenue. The development, now known as Easton Park, was shown to include 276 townhome units on 37.9 acres, a 9.7-acre stormwater management facility, and 11.6 acres of commercial property for future development. Lakewood Homes will build the townhomes and stormwater management facilities, and commercial developer Grace Stramaglio will develop the commercial property.

Ever since the Village approved the Preliminary PUD Plan in December, Lakewood Homes has been working with its consultants to complete the final engineering design for the site roadways, grading and stormwater management facilities. Although staff has worked closely with the applicant on this project over the past months, this is a complex project involving a high profile property in the Village. Aspects of the applicant's proposed Final PUD Plan that are yet unresolved, undetermined or have changed from the approved Preliminary PUD Plan will be identified in this report. If the Plan Commission believes that the proposed final plan is substantially changed from the approved preliminary plan, they may recommend to the Village Board that a new public hearing be held (§16-16-4B).

For reference purposes, a copy of the approved Preliminary PUD Plan is attached. Staff has reviewed the proposed Final PUD Plan, and we find that the conditions of approval of the preliminary plan have been satisfactorily addressed. Please note that items such as architecture and landscape treatments will be reviewed in greater detail in the North Avenue Corridor Review section of this report.

Access and Street Layout:

The Final PUD Plan indicates that the development would connect to the existing public roadway network at two primary locations. The main access point would be off of North Avenue, directly across from the Windsor Park Manor campus entrance. The proposed Bennett Drive would extend north from its intersection with North into the development as a public street, then turn east to its T-intersection with Surrey Drive. Easton Park residents would be able to access the regional street network via North Avenue, or the local neighborhood network via Surrey Drive. In addition, the onsite pedestrian system would connect to a bike path that would extend along the north side of the pond feature and connect to Arrowhead Trail at the bridge crossing opposite the Village's Water Reclamation Center.

The plan proposes a full 66-foot public right-of-way for Bennett Drive and Sype Drive, the two proposed public streets, and the roadway pavement width meets the Subdivision Code standard of 28 feet. Parking would be allowed on one side of the public streets, with the fire hydrants in the subdivision being located on the opposite side of the street from the parking. All other streets and drives would be private roads, with maintenance performed by the homeowners association. Village staff has worked closely with the Fire Protection District to ensure that adequate emergency vehicle access would be provided; to this end, all of the private streets and drives would serve as designated fire lanes, with no parking allowed. The lanes will require "no parking" signs, and the petitioner would be required to establish an enforcement agreement with the Police Department.

In reviewing the Final PUD Plan, staff finds the land plan to be in substantial conformance with the approved Preliminary PUD Plan. The only notable changes involve the reduction to 270 townhomes and slight changes to the building architecture and landscaping. Staff finds the changes to be minor in nature, and the architecture and landscaping will be discussed in the North Avenue Corridor Review section of this report.

Commercial Area:

Lakewood Homes has partnered with commercial developer Grace Stramaglio, who has purchased the 11-acre commercial portion of the development, as well as the small parcels immediately to the west. As seen on the Final Plat of Subdivision, the commercial parcel (Lot 55) is shown to contain 11.05 acres. The commercial development will be done by Ms. Stramaglio as a separate development project.

Residential Area:

As seen on the Final PUD Plan, the residential portion of the development consists of 270 townhome units on 40.7 acres when including the open space area, resulting in a gross density

of 6.6 units per acre. The townhomes would range in size from 1,900 to 2,460 square feet, and would sell for base prices between \$280,000 to \$350,000. All units would include two bedrooms, some with a third or even fourth bedroom option, and attached two-car garages. The residential units have been designed with rear-loaded garages, which will allow the more attractive front of each building to face either the street or open space areas. This will result in a more appealing streetscape, with front porches and entrances being the prominent view as opposed to two-car garage doors. Exhibits D and E present the proposed building architecture, which includes a mixture of masonry and siding. Other decorative features such as dormers, gabled roof sections, balconies and light fixtures are shown on the elevations. Lakewood Homes representatives have described the design theme as "English countryside." Staff has reviewed the proposed elevations for compliance with the provisions of the Village's Anti-Monotony Code, and provided that the developer is careful in the use of exterior colors, materials and locations, compliance should be attainable.

With respect to parking for the residential portion of the development, each townhome unit would have an attached two-car garage. The individual driveway area in front of each garage would accommodate two additional vehicles, and 36 off street guest-parking stalls have been scattered throughout the development. This would accommodate parking for 1,116 vehicles within the residential portion of the development. This is a ratio of 4.1 spaces per unit, well in excess of the 3 spaces per unit required by the Zoning Code. In addition, the on-street parking (not overnight) on one side of the residential streets could provide temporary parking for approximately 120 additional vehicles. In total, 639 off-street spaces could ultimately serve the development, with an additional 69 spaces being available on one side of the public residential streets. Staff believes that the parking should be more than adequate.

With respect to the large central green area, the "Great Lawn," we note that this area serves as an enjoyable amenity that is intended to provide a scenic vista. Ideally, residents would be able to look down the vista and see the attractive pond features to the west. In addition, a Great Lawn pergola is proposed for the west end of the area. It must be noted that the developer proposes to provide sod surrounding the residential buildings, as required by the Village Code; however, the developer proposes to use seed for the large lawn areas around the pond, in the central lawn area, and along North Avenue. Staff has no objection to this request, and no variation is required.

Overall, staff finds the Final PUD Plan to be in substantial conformance with the approved Preliminary PUD Plan and conditions of approval.

North Avenue Corridor Review

When the North Avenue Corridor Overlay District was adopted, the portion of the site within 400 feet of the North Avenue right-of-way was placed within the Corridor, which underscores the significance of this development from the Village's perspective. Because this 400-foot portion of the development is located within the North Avenue Corridor (NAC), the Plan Commission must review and approve comprehensive development plans for the property to ensure that the proposal is in conformance with the corridor regulations. The Plan Commission has the authority to make the final determination of conformance with the NAC regulations and Village Board consideration is not required. The sections of the NAC regulations that apply to this proposal include site design, architectural design and parking/landscape design.

Site Design:

The Site Design standards contained within the NAC regulations mostly relate to the treatment of retention ponds, drainage ways and natural areas, which are found in the open space areas of the development. The Village Engineer has worked closely with the applicant's consultants to ensure that the special management areas on the site, including wetlands, floodplain and

riparian areas will be developed and managed in accordance with the requirements of the DuPage County Storm Water Management Ordinance. The Village Engineer has recommended the use of native plant materials whenever possible, which will promote the goals of the NAC standards. A pond overlook area is shown on the plan (Exhibit C, Sheet HS-02), which we believe will be an effective addition to the overall site amenities.

The Site Design standards contain a requirement stating that, "pedestrian facilities should be considered within the site where such facilities will improve circulation, increase safety or promote decreased use of the automobile." The Final PUD Plan indicates that all public streets will have sidewalks on both sides of the streets. Sidewalks are also provided to the front doors of each dwelling unit, between buildings, and within the central greenspace area of the development. The sidewalk system would connect to the bike path system at the northwest corner of the site.

Architectural Design:

The proposed residential building elevations renderings are shown on Exhibits D and E. The elevations are essentially the same as those that were presented to the Plan Commission and Village Board at the time of Preliminary PUD review. Lakewood Homes has stated that they are attempting to create an "English countryside" look for the homes. The elevations include a mixture of masonry and siding, and all models will have metal roofing accents. The elevations depict various details that will enhance the appearance of the units, including dormers, intersecting roof elements, window treatments and other attractive features. Staff finds the proposed elevations to be consistent with the NAC Architectural Design standards.

Landscape Design:

The landscape plans for the residential development and stormwater management area are seen on Exhibit C. These plans show the foundation area planting plans for the buildings, common areas, screening areas and stormwater management area, as well as the landscape architectural features such as the entry sign, the pergola and the pond overlook. Staff has no objection to the foundation area planting plans. The plans indicate that trees will be installed in many of the green areas between the residential driveways, which will enhance the attractiveness of the private streets and drives. Staff has evaluated the proposed landscape design with respect to the landscaped setback along North Avenue, and we find the standard to be met, with 47,250 points required and 66,541 points provided. Also, the open space requirements within the North Avenue Corridor are met, with 34,297 points required and 90,980 points provided.

Variations – Sign Code:

The applicant is requesting Variations from Section 6-11-16(B) of the Sign Code to allow a project identification sign in the R-4 District to be located less than 150 feet from a proposed building, be greater than six feet in height, and be constructed of materials other than masonry or metal materials. The proposed sign, which would serve as a project identification sign for Easton Park, would be 7-feet-6-inches in height as opposed to the maximum six feet, as seen on Sheet HS-01 of Exhibit C. The sign would be approximately 36 square feet in area, would be located approximately 94 feet from the nearest residential building as opposed to the minimum 150 feet, and would be constructed of wood or PVC, mounted on a decorated masonry wall beneath a pergola. The sign would not contain any commercial advertising, as the proposed text for the sign is shown to read "Easton Park." The applicant believes that this sign is a valuable enhancement, and necessary to identify the development from North Avenue.

In view of the nature of North Avenue as a wide, high-speed highway, staff has no objection to the minor height variation. With respect to the minimum 150-foot setback, meeting this requirement would cause the five-unit building to shift to the north out of alignment with the units

to the east, and lose at least one unit. Staff believes that the proposed building separation would be adequate, and the impact of maintaining the 150-foot separation standard would be unnecessary. As for the materials, the purpose of the requirement for masonry or metal would seem to be durability and minimization of maintenance costs. Staff would have no objection to the use of colored PVC to meet these objectives; however, wood would be as acceptable. Staff has no objection to the requested variations, subject to the condition that covenants providing for ownership and maintenance of the entry feature sign by the homeowners association shall be furnished and recorded.

In review of the Sign Code Variation request, staff notes that the sign will be very attractive. Given the scale and prominence of the proposed mixed-use development, and the fact that the Village recently approved variations to allow increased sign height at the Town Center and at The Fountains at Town Center, staff does not object to the request for a project identification sign that will measure, on average, 7 feet 6 inches in height. Given the high cost to the developer of reducing units, staff has no objection to the setback reduction from 150 feet to 94 feet. Finally, given the desire for durable, low-maintenance signage, staff has no objection to the use of PVC; we invite the Plan Commission to comment on this material versus masonry, metal or wood.

Staff is supportive of the project and believes that the plans substantially conform to the approved Preliminary PUD Plan. In addition, staff has no objection to the requested Sign Code Variations. Staff recommends approval of the Final Plat of Subdivision, the Final Planned Unit Development Plan for the Residential and Stormwater Management Properties, North Avenue Corridor Review for those properties, and Sign Code Variations for a sign height of 7'-6" rather than six feet, for a building separation distance of 94 feet rather than the minimum 150 feet, and a sign material of wood or PVC rather than masonry or metal, subject to the following conditions:

1. That all individual dwelling unit driveways, including those for the Unit C side-load garage floor plan, shall provide driveways that are a minimum of 20 feet in length. The 20-foot dimension must be independent of the through drive lane, so as to ensure that parked vehicles will not encroach into the common access drives;
2. That the plant materials shown on the landscape plan must be installed at the size and height shown on the plan, and that the materials must be maintained in a neat and healthy condition, with dead or dying materials being replaced with the approved size and type of species on an annual basis;
3. That the developer shall guarantee the landscaping within 100 feet of North Avenue right-of-way against salt damage for a period of no less than two years from the date of final acceptance of the public improvements by the Village;
4. That the developer shall establish an enforcement agreement with the Police Department for the enforcement of the no parking restrictions on the private streets and drives;
5. That covenants providing for ownership and maintenance of the entry feature sign by the homeowners association shall be furnished and recorded;
6. That the developer will complete as a separate project the bike path facilities as approved with the Preliminary PUD Plan;
7. That homeowners association and commercial association documents be submitted and reviewed by Village staff prior to final approval of this project;

8. That the development must in all ways comply with the applicable codes and standards of the State, County, and Village.

Commissioner Weiss asked if this development will be done in Phases and/or how it will proceed. Mr. Wandry stated that the area is too small to be divided so they will begin with the main entry feature and the models and then proceed with construction to the east and then to the north. Commissioner Weiss asked if there is a requirement for a traffic signal at the entry when warrants are met and Mr. Glees said that this is a requirement in the annexation agreement and it is noted on the final PUD plan. Commissioner Weiss asked about the traffic control plan for the Surrey Drive entry and was told that the intersection will stop sign controlled and it was also noted that there will not be an entry feature at this location.

Commissioner Spink stated that she lives on lot # 69 adjacent to this development. She commented that looks forward to this development and she is hoping to see drawings of the models and what the floor plans will be. It was noted that some of the issues are still being worked on and that they should be available within a couple of weeks and the developer will provide the floor plans to the Commissioners as soon as possible. A brief review of the three floor plan types was given.

Commissioner Michaelsen said that he likes the appearance shown and asked what type of siding will be used. It was stated that the horizontal and vertical siding will be vinyl and then a Hardy Panel for the Tudor stucco panel. Commissioner Michaelsen said that he would like to have a middle to high grade vinyl produce used, not the cheap siding since it maintains a tight appearance better than the cheaper product. He also asked what the elevation would be relative to Gary Avenue and was told that the site generally is high and falls off to the rear, so that it will be 4' to 5' lower than North Avenue and as low a 10' at the back of the development. In response to the question regarding erosion control around the pond, it was noted that there will be retaining walls at the over look sites and stone outcroppings in the other areas. There will be a layering of plants and seeds so that as time passes there will be additional native plantings developing all around the area.

Commissioner Vora asked if the homeowner will be able to select the façade of their unit and was told that the outside of the appearance of the building are pre-selected so that the anti-monotony code will be met

Chairman Sutenbach asked about a picture of the entry sign and about the look of PVC. It was noted that the pergola will be PVC, but the actual Easton Park sign will be sandblasted wood. Chairman Sutenbach asked if the sign could be changed to read Easton Park in Carol Stream and Mr. Wandry said that he does not see a problem with that.

Commissioner Spink asked if there is an association already established and was told that they create and form an association with a series of documents, that are reviewed by the Village Attorney, that is in place from the time a customer wants to buy a house, the covenants, conditions and restrictions are already in place at the point of sale. The developer does control the association until there is a 75% of the development is sold and then it is turned over to the homeowners association. Until that point, the association is run by a professional management team and at turnover, the association can decide to retain that team or form their own. In answer to the question regarding fees, it was noted that association fees would be \$100 per unit per month.

Commissioner Smoot said that if there is a construction road established at the north of this development he would like to have construction traffic restricted from going north on Kuhn Road.

Commissioner Michaelsen moved and Commissioner Spink made the second to recommend approval of the Final Plat of Subdivision in accordance with staff recommendations. The results of the roll call vote were:

Ayes: 6 Commissioners Vora, Spink, Weiss, Michaelsen,
Hundhausen and Sutenbach
Nays: 0
Abstain: 1 Commissioner Smoot

Commissioner Michaelsen moved and Commissioner Spink made the second to recommend approval of Final Planned Unit Development Plan for Residential in accordance with staff recommendations.

Ayes: 6 Commissioners Vora, Spink, Weiss, Michaelsen,
Hundhausen and Sutenbach
Nays: 0
Abstain: 1 Commissioner Smoot

Commissioner Michaelsen moved and Commissioner Spink made the second to approve the North Avenue Corridor review for the residential area in accordance with staff recommendations. The results of the roll call vote were:

Ayes: 6 Commissioners Vora, Spink, Weiss, Michaelsen,
Hundhausen and Sutenbach
Nays: 0
Abstain: 1 Commissioner Smoot

Commissioner Michaelsen moved and Commissioner Spink made the second to recommend approval of a variance to the Sign Code in accordance with staff recommendations. The results of the roll call vote were:

Ayes: 6 Commissioners Vora, Spink, Weiss, Michaelsen,
Hundhausen and Sutenbach
Nays: 0
Abstain: 1 Commissioner Smoot

The petitioner was reminded that these matters will be heard by the Village Board at their meeting on July 17, 2006 and was advised to attend that meeting.

Commissioner Hundhausen moved and Commissioner Michaelsen made the second to close the public hearing. The results of the roll call vote were:

Ayes: 7 Commissioners Smoot, Vora, Spink, Weiss, Michaelsen,
Hundhausen and Sutenbach
Nays: 0

NEW BUSINESS:

Status Report – Southwest Planning Area Development Study: No new developments, still awaiting consultant reports.

Discussion Regarding Drive-around: To be arranged with Village Board for Sept./Oct.

Recommendation to cancel 7/24/2006 Meeting:

Commissioner Hundhausen moved and Commissioner Michaelsen made the second to cancel the Regular Meeting on July 24, 2006 as there are no cases ready for presentation. The results of the roll call vote were:

Ayes:	7	Commissioners Smoot, Vora, Spink, Weiss, Michaelsen, Hundhausen and Sutenbach
Nays:	0	

Commissioner Spink asked if there was any chance of re-instating the branch pick-up program, if only for a once a year opportunity and Mr. Glees said that he would bring the matter up to Public Works.

At 10:40 p.m. Commissioner Spink moved and Commissioner Hundhausen made the second to adjourn. The motion passed by unanimous voice vote.

FOR THE COMBINED BOARD

RESOLUTION NO. 2193

**A RESOLUTION COMMENDING JERRY MORTON
UPON HIS RETIREMENT FROM VILLAGE SERVICE**

WHEREAS, Jerry Morton has been a positive influence on the Village of Carol Stream's Street Division since 1979; and

WHEREAS, Jerry Morton has had a profound effect on the maintenance of the infrastructure of the Village of Carol Stream; and

WHEREAS, Jerry Morton has been a crew leader for the Streets Department since 1979; and

WHEREAS, Jerry Morton has earned the appreciation of countless customers for services rendered; and

WHEREAS, Jerry Morton has decided to retire after more than thirty-seven years of public service, twenty-seven of which were for the Village of Carol Stream.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, ON BEHALF OF ALL OF THE FORMER AND PRESENT ELECTED AND APPOINTED OFFICIALS AND RESIDENTS OF CAROL STREAM, that:

1. That Jerry Morton is commended for the dedication, productivity, motivation and integrity that he brought to his position. His service and accomplishments have been appreciated and are hereby recognized.
2. That Jerry Morton is wished the very best of happiness and health in his retirement.

This Resolution shall be in full force and effect from and after its passage and as approved by law.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

AGENDA ITEM

Ela 7-17-06

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 7/17/06**
PC/ZBA Case #06037, Harlem Irving/Folio, LLC, SW Corner of Gary Ave. and Stark Drive
Preliminary Plat of Subdivision, Special Use for Planned Unit Development, Preliminary Planned Unit Development Plan, Special Use for Pre-School Learning Center for Lot One, Final Planned Unit Development Plan for Lot One

Joseph Ash, attorney for Harlem Irving/Folio, LLC, is requesting several zoning approvals that would allow a planned unit development on the 6.8-acre property south of Stark Drive between Gary Avenue and Old Gary Avenue. At this time, the applicant is requesting the necessary zoning approvals that would allow for the division of the property into two lots. The southern lot, Lot 1 would be developed as a preschool/learning center, Crème de la Crème. The northern lot, Lot 2, would be developed in the future as a 10,330 square foot restaurant. The applicant has been in discussions with the *Golden Corral* restaurant, but this component of the development is not being brought forward at this time, but would be brought forward as a separate development.

The staff reports with supporting documentation were transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packets on 6/9/06 and 6/23/06. At their 6/26/06 meeting, the PC/ZBA voted 7-0 to recommend approval with conditions the requested Preliminary Plat of Subdivision, Special Use for Planned Unit Development, Preliminary PUD Plan, Special Use for Pre-School Learning Center for Lot One, Final PUD Plan for Lot 1. The PC/ZBA also voted 7-0 to approve the requested Gary Avenue Corridor Review for Lot One and a Variation from the Fence Code for Lot One; no action by the Village Board is required for those items.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the following:

1. the Preliminary Plat of Subdivision and adopt the necessary Resolution;
2. the Special Use for Planned Unit Development and the Preliminary PUD Plan, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance; and
3. the Special Use for Pre-School Learning Center and the Final PUD Plan for Lot 1, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

RJG:bg


c: Joseph Ash, via fax, (312) 346-7847
James Snyder, via fax, (773) 625-0056

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Elb 7-17-06

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director 

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 7/17/06: PC/ZBA Case #06111 Lakewood Homes, Easton Park, Fisher farm Property on the North Side of North Avenue, West of Gary Avenue Final Planned Unit Development Plan for the Residential Subdivision and Stormwater Management Facilities, and Sign Code Variations**

Lakewood Homes is requesting Final Planned Unit Development Plan approval for their proposed Easton Park residential development to be located on the 59-acre Fisher Farm site on the north side of North Avenue west of Gary Avenue. The development includes 270 townhome units, extensive open space and a stormwater management area. In December of 2005, the Village Board adopted Ordinance 2005-12-68, which approved a Special Use for the Preliminary Planned Unit Development for the Easton Park development. Since that time, the applicant has been working to complete the final engineering design for the property.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on 7/7/06. At their 7/10/06 meeting, the PC/ZBA found the Final PUD Plan to be in substantial conformance with the approved Preliminary PUD Plan. Accordingly, the PC/ZBA voted 6-0-1 to recommend approval of the Final PUD Plan subject to the conditions contained within the Ordinance. With respect to the Sign Code variations that the petitioner is requesting for the 36-square-foot project identification sign, the PC/ZBA approved the variations by a 6-0-1 vote. As a note, the Plan Commission has the authority to approve Sign Code variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the Plan Commission within 21 days of the date that the request first appears before the Village Board. If the Village Board chooses to take action on the Sign Code Variation request, their decision is final. If the Board chooses not to take action within the 21-day period set forth in the Sign Code, the decision of the Plan Commission is final.

For your information, by a 6-0-1 vote, the PC/ZBA approved the North Avenue Corridor Review for the residential and stormwater management properties; Village Board action with respect to the Corridor review is not necessary. Also, the Final Plat of Subdivision will be brought before the Village Board for review and final action once the final engineering for the project is approved.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Final Planned Unit Development Plan, subject to the conditions contained within the Final PUD Ordinance, and adopt the necessary Ordinance. The Village Board may also affirm or reverse the decision of the Plan Commission with respect to the Sign Code variations, if desired.

RJG:bg

c: James Truesdell, Lakewood Homes, via fax, (847) 884-8986

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ELC 7-17-06

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 7/17/05**
PC/ZBA Case # 06129, Northern Builders, Northeast Corner of Fullerton Avenue and Center Avenue
Special Use for Outdoor Activities and Operations

Paul Marucci of Northern Builders is requesting approval of a Special Use Permit to allow for the construction of a 103,160 square foot warehouse/distribution building on the 12-acre property on Fullerton Avenue at Center Avenue. Northern Builders is developing the property on behalf of Glen Ellyn Moving & Storage, a moving van line company, who plans to occupy the entire building. The applicant has indicated that the prospective tenant intends to consolidate all of its existing facilities, including the one at 115 Alexandra Way in Carol Stream. Glen Ellyn Moving & Storage seeks to park its fleet of up to 56 trailers on the north side of the property. Eighteen exterior truck docks would be located on the north side of the building opposite the trailer parking, to process incoming and outgoing trailers.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on 7/7/06. At their 7/10/06 meeting, the PC/ZBA voted 7-0 to recommend approval of Special Use Permit request, subject to the conditions contained in the Ordinance.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permit for Outdoor Activities and Operations, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

RJG:bg

c: Paul Marucci, via fax, (847) 678-3667

Village of Carol Stream Eld 7-17-06

Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 10/18/04**
PC/ZBA Case #06170, Village of Carol Stream, 500 N. Gary Avenue
Variations – Zoning Code

The parking lot at the Gregory J. Bielawski Municipal Center has existed in its present configuration since first constructed in 1981. Since that time, the Village passed the Gary Avenue Corridor Regulations in 1995 and constructed the landscaped frontage improvements along Gary Avenue in 1996. Because the parking lot is now in poor condition, reconstruction of the lot is included as a capital project for the current fiscal year. The existing asphalt and the damaged portions of curbs would be replaced at essentially the existing lines and grades, with minor adjustments to improve drainage. The existing landscaped islands would be maintained, with dead plants being removed and new plants added. Village staff is requesting approval of variations from the parking lot setback requirements, curb requirements and landscaping requirements.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on 7/7/06. At their 7/10/06 meeting, the PC/ZBA voted 7-0 to continue the applicant's requests to the 10/11/04 meeting to recommend approval of the variation requests, subject to the conditions contained in the proposed Ordinance.

For your information, because the property is located within the Gary Avenue Corridor, staff also requested Gary Avenue Corridor Review. The PC/ZBA approved the Review by a vote of 7-0; no Village Board action is required regarding the Gary Avenue Corridor Review.


If the Village Board concurs with the PC/ZBA recommendation, they should approve the variations necessary for the parking lot to be reconstructed on the Municipal Center property, subject to the conditions in the Ordinance, and adopt the necessary Ordinance.

RJG:bg

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Village of Carol Stream E/e 7-17-06
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director 

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 7/17/06**
PC/ZBA Case # 06171 Village of Carol Stream, 500 N. Gary Avenue
Variations – Sign Code

The existing Municipal Center electronic message sign, which was installed in 1998, is beginning to require more frequent maintenance, and the cost of replacement parts is more than half the cost of replacing the sign. In order to evaluate sign replacement options, staff sought direction from the Village Board to invite sign vendors to demonstrate the latest sign technology. As a consequence, the Board directed staff to further evaluate the costs and approval requirements involved with the purchase of a new sign. After viewing the latest sign technology, various electronic signs in the area and several sign options, staff recommends replacement of the existing sign. Staff is requesting Variations from Section 6-11-12(B) of the Carol Stream Sign Code to allow an electronic changeable copy sign with no permanent portion of sign and with messages that change more frequently than once every 3 seconds.

The staff report with supporting documentation was transmitted to the Village Board with the Plan Commission/Zoning Board of Appeals packet on 7/7/06. At their 7/10/06 meeting, the PC/ZBA voted 6-1 to approve the Sign Code variation requests, subject to the conditions in the staff report. In approving the request, the Plan Commission noted that Village staff should evaluate a text amendment to the Sign Code in order to better address the features offered by current technology.

The Plan Commission has the authority to approve Sign Code variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the Plan Commission within 21 days of the date that the request first appears before the Village Board. If the Village Board chooses to take action on the Sign Code Variation request, their decision is final. If the Board chooses not to take action within the 21-day period set forth in the Sign Code, the decision of the Plan Commission is final.

RJG:bg

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G-1 7-17-06*Village of Carol Stream***INTER-DEPARTMENTAL MEMO**

TO: Mayor and Trustees

FROM: Robert Mellor, Assistant Village Manager *Rm*

DATE: July 11, 2006

RE: Municipal Center Sign

Staff has completed its review of proposals submitted for replacement of the electronic message sign at the Gregory J. Bielawski Municipal Center. Proposals were submitted for a 48" x 158", 35mm Time-O-Matic sign. This is the same sign that was viewed by you at your May 1, 2006 Board meeting. We received proposals from the following three sign contractors:

Contractor	Proposal
Chicago Sign 26 W 535 St. Charles Road Carol Stream (Unincorporated)	\$45,698
American Sign & Lighting 307 E. Lincoln Avenue Bensenville	\$49,850
North Shore Sign 1925 Industrial Drive Libertyville	\$53,353

The proposals include removal of the existing sign and the labor, materials and software to install and operate the proposed sign on the existing Lannon Stone base on Gary Avenue. Although this is a replacement of an existing sign, a continuation of the existing variation was requested and granted by the Plan Commission at their July 10, 2006 meeting.

Staff recommends award of purchase and installation of the above-specified sign to Chicago Sign in the amount of \$45,698. A budget amendment will be presented to you at a subsequent meeting upon completion of the sign installation.

Cc: Joseph E. Breinig, Village Manager

Village of Carol Stream
INTER-DEPARTMENTAL MEMO

TO: Mayor and Trustees

FROM: Robert Mellor, Assistant Village Manager ^{Rm}

DATE: April 28, 2006

RE: Municipal Center Sign

Attached is a copy of the memo I sent to you on April 14 regarding replacement of the electronic message sign at the Municipal Center. Staff has arranged for the delivery of a demonstration sign for the Village Board to view at its next Board meeting on May 1. The sign will arrive at 7:00 p.m. and will be located in the west parking lot at the Municipal Center. This will give you an opportunity to view the sign and compare it to our current sign prior to making any purchase decision.

Staff has met with Chicago Sign located on St. Charles Road in the unincorporated area south of Carol Stream and American Sign and Lighting Co. in Bensenville on proposals to install a new sign at the Municipal Center on the existing Lannon Stone base.

Staff has also evaluated the efficacy of replacing the pixel boards on the current sign versus replacing the existing sign with current technology. After viewing various signs in the area and several sign options, staff recommends a complete upgrade to the existing sign. Although utilizing the retrofit modules would be less costly initially, staff feels it will be more cost effective and a better use of Village funds to invest in a sign that utilizes current technology, which will be more dependable and provide greater programming flexibility now and in the future. The new sign technology will also be more reliable and has less moving parts than the current sign, which utilizes a mechanical panel to display the pixel boards. New sign technology also uses Red/Green/Blue (RGB) technology to display messages, which is the same technology used in the computer industry. The software used to operate the sign is similar to PowerPoint and provides the flexibility of utilizing graphics, which we currently do not have.

Staff does not recommend the retrofit module upgrade option. Staff has been working with Chicago Sign located on St. Charles Road in the unincorporated area south of Carol Stream and American Sign and Lighting Co. in Bensenville on proposals to construct a new sign at the Municipal Center on the existing Lannon Stone base. Staff requests Board authorization to continue to negotiate with these sign companies to provide a new electronic message board for the Municipal Center and that formal bidding be waived. Because this process will result in an award of purchase by the Village Board after May 1st staff also requests that the funds that were budgeted in the current fiscal year (\$50,000) be reallocated to fiscal year 2006-07. Staff would follow-up with a budget amendment when the contract is awarded.

Cc: Joseph E. Breinig, Village Manager

CHICAGO SIGN

630-407-0802 Fax 630-407-0805
www.ChicagoSigns@aol.com

KGD Enterprises, Inc (dba)
Chicago Sign
26 W 535 St Charles Rd, Unit A
Carol Stream, IL 60188

July 10, 2006
Village of Carol Stream
500 N. Gary Ave
Carol Stream, IL 60188
Bob Mellor

Proposal:

Remove and scrap existing message center sign. Furnish and install one twinpack RGB Color LED electronic message center sign by Time O Matic.
Includes temperature sensor. Includes furnishing only up to 500 ft of fibre optic control cable.
Includes software to operate the sign.
Village of Carol Stream to furnish computer.
Village of Carol Stream to install the fibre optic control cable from the computer location to the sign.
Village of Carol Stream to provide adequate electric service to sign location.
Includes 2 hour phone training by Time O Matic.

- * **Price: 35mm** 32 x 112 matrix: 30 amp 120v service required: nominal 48" x 158" cabinets: **\$45,698.00**
OR
Price: 25mm 40 x 160 matrix: 52 amp 120v service required: nominal 43" x 162" cabinets: **\$48,081.00**

Permit expenses, if any, additional.

Preferred payment terms: 50% deposit with contract, balance due upon completion.

Warranty: 5 year parts only by Time O Matic.
1 year by KGD / Chicago Sign for parts and labor, subject to limitations of vandalism, acts of God, terrorism, improper electrical service, etc.

Typical delivery time: six to eight weeks from order / permit approval.

Wireless control and onsite training are available as options.

Submitted for approval:

John Doyle, President

CHICAGO SIGN

630-407-0802 Fax 630-407-0805

www.ChicagoSigns@aol.com

KGD Enterprises, Inc (dba)

Chicago Sign

26 W 535 St Charles Rd, Unit A

Carol Stream, IL 60188

July 10, 2006

Village of Carol Stream

500 N. Gary Ave

Carol Stream, IL 60188



**25mm - 40 x 160 matrix 43" x 162" box
39" x 158" active area 42.8 sq ft active area
52 amp / 120v service required to sign
estimated \$2.17 / day electric cost (18 hr day)
6,400 pixels per side 149.5 pixels per sq ft
\$48,081.00**



**Existing sign 46" x 163" box
estimated 36" x 158" active area
39.5 sq ft active area**



**35mm - 32 x 112 matrix 48" x 158" box
44" x 154" active area 47.1 sq ft active area
30 amp / 120v service required to sign
estimated \$1.25 / day electric cost (18 hr day)
3,584 pixels per side 76.1 pixels per sq ft
\$45,698**

AGENDA ITEM

G-2 7-17-06

Village of Carol Stream

INTER-DEPARTMENTAL MEMO

TO: Mayor and Trustees
FROM: Robert Mellor, Assistant Village Manager *R/m*
DATE: July 12, 2006
RE: Award of Purchase – Telecommunications System

Included in the proposed 2006-07 budget are funds to replace the Village's 10-year old Executone phone system with a more reliable system. The current phone system has provided many years of excellent service and included many technologically advanced features. Unfortunately, Executone phones are no longer manufactured and replacement parts are becoming harder to find. We currently utilize a former technician from Executone to troubleshoot and maintain our telephone system. Unfortunately, his services are in high demand and we are often not able to receive timely service on our equipment.

Last September you awarded the contract for telephone consulting services to Wilson and Associates to perform the following services:

1. Conduct an audit of the Village's current communications system components (completed).
2. Conduct a thorough telecommunications needs assessment (completed).
3. Recommend the best system design for the Village based on the criteria established during the needs assessment (completed).
4. Formulate bid specifications for the proposed system components (completed).
5. Assist in the selection of a vendor after analyzing bids (completed).
6. Manage the installation of the new system.

On April 17, 2006 sealed bids were opened and publicly read. Listed below is a summary of the final bid tabulation for the cost component:

SYSTEM COSTS

<u>Vendor</u>	<u>System Price</u>	<u>2nd Year Warranty</u>	<u>Two (2) Year System Cost</u>
Mideo, Inc.	\$157,410	-included-	\$157,410
Sound, Inc.	\$145,104	\$3,781**	\$148,885
D&S Communications	\$126,284	\$7,500	\$133,784

Innovative Voice Technologies	\$124,330*	\$5,724	\$130,054
ISI	\$118,239	\$8,125	\$126,364
Integrated Telecom Systems	\$121,777	-included-	\$121,777

*Does not include integration to Village's data network

**Cisco Smartnet (does not include site visits for repair or extended warranty on handsets)

Attached is the executive summary analysis and award of purchase recommendation from Dave Wilson recommending the Mitel system from Midco. Based on the analysis of the telephone systems bid by the 6 companies and the site visits to the top two vendor sites conducted by Village staff it was the consensus of staff and the consultant that the benefits of the Mitel system justified its cost.

Although the Mitel system was not the lowest priced system, it possesses the best overall combination of features and functionality, which caused it to rise to the top of the list of the systems being proposed. The Mitel system also received excellent recommendations from other users of its system, enjoys a significant share of the traditional and VOIP telephone markets and was the top choice of the systems viewed by staff.

Each vendor was also asked to submit pricing on optional equipment, which are not being recommended at this time. These options could be added in the future. The costs of these options are as follows:

- Board Room Conference Call System (Allows interactive communications into the Board Room from outside callers): \$5,000
- Connect overhead paging systems to existing ceiling mounted speakers (Municipal Center and Public Works): \$6,781
- Call Accounting system: \$10,729
- Wireless Access Points (8) and Wireless Telephones (5) (Municipal Center): \$12,682

The new VOIP telephone system will also allow us to eliminate 4 AT&T Tie-Lines from the Municipal Center to the Public Works Center saving the Village \$5,160/year. It is recommended that the award of purchase for a new Mitel System 3300 IP PBX, Voice Over Internet Protocol phone system be awarded to Midco Systems, Burr Ridge, Illinois in the amount of \$157,410. The Midco bid came in under the projected budget of \$168,000 for this equipment. The lead-time from award of bid to final installation will be approximately 60 days with the actual on-site installation lasting approximately 2-weeks.

Cc: Joseph E. Brienig, Village Manager

July 12, 2006

Mr. Robert Mellor
Village of Carol Stream
500 North Gary Avenue
Carol Stream, IL 60188

Dear Bob;

Wilson Consulting has completed an examination of the proposals for a new telephone system based upon the specifications developed for the Village of Carol Stream. After analyzing the information provided by the vendors and gathering additional information to clarify the proposals, it is our recommendation to award a contract to Midco, Inc. The Mitel telephone system proposed by Midco will fulfill the Village's current and future telecommunications requirements. The requirements were established jointly with input from Village staff and Wilson Consulting and incorporated into the Request for Proposal-20065 Telecommunications Equipment Project.

The Village received six (6) proposals. Several proposals were submitted with costs significantly below the price submitted by Midco, Inc. Wilson Consulting recommended that the proposals submitted by those vendors not be considered. The primary reasons were:

- D&S Communications (\$119,775): No significant local references; no local municipal references; small market share; limited local distribution.
- ISI (\$108,160): No significant installed base; multi-source components; no significant local references; no local municipal references; vendor has limited experience with proposed system.
- Integrated Telecom Systems (\$112,020): Small market share; limited local distribution; vendor has limited experience with proposed system; vendor has no in-house data network resources.
- Innovative Voice Technologies: No provision in proposal to assist with connection of system to the Village's data network; no provision for main processor failure; mixed technology (digital system with IP connectivity between sites).

As a result Wilson Consulting recommended that the Village focus its examination of the proposals submitted by Midco, Inc. (Mitel 3300) and Sound, Inc. (Cisco Call Manager). Each vendor conducted a presentation to a committee of Village staff and subsequently hosted a demonstration of the proposed system at a customer site. The committee's input was valuable to completing our evaluation and preparing this recommendation.

The key factors that lead to this decision were:

- Midco Inc.'s proposal met or exceeded the requirements set forth in the Request for Proposal.
- The Mitel system offers the strongest elements regarding survivability and resiliency.
- Midco Inc.'s maintenance agreement includes full system support. This will reduce Village staff time required to support the telephone system.
- The Mitel telephone instruments proposed by Midco, Inc. will accommodate all the requirements cited by Village staff.

The cost for the system as proposed is \$157,410. This includes a Village-wide telephone system to serve the Municipal Center, Public Works and Water Treatment facilities. The cost also includes all installation, staff training and two years of maintenance. Optional pricing was requested for the following items. These items are not included in the system price stated above.

1. Board Room conference call system: \$5,000
2. Upgrade to the existing overhead paging systems (Municipal Center and Public Works): \$6,781
3. Call Accounting system: \$10,729
4. Wireless access points (8) and wireless telephones (5) (Municipal Center): \$12,682

The system is an IP PBX. It will operate over the Village's data network (existing Category 5 wiring and fiber network). The new system will utilize different (digital) telephone company services from the Village's existing system. Telephone service costs (AT&T) will be reduced by approximately \$430/month.

A brief summary of our analysis and recommendations are enclosed for your review.

Please contact me if you have any questions or require additional information.

Very truly yours,

WILSON CONSULTING


David L.F. Wilson

Encl.

G-3 7-17-06

Village of Carol Stream

Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: James T. Knudsen, Director of Engineering Services 
DATE: July 12, 2006
RE: GPS Software Updates – Budget Transfer

Last year Engineering ordered two software updates for the Village's GPS system on March 20, 2006. These upgrades were needed to keep the GPS compatible with our GIS software. Ample funds existed in Engineering's budget at that time. However, the supplier was very late shipping the software to us, May 20, 2006. Unfortunately this is into the new fiscal year and will require a budget transfer. Attached is the budget transfer for this purchase.

Cc: Stan Helgerson, Finance Director

BUDGET TRANSFER REQUEST

FISCAL YEAR: 2006

DEPARTMENT/DIVISION: ENGINEERING

FUND: 01

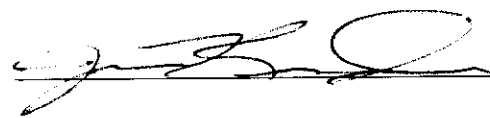
FROM ACCOUNT	TO ACCOUNT	AMOUNT
#01.462.317	#01.462.255	\$ 1,121.00
TITLE: OPERATING SUPPLIES	TITLE: SOFTWARE MAINTENANCE	

REASON: GPS Software Updates

#	#	\$
TITLE:	TITLE:	
REASON:		

#	#	\$
TITLE:	TITLE:	
REASON:		

#	#	\$
TITLE:	TITLE:	
REASON:		

DEPARTMENT HEAD: 

VILLAGE MANAGER: _____

VILLAGE BOARD CONCURRENCE DATE: _____

FINANCE DIRECTOR: _____

DATE: 7/12/06

DATE: _____

DATE: _____

6-4 7-17-06*Village of Carol Stream*

Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: William N. Cleveland, Assistant Village Engineer *WB*

DATE: July 13, 2006

RE: Kuhn Road Bike Trail – Application for Funding

The next cycle of funding requests for transportation projects is due to DuPage Mayors and Managers Conference on August 11th. A number of residents have requested the ability to access the Great Western Trail through the North Avenue underpass. This route is identified in DuPage County's Bikeway Plan. If approved, funding would be provided at 75% of the construction costs only. The Village would be responsible for all engineering costs and 25% of construction.

Due to submittal complexity and time constraints, engineering staff recommends we contract TranSystems to prepare the application for the Village. TranSystems was successful in acquiring funds for the Lies Road Bikeway and is familiar with Federal funding procedures. The cost of preparing the application is \$3,000.00 and does not guarantee funding approval or tie the Village to TranSystems for future contracts.

The general scope of the project would be the Village being responsible for the trail from Lies to Volunteer Park on Kuhn Road, and the Park District responsible for the path from Volunteer Park to the Great Western Trail. Other entities involved may include the Illinois Department of Transportation, the DuPage County Forest Preserve District, and the DuPage County Division of Transportation.

Application for funding does not mandate that the project be constructed. Budget constraints, intergovernmental agreements, property acquisition, and other factors could prevent the project from being built. However, staff recommends the funding application be submitted so that money can be secured if the Village and Park District decide to proceed with this project.

Cc: James T. Knudsen, Director of Engineering Services
Stan Helgerson, Finance Director
Al Turner, Director of Public Works



TranSystems

1051 Perimeter Drive
Suite 1025
Schaumburg, IL 60173-5058
Tel 847 605 9600
Fax 847 605 9610
www.transystems.com

July 13, 2006

Village of Carol Stream
500 North Gary Avenue
Carol Stream, IL 60188

Attention: Mr. William Cleveland, P.E.
Assistant Village Engineer

Reference: Letter Agreement for 2005 ITEP Funding Management Assistance
Village of Carol Stream

Dear Mr. Cleveland:

TranSystems Corporation is pleased to submit two (2) copies of our proposal to provide professional engineering services for the Village of Carol Stream on the above referenced assignment.

This letter details the services TranSystems proposes to perform for the Village, the pricing at which TranSystems proposes to perform these services, the schedule for completing these services and the assumptions upon which TranSystems has based this proposal. If the proposal outlined in this letter is acceptable to the Village, TranSystems would request that the Village indicate its acceptance of this proposal by executing this letter agreement in the space provided on the following page.

SCOPE OF SERVICES

In connection with the above referenced assignment, TranSystems shall perform for the Village of Carol Stream the following described Services:

Prepare STP-TCM Funding Application for the Kuhn Road Bikeway from North Avenue to Lies Road.

SCHEDULE

We recognize your need to have these Services completed for the STP application by August 11, 2006, and TranSystems believes that it can complete these services within this time frame.

COMPENSATION

As compensation for the performance of the above described Services, TranSystems will be reimbursed by the Village of Carol Stream by payment of a lump sum fee of \$3,000. Invoices will be sent monthly and will be based on TranSystems' estimate of the total Services actually completed as of the time of billing. Our fee includes in-house reproduction supplies, automobile mileage in the metropolitan area, and long distance phone calls.



ASSUMPTIONS

This proposal and TranSystems' agreement to perform the Services is based upon, and subject to, the assumption, that the Village will provide the following information: right-of-way data, public utility data, and support letters from various groups/sponsors.

We sincerely appreciate the opportunity to work with the Village of Carol Stream on this assignment. If you concur with the proposal outlined in this Letter of Agreement, please execute the enclosed extra copy and return it to TranSystems. Unless otherwise instructed by the Village in writing at the time you return the executed copy of this Letter Agreement, TranSystems will consider the executed Letter Agreement as our notice to proceed. Please let us know if you have any questions or need any further information.

Very truly yours,

TranSystems Corporation

Todd S. Bright, P.E.
Vice President

ACCEPTANCE

The Village of Carol Stream hereby accepts the proposal outlined above and does hereby engage TranSystems to perform the Services described above, on the terms and conditions set forth in the forgoing Letter Agreement. The Village accepts and agrees to the terms and conditions of the foregoing Letter Agreement.

Accepted By: _____

Printed Name: _____

Title: _____

Date: _____

H-1 7-17-07

ORDINANCE NO. _____

**AN ORDINANCE DECLARING THE
NECESSITY AND CONVENIENCE OF
PURCHASING RIGHT OF WAY
FROM THE FOREST PRESERVE DISTRICT OF DUPAGE COUNTY**

WHEREAS, the Forest Preserve District of Dupage County ("Forest Preserve District" or "transferor") and the Village of Carol Stream ("Village" or "transferee") have entered into a certain Intergovernmental Agreement for the purpose of executing the transfer of real estate from the District to the Village for right of way purposes; and

WHEREAS, the Local Government Property Transfer Act, 50 ILCS 605/0.01, et seq. (the "Act"), provides that the transferee municipality shall declare by ordinance that it is necessary and convenient for it to use the real estate to be conveyed by the transferor governmental entity for any public purpose; and

WHEREAS, the Act provides that the transferee municipality shall adopt an ordinance declaring the real estate necessary and convenient;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Recitals. The foregoing recitals are hereby incorporated herein as substantive portions hereof.

SECTION 2: Declaration. The Corporate Authorities of the Village of Carol Stream declare that it is necessary and convenient to use the real property delineated on Appendix A, and legally described on Appendix B, attached to and made a part of this Ordinance, currently held by the Forest Preserve District for the public purpose of

improving Fair Oaks Road. Such purposes are in the best interest of and shall advance the general welfare of the residents of the Village.

SECTION 3. Transfer Request. The Corporate Authorities of the Village of Carol Stream request that the Forest Preserve District of DuPage County transfer all of its right, title and interest in the area delineated on the attached Exhibits to the Village.

SECTION 4. Effective Date. This ordinance shall become effective upon its passage, approval and publication in pamphlet form as provided by law.

PASSED this _____ day of _____, 2006.

AYES:

NAYS:

ABSENT: this _____ day of _____, 2006.


Village President

ATTEST:

Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: James T. Knudsen, Director of Engineering Services 

DATE: June 14, 2006

RE: Fair Oaks Road Improvement & Multi-Use Path Projects – Intergovernmental Agreement

The Village of Carol Stream has been meeting with the Forest Preserve District of DuPage County (FPD) to purchase right of way (ROW) for the Village. This ROW is needed for the above referenced project for stormwater conveyance and storage. On Tuesday, July 11th the FPD approved the IGA for the purchase of 1.103 acres of ROW at a cost of \$47,500.00

In order to make the purchase three ordinances will need to be passed. They include the following:

1. Ordinance Declaring the Necessity and Convenience of Purchasing ROW from the FPD. Village code requires 80 feet of total ROW, while presently we have about 40 feet on the eastern side. Therefore, approximately 40 feet of additional ROW is required from the FPD. This ROW is needed for utilities, drainage, and storm water runoff storage (detention).
2. Ordinance Annexing Certain Territory. Once the ROW is purchased it needs to be annexed to become part of the Village.
3. Ordinance Approving an Intergovernmental Agreement between the Village of Carol Stream and the Forest Preserve District of DuPage County. The IGA sets the terms of the purchase of the ROW and defines each party's responsibilities. The Village will pay the FPD \$47,500 for the ROW. We will also be responsible for the design, construction and maintenance of all roadway improvements (including the trail) from Army Trail to Plum Grove Court. The FPD will dedicate the necessary land to the Village in order for us to complete the project. Both parties mutually agree to cooperate on the future roadway and trail improvements from Plum Grove Court to St. Charles Road.

Village and legal staff have reviewed all three documents and found them acceptable. Therefore, staff recommends the approval of all three ordinances.

Cc: William N. Cleveland, Assistant Village Engineer

EXHIBIT DRAWING

by
SURVEY SYSTEMS OF AMERICA, INC.

Professional Land Surveyors

Fair Oaks Road - Carol Stream



800 S. Logan St.
Suite 1000
Chicago, Illinois 60619
Phone: (773) 437-2775
Fax: (773) 437-2776

Parcel 005
 "Prescriptive ROW" = 14,873 Sq. Ft. (0.334 Acres), more or less
 "ROW Taking" = 6,605 Sq. Ft. (0.152 Acres), more or less
 Total Dedication = 21,478 Sq. Ft. (0.486 Acres), more or less

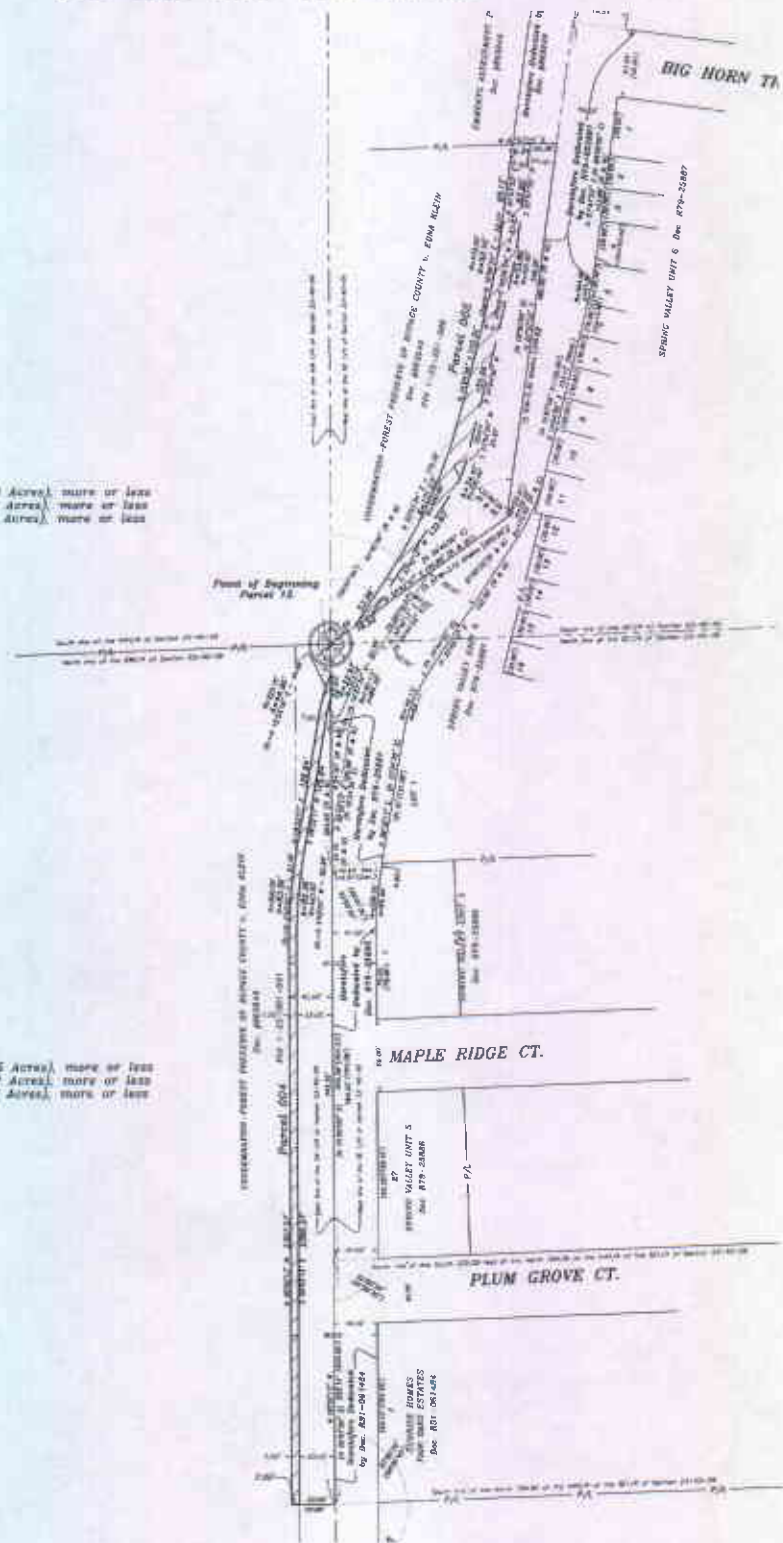
Parcel 004
 "Prescriptive ROW" = 21,552 Sq. Ft. (0.495 Acres), more or less
 "ROW Taking" = 5,321 Sq. Ft. (0.122 Acres), more or less
 Total Dedication = 26,873 Sq. Ft. (0.617 Acres), more or less

Scale: 1 inch equals 50 feet.
 Distances are marked on this drawing with bearings.
 Colors shown are used for identification of easements shown to the public authority.

Client: Village of Carol Stream
 Surveyed by: _____ Drawn by: JML Checked by: _____
 Field Work Complete: _____

Building setbacks and other easements, if any, shown herein are as shown on the recorded subdivision plat. Contact local authorities for specific zoning and other regulations.
 This drawing is not to be used for any other purpose without the written consent of Survey Systems of America, Inc.

ORDER NO: 063-1826 ED



Dundee, Illinois, Dated this 22nd day of June, A.D. 2006

PLAT OF DEDICATION

For
Public Right-of-Way Purposes
over the following described property:

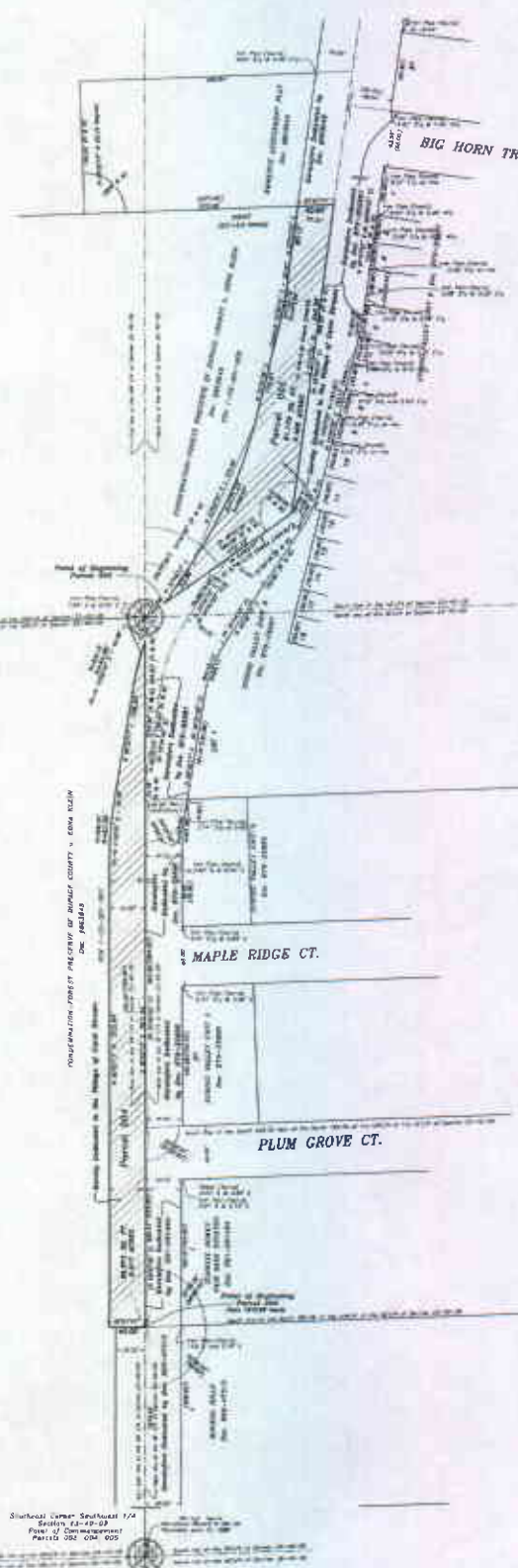


Parcel 004

That part of the East 1/2 of the Southwest Quarter of Section 22, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line extended to the corner of the Northwest Quarter of the Southwest Quarter of said Section 22, thence North 60 degrees 30 minutes 10 seconds West, on an assumed bearing along the east line of the Southwest Quarter of said Section 22 a distance of 1,378.66 feet to a point of beginning with the north line of the Northwest Quarter of the Southwest Quarter of said Section 22, thence South 88 degrees 57 minutes 47 seconds West, perpendicular to the northwestern west line of the Southwest Quarter of said Section 22 a distance of 43,500 feet, thence North 08 degrees 02 minutes 17 seconds West, along a line of 49,000 feet from said point of beginning, to the west line of the Southwest Quarter of said Section 22 a distance of 37,834 feet, thence northwesterly along the arc of a curve right, tangent to the last described course, having a radius of 10,000 feet, an arc distance of 23,296 feet, thence North 68 degrees 11 minutes 17 seconds East, 49,888 feet to the beginning at the point of beginning, being the point of capture of the Duffie County Well.

Parcel 005

That part of the Northwest Quarter of Section 22, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line extended to the corner of the Southwest Quarter of said Section 22, thence North 60 degrees 30 minutes 10 seconds West, on an assumed bearing along the east line of the Southwest Quarter of said Section 22 a distance of 1,378.66 feet to the center of said Section 22, thence North 30 degrees 42 minutes 07 seconds East, along the northwestern east line of said Section 22, 6,927,226 feet, on an assumed bearing, to the point of beginning, thence North 33 degrees 57 minutes 17 seconds East, 3,328 feet, thence northwesterly along the arc of a curve left, tangent to the last described course, having a radius of 49,000 feet, an arc distance of 478,000 feet, thence North 10 degrees 36 minutes 38 seconds East, 33,811 feet, on an assumed bearing, to the center of said Section 22, thence North 10 degrees 36 minutes 38 seconds East, 33,811 feet, along the northwestern east line of said Section 22, 4,988 feet, to the point of beginning, being the point of capture of the Duffie County Well.



State of Iowa
County of DuPage } ss
I, _____, Mayor of the City of _____, do hereby certify that this plat is a true and correct copy of the original as recorded in the office of the Register of Deeds for the County of DuPage, Iowa, on the _____ day of _____, A.D. 2006.

Mayor
City of _____

State of Iowa
County of DuPage } ss
I, _____, Clerk of the Board of Directors of _____, do hereby certify that this plat is a true and correct copy of the original as recorded in the office of the Register of Deeds for the County of DuPage, Iowa, on the _____ day of _____, 2006.

Mayor
City of _____

State of Iowa
County of DuPage } ss
I, _____, Clerk of the Board of Directors of _____, do hereby certify that this plat is a true and correct copy of the original as recorded in the office of the Register of Deeds for the County of DuPage, Iowa, on the _____ day of _____, 2006.

Mayor
City of _____

State of Iowa
County of DuPage } ss
I, _____, County Clerk of DuPage County, Iowa, do hereby certify that there are no delinquent general taxes, or unpaid special taxes, or no delinquencies that have occurred against any of the land included in this plat.

County Clerk

State of Illinois
County of Kane } ss
SURVEY SYSTEMS OF AMERICA, INC., does hereby certify that its survey has been made under the direction of a licensed Professional Land Surveyor, and the accuracy of said survey is guaranteed to the extent provided in the contract thereunder. The professional service performed by the licensor meets minimum standards for a boundary survey.



Durand, Illinois, Dated this 29th day of June, A.D. 2006

PREPARED BY
SURVEY SYSTEMS OF AMERICA, INC.
PROFESSIONAL LAND SURVEYORS
785 S. Eighth St.
Durand, Illinois 60118
Phone (631) 428-5425
ORDER NO. 063-1826.FPD_CS.PD

ORDINANCE NO.

H-2 7-17-06

**AN ORDINANCE ANNEXING CERTAIN
TERRITORY IN SECTION 23, TOWNSHIP 40 NORTH
RANGE 9, EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN DU PAGE COUNTY, ILLINOIS,
LOCATED NORTH OF PLUM GROVE COURT AND
SOUTH OF BIG HORN TRAIL AND COMMONLY KNOWN
AS A PORTION OF FAIR OAKS ROAD PRESENTLY PART OF THE
FOREST PRESERVE DISTRICT OF DUPAGE COUNTY.**

WHEREAS, the Forest Preserve District of DuPage County ("Forest Preserve District") and the Village of Carol Stream, DuPage County, Illinois, ("Village"), have entered into an Intergovernmental Agreement for the transfer of certain territory presently within the jurisdiction of the Forest Preserve District, a copy of said Intergovernmental Agreement being attached hereto and incorporated herein as Exhibit "A"; and

WHEREAS, the Village is desirous of annexing the territory for the purpose of making certain road and appurtenant improvements thereupon for the benefit of the public; and,

WHEREAS, the territory is not now within the corporate limits of any municipality, but is contiguous to the Village of Carol Stream; and

WHEREAS, it is deemed to be in the best interest of the Village of Carol Stream that said territory be annexed thereto; and

WHEREAS, the territory in question is part of a public forest preserve district and would be appropriately included as a portion of the Village's roadway system.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the findings of fact set forth hereinabove in the recitals are hereby adopted and approved by the Board of Trustees of the Village of Carol Stream.

SECTION 2: That the following described territory:

SEE ATTACHED EXHIBIT "B"

is hereby annexed to the Village of Carol Stream, DuPage County, Illinois.

SECTION 3: That the Village Clerk is hereby directed to record with the Recorder of Deeds of DuPage County and to file with the County Clerk a certified copy of this Ordinance and the Exhibits thereto.

SECTION 4: That the Corporate Authorities of the Village find that territory annexed to the Village of Carol Stream shall be automatically classified as within the Village's roadway system, and that the land herein annexed in this Ordinance shall, therefore, be classified in that manner, and shall appear under that category upon the official maps of the Village.

SECTION 5: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form, as provided by law.

PASSED by the President and Board of Trustees of the Village of Carol Stream, Illinois, this ___ day of _____, 2006, on the first reading, second reading not being requested.

AYES:
NAYS:
ABSENT:

Village President of the Village of
Carol Stream, Illinois

ATTEST:

Village Clerk of the Village of
Carol Stream, Illinois

(Published in pamphlet form and posted on the ___ day of _____).

Village Clerk of the Village
of Carol Stream, Illinois

Approved as to form: _____
Village Attorney

EXHIBIT A

**INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF CAROL STREAM AND
THE FOREST PRESERVE DISTRICT OF DUPAGE COUNTY, ILLINOIS**

THIS AGREEMENT is made this ____ day of _____, 2006, by and between the Village of Carol Steam (“Village”) and the Forest Preserve District of DuPage County (“Forest Preserve”).

WHEREAS, the Village is desirous and intends to improve portions of Fair Oaks Road between Army Trail Road and St. Charles Road in DuPage County, Illinois (“Roadway”) (Exhibit “A”); and

WHEREAS, Phase I of the Roadway improvements includes a portion of Fair Oaks Road from Army Trail Road to Plum Grove Court; and,

WHEREAS, Phase II of the Roadway improvements include portions of Fair Oaks Road lying South of Plum Grove Court, some of which is presently within the jurisdiction of the Wayne Township Road District; and,

WHEREAS, portions of the Roadway are adjacent to both the Forest Preserve and the Village (See, Exhibit “B”); and,

WHEREAS, it is necessary for the Village to acquire approximately forty (40) feet of Forest Preserve land which includes existing right-of-way and additional right-of-way on a portion of the road as more fully delineated on Exhibit B in order to provide the anticipated improvements; and,

WHEREAS, the improvements include, without limitation, grading, paving, storm water management, native plantings and additional landscaping, and the installation of a

trail on the east side of Fair Oaks Road as delineated on Exhibit "B" ("Roadway Improvements"), and

WHEREAS, the Village is willing to pay for the costs of the Roadway Improvements, subject to the approval of this Agreement, and the terms herein set forth; and,

WHEREAS, the Forest Preserve will directly benefit from the Roadway Improvements; and,

WHEREAS, the Village has authority to improve and maintain those portions of the Roadway within its jurisdiction pursuant to Article 7 of the Illinois Highway Code, 605 ILCS 7-101 et seq.; and,

WHEREAS, the Village and the Forest Preserve are municipalities as defined in Section 1(c) of the Local Government Property Transfer Act, 50 ILCS 605/1 (hereinafter the "Transfer Act"); and

WHEREAS, Section 2 of the Transfer Act authorizes the conveyance of real property from one municipality to another municipality upon a two-thirds vote of the corporate authorities of the transferor municipality; and

WHEREAS, as a condition precedent to a conveyance under Section 2, the transferee municipality must first declare by ordinance "that it is necessary or convenient for it to use, occupy or improve" the real estate held by the transferor municipality; and

WHEREAS, in accordance with the requirements of Section 2, the Village intends to adopt an ordinance declaring that it is necessary and convenient for it to acquire, use and occupy the property described herein; and

WHEREAS, the 1970 Illinois Constitution, Article VII, Section 10, as well as the Illinois Revised Statutes, 5 ILCS 220/1 *et seq.*, authorize the parties hereto to enter into an intergovernmental agreement; and,

WHEREAS the Village and the Forest Preserve District intend to cooperate on further improvements on additional portions of Fair Oaks Road between Plum Grove Court and St. Charles Road at such time that road and trail improvements are possible through additional intergovernmental cooperation between the Village, the Forest Preserve and Wayne Township Road District, and upon additional engineering, and property acquisition.

NOW, THEREFORE, in consideration of the mutual covenants contained in this Agreement, the Parties agree as follows:

1. The Forest Preserve agrees to dedicate to the Village that portion of the Roadway falling within the Forest Preserve boundaries for roadway purposes, and understands that the Village will subsequently annex that portion of the Roadway which has been dedicated for roadway purposes into the Village. A Plat of Dedication is attached hereto and incorporated herein as Exhibit "C", and is legally described in Exhibit "D", attached hereto and incorporated herein.
2. In consideration of the forgoing, the Village agrees to pay for the costs of acquiring the right of way in the amount of \$47,500.00.
3. The Village further agrees to pay for the costs of designing the Roadway Improvements including, without limitation, grading, removing/relocating

utilities and Trail. The Village shall be responsible for all maintenance and repair, including the Trail.

4. The parties agree to defend, indemnify and hold harmless the other parties and/or their officers, agents, employees or designated representatives from and against any and all claims, demands, causes of action or judgments, including, but not limited to, attorney's fees and costs, arising out of or related to any loss, damage, injury or claim, arising out of their respective performance of this agreement.
5. To the extent permitted by law and without cost, and unless a party is self-insured or part of a risk management group, all parties hereto agree to name each and every other party as additional insureds under their respective insurance policies or collective self insurance coverage, and provide coverage for any insurable claim arising out of the performance of any part of this agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands and affixed their seals on the and in the year first above written.

VILLAGE OF CAROL STREAM

FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY

By: _____

By: _____
President


Attest:

Attest:

Secretary

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: James T. Knudsen, Director of Engineering Services 

DATE: June 14, 2006

RE: Fair Oaks Road Improvement & Multi-Use Path Projects – Intergovernmental Agreement

The Village of Carol Stream has been meeting with the Forest Preserve District of DuPage County (FPD) to purchase right of way (ROW) for the Village. This ROW is needed for the above referenced project for stormwater conveyance and storage. On Tuesday, July 11th the FPD approved the IGA for the purchase of 1.103 acres of ROW at a cost of \$47,500.00

In order to make the purchase three ordinances will need to be passed. They include the following:

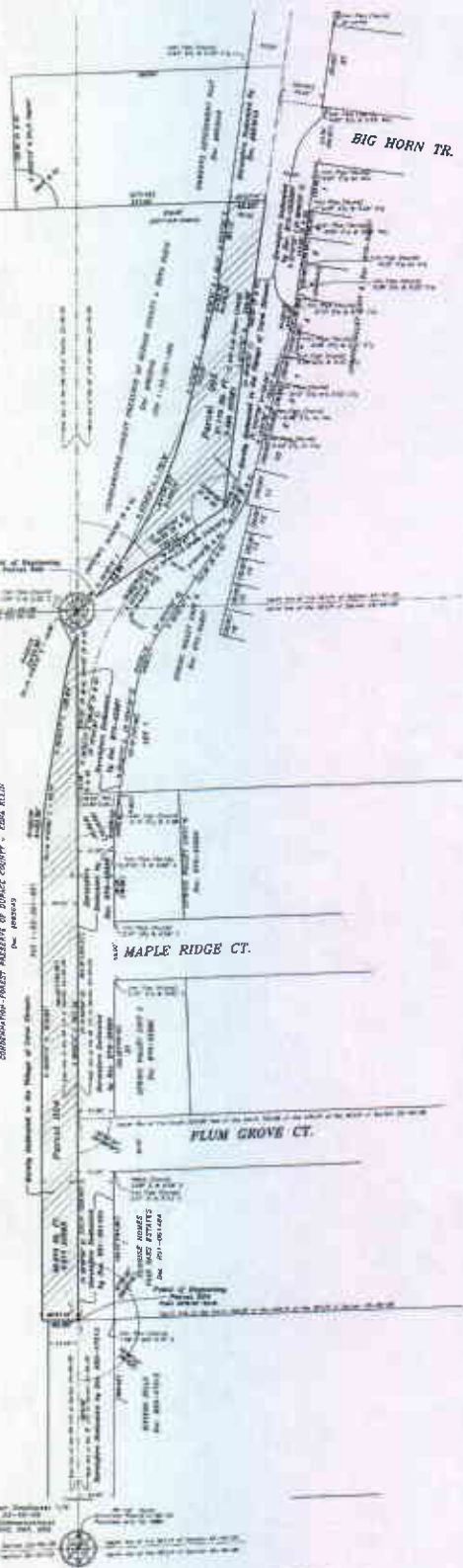
1. Ordinance Declaring the Necessity and Convenience of Purchasing ROW from the FPD. Village code requires 80 feet of total ROW, while presently we have about 40 feet on the eastern side. Therefore, approximately 40 feet of additional ROW is required from the FPD. This ROW is needed for utilities, drainage, and storm water runoff storage (detention).
2. Ordinance Annexing Certain Territory. Once the ROW is purchased it needs to be annexed to become part of the Village.
3. Ordinance Approving an Intergovernmental Agreement between the Village of Carol Stream and the Forest Preserve District of DuPage County. The IGA sets the terms of the purchase of the ROW and defines each party's responsibilities. The Village will pay the FPD \$47,500 for the ROW. We will also be responsible for the design, construction and maintenance of all roadway improvements (including the trail) from Army Trail to Plum Grove Court. The FPD will dedicate the necessary land to the Village in order for us to complete the project. Both parties mutually agree to cooperate on the future roadway and trail improvements from Plum Grove Court to St. Charles Road.

Village and legal staff have reviewed all three documents and found them acceptable. Therefore, staff recommends the approval of all three ordinances.

Cc: William N. Cleveland, Assistant Village Engineer

PLAT OF DEDICATION

For
Public Right-of-Way Purposes
over the following described property



Parcel 001

That part of the East 1/2 of the Southwest Quarter of Section 22, Township 42 North, Range 9 East of the First Principal Meridian contained in a plat recorded in Volume 108 of the Record Books of the Recorder of Deeds of DuPage County, Illinois, is hereby dedicated to the State of Illinois as a public right-of-way for the following described purpose: ...

Also together with

Parcel 005

That part of the Northwest Quarter of Section 23, Township 42 North, Range 9 East of the First Principal Meridian contained in a plat recorded in Volume 108 of the Record Books of the Recorder of Deeds of DuPage County, Illinois, is hereby dedicated to the State of Illinois as a public right-of-way for the following described purpose: ...

State of Illinois
County of DuPage } ss.

Clarence W. Hester, Clerk of the Village Board of the Village of DuPage, Illinois, do hereby certify that this is a correct and true copy of the original as filed in the office of the Clerk of the Board of DuPage County, Illinois.

Clarence W. Hester
Clerk of the Board of DuPage County, Illinois

State of Illinois
County of DuPage } ss.

I, Clarence W. Hester, Clerk of the Board of the Village of DuPage, Illinois, do hereby certify that this is a correct and true copy of the original as filed in the office of the Clerk of the Board of DuPage County, Illinois.

Dated at DuPage, Illinois, this 29th day of June, 2006.

Clarence W. Hester

State of Illinois
County of DuPage } ss.

I, Clarence W. Hester, Clerk of the Board of the Village of DuPage, Illinois, do hereby certify that this is a correct and true copy of the original as filed in the office of the Clerk of the Board of DuPage County, Illinois.

Dated at DuPage, Illinois, this 29th day of June, 2006.

Clarence W. Hester

State of Illinois
County of DuPage } ss.

I, Clarence W. Hester, Clerk of the Board of the Village of DuPage, Illinois, do hereby certify that this is a correct and true copy of the original as filed in the office of the Clerk of the Board of DuPage County, Illinois.

Dated at DuPage, Illinois, this 29th day of June, 2006.

Clarence W. Hester

State of Illinois
County of Kaneas } ss.

SURVEY SYSTEMS OF AMERICA, INC. does hereby certify that a survey has been made under the direction of a duly qualified and sworn Surveyor of the State of Illinois, and that the plat hereon shown is a correct representation of such survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

DuPage, Illinois, Dated this 29th day of June, A.D. 2006.

PREPARED BY:
SURVEY SYSTEMS OF AMERICA, INC.
PROFESSIONAL LAND SURVEYORS
783 S. Eagle St.
Dundee, Illinois 60116
Phone (630) 526-5775

This instrument No. _____ was filed for record in the Recorders Office of DuPage County, Illinois, on the _____ day of _____ A.D. 2006, at _____ o'clock _____ M.



Expire 10/30/2006

Parcel 004

That part of the East 1/2 of the Southwest Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit: Commencing at the Southeast corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing along the east line of the Southwest Quarter of said Section 23, a distance of 1,879.99 feet to a point of intersection with the south line of the north 794.06 feet of the Northwest Quarter of the Southeast Quarter of said Section 23; thence South 89 Degrees 57 Minutes 47 Seconds West, perpendicular to the aforementioned east line of the Southwest Quarter of said Section 23, a distance of 40.00 feet; thence North 00 Degrees 02 Minutes 13 Seconds West, along a line 40.00 feet west from and parallel with the east line of the Southwest Quarter of said Section 23, a distance of 515.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 500.00 feet, an arc distance of 83.56 feet; thence North 9 Degrees 32 Minutes 17 Seconds East, tangent to the last described curve, 126.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 220.15 feet, the chord of which bears North 15 Degrees 23 Minutes 19 Seconds East, 44.88 feet, an arc distance of 44.96 feet to a point in the aforementioned east line of the Southwest Quarter of said Section 23, also being the west line of Fair Oaks Road as previously dedicated by Document No.'s R79-25887, R79-25886, and R91-061484; thence South 00 Degrees 02 Minutes 13 Seconds East, along the east line of said Southwest Quarter, a distance of 767.34 feet to the point of beginning, all in DuPage County, Illinois.

Also together with

Parcel 005

That part of the Northeast Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit; Commencing at the Southeast corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing, along the east line of the Southwest Quarter of said Section 23, a distance of 2674.54 feet to the center of said Section 23; thence North 54 Degrees 42 minutes 47 Seconds East, along the northwesterly line of Fair Oaks Road, according to Document No.R79-25887, as monumented and occupied, to the point of beginning; thence North 33 Degrees 42 Minutes 12 Seconds East, 53.96 feet; thence northeasterly along the arc of a curve left, tangent to the last described course, having a radius of 500.00 feet, the chord of which bears North 23 Degrees 53 Minutes 34 Seconds East, 170.39 feet, an arc distance of 171.23 feet; thence North 14 Degrees 04 Minutes 56 Seconds East, tangent to the last described curve, 110.01 feet; thence northeasterly along the arc of a curve left, tangent to the last described course, having a radius of 475.00 feet, the tangent of which bears North 10 Degrees 56 Minutes 24 Seconds East, 52.07 feet, an arc distance of 52.10 feet; thence North 7 Degrees 47 Minutes 52 Seconds East, tangent to the last described curve, 85.12

EXHIBIT "D"

Page 1 of 2

feet to a point in the south line of Emmerts Assessment Plat recorded as Document No.863649, thence North 87 Degrees 57 Minutes 14 Seconds East, along the easterly extension of the south line of said Emmerts Assessment Plat, 40.63 feet to a point in the west line of Fair Oaks Road as dedicated by Document No. R79-025887; thence South 7 degrees 47 Minutes 52 Seconds West (South 8 Degrees 50 Minutes 05 Seconds West record), along said west line of Fair Oaks Road, 348.08 feet; thence South 54 Degrees 42 Minutes 47 Seconds West (South 55 Degrees 45 Minutes 00 Seconds West, record), along the northwesterly line of said Fair Oaks Road, as Dedicated by Document No.R79-025887, a distance of 172.12 feet to the point of beginning, all in DuPage County, Illinois.

EXHIBIT A

Fair Oaks Road Improvement & Multi-Use Path Projects Proposed Project & Future Project Maps

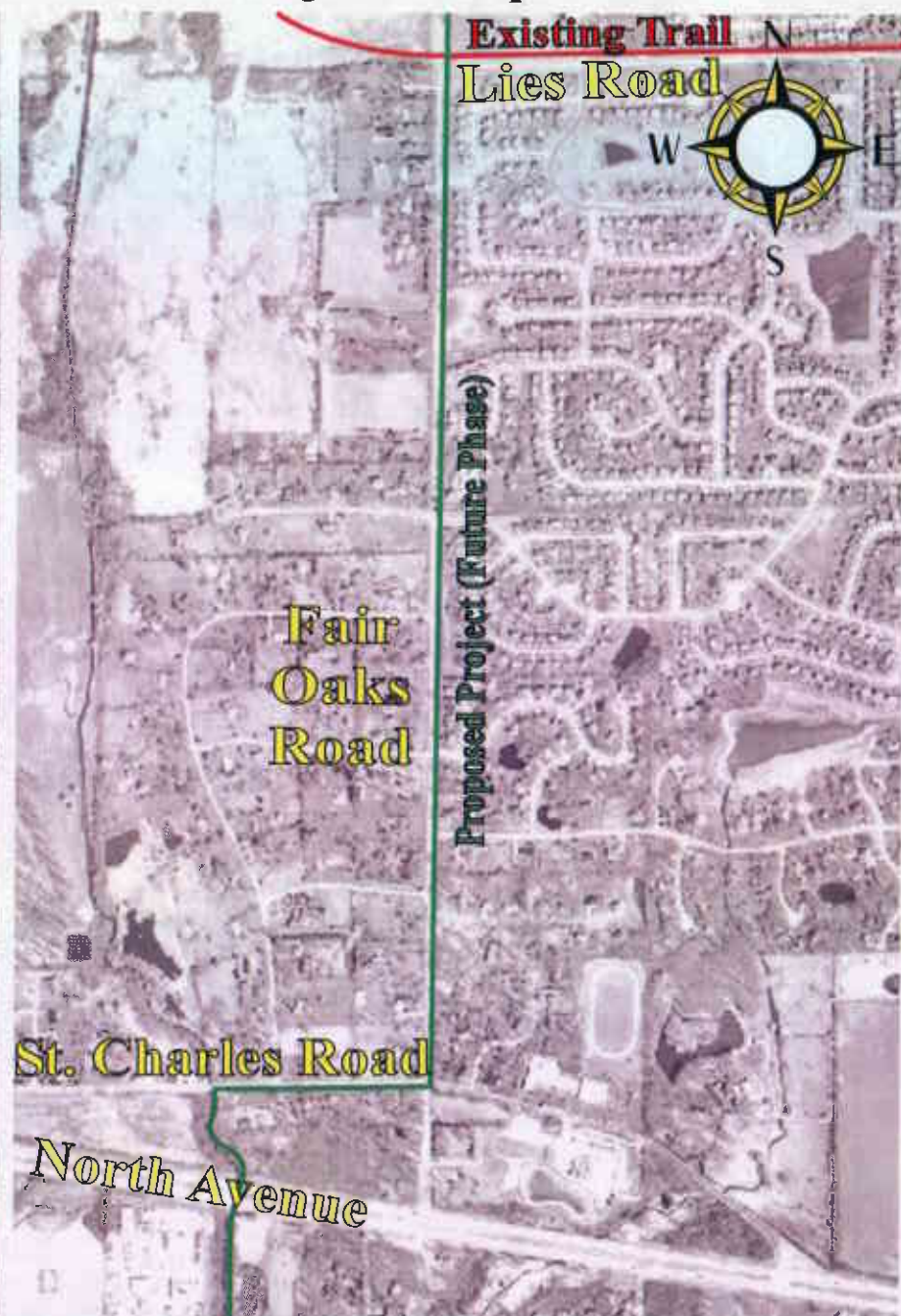


EXHIBIT B

Fair Oaks Road Improvement & Multi-Use Projects

Jurisdictional Map



ORDINANCE NO.

H-3 7-17-06

**AN ORDINANCE APPROVING
AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF CAROL STREAM AND THE FOREST PRESERVE
DISTRICT OF DUPAGE COUNTY, ILLINOIS**

WHEREAS, the Forest Preserve District of DuPage County (“Forest Preserve District”) and the Village of Carol Stream, DuPage County, Illinois, (“Village”), desire to enter into an Intergovernmental Agreement for the transfer of certain territory presently within the jurisdiction of the Forest Preserve District, a copy of said Intergovernmental Agreement being attached hereto and incorporated herein as Exhibit “A”; and

WHEREAS, the Village is desirous and intends to improve portions of Fair Oaks Road between Army Trail Road and St. Charles Road in DuPage County, Illinois; and

WHEREAS, Phase I of the Roadway improvements includes a portion of Fair Oaks Road from Army Trail Road to Plum Grove Court; and,

WHEREAS, Phase II of the Roadway improvements include portions of Fair Oaks Road lying South of Plum Grove Court, some of which is presently within the jurisdiction of the Wayne Township Road District; and,

WHEREAS, portions of the Roadway, specifically lying South of Big Horn Trail and North of Plum Grove Court are within the jurisdiction of the Forest Preserve District of DuPage County (“Forest Preserve District”), and are adjacent to both the Forest Preserve and the Village; and,

WHEREAS, it is necessary for the Village to acquire approximately forty (40) feet of Forest Preserve District land which includes existing right-of-way and additional right-of-way on a portion of the road to provide the anticipated improvements; and,

WHEREAS, the improvements include, without limitation, grading, paving, storm water management, native plantings and additional landscaping, and the installation of a trail on the east side of Fair Oaks Road, and

WHEREAS, in accordance with the requirements of Local Governmental Property Transfer Act, 50 ILCS 605/1, the Village has declared, by ordinance, that it is necessary and convenient for it to acquire, use and occupy the property described herein; and

WHEREAS, the 1970 Illinois Constitution, Article VII, Section 10, as well as the Illinois Revised Statutes, 5 ILCS 220/1 *et seq.*, authorize the Village to enter into an intergovernmental agreement; and,

WHEREAS the Village and the Forest Preserve District intend to cooperate on further improvements on additional portions of Fair Oaks Road between Plum Grove Court and St. Charles Road at such time that road and trail improvements are possible through additional intergovernmental cooperation between the Village, the Forest Preserve and Wayne Township Road District, and upon additional engineering, and property acquisition.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the findings of fact set forth hereinabove in the recitals are hereby adopted and approved by the Board of Trustees of the Village of Carol Stream.

SECTION 2: That the Village hereby approves the Intergovernmental Agreement attached hereto and incorporated by reference herein as Exhibit "A".

SECTION 3: That the Village Clerk is hereby directed to record with the Recorder of Deeds of DuPage County and to file with the County Clerk a certified copy of this Ordinance and the Exhibits thereto.

SECTION 4: That this Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form, as provided by law.

PASSED by the President and Board of Trustees of the Village of Carol Stream, Illinois, this ___ day of _____, 2006, on the first reading, second reading not being requested.

AYES:

NAYS:

ABSENT:

Village President of the Village of
Carol Stream, Illinois

ATTEST:

Village Clerk of the Village of
Carol Stream, Illinois


(Published in pamphlet form and posted on the ___ day of _____).

Village Clerk of the Village
of Carol Stream, Illinois

Approved as to form: _____
Village Attorney

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager

FROM: James T. Knudsen, Director of Engineering Services 

DATE: June 14, 2006

RE: Fair Oaks Road Improvement & Multi-Use Path Projects – Intergovernmental Agreement

The Village of Carol Stream has been meeting with the Forest Preserve District of DuPage County (FPD) to purchase right of way (ROW) for the Village. This ROW is needed for the above referenced project for stormwater conveyance and storage. On Tuesday, July 11th the FPD approved the IGA for the purchase of 1.103 acres of ROW at a cost of \$47,500.00

In order to make the purchase three ordinances will need to be passed. They include the following:

1. Ordinance Declaring the Necessity and Convenience of Purchasing ROW from the FPD. Village code requires 80 feet of total ROW, while presently we have about 40 feet on the eastern side. Therefore, approximately 40 feet of additional ROW is required from the FPD. This ROW is needed for utilities, drainage, and storm water runoff storage (detention).
2. Ordinance Annexing Certain Territory. Once the ROW is purchased it needs to be annexed to become part of the Village.
3. Ordinance Approving an Intergovernmental Agreement between the Village of Carol Stream and the Forest Preserve District of DuPage County. The IGA sets the terms of the purchase of the ROW and defines each party's responsibilities. The Village will pay the FPD \$47,500 for the ROW. We will also be responsible for the design, construction and maintenance of all roadway improvements (including the trail) from Army Trail to Plum Grove Court. The FPD will dedicate the necessary land to the Village in order for us to complete the project. Both parties mutually agree to cooperate on the future roadway and trail improvements from Plum Grove Court to St. Charles Road.

Village and legal staff have reviewed all three documents and found them acceptable. Therefore, staff recommends the approval of all three ordinances.

Cc: William N. Cleveland, Assistant Village Engineer

EXHIBIT A

**INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF CAROL STREAM AND
THE FOREST PRESERVE DISTRICT OF DUPAGE COUNTY, ILLINOIS**

THIS AGREEMENT is made this ____ day of _____, 2006, by and between the Village of Carol Steam (“Village”) and the Forest Preserve District of DuPage County (“Forest Preserve”).

WHEREAS, the Village is desirous and intends to improve portions of Fair Oaks Road between Army Trail Road and St. Charles Road in DuPage County, Illinois (“Roadway”) (Exhibit “A”); and

WHEREAS, Phase I of the Roadway improvements includes a portion of Fair Oaks Road from Army Trail Road to Plum Grove Court; and,

WHEREAS, Phase II of the Roadway improvements include portions of Fair Oaks Road lying South of Plum Grove Court, some of which is presently within the jurisdiction of the Wayne Township Road District; and,

WHEREAS, portions of the Roadway are adjacent to both the Forest Preserve and the Village (See, Exhibit “B”); and,

WHEREAS, it is necessary for the Village to acquire approximately forty (40) feet of Forest Preserve land which includes existing right-of-way and additional right-of-way on a portion of the road as more fully delineated on Exhibit B in order to provide the anticipated improvements; and,

WHEREAS, the improvements include, without limitation, grading, paving, storm water management, native plantings and additional landscaping, and the installation of a

trail on the east side of Fair Oaks Road as delineated on Exhibit "B" ("Roadway Improvements"), and

WHEREAS, the Village is willing to pay for the costs of the Roadway Improvements, subject to the approval of this Agreement, and the terms herein set forth; and,

WHEREAS, the Forest Preserve will directly benefit from the Roadway Improvements; and,

WHEREAS, the Village has authority to improve and maintain those portions of the Roadway within its jurisdiction pursuant to Article 7 of the Illinois Highway Code, 605 ILCS 7-101 et seq.; and,

WHEREAS, the Village and the Forest Preserve are municipalities as defined in Section 1(c) of the Local Government Property Transfer Act, 50 ILCS 605/1 (hereinafter the "Transfer Act"); and

WHEREAS, Section 2 of the Transfer Act authorizes the conveyance of real property from one municipality to another municipality upon a two-thirds vote of the corporate authorities of the transferor municipality; and

WHEREAS, as a condition precedent to a conveyance under Section 2, the transferee municipality must first declare by ordinance "that it is necessary or convenient for it to use, occupy or improve" the real estate held by the transferor municipality; and

WHEREAS, in accordance with the requirements of Section 2, the Village intends to adopt an ordinance declaring that it is necessary and convenient for it to acquire, use and occupy the property described herein; and

WHEREAS, the 1970 Illinois Constitution, Article VII, Section 10, as well as the Illinois Revised Statutes, 5 ILCS 220/1 *et seq.*, authorize the parties hereto to enter into an intergovernmental agreement; and,

WHEREAS the Village and the Forest Preserve District intend to cooperate on further improvements on additional portions of Fair Oaks Road between Plum Grove Court and St. Charles Road at such time that road and trail improvements are possible through additional intergovernmental cooperation between the Village, the Forest Preserve and Wayne Township Road District, and upon additional engineering, and property acquisition.

NOW, THEREFORE, in consideration of the mutual covenants contained in this Agreement, the Parties agree as follows:

1. The Forest Preserve agrees to dedicate to the Village that portion of the Roadway falling within the Forest Preserve boundaries for roadway purposes, and understands that the Village will subsequently annex that portion of the Roadway which has been dedicated for roadway purposes into the Village. A Plat of Dedication is attached hereto and incorporated herein as Exhibit "C", and is legally described in Exhibit "D", attached hereto and incorporated herein.
2. In consideration of the forgoing, the Village agrees to pay for the costs of acquiring the right of way in the amount of \$47,500.00.
3. The Village further agrees to pay for the costs of designing the Roadway Improvements including, without limitation, grading, removing/relocating

utilities and Trail. The Village shall be responsible for all maintenance and repair, including the Trail.

4. The parties agree to defend, indemnify and hold harmless the other parties and/or their officers, agents, employees or designated representatives from and against any and all claims, demands, causes of action or judgments, including, but not limited to, attorney's fees and costs, arising out of or related to any loss, damage, injury or claim, arising out of their respective performance of this agreement.
5. To the extent permitted by law and without cost, and unless a party is self-insured or part of a risk management group, all parties hereto agree to name each and every other party as additional insureds under their respective insurance policies or collective self insurance coverage, and provide coverage for any insurable claim arising out of the performance of any part of this agreement.

IN WITNESS WHEREOF, the parties have hereunto set their hands and affixed their seals on the and in the year first above written.

VILLAGE OF CAROL STREAM

FOREST PRESERVE DISTRICT
OF DUPAGE COUNTY

By: _____

By: _____
President

Attest:

Attest:

Secretary

EXHIBIT A

Fair Oaks Road Improvement & Multi-Use Path Projects Proposed Project & Future Project Maps

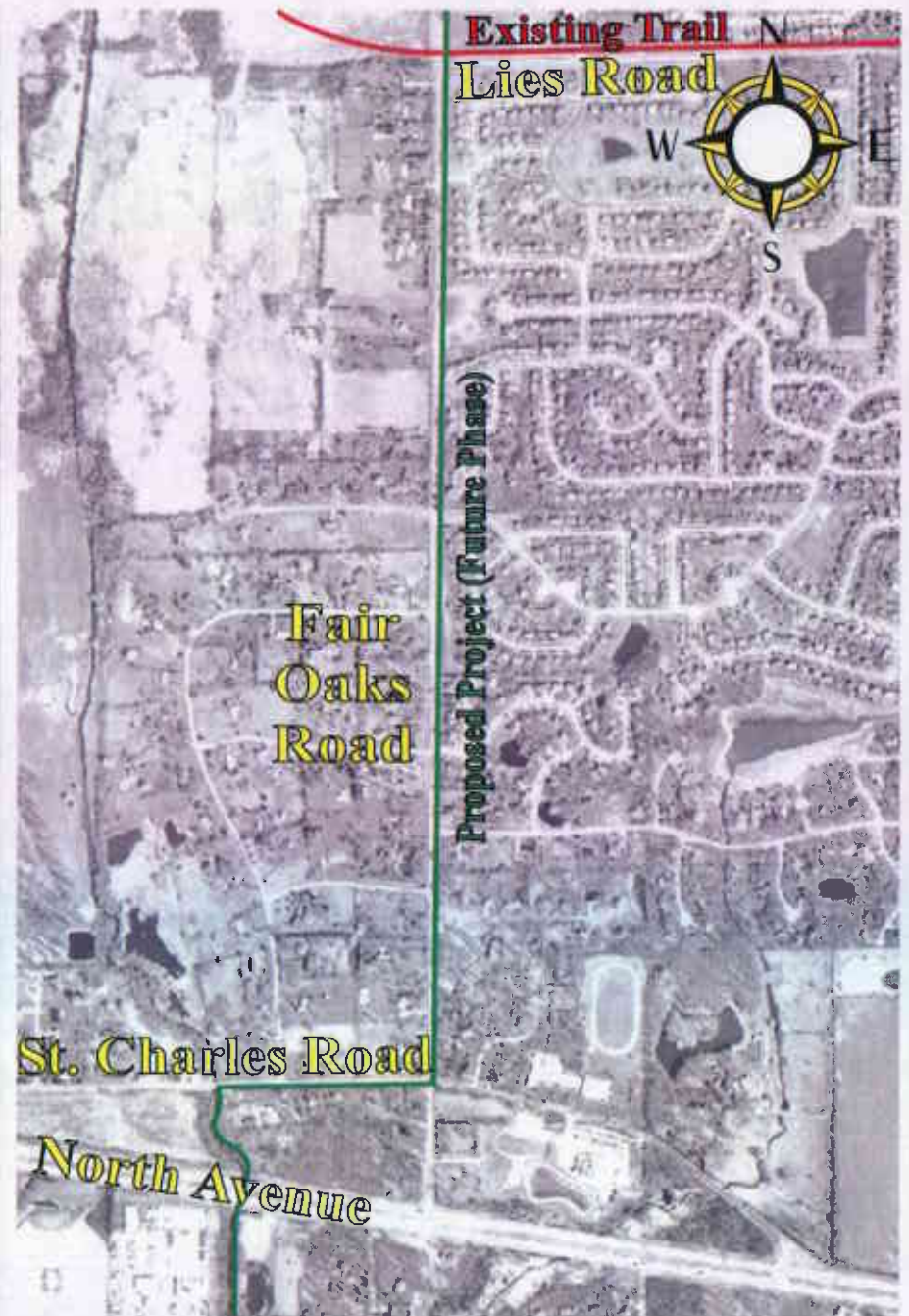
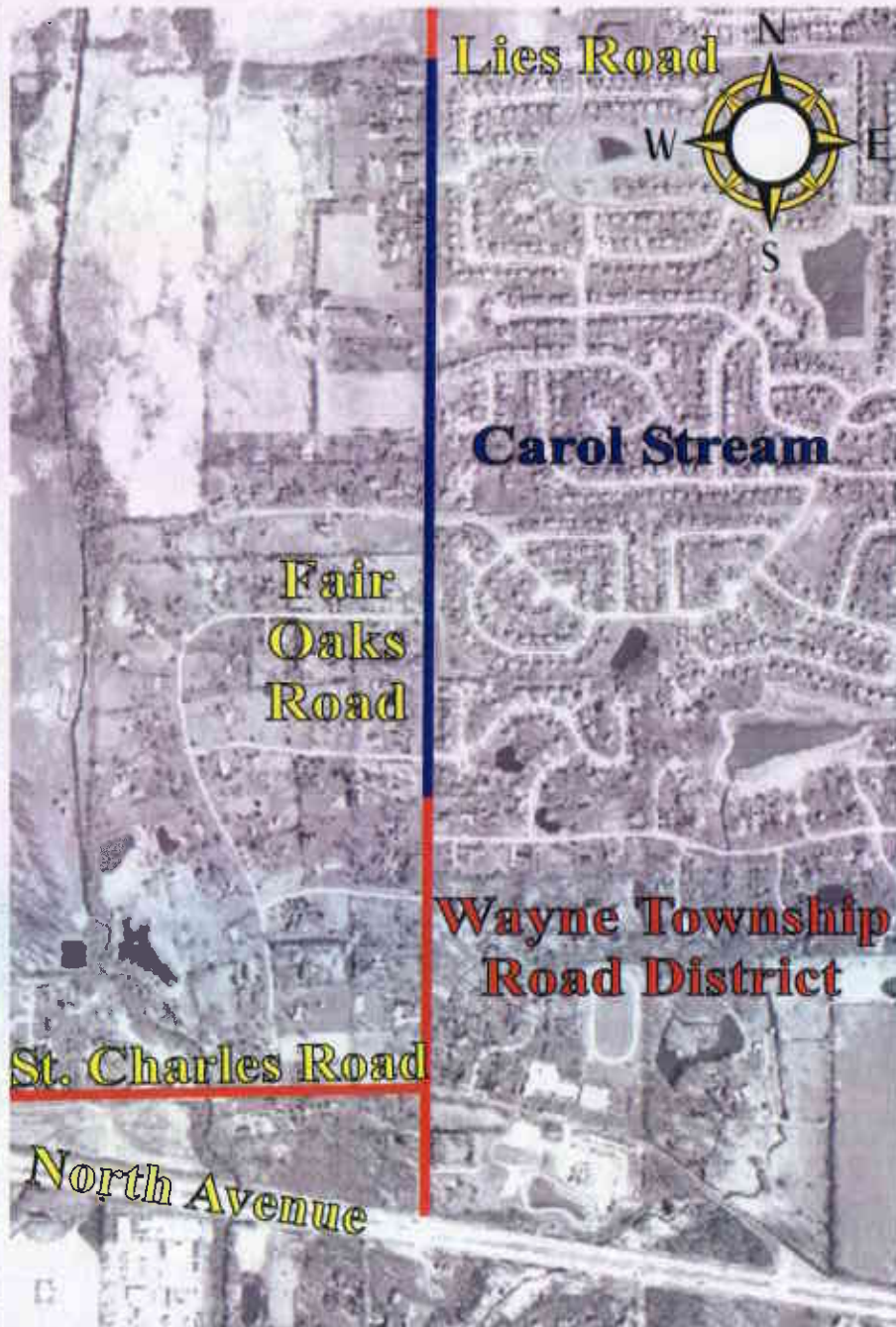
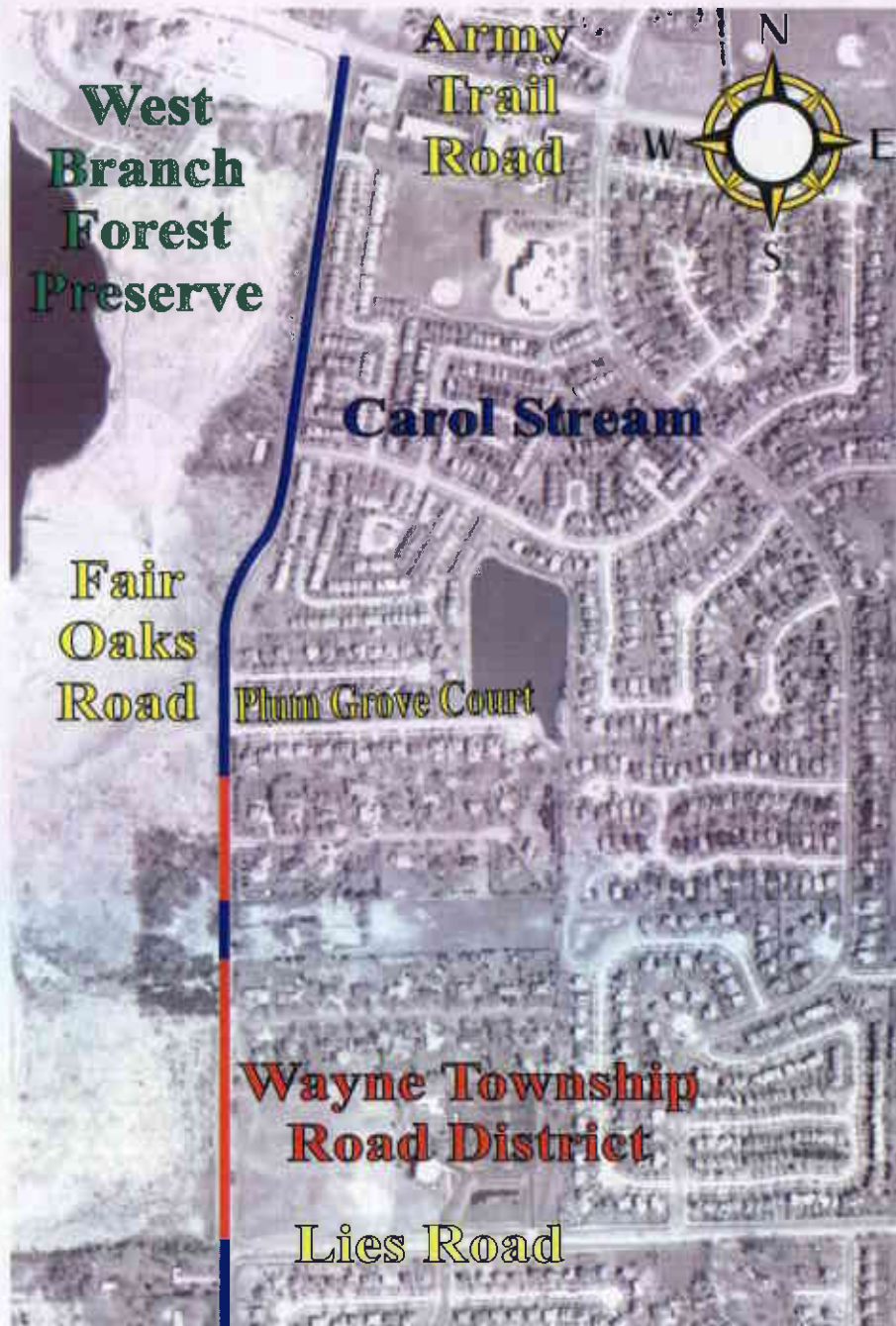


EXHIBIT B

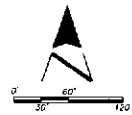
Fair Oaks Road Improvement & Multi-Use Projects

Jurisdictional Map



PLAT OF DEDICATION

For
Public Right-of-Way Purposes
over the following described property:



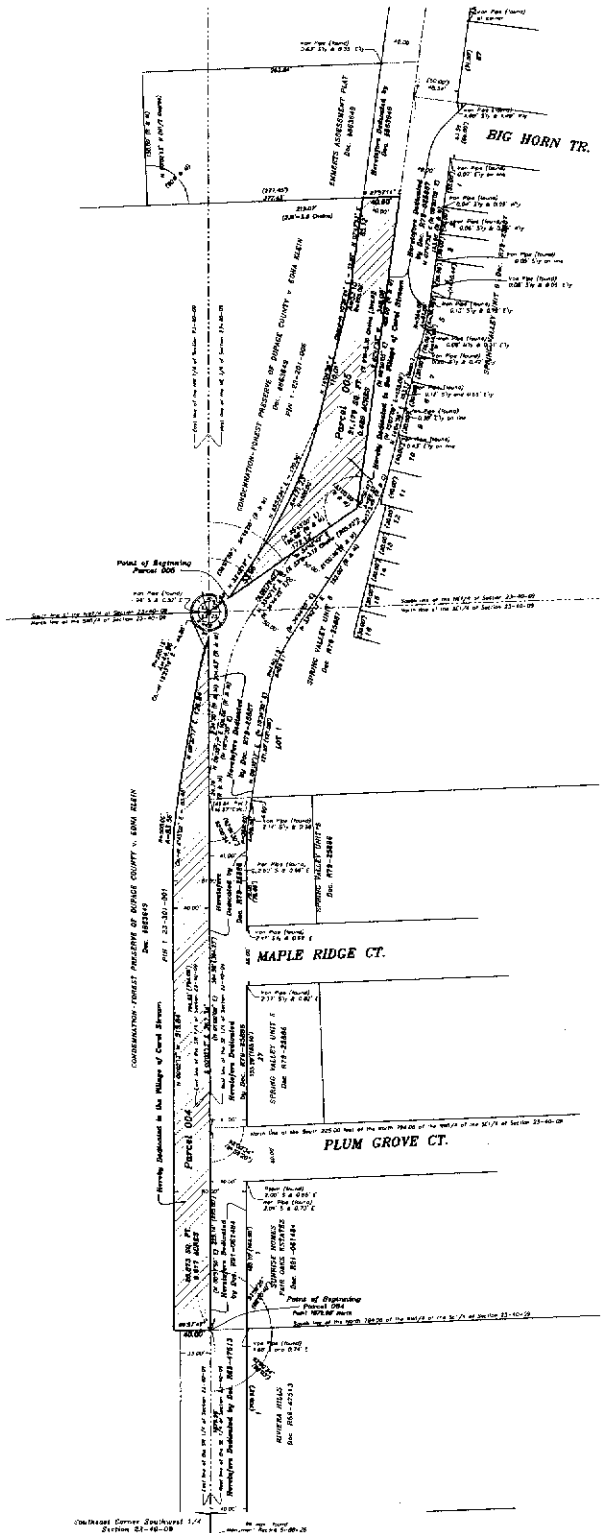
Parcel 004

That part of the East 1/2 of the Southwest Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit: Commencing at the Southwest corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing, along the east line of the Southwest Quarter of said Section 23 a distance of 1,079.99 feet to a point of intersection with the south line of the north 784.08 feet of the Northwest Quarter of the Southwest Quarter of said Section 23; thence South 88 Degrees 57 Minutes 47 Seconds West, perpendicular to the aforementioned east line of the Southwest Quarter of said Section 23, a distance of 40.00 feet; thence North 00 Degrees 02 Minutes 13 Seconds West, along a line 40.00 feet west from and parallel with the east line of the Southwest Quarter of said Section 23, a distance of 515.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 500.00 feet, on an arc distance of 83.56 feet; thence North 32 Minutes 17 Seconds East, tangent to the last described curve, 126.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 500.15 feet, the chord of which bears North 15 Degrees 23 Minutes 18 Seconds East, 44.66 feet, on an arc distance of 44.96 feet to a point in the aforementioned east line of the Southwest Quarter of said Section 23 (also being the east line of Fair Oaks Road as previously dedicated by Document No. R79-25837, R79-23855, and R81-06142); thence South 80 Degrees 02 Minutes 13 Seconds East, along the east line of said Southwest Quarter, a distance of 767.34 feet to the point of beginning, in a DuPage County, Illinois.

Also together with

Parcel 005

That part of the Northeast Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit: Commencing at the Southwest corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing, along the east line of the Southwest Quarter of said Section 23, a distance of 2874.54 feet to the center of said Section 23; thence North 54 Degrees 42 Minutes 47 Seconds East, along the northeasterly line of Fair Oaks Road, according to Document No. R79-25837, as measured and recorded, to the point of beginning; thence North 33 Degrees 42 Minutes 12 Seconds East, 33.96 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 500.00 feet, the chord of which bears North 23 Degrees 53 Minutes 34 Seconds East, 170.39 feet, on an arc distance of 171.23 feet; thence North 74 Degrees 04 Minutes 56 Seconds East, tangent to the last described curve, 171.01 feet; thence northeasterly along the arc of a curve left, tangent to the last described course, having a radius of 475.00 feet, the tangent of which bears North 10 Degrees 08 Minutes 26 Seconds East, 52.07 feet, on an arc distance of 52.10 feet; thence North 7 Degrees 47 Minutes 52 Seconds East, tangent to the last described curve, 25.12 feet to a point in the south line of Emmert's Assessment Plat recorded as Document No. 883648; thence North 87 Degrees 57 Minutes 14 Seconds East, along the westerly extension of the south line of said Emmert's Assessment Plat, 40.63 feet to a point in the east line of Fair Oaks Road as dedicated by Document No. R79-02208; thence South 7 Degrees 47 Minutes 52 Seconds West (South 4 Degrees 50 Minutes 03 Seconds West, record), along said east line of Fair Oaks Road, 348.08 feet; thence South 54 Degrees 42 Minutes 47 Seconds West (South 35 Degrees 45 Minutes 00 Seconds West, record), along the northeasterly line of said Fair Oaks Road, as dedicated by Document No. R79-025867, a distance of 172.12 feet to the point of beginning, in a DuPage County, Illinois.



State of Illinois
County of DuPage

Dedication accepted and approved by the Village Board of the Village of Carol Stream, DuPage County, Illinois, at a meeting held this _____ day of _____, A.D. 2006.

Village Mayor

Village Clerk

State of Illinois
County of DuPage

I, _____, Village Treasurer of the Village of Carol Stream, do hereby certify that there are no delinquent or unpaid current or delinquent property taxes or other assessments that have not been paid against the tract of land included in the plat.

Dated at Carol Stream, Illinois, this _____ day of _____, 2006.

Village Treasurer

State of Illinois
County of DuPage

This is to certify that the Forest Preserve of DuPage County, an Illinois Unit of Local Government and a Corporation organized and existing under and by virtue of the laws of the State of Illinois, is the owner, lessor, lessee, or grantee of the land and has caused the same to be plotted as indicated herein, for the use and purposes of Road Dedication and does hereby acknowledge and ratify the same under the title and file thereon indicated.

Witness our hand and seal this _____ day of _____, 2006.

DuPage County Forest Preserve District

By: _____

Attest: _____

State of Illinois
County of DuPage

I, _____, County Clerk of DuPage County, Illinois, do hereby certify that there are no delinquent general taxes, no unpaid certified taxes, and no delinquent lot sales against any of the land included in the annexed plat.

Given under my hand and seal of DuPage County, Illinois, this _____ day of _____, 2006.

County Clerk

State of Illinois
County of Kaneb

SURVEY SYSTEMS OF AMERICA, INC. does hereby certify that a survey has been made under the direction of an Illinois Professional Land Surveyor, of the property described herein and that the plat herein drawn is a correct representation of said survey.

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Dundee, Illinois, Dated this 29th day of June, A.D. 2006.

By: _____



PREPARED BY:
SURVEY SYSTEMS OF AMERICA, INC.
PROFESSIONAL LAND SURVEYORS
783 S. EIGHTH ST.
DUNDEE, ILLINOIS 60118
PHONE: (847) 428-5775
ORDER # 063-1826.FPD_CS.PD

State of Illinois
County of DuPage

This instrument No. _____ was filed for record in the Recorder's Office of DuPage County, Illinois, on the _____ day of _____, A.D. 2006, at _____ o'clock _____ of _____.

County Recorder

Parcel 004

That part of the East 1/2 of the Southwest Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit: Commencing at the Southeast corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing along the east line of the Southwest Quarter of said Section 23, a distance of 1,879.99 feet to a point of intersection with the south line of the north 794.06 feet of the Northwest Quarter of the Southeast Quarter of said Section 23; thence South 89 Degrees 57 Minutes 47 Seconds West, perpendicular to the aforementioned east line of the Southwest Quarter of said Section 23, a distance of 40.00 feet; thence North 00 Degrees 02 Minutes 13 Seconds West, along a line 40.00 feet west from and parallel with the east line of the Southwest Quarter of said Section 23, a distance of 515.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 500.00 feet, an arc distance of 83.56 feet; thence North 9 Degrees 32 Minutes 17 Seconds East, tangent to the last described curve, 126.84 feet; thence northeasterly along the arc of a curve right, tangent to the last described course, having a radius of 220.15 feet, the chord of which bears North 15 Degrees 23 Minutes 19 Seconds East, 44.88 feet, an arc distance of 44.96 feet to a point in the aforementioned east line of the Southwest Quarter of said Section 23, also being the west line of Fair Oaks Road as previously dedicated by Document No.'s R79-25887, R79-25886, and R91-061484; thence South 00 Degrees 02 Minutes 13 Seconds East, along the east line of said Southwest Quarter, a distance of 767.34 feet to the point of beginning, all in DuPage County, Illinois.

Also together with

Parcel 005

That part of the Northeast Quarter of Section 23, Township 40 North, Range 9 East of the Third Principal Meridian bounded by a line described as follows, to wit: Commencing at the Southeast corner of the Southwest Quarter of said Section 23; thence North 00 Degrees 02 Minutes 13 Seconds West, on an assumed bearing, along the east line of the Southwest Quarter of said Section 23, a distance of 2674.54 feet to the center of said Section 23; thence North 54 Degrees 42 minutes 47 Seconds East, along the northwesterly line of Fair Oaks Road, according to Document No. R79-25887, as monumented and occupied, to the point of beginning; thence North 33 Degrees 42 Minutes 12 Seconds East, 53.96 feet; thence northeasterly along the arc of a curve left, tangent to the last described course, having a radius of 500.00 feet, the chord of which bears North 23 Degrees 53 Minutes 34 Seconds East, 170.39 feet, an arc distance of 171.23 feet; thence North 14 Degrees 04 Minutes 56 Seconds East, tangent to the last described curve, 110.01 feet; thence northeasterly along the arc of a curve left, tangent to the last described course, having a radius of 475.00 feet, the tangent of which bears North 10 Degrees 56 Minutes 24 Seconds East, 52.07 feet, an arc distance of 52.10 feet; thence North 7 Degrees 47 Minutes 52 Seconds East, tangent to the last described curve, 85.12

EXHIBIT "D"

Page 1 of 2

feet to a point in the south line of Emmerts Assessment Plat recorded as Document No.863649, thence North 87 Degrees 57 Minutes 14 Seconds East, along the easterly extension of the south line of said Emmerts Assessment Plat, 40.63 feet to a point in the west line of Fair Oaks Road as dedicated by Document No. R79-025887; thence South 7 degrees 47 Minutes 52 Seconds West (South 8 Degrees 50 Minutes 05 Seconds West record), along said west line of Fair Oaks Road, 348.08 feet; thence South 54 Degrees 42 Minutes 47 Seconds West (South 55 Degrees 45 Minutes 00 Seconds West, record), along the northwesterly line of said Fair Oaks Road, as Dedicated by Document No.R79-025887, a distance of 172.12 feet to the point of beginning, all in DuPage County, Illinois.

EXHIBIT "D"

Page 2 of 2

ORDINANCE NO. _____

APPROVING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT (PUD) AND A PRELIMINARY PUD PLAN APPROVAL (SW CORNER OF GARY AVENUE AND STARK DRIVE)

WHEREAS, Harlem Irving/Folio, LLC, has requested approvals of a Special Use for Planned Unit Development in accordance with Section 16-9-3(C)(1) of the Carol Stream Zoning Code, and a Preliminary Planned Unit Development Plan in accordance with Section 16-16-3 of the Carol Stream Zoning Code; and

WHEREAS, pursuant to proper legal notice, on June 26, 2006, the Combined Plan Commission/Zoning Board of Appeals considered the request for this special use and have determined that it would not pose a negative effect on property values in the area nor would it be unreasonably detrimental to the public health, safety or general welfare; and

WHEREAS, the corporate authorities find that the granting of this special use for a Planned Unit Development would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village, provided certain conditions are met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as the southwest corner of Gary Avenue & Stark Drive, be granted approval of the Special Use for a Planned Unit Development, and a Preliminary Planned Unit Development Plan approval, as shown on the attached Preliminary PUD Plan (Exhibit A, dated May 22, 2006), subject to the following conditions:

1. That the property be developed in accordance with the approved exhibit as included herein.

2. That a true stucco wall be provided for the Crème de al Crème building, and that an EIFS system imitating stucco shall not be allowed.
3. That the proposed landscaping along the fence at the south property line, which is to be located within the Village property, be designed using native species and with plants of sufficient height so as to provide the desired screening, subject to the approval of the Village Engineer.
4. That the retaining wall on the southern property line be constructed of a keystone-type material.
5. That the developer of Lot 2 shall be required to remove the existing overhead power lines at the northwest corner of the property and relocate them underground or as directed by Commonwealth Edison.
6. That the developers of Lot 1 and Lot 2 shall contribute their fair share of the improvement of Old Gary Avenue in accordance with the requirements of the Subdivision Code and to the satisfaction of the Village Engineer.
7. That there shall be no restrictions on Lot 2 that would prevent its development in accordance with the setback requirements of the Gary Avenue Corridor.
8. That the Site Data Tables on the PUD Plans be corrected to indicate the correct parking requirement for restaurants prior to the plans being brought to the Village Board for approval.
9. That all landscape materials shall be maintained in a neat and healthy manner, with dead or dying materials replaced with the approved size and type species on an annual basis.
10. That the parking stalls shall be striped in accordance with the Village's looped striping requirements.
11. That all rooftop equipment shall be completely screened from view in all directions.
12. That all ground mounted mechanical equipment shall be screened from view from surrounding public streets.
13. That only channel letter wall signs and no box signs shall be permitted.
14. That separate building permits are required for all trash enclosures.
15. That the development of the site and buildings will comply with all state, county and Village Codes and requirements.

LEGAL DESCRIPTION:

That part of the west ½ of the southeast ¼ of Section 20, Township 40 North, Range 10, East of the Third Principal Meridian, described as follows:

commencing at the southwest corner of the southeast $\frac{1}{4}$ of said Section 20; thence north 00 degrees 05 minutes 10 seconds west along the west line of the southeast $\frac{1}{4}$ of said Section 20, a distance of 1306.22 feet; thence north 89 degrees 51 minutes 43 seconds east, 33.00 feet to an intersection with the east line of Old Gary Avenue to a point of beginning, said line being a line 33.00 feet, as measured at right angles, east of and parallel with the west line of the southeast $\frac{1}{4}$ of said Section 20; thence north 00 degrees 04 minutes 10 seconds west along said east line of Old Gary Avenue, 726.04 feet to a point of curvature with the southerly line of Stark Drive as dedicated per Document R80-42176, recorded July 25, 1980; thence northeasterly along said southerly line of Stark Drive, being a curved line convex northwesterly, having a radius of 20.00 feet and being tangent to said last described line at said last described point, an arc distance of 31.45 feet to a point of tangency in said southerly line of Stark Drive (the chord of said arc bears north 44 degrees 57 seconds east, 28.31 feet); thence south 89 degrees 59 minutes 43 seconds east along the south line of said Stark Drive, being tangent to said last described curved line at said last described point, 383.76 feet to a point of curvature in said line; thence southeasterly along said southerly line of Stark Drive, being a curved line convex northeasterly, having a radius of 20.00 feet and being tangent to said last described line at said last described point, an arc distance of 31.80 feet to a point of compound curvature with the westerly line of relocated Gary Avenue as dedicated per instrument recorded January 30, 1980 as Document R80-6941 (the chord of said last described arc bears south 44 degrees 26 minutes 47 seconds east, 28.55 feet); thence southerly along said westerly line of relocated Gary Avenue, being a curved line convex easterly, having a radius of 4247.18 feet and being tangent to said last described curved line at said last described point, an arc distance of 729.75 feet to a point (the chord of said arc bears south 08 degrees 01 minutes 29 seconds west, 728.85 feet); thence south 89 degrees 51 minutes 43 seconds west, 346.19 feet to the point of beginning, in DuPage County, Illinois.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after

execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

I, _____, being the owner or other party of interest of the property

(please print)

legally described within this Ordinance, having read a copy of the Ordinance, do hereby accept, concur and agree to develop and use the subject property in accordance with the terms of this Ordinance.

(Date)

(signature)

AGENDA ITEM

ORDINANCE NO. _____

4-5 7-17-06

**APPROVING A FINAL PLANNED UNIT DEVELOPMENT PLAN AND SPECIAL USE
FOR A PRESCHOOL LEARNING CENTER
(SW CORNER OF GARY AVENUE AND STARK DRIVE)**

WHEREAS, Harlem Irving/Folio, LLC, has requested approval of a Final Planned Unit Development in accordance with Section 16-16-4 of the Carol Stream Zoning Code, and a Special Use for a preschool learning center for proposed Lot 1 in accordance with Section 16-9-3 (C)(1) of the Carol Stream Zoning Code in the B-2 General Retail District; and

WHEREAS, pursuant to proper legal notice, on June 26, 2006, the Combined Plan Commission/Zoning Board of Appeals considered the request for this special use and have determined that it would not pose a negative effect on property values in the area nor would it be unreasonably detrimental to the public health, safety or general welfare; and

WHEREAS, the corporate authorities find that the approval of the Final Planned Unit Development (PUD) Plan and the granting of the special use for a preschool learning center would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village, provided certain conditions are met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as the southwest corner of Gary Avenue and Stark Drive, be granted a Special Use for a Preschool Learning Center for Lot 1, and approval of the Final Planned Unit Development Plan for Lot 1, as shown on the attached Final PUD Plan (Exhibit A, dated June 14,2006), Landscape Plan (Exhibit B, dated June 19, 2006),

Building Elevations (Exhibit C updated), Trash Enclosure Details (Exhibit D, dated May 22, 2006), and Sign Elevation (Exhibit E, dated May 22, 2006), subject to the following conditions:

1. That the property be developed in accordance with the approved exhibits as included herein and presented to the Plan Commission.
2. That a true stucco wall be provided for the Crème de la Crème building, and that an EIFS system imitating stucco shall not be allowed.
3. That the proposed landscaping that is to be located within the Village property along the fence at the south property line be designed using native species and with plants of sufficient height so as to provide the desired screening, subject to the approval of the Village Engineer.
4. That the retaining wall on the southern property line be constructed of a keystone-type material.
5. That the developers shall contribute their fair share of the improvement of Old Gary Avenue in accordance with the requirements of the Subdivision Code and to the satisfaction of the Village Engineer.
6. That the trees to be planted adjacent to the 8-foot fence shall be no less than eight feet in height at time of planting.
7. That the 8-foot PVC fence shall be tan in color.
8. That all landscape materials be maintained in a neat and healthy manner, with dead or dying materials replaced with the approved size and type of species on an annual basis.
9. That the parking stalls shall be striped in accordance with the Village's looped striping requirements.
10. That all rooftop equipment shall be completely screened from view in all directions.
11. That all ground mounted mechanical equipment shall be screened from view from surrounding public streets.
12. That only channel letter wall signs and no box signs shall be permitted.
13. That separate building permits are required for all trash enclosures.
14. That separate building permits are required for all signs.
15. That the development of the site and buildings will comply with all state, county and Village Codes and requirements.

LEGAL DESCRIPTION:

That part of the west ½ of the southeast ¼ of Section 20, Township 40 North, Range 10, East of the Third Principal Meridian, described as follows: commencing at the southwest corner of the southeast ¼ of said Section 20; thence north 00 degrees 05 minutes 10 seconds west along the west line of the southeast ¼ of said Section 20, a distance of 1306.22 feet; thence north 89 degrees 51 minutes 43 seconds east, 33.00 feet to an intersection with the east line of Old Gary Avenue to a point of beginning, said line being a line 33.00 feet, as measured at right angles, east of and parallel with the west line of the southeast ¼ of said Section 20; thence north 00 degrees 04 minutes 10 seconds west along said east line of Old Gary Avenue, 726.04 feet to a point of curvature with the southerly line of Stark Drive as dedicated per Document R80-42176, recorded July 25, 1980; thence northeasterly along said southerly line of Stark Drive, being a curved line convex northwesterly, having a radius of 20.00 feet and being tangent to said last described line at said last described point, an arc distance of 31.45 feet to a point of tangency in said southerly line of Stark Drive (the chord of said arc bears north 44 degrees 57 seconds east, 28.31 feet); thence south 89 degrees 59 minutes 43 seconds east along the south line of said Stark Drive, being tangent to said last described curved line at said last described point, 383.76 feet to a point of curvature in said line; thence southeasterly along said southerly line of Stark Drive, being a curved line convex northeasterly, having a radius of 20.00 feet and being tangent to said last described line at said last described point, an arc distance of 31.80 feet to a point of compound curvature with the westerly line of relocated Gary Avenue as dedicated per instrument recorded January 30, 1980 as Document R80-6941 (the chord of said last described arc bears south 44 degrees 26 minutes 47 seconds east, 28.55 feet); thence southerly along said westerly line of relocated Gary Avenue, being a curved line convex easterly, having a radius of 4247.18 feet and being tangent to said last described curved line at said last described point, an arc distance of 729.75 feet to a point (the chord of said arc bears south 08 degrees 01 minutes 29 seconds west, 728.85 feet); thence south 89 degrees 51 minutes 43 seconds west, 346.19 feet to the point of beginning, in DuPage County, Illinois.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this

Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

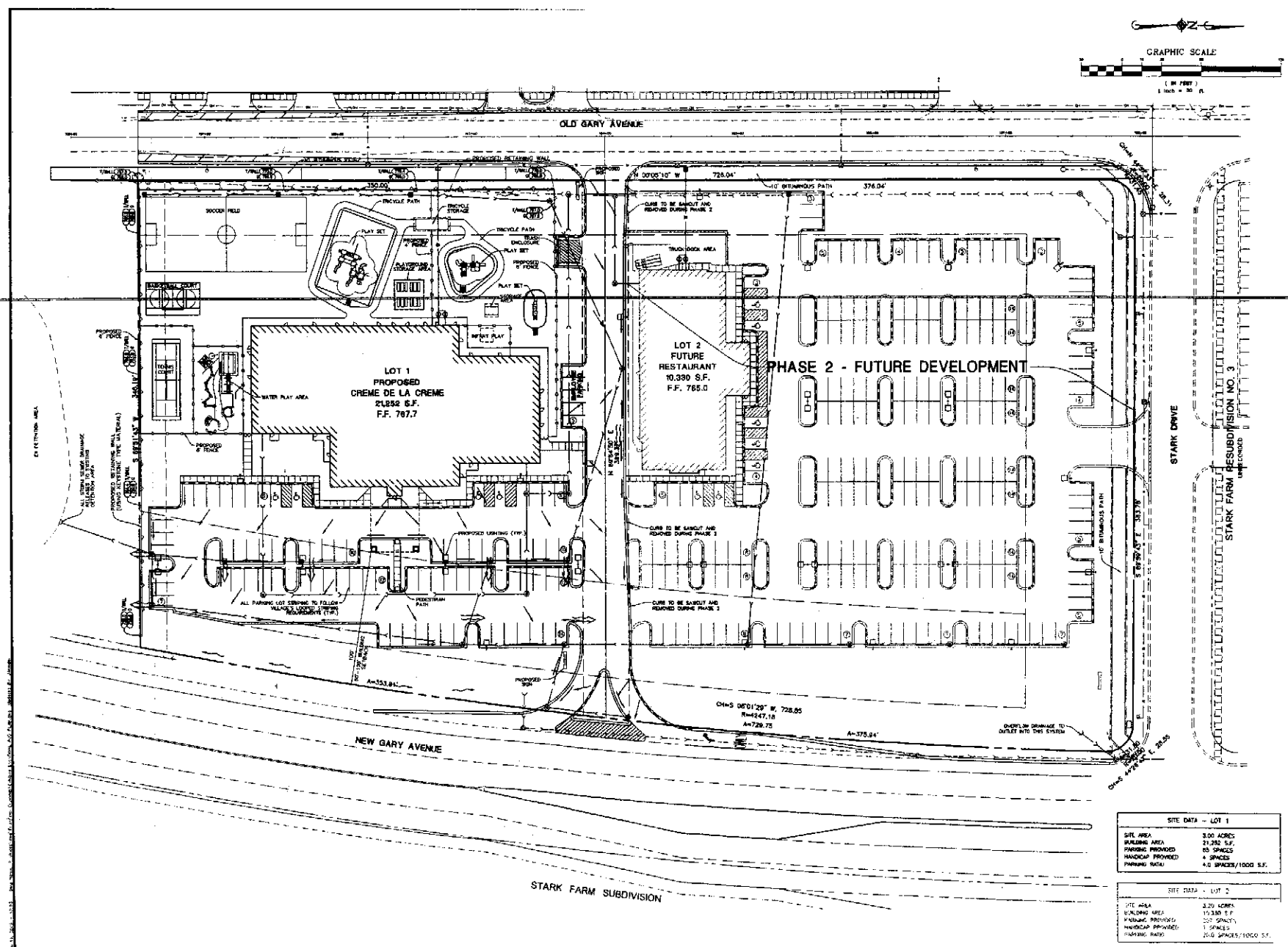
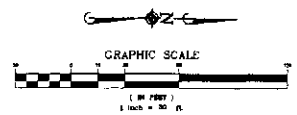
I, _____, being the owner or other party of interest of the property

(please print)

legally described within this Ordinance, having read a copy of the Ordinance, do hereby accept, concur and agree to develop and use the subject property in accordance with the terms of this Ordinance.

(Date)

(signature)



SITE DATA - LOT 1	
SITE AREA	3.00 ACRES
BUILDING AREA	21,852 S.F.
PARKING PROVIDED	85 SPACES
MANICURE PROVIDED	4 SPACES
PARKING RATIO	4.0 SPACES/1000 S.F.

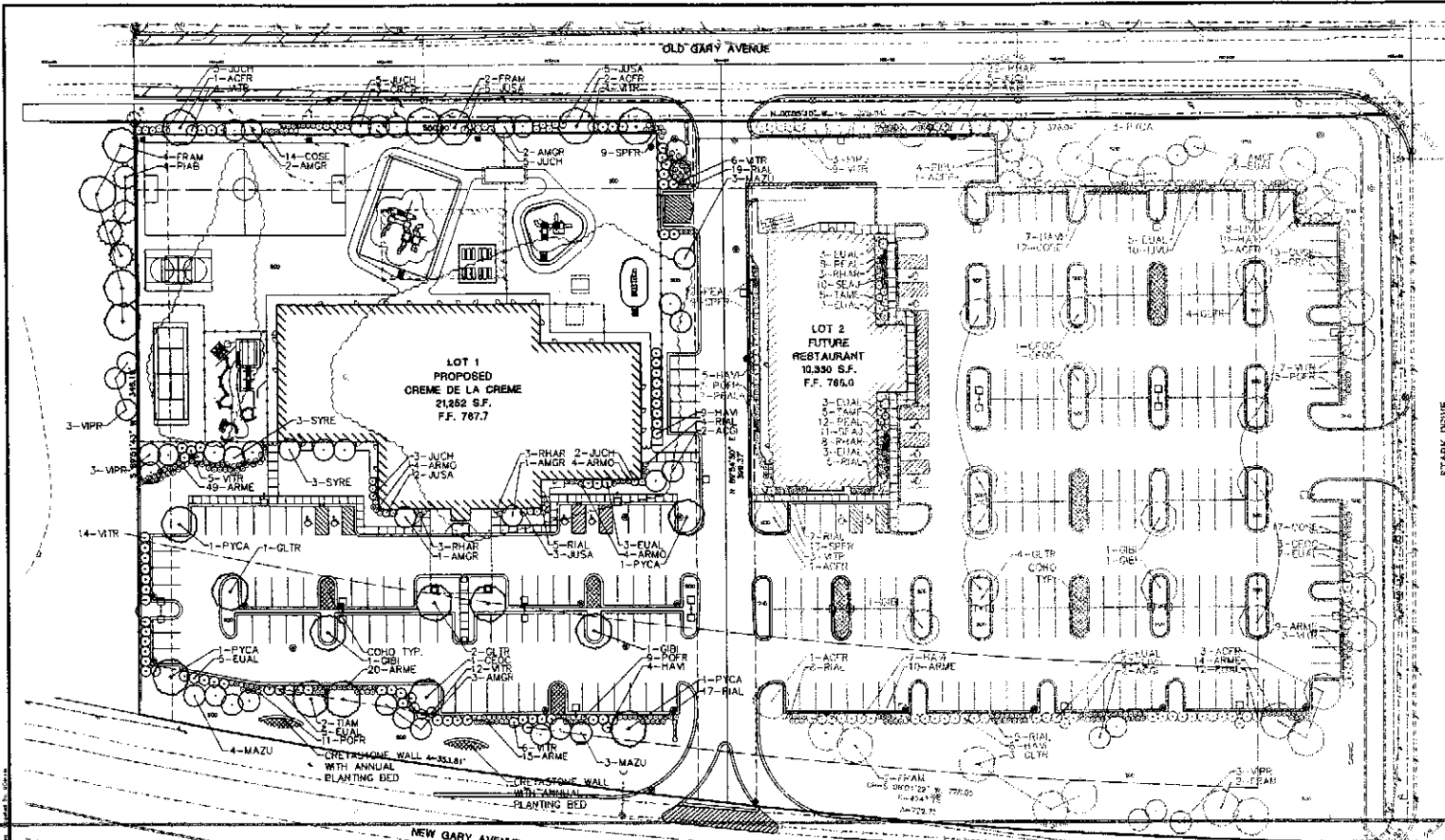
SITE DATA - LOT 2	
SITE AREA	3.20 ACRES
BUILDING AREA	10,390 S.F.
PARKING PROVIDED	100 SPACES
MANICURE PROVIDED	1 SPACES
PARKING RATIO	20.0 SPACES/1000 S.F.

Manhard Consulting, Ltd.
 Civil Engineer - Surveyor - Water Resources Engineer - Road & Transportation Engineer
 Environmental Scientist - Landscape Architect - Planning - Construction Management
 1000 Lakeshore Drive, Suite 100, Oak Brook, IL 60151-3200, USA
 Phone: 630-581-1100, Fax: 630-581-1101, Email: info@manhard.com

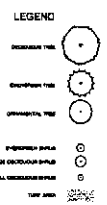
COMMERCIAL PUD DEVELOPMENT
CAROL STREAM, ILLINOIS
FINAL PUD PLAN FOR LOT 1

DATE: 11-14-20
 DRAWN BY: J.S.
 CHECKED BY: J.S.
 SCALE: AS SHOWN

Exhibit A



STARK DRIVE



NOTE: ALL LANDSCAPE MATERIALS SHOULD BE MAINTAINED IN A NEAT AND HEALTHY MANNER, WITH DEAD OR DYING MATERIALS REPLACED WITH THE APPROVED SIZE AND TYPE SPECIES ON AN ANNUAL BASIS.

UTILITY NOTES:
 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT JULIE, THE COUNTY PUBLIC WORKS DEPARTMENT AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
 2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
 3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS USED IN PLACING THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE COUNTY. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER IN RESPECT TO THE CONTRACTOR'S ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

Call 48 hours before you dig
 1-800-892-0123

LANDSCAPE AREAS - LOT 1

LOCATION	AREA	POINTS REQUIRED	POINTS PROVIDED
DRIVE SPACE	3,284 S.F.	17.24 (at 1.25 plants/1,000 sq ft)	5,100 points
LANDSCAPE STRIPS	18,978 S.F.	103.62 (at 1.25 plants/1,000 sq ft)	4,970 points
PARKING LOT AREA	2,000 S.F.	10.00 (at 1.25 plants/1,000 sq ft)	2,700 points
TOTAL		37.86	12,770

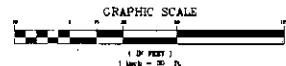
NOTE: 50% REDUCTION IS APPLIED TO THE POINTS OF THE DRIVE STRIPS WHERE EXISTING CURBS ARE MAINTAINED. ADDITIONAL PLANTING TO THE SOUTH OF LOT 1 (2,000 POINTS) IS ALSO REQUIRED. THESE ARE NOT ADDED TO THE ABOVE TOTALS. (PLAN POINTS NOT COUNTED TOWARDS ABOVE TOTALS.)

LANDSCAPE AREAS - LOT 2

LOCATION	AREA	POINTS REQUIRED	POINTS PROVIDED
DRIVE SPACE	1,000 S.F.	5.00 (at 1.25 plants/1,000 sq ft)	1,000 points
LANDSCAPE STRIPS	10,000 S.F.	50.00 (at 1.25 plants/1,000 sq ft)	2,000 points
PARKING LOT AREA	1,000 S.F.	5.00 (at 1.25 plants/1,000 sq ft)	1,000 points
TOTAL		60.00	4,000

NOTE: 50% REDUCTION IS APPLIED TO THE POINTS OF THE DRIVE STRIPS WHERE EXISTING CURBS ARE MAINTAINED. ADDITIONAL PLANTING TO THE SOUTH OF LOT 2 (2,000 POINTS) IS ALSO REQUIRED. THESE ARE NOT ADDED TO THE ABOVE TOTALS. (PLAN POINTS NOT COUNTED TOWARDS ABOVE TOTALS.)

LANDSCAPE DEFINITIONS:
 SCENERY: Disposition during development of the land in such relation to natural characteristics as the site of development and other features, scenic considerations as otherwise noted.
 DRIVEWAY: All land on a site which is within the curbed area or other area building materials.
 DRIVE SPACE: Land within a particular site to be retained open to building construction used in automobile parking or circulation.



Manhard Consulting, Ltd.
 Civil Engineer, Surveyor, Water Resources Engineer, Water & Wastewater Engineer
 Environmental Scientist, Landscape Architect, Planner, Construction Manager
 487 Main Street, Toronto, Ontario, M5E 1B5, Canada
 Tel: (416) 593-1111 Fax: (416) 593-1112

COMMERCIAL P.U.D. DEVELOPMENT
VILLAGE OF CAROL STREAM, ILLINOIS
FINAL LANDSCAPE PLAN FOR LOT 1

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
SHADE TREES - selected from the following:					
SECO	1	<i>Liquidambar styraciflua</i>	American Sweetgum	12" cal.	
FRAX	2	<i>Quercus macrocarpa</i>	Common Hickory	12" cal.	
FRAX	2	<i>Fraxinus americana</i>	American White Ash	12" cal.	
FRAX	2	<i>Fraxinus pennsylvanica</i>	Green Ash	12" cal.	
FRAX	2	<i>Fraxinus nigra</i>	Black Ash	12" cal.	
FRAX	2	<i>Fraxinus velutina</i>	Velvet Ash	12" cal.	
FRAX	2	<i>Fraxinus pennsylvanica</i>	Green Ash	12" cal.	
FRAX	2	<i>Fraxinus nigra</i>	Black Ash	12" cal.	
FRAX	2	<i>Fraxinus velutina</i>	Velvet Ash	12" cal.	
UNDERSTORY TREES - selected from the following:					
ACOR	1	<i>Acor gramineus</i>	Flame Azalea	10" ht.	Clump form
ACOR	1	<i>Acor gramineus</i>	Flame Azalea	10" ht.	Clump form
ACOR	1	<i>Acor gramineus</i>	Flame Azalea	10" ht.	Clump form
ACOR	1	<i>Acor gramineus</i>	Flame Azalea	10" ht.	Clump form
ACOR	1	<i>Acor gramineus</i>	Flame Azalea	10" ht.	Clump form
EVERGREEN TREES - selected from the following:					
PLAN	1	<i>Thuja occidentalis</i>	Eastern White Cedar	8" ht.	
PLAN	1	<i>Thuja occidentalis</i>	Eastern White Cedar	8" ht.	
PLAN	1	<i>Thuja occidentalis</i>	Eastern White Cedar	8" ht.	
PLAN	1	<i>Thuja occidentalis</i>	Eastern White Cedar	8" ht.	
PLAN	1	<i>Thuja occidentalis</i>	Eastern White Cedar	8" ht.	
PERENNIALS & BIENNIALS - selected from the following:					
PERN	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
PERN	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
PERN	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
PERN	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
PERN	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
GROUND COVER & PERENNIALS - selected from the following:					
COVE	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
COVE	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
COVE	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
COVE	1	<i>Aspidistra</i>	Aspidistra	12" cal.	
COVE	1	<i>Aspidistra</i>	Aspidistra	12" cal.	

- All plants specified by the contractor shall be grown in field, grown with least soil added.
- Plant sizes are minimum. The contractor shall meet all size requirements listed. Contractor shall determine if the plants meet the requirements set by the American Standards for Nursery Stock.
- All plants received and conform to the latest edition of American Standard for Nursery Stock published by The American Association of Nurserymen.
- The contractor is to be responsible for the protection of existing plants, structures, utilities and other construction areas until the preliminary acceptance. The contractor shall provide berms, temporary fencing, signs, written warning or posting as may be required to protect such areas.
- All landscape planting islands shall be protected to height of 12".

SPECIFICATIONS

1. Field Verification
The Contractor shall verify all existing conditions and dimensions in the field prior to bidding and report any discrepancies to the Owner or his representative.

2. Protection of Existing Site and Existing Site Features
The Contractor shall provide at his own expense, protection against encroachment and damage to existing areas, planted areas and other construction areas until the preliminary acceptance. The contractor shall provide berms, temporary fencing, signs, written warning or posting as may be required to protect such areas.

The Contractor shall not be responsible for any damage caused by trees or shrubs which have been removed.

dead branches and broken branches. Pruning shall complement plants natural form. Absolutely NO top pruning is allowed, except hedges. Any plant that is to be pruned is subject to rejection by the Landscape Architect. Evergreen trees and shrubs shall be pruned of dead and broken branches and as directed by the Landscape Architect. All pruning work shall be done with hand pruners only.

Stemways, if trees are necessary immediately after installation and prior to acceptance. When high winds or other conditions occur, the Landscape Contractor shall take whatever precautions he deems necessary to protect the survival and appearance of the plants. These steps shall be taken at no additional expense to the Owner.

4. Inspection of Plant Material
All plant material shall be inspected and approved by the Landscape Architect/Owners Representative reserves the right to reject any plants which fail to meet this inspection. All rejected material shall be removed from the site by the Contractor. Height of evergreen trees are measured from the top of soil to the first lateral branch closest to the tree. Height and/or width of other plants so specified are measured by the mass of the plant not the very tip of the branches.

3. Planting Techniques
All planting techniques and methods shall be consistent with the latest edition of "Nurserymen Standards of Nurserymen, Inc.," and as detailed on these drawings. All deciduous plant material shall be balled and banded to remove 1/2" diameter branches.

4. Planting Island
All planting islands shall be protected to height of 12".

5. Plant Substitution
Substitution from the specified list will be accepted only when evidence in writing is submitted to the Landscape Architect, showing that the plant specified is not available. Requests for approval of substitute plant material shall include common and botanical names and size of substitute material. Only those substitutions of equal or greater size and having seasonal characteristics similar to the originally specified material will be approved. Acceptance or rejection of substitute plant material will be issued in writing by the Landscape Architect.

6. Planting Soil
Planting soil shall be replaced in all disturbed areas to a minimum depth of six inches. The planting soil shall be amended by the contractor at the time of placement. The amended topsoil shall consist of three parts topsoil, one part compost, one part sand and five pounds of bone meal per cubic yard.

7. Mulch
All disturbed areas including shrub beds and individual trees shall be mulched with a minimum of 2" level shredded bark. This mulch shall be approved by the Landscape Architect/Owners Representative. Perennial, ground cover and annual flower beds shall be mulched with 2" of finely ground compost.

8. Pre-emergent Herbicide
All shrub beds, individual tree rings and ground cover beds shall be treated with a pre-emergent herbicide prior to the mulch being installed. These areas shall be weed free prior to herbicide application.

9. Sodding
Sod shall be Kentucky Bluegrass and is required in all areas as noted on the landscape plan. Sod should be grown from at least four varieties of quality seed. Sodbeds shall be 3:1 or greater shall be installed to prevent erosion and windout. Sod is to be laid within 8 hours of the delivery time to the site. Watering shall continue until all sod areas are thoroughly wet to the ground.

10. Seeding
All lawn areas on landscape plan specified to be seeded shall be seeded as specified below:

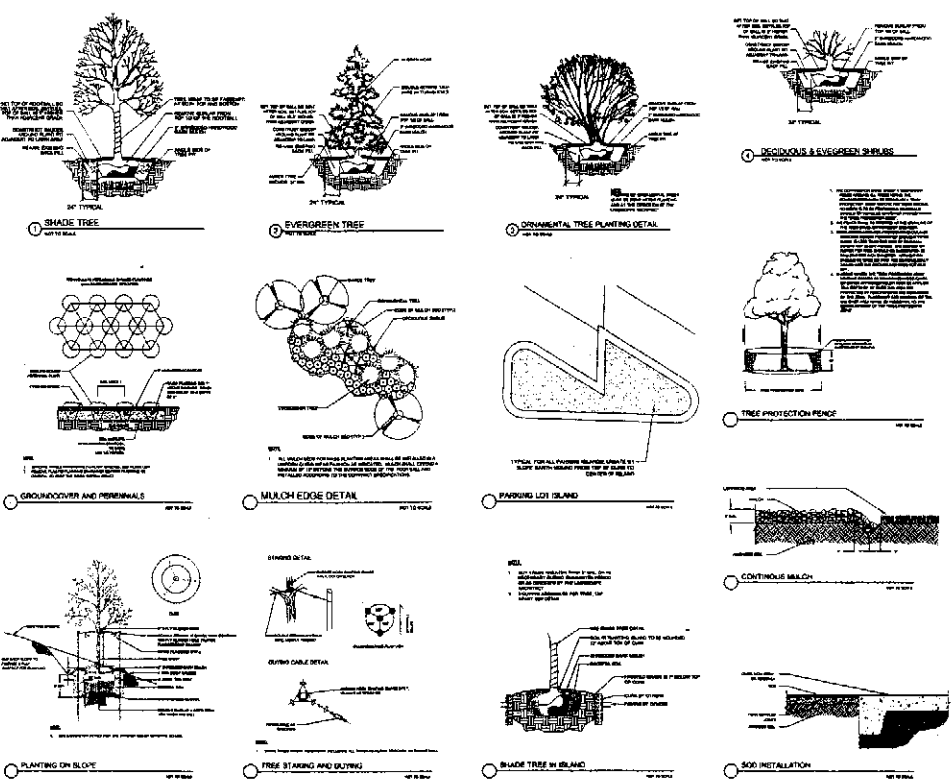
A. Topsoil
Soil shall be spread over all areas to be seeded to a minimum depth of 2" when compacted.

B. Seed Mixture and Application Rate

Kentucky Bluegrass (4 varieties)	60%
Perennial Ryegrass	20%
Ryegrass or Creeping Red Fescue	20%

Apply at the rate of 5.5 lbs. per 1,000 sq. ft.

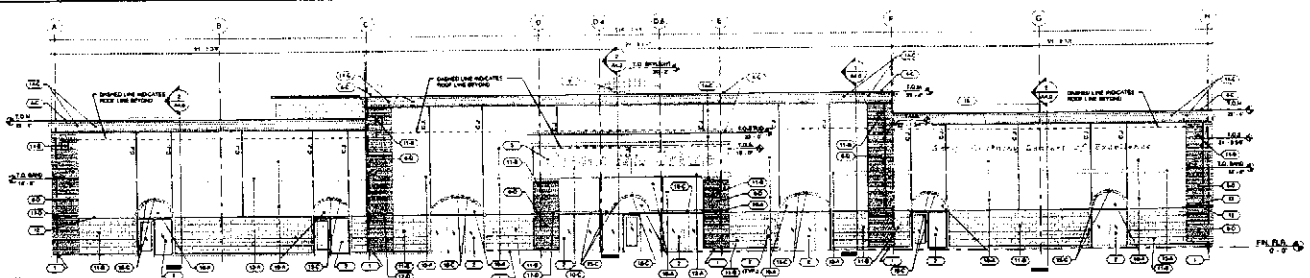
PLANTING DETAILS



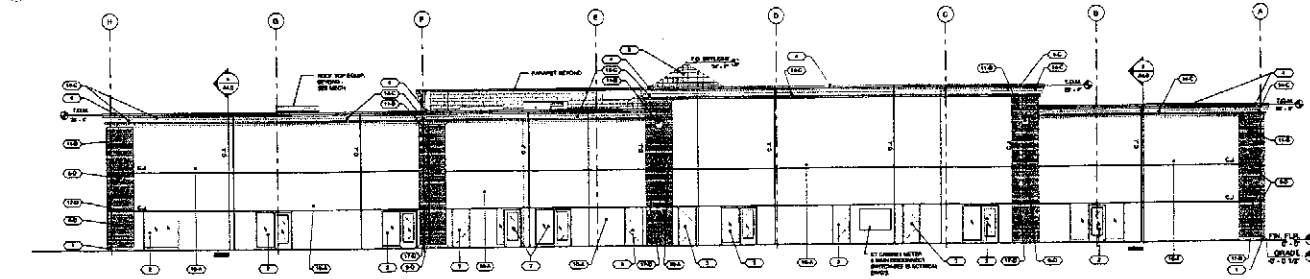
- Fertilization**
The contractor shall acquire site specific soil analysis from a reputable firm, amend soil, and fertilize at one year for the findings of the analysis. The contractor shall supply the Landscape Architect with all findings, analysis, and recommendations. Apply fertilizers and conditioners at the rate specified per soil test findings. At least 40% of the fertilizer nitrogen shall be of an organic origin.
- Watering**
Seeded areas shall be watered to insure proper germination. Once seeds have germinated, watering may be decreased but the seedlings must never be allowed to dry out completely. Frequent watering should be continued for approximately four (4) weeks after germination or until grass has become sufficiently established to warrant watering on an "as needed" basis. All plant material watering will be the responsibility of the contractor until acceptance by the owner and the Landscape Architect/Owners Representative.
- Establishment**
Turf may be established on a variety of slope conditions. It shall be the contractor's responsibility to determine and implement whatever procedures he deems necessary to establish the turf as part of his work. Seeded areas will be accepted when all areas show uniform stand of the specified grass in healthy condition and at least 60 days have elapsed since the completion of this work. A uniform stand is defined as an area where the grass is growing thickly without bare spots larger than 12" x 12". The Contractor shall submit his bid a description of the methods and procedures he intends to use.
- Preliminary Acceptance**
All plantings shall be maintained by the Contractor for a period of 60 days after preliminary acceptance by the Owner. Maintenance shall include, but is not limited to, mowing and edging turf, pulling weeds, watering turf and plant material, and annual flower maintenance.
- Final Acceptance**
Final acceptance will be granted by the Landscape Architect/Owners Representative upon receipt of written request by the contractor, combined with an acceptable final review of the installation by the Landscape Architect/Owners Representative. All plant material (excluding annual flowers) shall be guaranteed for two years after the end of the 60 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner, and the Landscape Architect/Owners Representative. All plants that are not vigorous, healthy and in good condition shall be replaced by the Landscape Contractor at no additional expense to the Owner. These replacement plants shall meet all specified quantities of the original plant material and carry the same guarantee from the time of replacement.
- Site Cleanup**
The Contractor shall protect the property of the Owner and the work of other Contractors. The Contractor shall also be directly responsible for all damage caused by his activities at no additional expense to the owner and for the daily removal of all trash and debris from his work area to the satisfaction of the Landscape Architect/Owners Representative.

Manhard Consulting, Ltd.
Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
Landscape Architects • Landscape Architects • Horticulturists • Construction Managers
Professional Engineers • Professional Engineers • Professional Engineers • Professional Engineers

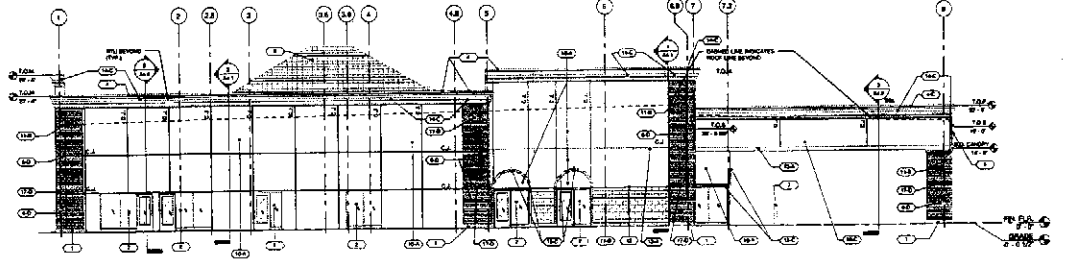
COMMERCIAL P.U.D. DEVELOPMENT
VILLAGE OF CAROL STREAM, ILLINOIS
PRELIMINARY LANDSCAPE PLAN DETAILS



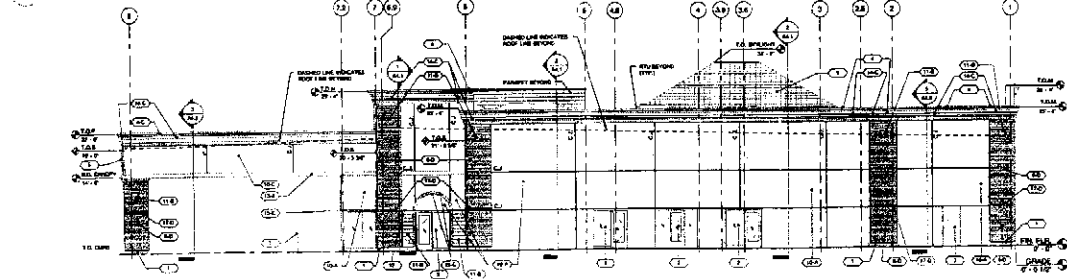
FRONT ELEVATION
SCALE - 1/8" = 1'-0"



BACK ELEVATION
SCALE - 1/8" = 1'-0"



LEFT ELEVATION
SCALE - 1/8" = 1'-0"



RIGHT ELEVATION
SCALE - 1/8" = 1'-0"

EXT. ELEVATIONS

- KEYED NOTES:**
1. COMPLETE CURB
 2. 1" HOLE IN CURB FOR 1/2" DIA. IN THE FINALLY FINISHED INTER. ALUMINUM FRAME FOR
 3. HOLD UP TO THE ROOF FINISH. FRAME TO MATCH EXISTING WALL FINISH
 4. SEE FINISH SCHEDULE FOR FINISH
 5. ALUMINUM FACE BRICK VENEER
 6. 2" STAINLESS STEEL BRICK VENEER
 7. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 8. WALL FINISH (OUTSIDE) FINISH TO MATCH EXISTING
 9. FINISH BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 10. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 11. WALL FINISH TO MATCH
 12. CURB FINISHED WITH TOP FINISH
 13. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 14. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 15. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 16. NON-ALUMINUM FACE BRICK VENEER TO MATCH EXISTING
 17. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL

- COLOR LEGEND:**
- A. SEE FINISH SCHEDULE FOR FINISH TO MATCH EXISTING
 - B. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 - C. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL
 - D. BRICKS TO MATCH EXISTING BRICKS TO MATCH BUILDING WALL

SEE STRUCTURAL DRAWINGS & SPECIFICATIONS FOR HORIZONTAL & VERTICAL REINFORCING REQUIREMENTS

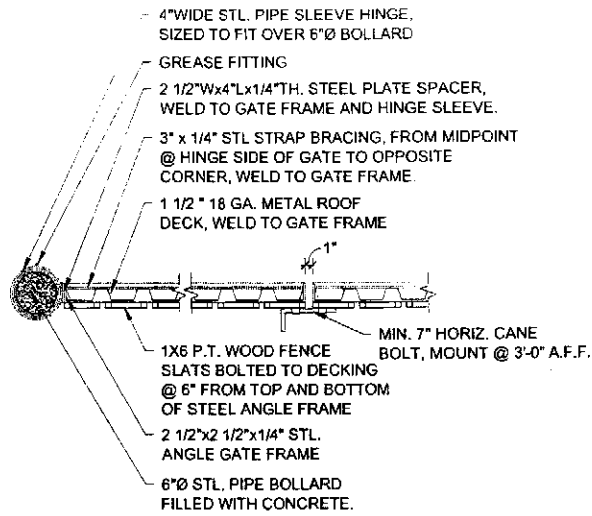
CASCO
1807 PATRICK ROAD
ST. LOUIS, MO 63127
PROJECT MANAGERS

DATE	
BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	

CREME de la CREME
CAROL STREAM

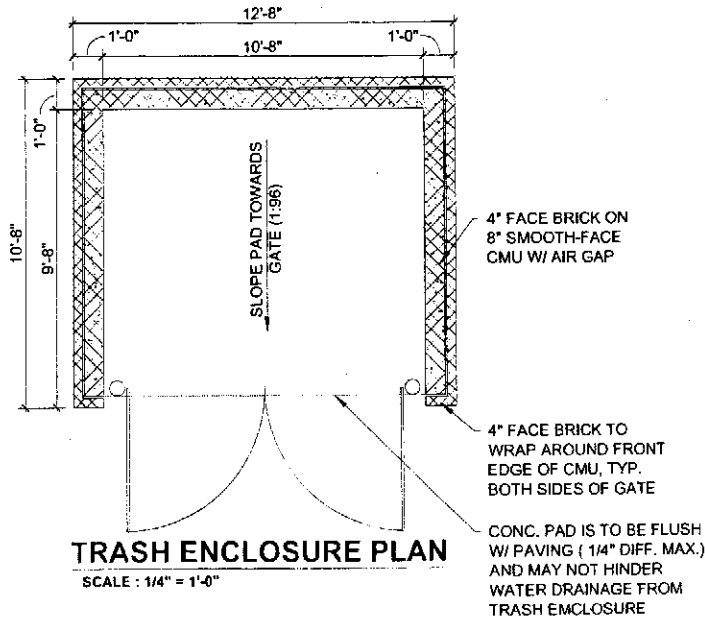
DATE	
BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	

Exhibit C



GATE DETAIL

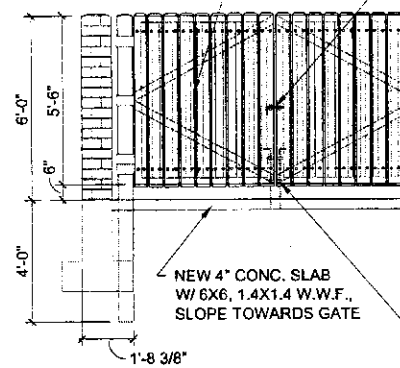
SCALE : 3/4" = 1'-0"



TRASH ENCLOSURE PLAN

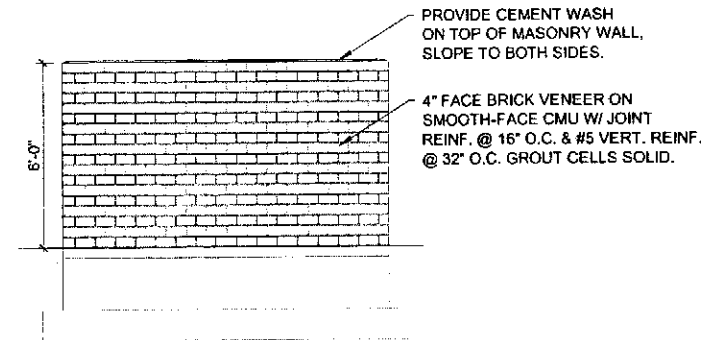
SCALE : 1/4" = 1'-0"

TRASH ENCLOSURE GATE CONSTRUCTION:
 2 1/2" x 2 1/2" x 1/4" STEEL ANGLE FRAME W/ 1 1/2" 18 GA. METAL ROOF DECKING WELDED TO FRAME W/ 1X6 P.T. WOOD FENCE SLATS BOLTED TO DECKING @ 6" FROM TOP AND BOTTOM OF STEEL ANGLE FRAME. PROVIDE 3" x 1/4" STEEL BRACING FROM MID-POINT OF FRAME @ HINGE SIDE TO OPPOSITE CORNERS, WELD TO FRAME. GRIND ALL WELDS SMOOTH



FRONT ELEVATION

SCALE : 1/4" = 1'-0"



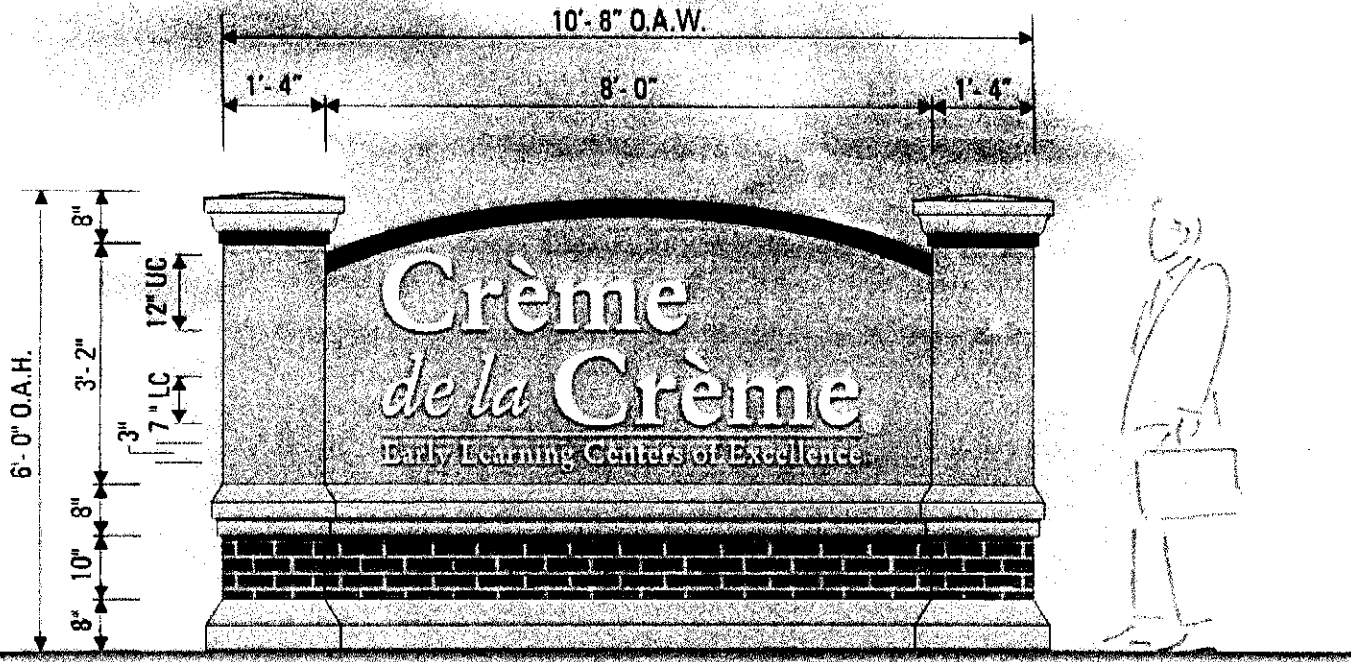
SIDE ELEVATION

SCALE : 1/4" = 1'-0"

DESIGN DEVELOPMENT TRASH ENCLOSURE

DOUBLE-FACED MONUMENT SIGN (OPTION 2)

Item # 15



FRONT ELEVATION : Scale 3/8" = 1'-0"

GENERAL SPECIFICATIONS:

Double-Faced Illuminated Monument

Fabricated aluminum structure, (Option-high density sign foam columns & decorative caps).

Letters to be routed with 1/4" clear push-thru acrylic.

Acrylic to have polished sides, white diffuser vinyl applied second surface, & Sultan Blue translucent vinyl overlay.

Internal illumination by H.O. fluorescent lamps powered by ballast within sign cabinet.

Brick base to be provided by others.

Center brick added to match building facade.

*** **NOTE** : Colors & simulated stucco finish to match building exterior.

Colors



White



To match 3M (3630-157) Sultan blue vinyl accents



PMS 421 Painted gray cabinet and columns



PMS 427 Painted gray decorative accents & reveal

* All colors to be verified before manufacturing.

EXHIBIT

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE AND REPRODUCE OR EXHIBIT IN ANY FORM IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.

Created exclusively for:
CREME-DE-LA-CREME

Address: _____

City: _____

State: _____

Sign Location: **FRONT ELEVATION**

Account Rep.: _____

Client's Approval: _____ Date _____

Landlord's Approval: _____ Date _____

Design No.: **US67791-R3** Sheet No. **2 of 2**

Date **01/20/06** Rcv. Date **05/22/06**

Designer: **EIT** Scale **AS NOTED**

PRIMARY WIRING OF ADEQUATE VOLTAGE AND CIRCUITS TO SIGN FURNISHED AND CONNECTED BY CLIENT.



Corporate Office
1800 Baring, Ste. 700
Houston, TX 77057
713-977-7900
FAX: 713-977-7903

Dallas Regional Office
2220 San Jacinto Blvd.
Denton, TX 76205
940-380-9153
FAX: 940-380-9395

Austin Regional Office
326 Canyon Circle Dr.
Canyon Lake, TX 78133
830-935-4168
FAX: 830-935-4175

Buffalo Regional Office
25 Northpointe Parkway
Amherst, NY 14228
716-831-7000

The purchase order must be received and may require foundation gas lines at the purchase.

Exhibit E

AGENDA ITEM

H-6 7-17-06

ORDINANCE NO. _____

AN ORDINANCE APPROVING A FINAL PLANNED UNIT DEVELOPMENT PLAN (LAKEWOOD HOMES, EASTON PARK DEVELOPMENT)

WHEREAS, Lakewood Homes, Inc., has requested Final Planned Unit Development (PUD) Plan approval in accordance with Section 16-16-4 of the Carol Stream Zoning Code for 270 townhome units to be located at the on approximately 37.9 acres on the north side of North Avenue about 1,250 feet west of Gary Avenue; and

WHEREAS, the Plan Commission/Zoning Board of Appeals of the Village of Carol Stream, at their July 10, 2006 meeting, recommended approval of the Final PUD Plan provided certain conditions are met and has filed its recommendations with the Village Board of Trustees; and

WHEREAS, the Final PUD Plan is in substantial conformance with the Preliminary PUD Plan, which was approved and adopted into Ordinance form on December 19, 2005.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Village of Carol Stream does hereby approve the Final PUD Plan for Easton Park Residential and Stormwater Management Properties drawn by Cemcon, Ltd., 2280 White Oak Circle, Suite 100, Aurora, IL 60502, dated June 6, 2006, attached to and made a part of this Ordinance as Exhibit "A", the Building Elevations drawn by Balsamo, Olson & Lewis, Ltd., One South 376 Summit Avenue, Oakbrook Terrace, IL 60181, dated April 12, 2006 (Exhibit "B"), and the Landscape Plans dated July 6, 2006 as Exhibit "C", provided the following conditions are met:

1. That all individual dwelling unit driveways, including those for the Unit C side-load garage floor plan, shall provide driveways that are a minimum of 20 feet in length. The 20-foot dimension must be independent of the through drive lane, so as to ensure that park vehicles will not encroach into the common access drives.
2. That the plant materials shown on the landscape plan must be installed at the size and height shown on the plan, and that the materials must be maintained in a neat and healthy condition, with dead or dying materials being replaced with the approved size and type of species on an annual basis.
3. That the developer shall guarantee the landscaping within 100 feet of North Avenue right-of-way against salt damage for a period of no less than two years from the date of final acceptance of the public improvements by the Village.
4. That the developer shall establish an enforcement agreement with the Police Department for the enforcement of the no parking restrictions on the private streets and drives.
5. That covenants providing for ownership and maintenance of the entry feature sign by the homeowners association shall be furnished to the Village and recorded.
6. That the developer will complete as a separate project the bike path facilities as approved with the Preliminary PUD Plan.
7. That homeowners association and commercial association documents be submitted and reviewed by Village staff prior to final approval of this project.
8. The development must in all ways comply with the applicable codes and standards of the state, county and Village.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

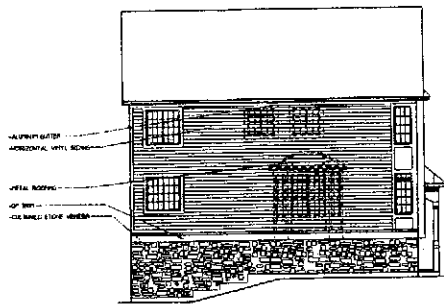
ATTEST:

Janice Koester, Village Clerk

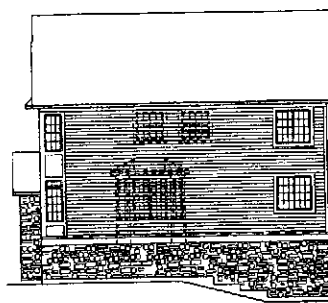
I, _____, being the owner or other party of interest of the
(please print)
property legally described within this Ordinance, having read a copy of the Ordinance,
do hereby accept, concur and agree to develop and use the subject property in
accordance with the terms of this Ordinance.

(Date)

(signature)



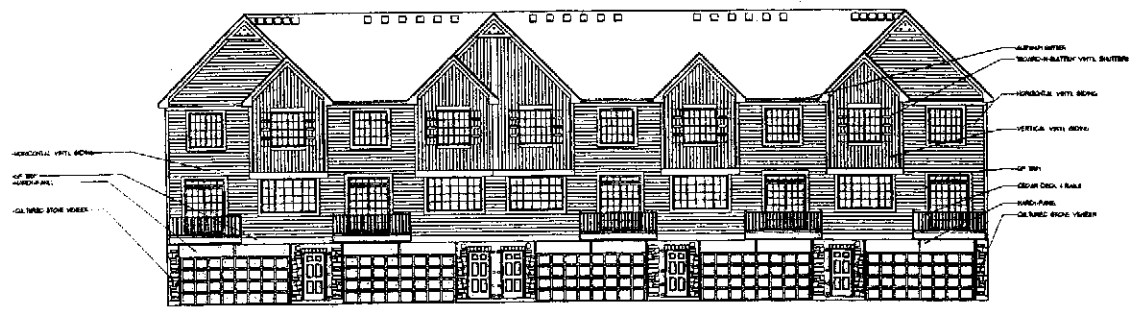
LEFT ELEVATION
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RIGHT ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION
SCALE 1/8" = 1'-0"



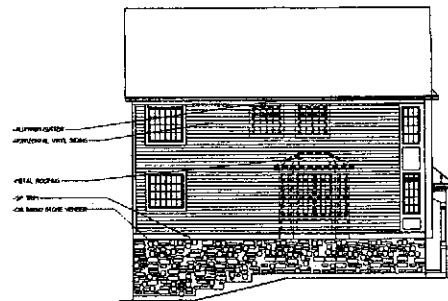
REAR ELEVATION
SCALE 1/8" = 1'-0"

Balsamo, Olson & Lewis, Ltd.
One South 375 Summit Avenue
Oakbrook Terrace, Illinois
630/852-8100 FAX 630/852-8800
Copyright 2006 Balsamo, Olson & Lewis, Ltd.

LAKWOOD HOMES, INC.
EASTON PARK
CAROL STREAM, ILLINOIS
CONTROL ELEVATIONS

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

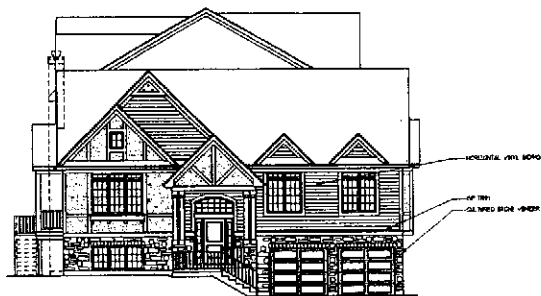
Rev	4-12-06
Proj No	802-150
Drawn	DB
Checked	
Date	
Scale	



LEFT ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"

Balsam, Olson & Lewis, Ltd.
1041 Oak Brook Terrace • Illinois 60181
630/420-8800 FAX 630/420-8859
Copyright © 2008 Balsam, Olson & Lewis, Ltd.

LAKELAND HOMES, INC.
EASTON PARK
CAROL STREAM, ILLINOIS

CONTROL ELEVATIONS

1	2	3	4	5	6	7	8	9	10

NO. 802-650
DATE 4-12-06
DRAWN BY [Signature]
CHECKED BY [Signature]

Sheet No. 01
C1

EASTON PARK

05022

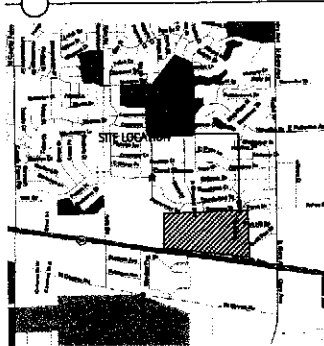
CAROL STREAM, ILLINOIS

LAKWOOD HOMES

Landscape Construction Package

05022 --- Easton Park

Site Location



Issued for Village Review & Pricing Only

SUBMITTAL #1: APRIL 18, 2006

SUBMITTAL #2: JUNE 8, 2006

SUBMITTAL #3: JULY 6, 2006

Prepared by:

LAKOTA
THE LAKOTA GROUP, INC.

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
p 312.467.5445
f 312.467.5484
info@thelakotagroup.com

Sheet Legend

- L-1 Key Plan
- L-2 Street Trees
- L-3 Pond
- L-4 Pond
- L-5 Northern Buffer
- L-6 Eastern Buffer
- L-7 North Avenue Buffer
- L-8 West Lawn
- L-9 Great Lawn
- L-10 North-South Townhome
- L-11 East-West Townhome
- L-12 Tri-Townhome
- L-13 Planting Details
- L-14 Planting Notes
- HS-01 Entrance Details
- HS-02 Pond Overlook and Wall

EXHIBIT C

Planning

Urban Design

Landscape Architecture

Community Relations

LAKOTA

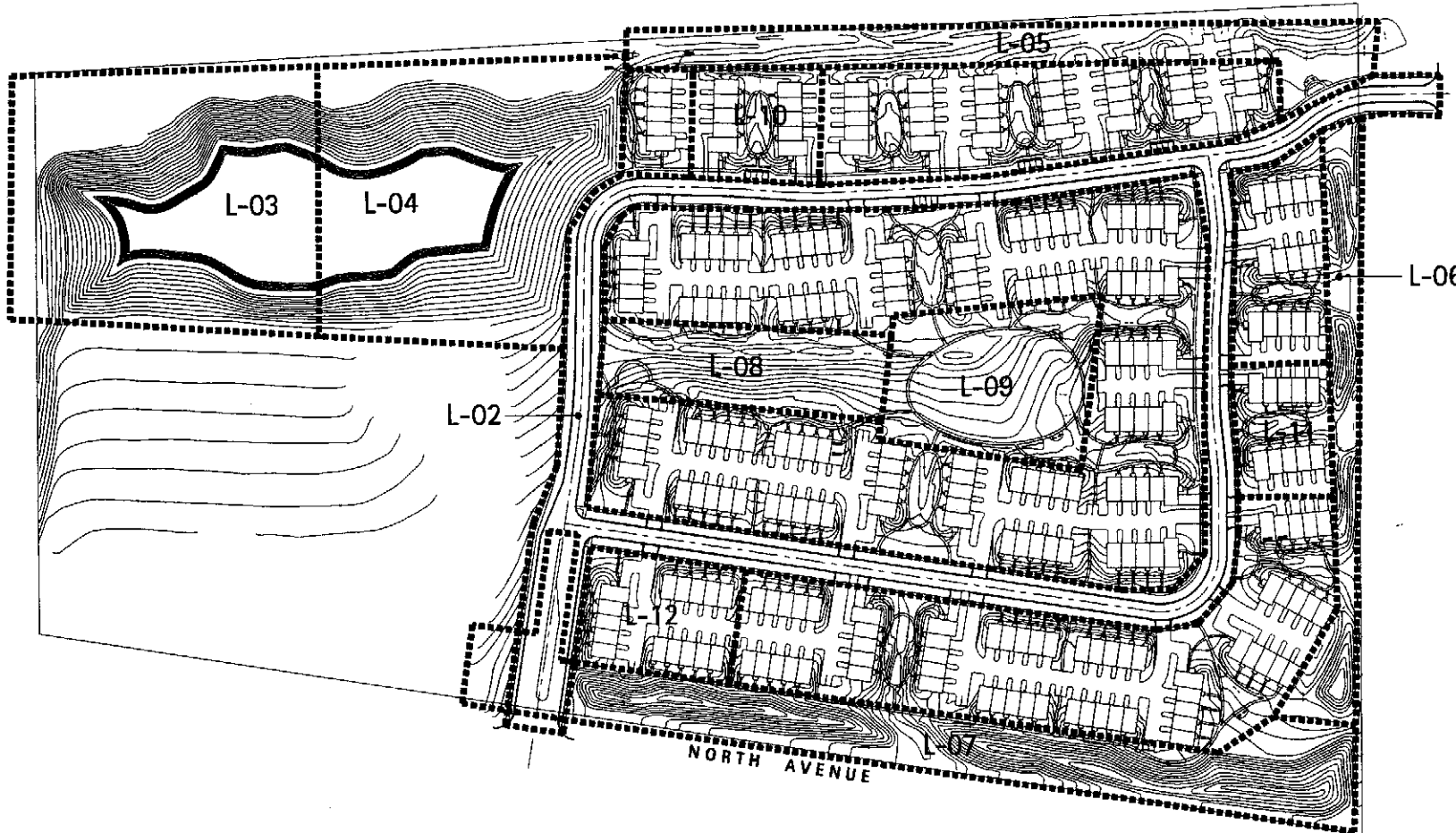
THE LAKOTA GROUP, INC.

212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
312.467.5445
312.467.5484
info@thelakotagroup.com

Planning Urban Design
Landscape Architecture
Community Redevelopment

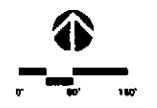
EASTON PARK
Carol Stream, Illinois

Lakewood Homes



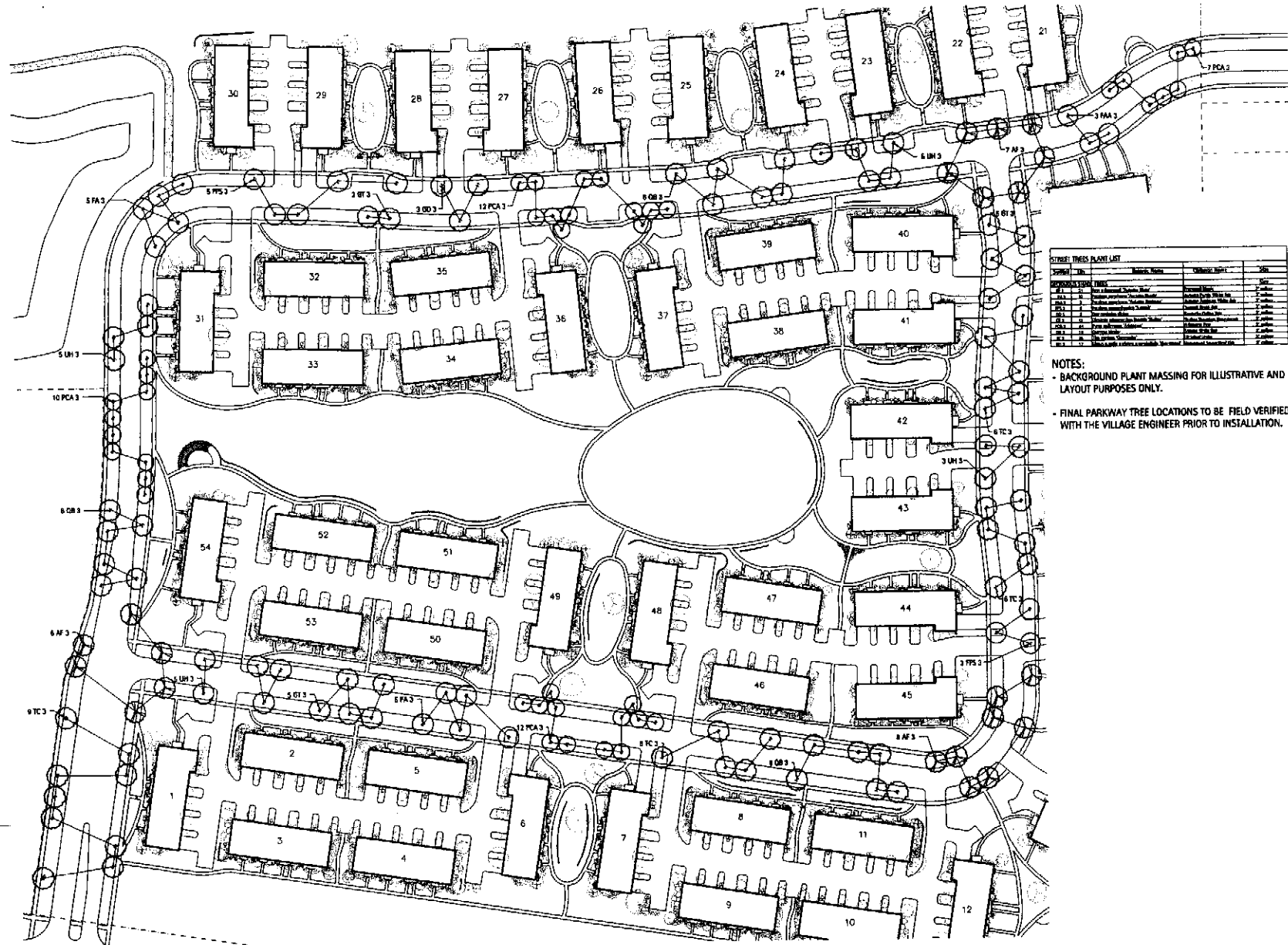
**KEY
MAP**

Project No.	06-00006
Date	07/28/06
Scale	1"=50'
Drawn by	MS/SJ/24/1
Checked by	



L-01

EXHIBIT C



STREET TREES PLANT LIST

Symbol	No.	Material Name	Village Code	Spec.
(Symbol)	1	Plant Name	Code	Spec.
(Symbol)	2	Plant Name	Code	Spec.
(Symbol)	3	Plant Name	Code	Spec.
(Symbol)	4	Plant Name	Code	Spec.
(Symbol)	5	Plant Name	Code	Spec.
(Symbol)	6	Plant Name	Code	Spec.
(Symbol)	7	Plant Name	Code	Spec.
(Symbol)	8	Plant Name	Code	Spec.
(Symbol)	9	Plant Name	Code	Spec.
(Symbol)	10	Plant Name	Code	Spec.
(Symbol)	11	Plant Name	Code	Spec.
(Symbol)	12	Plant Name	Code	Spec.

NOTES:
 - BACKGROUND PLANT MASSING FOR ILLUSTRATIVE AND LAYOUT PURPOSES ONLY.
 - FINAL PARKWAY TREE LOCATIONS TO BE FIELD VERIFIED WITH THE VILLAGE ENGINEER PRIOR TO INSTALLATION.



STREET TREES

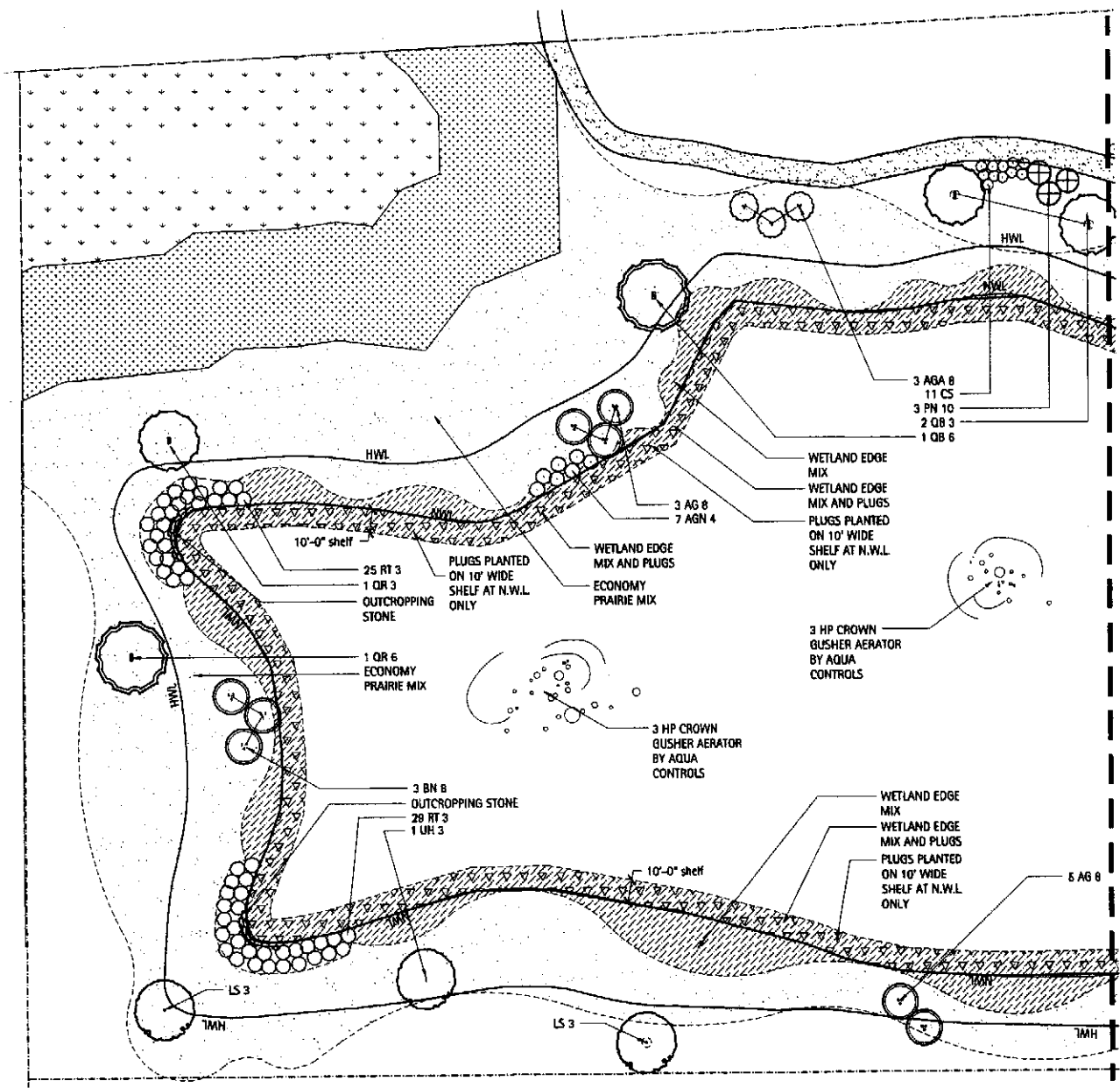
Number: _____
 Date: _____
 Checked By: _____

DATE: _____
 DESIGN BY: _____
 CHECKED BY: _____



L-02

EXHIBIT C



MATCHLINE



**WEST SIDE
DETENTION
POND**

Revised:	06/04/06
1.	07/04/06
2.	
3.	
Drawn By:	SK/MSK
Checked By:	MS/MSK



L-03

EXHIBIT C

LAKOTA
THE LAKOTA GROUP INC.

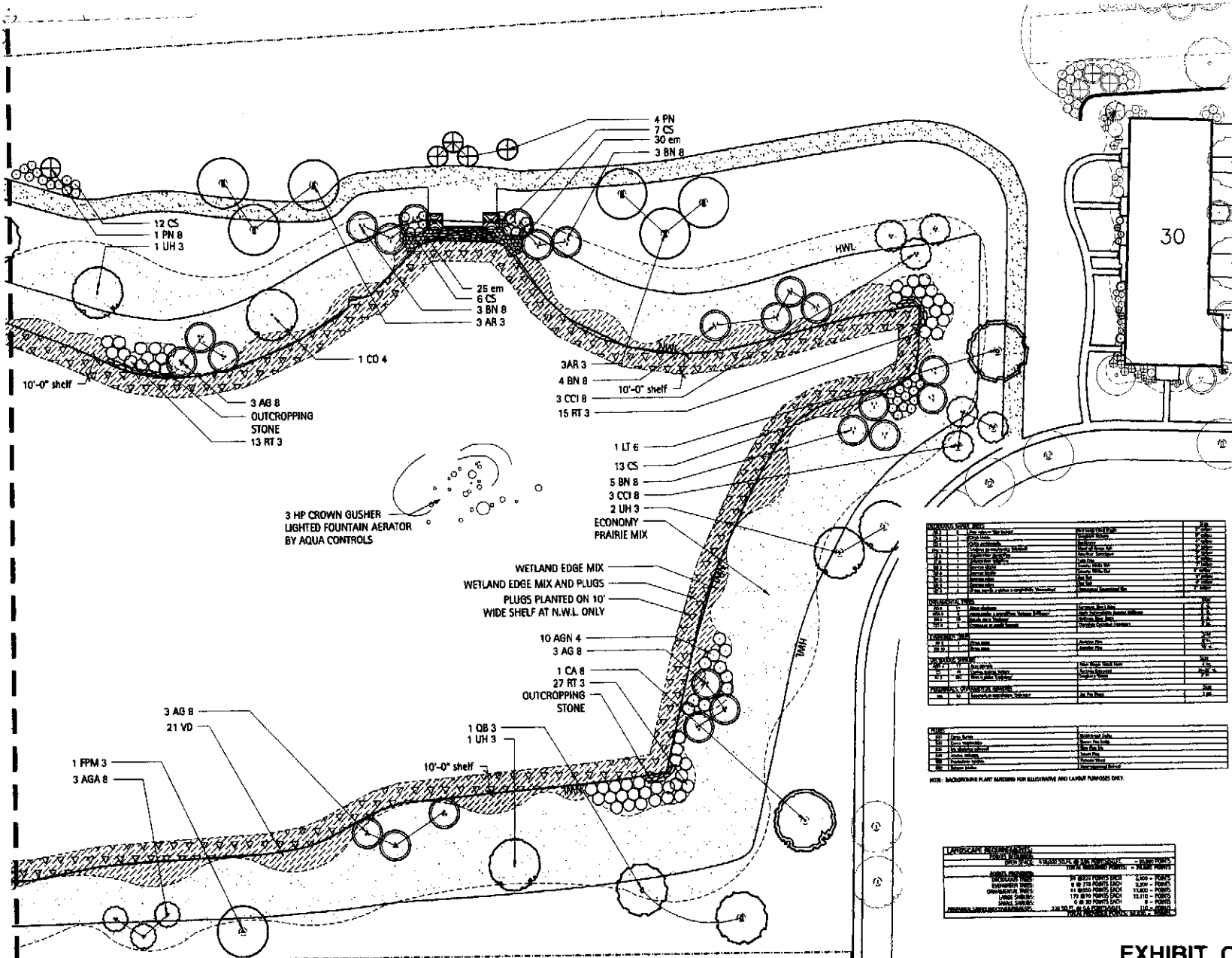
212 West Kinzie Street, 3rd Floor
Chicago, Illinois 60610
P 312.467.8440
F 312.467.8484
info@thelakotagroup.com

Planning
Urban Design
Landscape Architecture
Community Relations

EASTON PARK
Carol Stream, Illinois

Lakewood Homes

MATCHLINE



3 HP CROWN GUSHER
LIGHTED FOUNTAIN AERATOR
BY AQUA CONTROLS

WETLAND EDGE MIX
WETLAND EDGE MIX AND PLUGS
PLANTED ON 10'
WIDE SHELF AT N.W. ONLY

10 AGN 4
3 AG 8
1 CA 8
27 RT 3
OUTCROPPING
STONE

3 AG 8
21 VD
1 FPM 3
3 AGA 8

1 OB 3
1 UH 3

PLANTING	QUANTITY	PLANTING DATE	PLANTING METHOD
12 CS	12	08/20/08	PLANTING
1 PN 8	1	08/20/08	PLANTING
1 UH 3	1	08/20/08	PLANTING
4 PN	4	08/20/08	PLANTING
7 CS	7	08/20/08	PLANTING
30 cm	30	08/20/08	PLANTING
3 BN 8	3	08/20/08	PLANTING
25 cm	25	08/20/08	PLANTING
6 CS	6	08/20/08	PLANTING
3 BN 8	3	08/20/08	PLANTING
3 AR 3	3	08/20/08	PLANTING
1 CO 4	1	08/20/08	PLANTING
3 AR 3	3	08/20/08	PLANTING
4 BN 8	4	08/20/08	PLANTING
3 CCI 8	3	08/20/08	PLANTING
15 RT 3	15	08/20/08	PLANTING
1 LT 6	1	08/20/08	PLANTING
13 CS	13	08/20/08	PLANTING
5 BN 8	5	08/20/08	PLANTING
3 CCI 8	3	08/20/08	PLANTING
2 UH 3	2	08/20/08	PLANTING
10 AGN 4	10	08/20/08	PLANTING
3 AG 8	3	08/20/08	PLANTING
1 CA 8	1	08/20/08	PLANTING
27 RT 3	27	08/20/08	PLANTING
3 AG 8	3	08/20/08	PLANTING
21 VD	21	08/20/08	PLANTING
1 FPM 3	1	08/20/08	PLANTING
3 AGA 8	3	08/20/08	PLANTING
1 OB 3	1	08/20/08	PLANTING
1 UH 3	1	08/20/08	PLANTING

PLANTING	QUANTITY	PLANTING DATE	PLANTING METHOD
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3 AGA 8	3	08/20/08	PLANTING

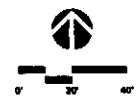
NOTE: BACKPOUR PLANT MIXING FOR ILLUSTRATIVE AND LAYOUT PURPOSES ONLY.

LANDSCAPE ELEMENTS	QUANTITY	PLANTING DATE	PLANTING METHOD
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10'-0" shelf	1	08/20/08	CONSTRUCTION
10'-0" shelf	1	08/20/08	CONSTRUCTION



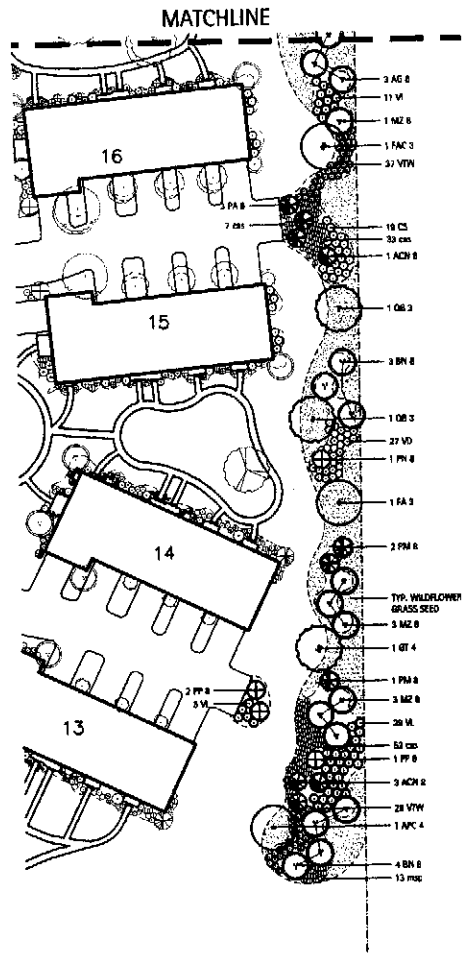
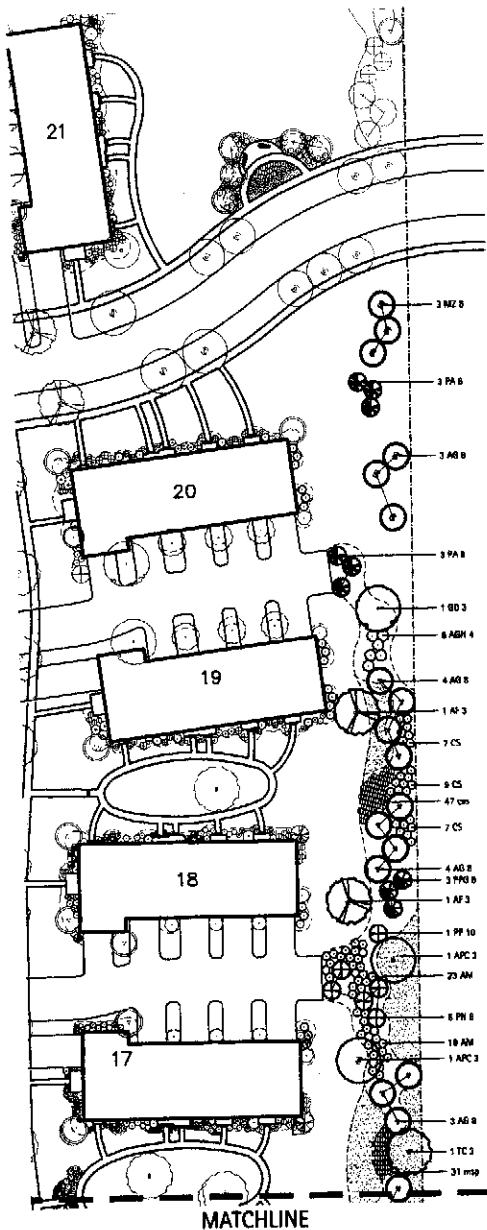
**EAST SIDE
DETENTION
POND**

DATE	BY	REVISION
08/20/08	CS	01
08/20/08	CS	02



L-04

EXHIBIT C



EASTERN BUFFER PLANT LIST

Plant No.	Plant Name	Quantity	Notes
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2	1' x 1' x 1' x 1' x 1'	100	
3	1' x 1' x 1' x 1' x 1'	100	
4	1' x 1' x 1' x 1' x 1'	100	
5	1' x 1' x 1' x 1' x 1'	100	
6	1' x 1' x 1' x 1' x 1'	100	
7	1' x 1' x 1' x 1' x 1'	100	
8	1' x 1' x 1' x 1' x 1'	100	
9	1' x 1' x 1' x 1' x 1'	100	
10	1' x 1' x 1' x 1' x 1'	100	
11	1' x 1' x 1' x 1' x 1'	100	
12	1' x 1' x 1' x 1' x 1'	100	
13	1' x 1' x 1' x 1' x 1'	100	
14	1' x 1' x 1' x 1' x 1'	100	
15	1' x 1' x 1' x 1' x 1'	100	
16	1' x 1' x 1' x 1' x 1'	100	
17	1' x 1' x 1' x 1' x 1'	100	
18	1' x 1' x 1' x 1' x 1'	100	
19	1' x 1' x 1' x 1' x 1'	100	
20	1' x 1' x 1' x 1' x 1'	100	
21	1' x 1' x 1' x 1' x 1'	100	

LANDSCAPE SUMMARY

PLANTING	3,200 POINTS
IRRIGATION	1,000' x 100' x 1' x 1' x 1'
GRASS SEED	10,000' x 100' x 1' x 1' x 1'
STRUCTURE	10' x 10' x 10' x 10' x 10'
ORNAMENTAL TREES	10 @ 20' x 20' x 20' x 20' x 20'
ORNAMENTAL SHRUBS	50 @ 10' x 10' x 10' x 10' x 10'
LANDSCAPE TOTAL	110,000' x 100' x 1' x 1' x 1'

TOTAL LANDSCAPE POINTS: 3,200 POINTS

NOTE: BACKGROUND PLANT MASSING FOR ILLUSTRATIVE AND LAYOUT PURPOSES ONLY.



EASTERN BUFFER

Reviewed: _____ DATE: _____

Checked: _____ DATE: _____

Drawn: _____ DATE: _____

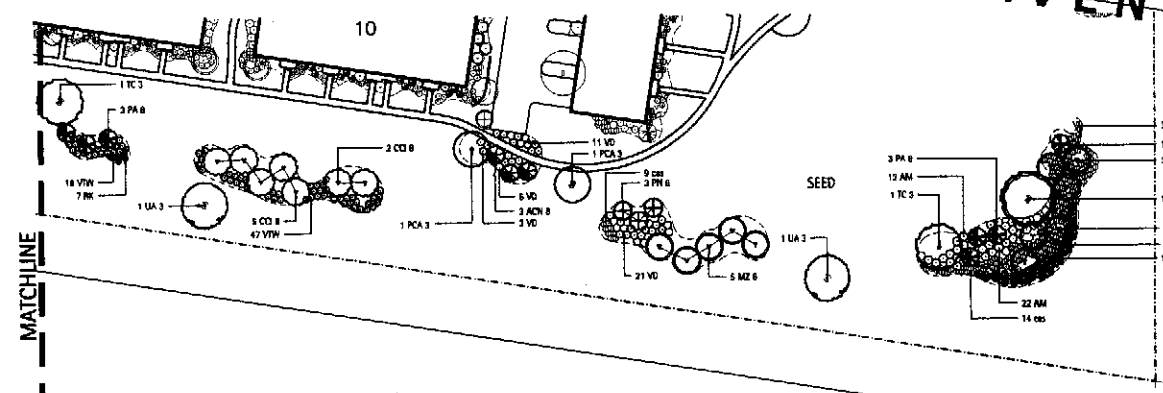
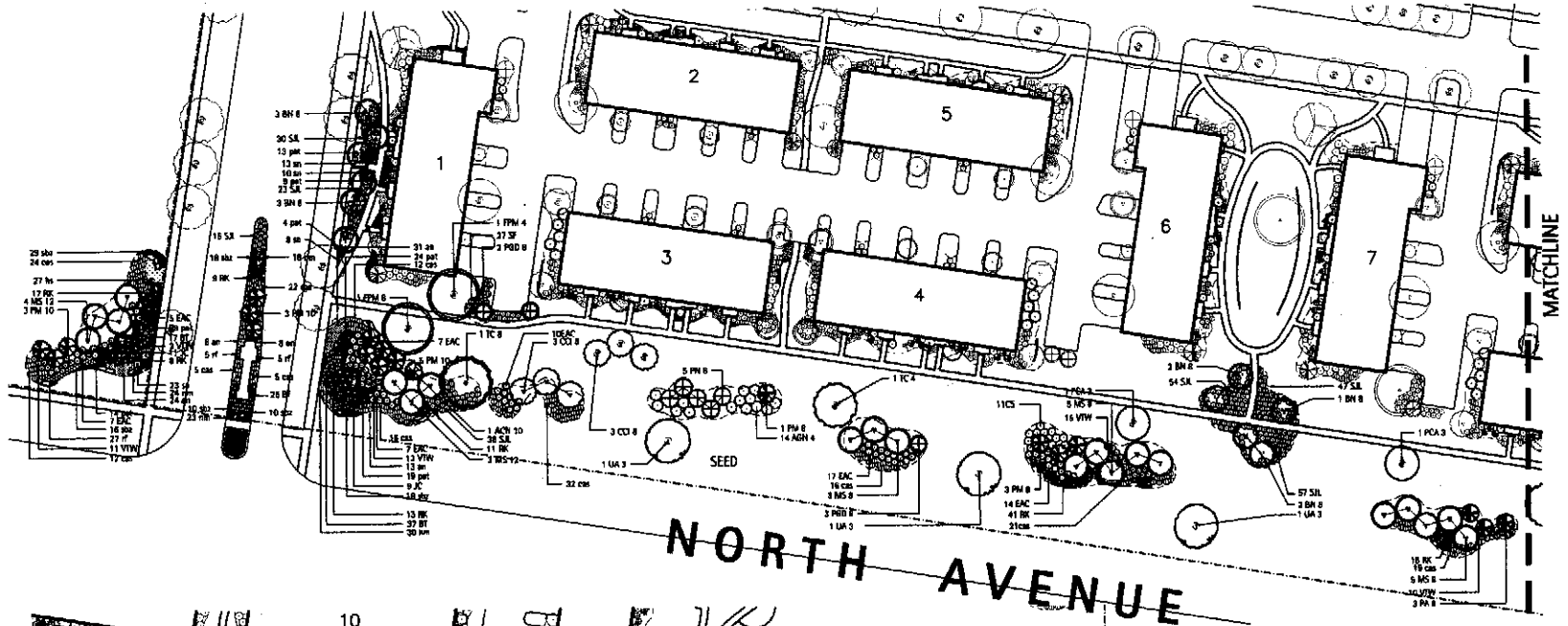
Scale: 1" = 30'



Planning
Urban Design
Landscape Architecture
Community Relations

EASTON PARK
Carol Stream, Illinois

Lakewood Homes



NORTH AVENUE BUFFER PLANT LIST

Symbol	Code	Species Name	Quantity	Notes
Circle	1 PM 8	Plantain	1	
Circle	3 MS 6	Plantain	3	
Circle	1 TC 4	Plantain	1	
Circle	3 MS 6	Plantain	3	
Circle	1 TC 3	Plantain	1	
Circle	10 AM	Plantain	10	
Circle	12 AM	Plantain	12	
Circle	1 TC 3	Plantain	1	
Circle	31 CS	Plantain	31	
Circle	1 PM 8	Plantain	1	
Circle	3 MS 6	Plantain	3	
Circle	1 TC 4	Plantain	1	
Circle	3 MS 6	Plantain	3	
Circle	1 TC 3	Plantain	1	
Circle	10 AM	Plantain	10	
Circle	12 AM	Plantain	12	
Circle	1 TC 3	Plantain	1	
Circle	31 CS	Plantain	31	

LANDSCAPE REQUIREMENTS

PLANTING	10,000 PLANTS TOTAL	10,000 PLANTS
PLANTING	40 @ 250 PLANTS EACH	10,000 PLANTS
PLANTING	10 @ 50 PLANTS EACH	500 PLANTS
PLANTING	50 @ 10 PLANTS EACH	500 PLANTS
PLANTING	50 @ 10 PLANTS EACH	500 PLANTS
PLANTING	50 @ 10 PLANTS EACH	500 PLANTS

NOTE: BACKGROUND PLANT MASSING FOR LITERATURE AND LOOKUP PURPOSES ONLY.



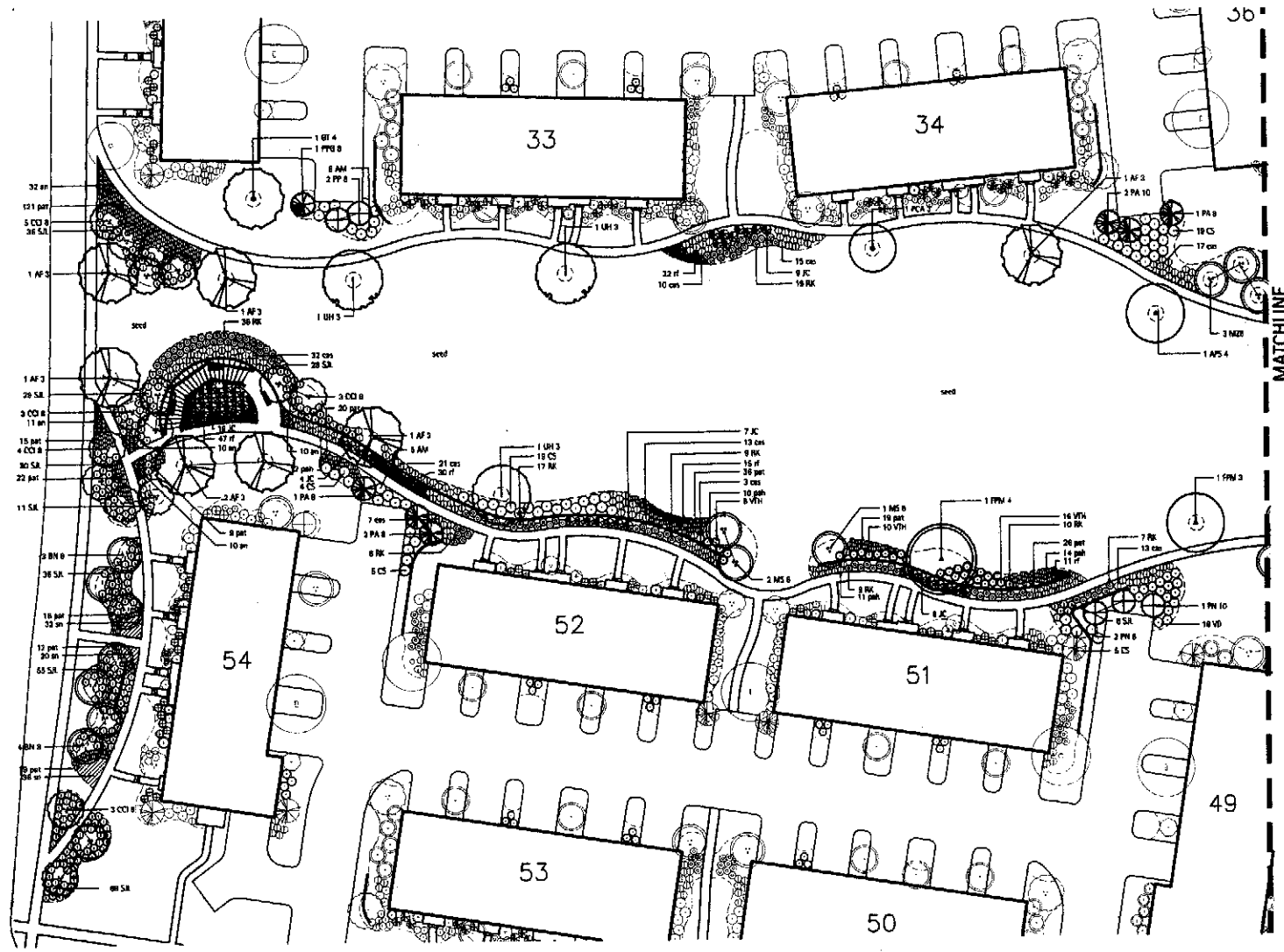
NORTH AVENUE BUFFER

Project No.	10/0000
Date	07/20/08
Client	MAKOWSKI
Contract No.	



L-07

EXHIBIT C



NOTE: BACKGROUND PLANT MASSING FOR EXISTING AND LAYOUT PURPOSES ONLY.

LAKOTA
 1118 LAKOTA GROVE, INC.
 312 West Kinzie Street, 3rd Floor
 Chicago, Illinois 60610
 P 312.467.5445
 F 312.467.5484
 info@lakotagroup.com

Planning
 Urban Design
 Landscape Architecture
 Community Relations

EASTON PARK
 Carol Stream, Illinois

Lakewood Homes



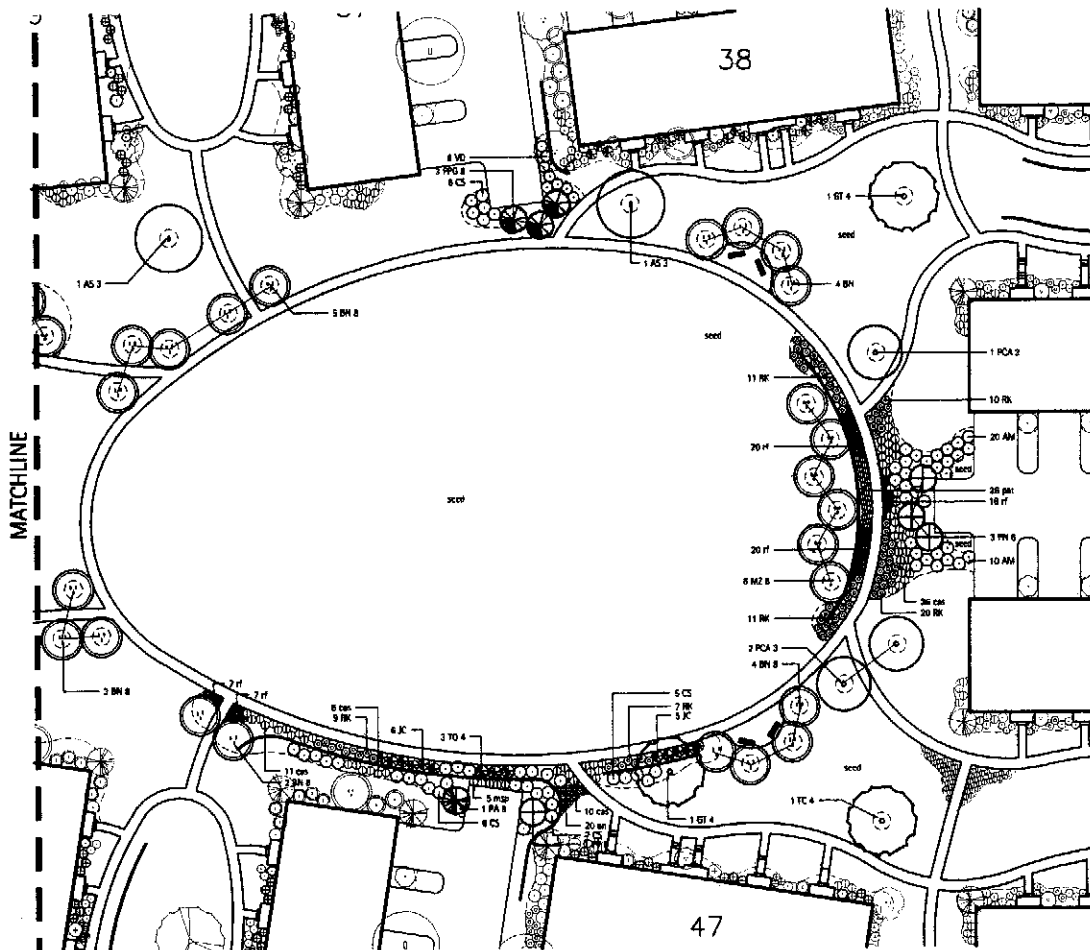
WEST LAWN

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97	DATE: 01/12/2010
98	DATE: 01/12/2010
99	DATE: 01/12/2010
100	DATE: 01/12/2010



L-08

EXHIBIT C



WEST AND GREAT LAWNS PLANT LIST

Code	Qty	Species/Type	Approximate Size	Notes
AD1	2	Aspidistra	12" dia	
AD2	2	Aspidistra	12" dia	
AD3	2	Aspidistra	12" dia	
AD4	2	Aspidistra	12" dia	
AD5	2	Aspidistra	12" dia	
AD6	2	Aspidistra	12" dia	
AD7	2	Aspidistra	12" dia	
AD8	2	Aspidistra	12" dia	
AD9	2	Aspidistra	12" dia	
AD10	2	Aspidistra	12" dia	
AD11	2	Aspidistra	12" dia	
AD12	2	Aspidistra	12" dia	
AD13	2	Aspidistra	12" dia	
AD14	2	Aspidistra	12" dia	
AD15	2	Aspidistra	12" dia	
AD16	2	Aspidistra	12" dia	
AD17	2	Aspidistra	12" dia	
AD18	2	Aspidistra	12" dia	
AD19	2	Aspidistra	12" dia	
AD20	2	Aspidistra	12" dia	
AD21	2	Aspidistra	12" dia	
AD22	2	Aspidistra	12" dia	
AD23	2	Aspidistra	12" dia	
AD24	2	Aspidistra	12" dia	
AD25	2	Aspidistra	12" dia	
AD26	2	Aspidistra	12" dia	
AD27	2	Aspidistra	12" dia	
AD28	2	Aspidistra	12" dia	
AD29	2	Aspidistra	12" dia	
AD30	2	Aspidistra	12" dia	
AD31	2	Aspidistra	12" dia	
AD32	2	Aspidistra	12" dia	
AD33	2	Aspidistra	12" dia	
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AD36	2	Aspidistra	12" dia	
AD37	2	Aspidistra	12" dia	
AD38	2	Aspidistra	12" dia	
AD39	2	Aspidistra	12" dia	
AD40	2	Aspidistra	12" dia	
AD41	2	Aspidistra	12" dia	
AD42	2	Aspidistra	12" dia	
AD43	2	Aspidistra	12" dia	
AD44	2	Aspidistra	12" dia	
AD45	2	Aspidistra	12" dia	
AD46	2	Aspidistra	12" dia	
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AD52	2	Aspidistra	12" dia	
AD53	2	Aspidistra	12" dia	
AD54	2	Aspidistra	12" dia	
AD55	2	Aspidistra	12" dia	
AD56	2	Aspidistra	12" dia	
AD57	2	Aspidistra	12" dia	
AD58	2	Aspidistra	12" dia	
AD59	2	Aspidistra	12" dia	
AD60	2	Aspidistra	12" dia	

LANDSCAPE REQUIREMENTS

PLANTING	112.00 S.F. @ 500 PLANTS	56.00 POINTS
TOTAL PLANTS		56.00 POINTS
TOTAL PLANTING		56.00 POINTS
TOTAL LANDSCAPE		56.00 POINTS



GREAT LAWN

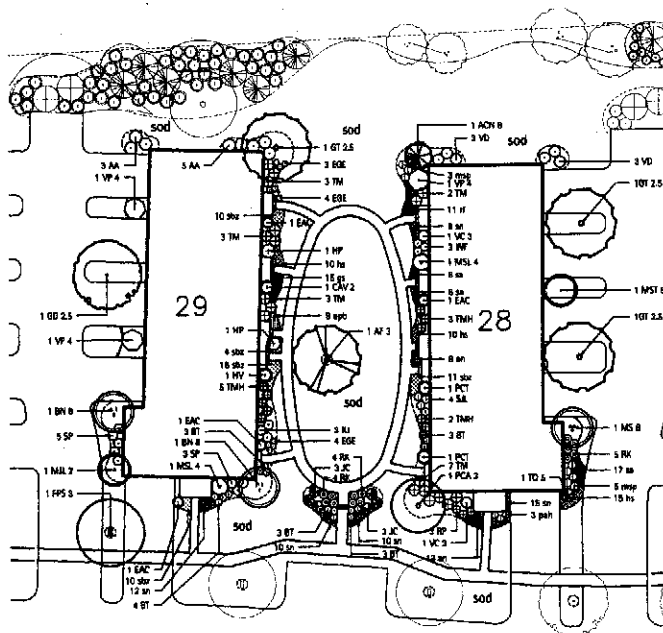
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2. []

DATE: []/ []/ []
DRAWN BY: []
CHECKED BY: []



L-09

EXHIBIT C



NORTH - SOUTH TOWNHOME PLANT LIST

Symbol	Plant Name	Quantity	Notes
1 ACN 8	Aspen	1	
3 AA	Amelanchier	3	
1 VP 4	Verticillium	1	
5 AA	Amelanchier	5	
3 EGE	Euonymus	3	
3 TM	Thuja	3	
4 EGE	Euonymus	4	
10 shr	Shrub	10	
3 TM	Thuja	3	
1 HP	Holly	1	
10 hs	Herbaceous	10	
15 gs	Grass	15	
1 CAV 2	Cornus	1	
3 TM	Thuja	3	
9 spp	Species	9	
1 AF 3	Aspen	1	
1 HP	Holly	1	
4 shr	Shrub	4	
1 HV	Holly	1	
5 TMH	Thuja	5	
1 ACN 8	Aspen	1	
3 BT	Berberis	3	
5 SP	Species	5	
1 MSL 2	Moss	1	
1 PPS 3	Pine	1	
1 EAC	Eucalyptus	1	
10 shr	Shrub	10	
4 BT	Berberis	4	
1 ACN 8	Aspen	1	
3 VD	Verticillium	3	
2 TM	Thuja	2	
1 MC 3	Moss	1	
3 RV	River	3	
1 MSL 4	Moss	1	
5 sp	Species	5	
1 EAC	Eucalyptus	1	
3 TMH	Thuja	3	
10 hs	Herbaceous	10	
10 shr	Shrub	10	
1 PCT	Plant	1	
4 SA	Species	4	
2 TMH	Thuja	2	
3 BT	Berberis	3	
1 PCT	Plant	1	
2 TM	Thuja	2	
1 PCA 3	Plant	1	
1 TO 5	Tree	1	
1 MS 8	Moss	1	
15 sp	Species	15	
3 pah	Plant	3	
15 hs	Herbaceous	15	
1 EAC	Eucalyptus	1	
10 shr	Shrub	10	
12 sp	Species	12	
4 BT	Berberis	4	

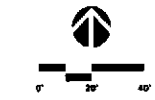
NOTE: BACKGROUND PLANT MATERIAL FOR ELEVATIONS AND LAYOUT PURPOSES ONLY.

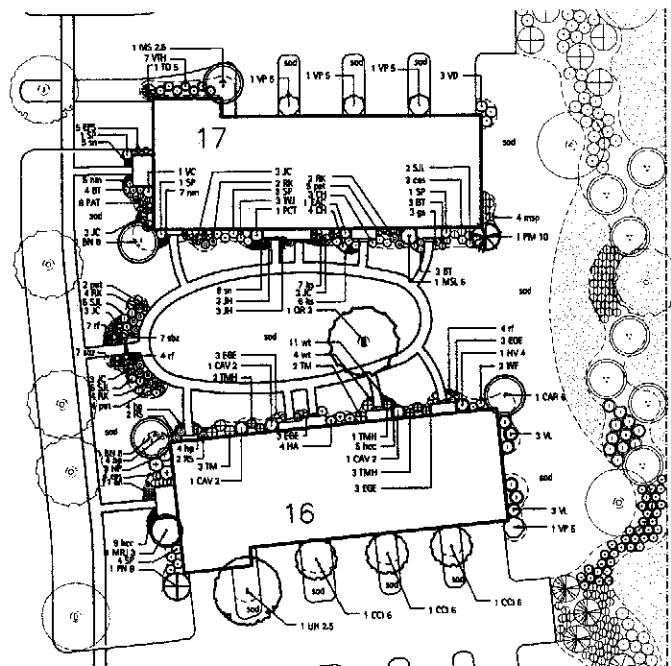


**TYPICAL N-S
TOWNHOME
CONFIGURATION**

Revision
1
2
3
4
5

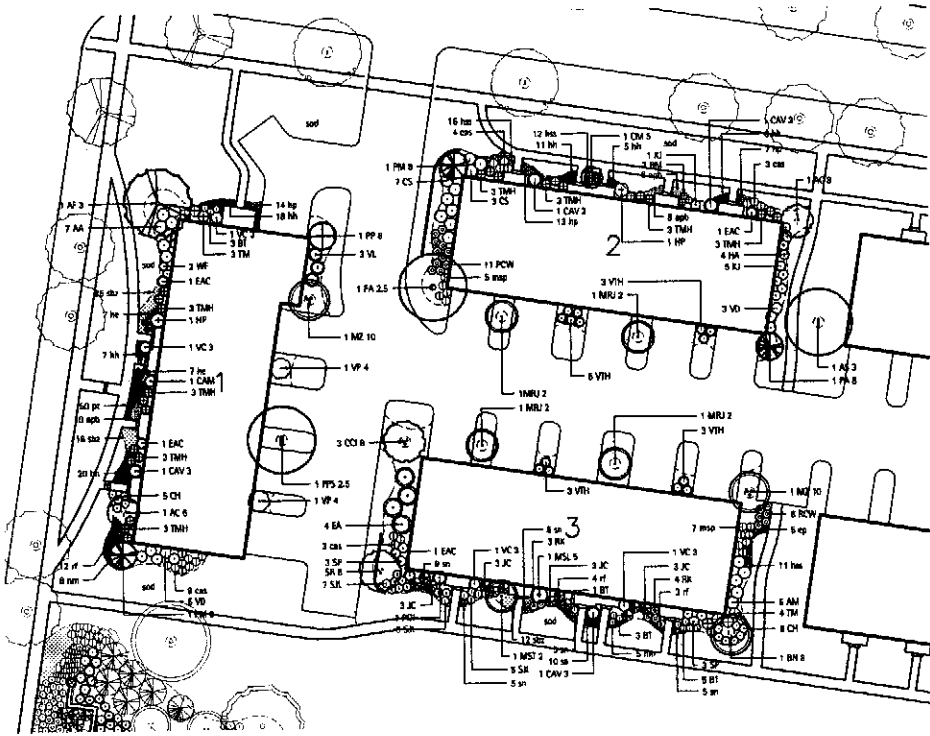
Date: _____
Checked By: _____
Drawn By: _____
Scale: _____





TYPICAL E-W TOWNHOME CONFIGURATION PLANT LIST

Plant No.	Species/Plant Name	Quantity	Notes
1	1 MS 2.5	1	
2	1 VP 6	1	
3	1 VP 5	1	
4	1 VP 6	1	
5	3 VP	3	
6	1 VC	1	
7	1 SP	1	
8	1 PAT	1	
9	2 JC	2	
10	2 SI	2	
11	2 SS	2	
12	1 SP	1	
13	1 SP	1	
14	3 GA	3	
15	1 PCT	1	
16	2 BT	2	
17	1 MS 6	1	
18	4 mp	4	
19	1 PM 10	1	
20	2 BT	2	
21	1 MS 6	1	
22	4 ft	4	
23	3 EDE	3	
24	1 HV 4	1	
25	2 WF	2	
26	1 CAR 6	1	
27	3 M	3	
28	1 MSL 6	1	
29	3 M	3	
30	1 VP 6	1	
31	1 UR 2.5	1	
32	1 CO 6	1	
33	1 CO 6	1	
34	1 CO 6	1	
35	3 EDE	3	
36	1 TMH	1	
37	6 REC	6	
38	1 CAV 2	1	
39	3 TMH	3	
40	3 EDE	3	
41	1 MSL 6	1	
42	1 VP 6	1	
43	2 BT	2	
44	1 VC	1	
45	1 SP	1	
46	1 PAT	1	
47	2 JC	2	
48	2 SI	2	
49	2 SS	2	
50	1 SP	1	
51	1 SP	1	
52	3 GA	3	
53	1 PCT	1	
54	2 BT	2	
55	1 MS 6	1	
56	4 mp	4	
57	1 PM 10	1	
58	2 BT	2	
59	1 MS 6	1	
60	4 ft	4	
61	3 EDE	3	
62	1 HV 4	1	
63	2 WF	2	
64	1 CAR 6	1	
65	3 M	3	
66	1 MSL 6	1	
67	3 M	3	
68	1 VP 6	1	
69	1 UR 2.5	1	
70	1 CO 6	1	
71	1 CO 6	1	
72	1 CO 6	1	
73	3 EDE	3	
74	1 TMH	1	
75	6 REC	6	
76	1 CAV 2	1	
77	3 TMH	3	
78	3 EDE	3	
79	1 MSL 6	1	
80	1 VP 6	1	
81	2 BT	2	
82	1 VC	1	
83	1 SP	1	
84	1 PAT	1	
85	2 JC	2	
86	2 SI	2	
87	2 SS	2	
88	1 SP	1	
89	1 SP	1	
90	3 GA	3	
91	1 PCT	1	
92	2 BT	2	
93	1 MS 6	1	
94	4 mp	4	
95	1 PM 10	1	
96	2 BT	2	
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104	1 MSL 6	1	
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108	1 CO 6	1	
109	1 CO 6	1	
110	1 CO 6	1	
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112	1 TMH	1	
113	6 REC	6	
114	1 CAV 2	1	
115	3 TMH	3	
116	3 EDE	3	
117	1 MSL 6	1	
118	1 VP 6	1	
119	2 BT	2	
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121	1 SP	1	
122	1 PAT	1	
123	2 JC	2	
124	2 SI	2	
125	2 SS	2	
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132	4 mp	4	
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134	2 BT	2	
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146	1 CO 6	1	
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154	3 EDE	3	
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174	4 ft	4	
175	3 EDE	3	
176	1 HV 4	1	
177	2 WF	2	
178	1 CAR 6	1	
179	3 M	3	
180	1 MSL 6	1	
181	3 M	3	
182	1 VP 6	1	
183	1 UR 2.5	1	
184	1 CO 6	1	
185	1 CO 6	1	
186	1 CO 6	1	
187	3 EDE	3	
188	1 TMH	1	
189	6 REC	6	
190	1 CAV 2	1	
191	3 TMH	3	
192	3 EDE	3	
193	1 MSL 6	1	
194	1 VP 6	1	
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196	1 VC	1	
197	1 SP	1	
198	1 PAT	1	
199	2 JC	2	
200	2 SI	2	
201	2 SS	2	
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208	4 mp	4	
209	1 PM 10	1	
210	2 BT	2	
211	1 MS 6	1	
212	4 ft	4	
213	3 EDE	3	
214	1 HV 4	1	
215	2 WF	2	
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218	1 MSL 6	1	
219	3 M	3	
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221	1 UR 2.5	1	
222	1 CO 6	1	
223	1 CO 6	1	
224	1 CO 6	1	
225	3 EDE	3	
226	1 TMH	1	
227	6 REC	6	
228	1 CAV 2	1	
229	3 TMH	3	
230	3 EDE	3	
231	1 MSL 6	1	
232	1 VP 6	1	
233	2 BT	2	
234	1 VC	1	
235	1 SP	1	
236	1 PAT	1	
237	2 JC	2	
238	2 SI	2	
239	2 SS	2	
240	1 SP	1	
241	1 SP	1	
242	3 GA	3	
243	1 PCT	1	
244	2 BT	2	
245	1 MS 6	1	
246	4 mp	4	
247	1 PM 10	1	
248	2 BT	2	
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250	4 ft	4	
251	3 EDE	3	
252	1 HV 4	1	
253	2 WF	2	
254	1 CAR 6	1	
255	3 M	3	
256	1 MSL 6	1	
257	3 M	3	
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259	1 UR 2.5	1	
260	1 CO 6	1	
261	1 CO 6	1	
262	1 CO 6	1	
263	3 EDE	3	
264	1 TMH	1	
265	6 REC	6	
266	1 CAV 2	1	
267	3 TMH	3	
268	3 EDE	3	
269	1 MSL 6	1	
270	1 VP 6	1	
271	2 BT	2	
272	1 VC	1	
273	1 SP	1	
274	1 PAT	1	
275	2 JC	2	
276	2 SI	2	
277	2 SS	2	
278	1 SP	1	
279	1 SP	1	
280	3 GA	3	
281	1 PCT	1	
282	2 BT	2	
283	1 MS 6	1	
284	4 mp	4	
285	1 PM 10	1	
286	2 BT	2	
287	1 MS 6	1	
288	4 ft	4	
289	3 EDE	3	
290	1 HV 4	1	
291	2 WF	2	
292	1 CAR 6	1	
293	3 M	3	
294	1 MSL 6	1	
295	3 M	3	
296	1 VP 6	1	
297	1 UR 2.5	1	
298	1 CO 6	1	
299	1 CO 6	1	
300	1 CO 6	1	
301	3 EDE	3	
302	1 TMH	1	
303	6 REC	6	
304	1 CAV 2	1	
305	3 TMH	3	
306	3 EDE	3	
307	1 MSL 6	1	
308	1 VP 6	1	
309	2 BT	2	
310	1 VC	1	
311	1 SP	1	
312	1 PAT	1	
313	2 JC	2	
314	2 SI	2	
315	2 SS	2	
316	1 SP	1	
317	1 SP	1	
318	3 GA	3	
319	1 PCT	1	
320	2 BT	2	
321	1 MS 6	1	
322	4 mp	4	
323	1 PM 10	1	



NORTH - SOUTH TOWN-HOME PLANT LIST

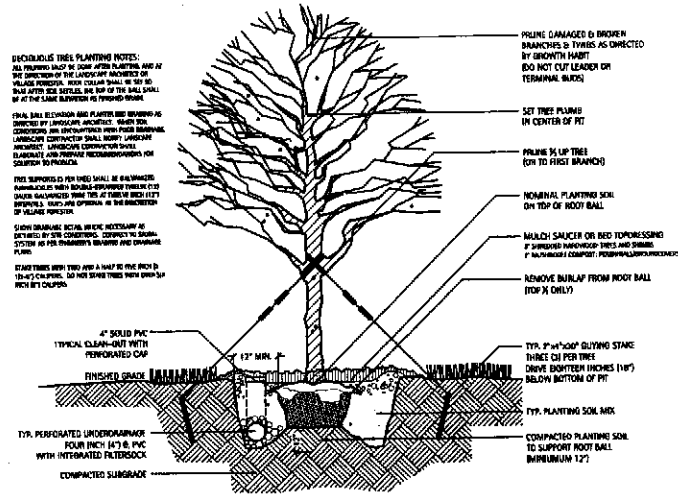
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13	1	133	133	133
14	1	144	144	144
15	1	155	155	155
16	1	166	166	166
17	1	177	177	177
18	1	188	188	188
19	1	199	199	199
20	1	200	200	200
21	1	211	211	211
22	1	222	222	222
23	1	233	233	233
24	1	244	244	244
25	1	255	255	255
26	1	266	266	266
27	1	277	277	277
28	1	288	288	288
29	1	299	299	299
30	1	300	300	300
31	1	311	311	311
32	1	322	322	322
33	1	333	333	333
34	1	344	344	344
35	1	355	355	355
36	1	366	366	366
37	1	377	377	377
38	1	388	388	388
39	1	399	399	399
40	1	400	400	400
41	1	411	411	411
42	1	422	422	422
43	1	433	433	433
44	1	444	444	444
45	1	455	455	455
46	1	466	466	466
47	1	477	477	477
48	1	488	488	488
49	1	499	499	499
50	1	500	500	500
51	1	511	511	511
52	1	522	522	522
53	1	533	533	533
54	1	544	544	544
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56	1	566	566	566
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59	1	599	599	599
60	1	600	600	600
61	1	611	611	611
62	1	622	622	622
63	1	633	633	633
64	1	644	644	644
65	1	655	655	655
66	1	666	666	666
67	1	677	677	677
68	1	688	688	688
69	1	699	699	699
70	1	700	700	700
71	1	711	711	711
72	1	722	722	722
73	1	733	733	733
74	1	744	744	744
75	1	755	755	755
76	1	766	766	766
77	1	777	777	777
78	1	788	788	788
79	1	799	799	799
80	1	800	800	800
81	1	811	811	811
82	1	822	822	822
83	1	833	833	833
84	1	844	844	844
85	1	855	855	855
86	1	866	866	866
87	1	877	877	877
88	1	888	888	888
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90	1	900	900	900
91	1	911	911	911
92	1	922	922	922
93	1	933	933	933
94	1	944	944	944
95	1	955	955	955
96	1	966	966	966
97	1	977	977	977
98	1	988	988	988
99	1	999	999	999
100	1	1000	1000	1000

NOTE: BACKBOUING PLANT IMAGING FOR ILLUSTRATIVE AND LAYOUT PURPOSES ONLY.

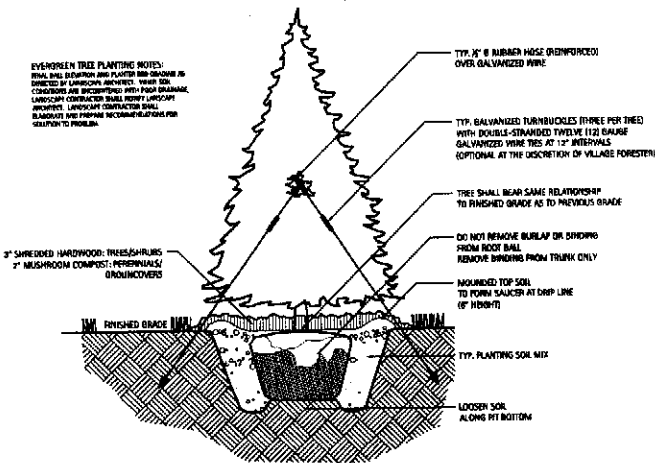


TYPICAL TRI-HOME CONFIGURATION

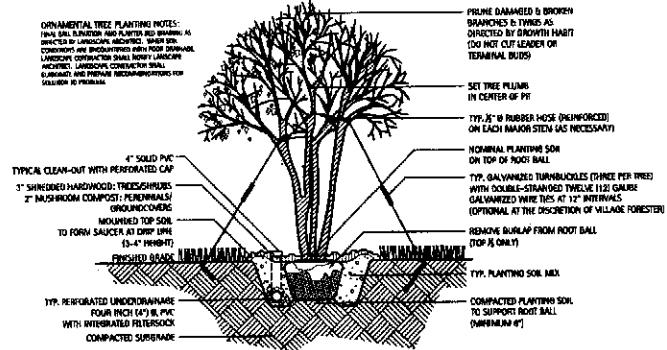




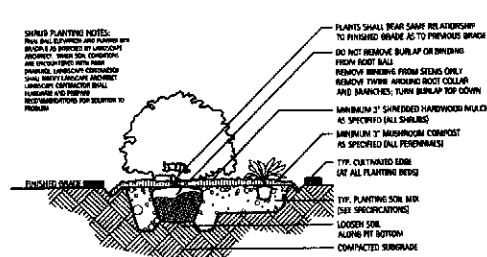
1 Typical Deciduous Tree Planting Detail
Scale: NTS



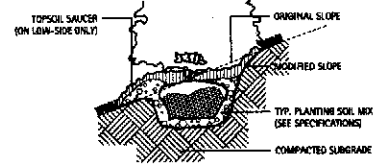
2 Typical Evergreen Tree Planting Detail
Scale: NTS



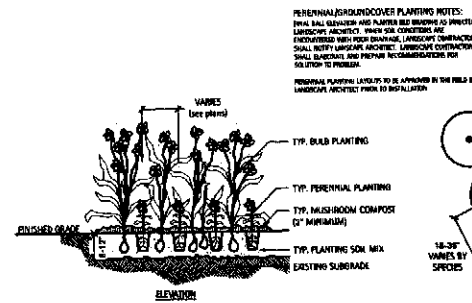
3 Typical Ornamental Tree Planting Detail
Scale: NTS



4 Typical Shrub Planting Detail
Scale: NTS



5 Typical Shrub Planting Detail (Slope)
Scale: NTS

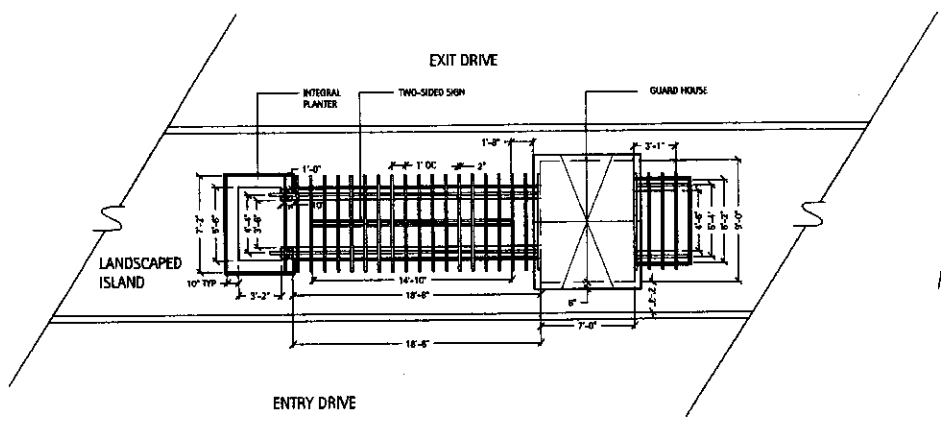


6 Typical Groundcover & Perennial Planting Detail
Scale: NTS

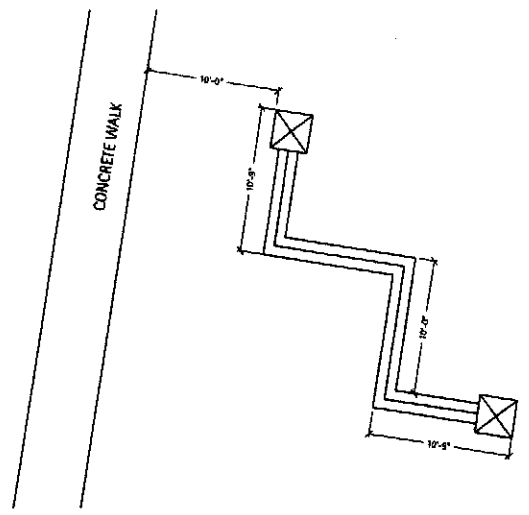


PLANTING DETAILS

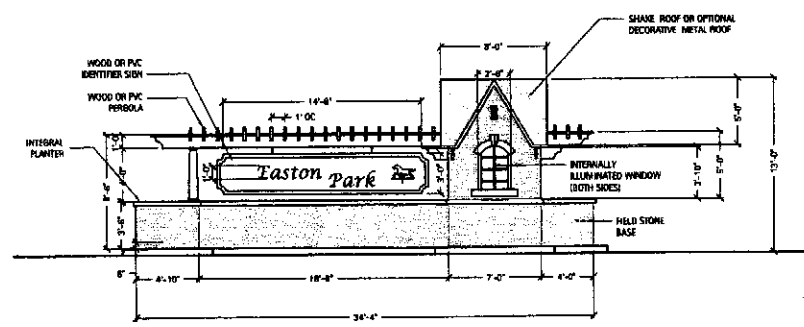
Prepared by:	05/20/25
Checked by:	07/26/25
Drawn by:	MARIN XU
Scale:	AS SHOWN



1 Entry Feature Plan
 Scale: 1/4"=1'-0"

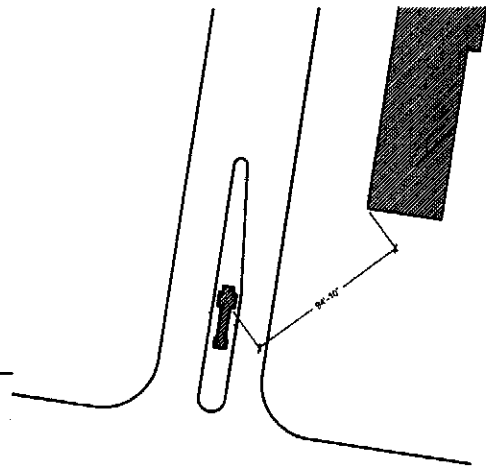


3 Entry Wall Plan
 Scale: 1/4"=1'-0"

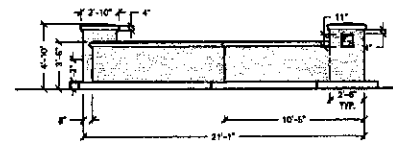


2 Entry Feature Elevation
 Scale: 1/4"=1'-0"

NOTE: Sign graphics for temporary purposes only,
 final graphics to be produced later.



4 Sign To Nearest Residence Plan
 Scale: 1"=30'



5 Entry Wall Elevation
 Scale: 1/4"=1'-0"



ENTRY FEATURE DETAILS

Revised:	DATE
1	07/26/08
2	
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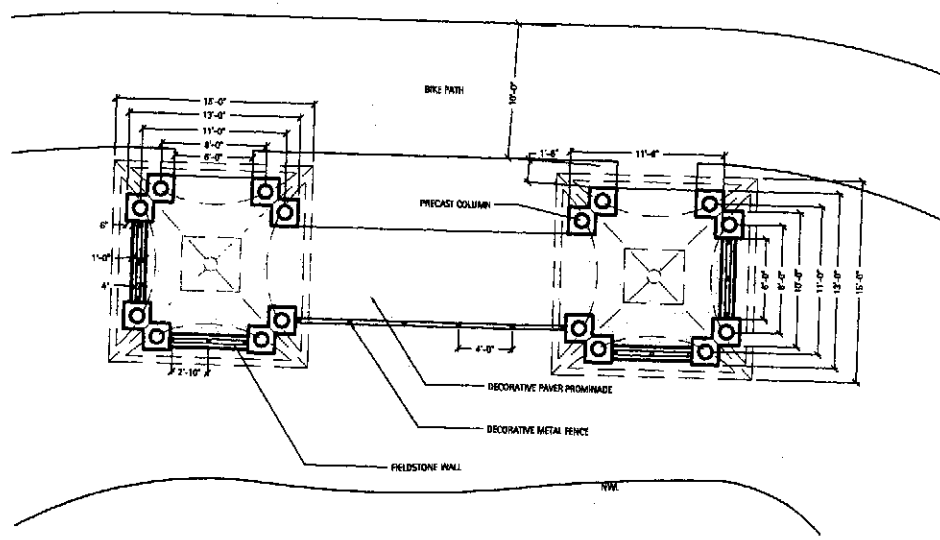
LAKOTA

THE LAKOTA GROUP INC.
313 West Lincoln Street, 3rd Floor
Chicago, Illinois 60610
312.487.8445
312.487.5484
info@thelakotagroup.com

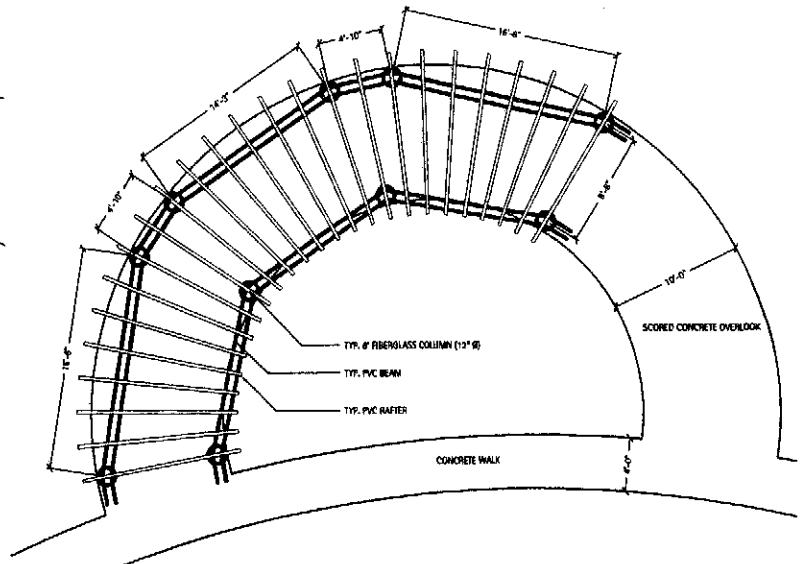
Planning
Urban Design
Landscape Architecture
Community Redevelopment

EASTON PARK Carol Stream, Illinois

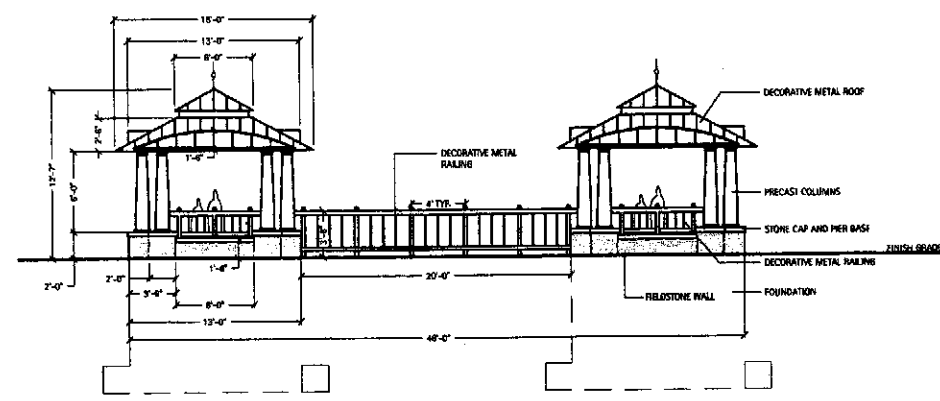
Lakewood Homes



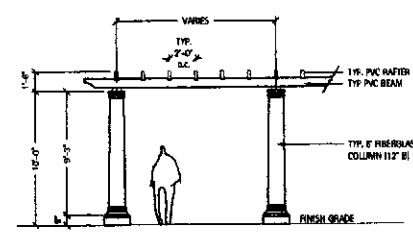
1 Pond Overlook Plan
Scale: 1/4"=1'-0"



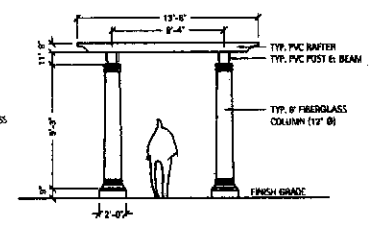
3 Great Lawn Pergola Plan
Scale: 1/4"=1'-0"



2 Pond Overlook Elevation
Scale: 1/4"=1'-0"



4 Great Lawn Pergola North - South Elevation
Scale: 1/4"=1'-0"



4 Great Lawn Pergola East - West Elevation
Scale: 1/4"=1'-0"



STRUCTURE DETAILS

NO.	DESCRIPTION	DATE



4-7 7-17-06

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A SPECIAL USE FOR
OUTDOOR ACTIVITIES AND OPERATIONS
(NORTHERN BUILDERS, NORTHEAST CORNER OF FULLERTON AVENUE
AND CENTER AVENUE)**

WHEREAS, Paul Marucci of Northern Builders, Inc., has requested approval of a Special Use permit in accordance with Section 16-10-2(B)(14) of the Carol Stream Zoning Code to allow the outdoor storage of 56 truck trailers in the I-Industrial District; and

WHEREAS, pursuant to proper legal notice, on June 26, 2006, the Combined Plan Commission/Zoning Board of Appeals considered the request for this special use and has determined that it would not pose a negative effect on property values in the area nor will it be unreasonably detrimental to the public health, safety or general welfare; and

WHEREAS, the corporate authorities find that the granting of this special use for outdoor parking of up to fifty-six truck trailers would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village, provided certain conditions are met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as the northeast corner of Fullerton and Center Avenues, be granted a special use for the outdoor parking of up to fifty-six (56) truck trailers subject to the following conditions:

1. That the parking area shall be screened by landscaping and fencing as per the approved Landscape Plan prepared by Ives/Ryan Group, Inc., dated July 8, 2006, attached hereto as Exhibit "A".
2. That not more than 56 trailers be permitted to be parked outdoors.
3. That no damaged or inoperable trailers or equipment be permitted to be stored outdoors on the property.
4. That the trailer doors shall remain closed and secured while being stored outdoors.
5. That the parked trailers shall not be used for outdoor storage (as storage bins).
6. That the evergreen trees shall be Austrian Pine.
7. That the spacings of the evergreen trees at time of planting shall be as per the landscape architect's specifications.
8. That all landscape materials shall be maintained in a neat and healthy manner, with dead or dying materials replaced with the approved size and type of species on an annual basis.
9. That the fence shall be 7-foot tall, board-on-board.
10. That the entire parking lot shall be striped in accordance with the Village's looped parking stall-striping standards.
11. That the facility shall comply with all state, county and Village codes and requirements.

LEGAL DESCRIPTION:

Lot 2 in I.P.F. No. 1 subdivision of part of the southwest quarter of Section 28, Township 40 North, Range 10, East of the Third Principal Meridian, according to the plat thereof recorded December 13, 1990 as Document R90-169544, in DuPage County, Illinois.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this

Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, and/or termination of the special use after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

I, _____, being the owner or other party of interest of the property

(please print)

legally described within this Ordinance, having read a copy of the Ordinance, do hereby accept, concur and agree to develop and use the subject property in accordance with the terms of this Ordinance.

(Date)

(signature)

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REVISIONS	
1	Additional Elevation # 12-08
2	Per Council Review Item # 20-06
3	Per Council Review Item # 25-09
4	Per Council Review Item # 25-09

GLEN ELLYN STORAGE CORPORATION OFFICE/ WAREHOUSE FACILITY

CAROL STREAM, IL

Ives/Ryan Group, Inc.
 Land Planning
 Landscape Architecture
 Golf Course Architecture

1801-A North Mill Street
 Naperville, IL 60563
 Phone: (630) 717-8724
 Fax: (630) 717-8875
 E-Mail: ivesryan@aol.com

CONCEPTUAL LANDSCAPE PLAN

PROJECT NO.: **L4106** JOB NO.: **7546A**

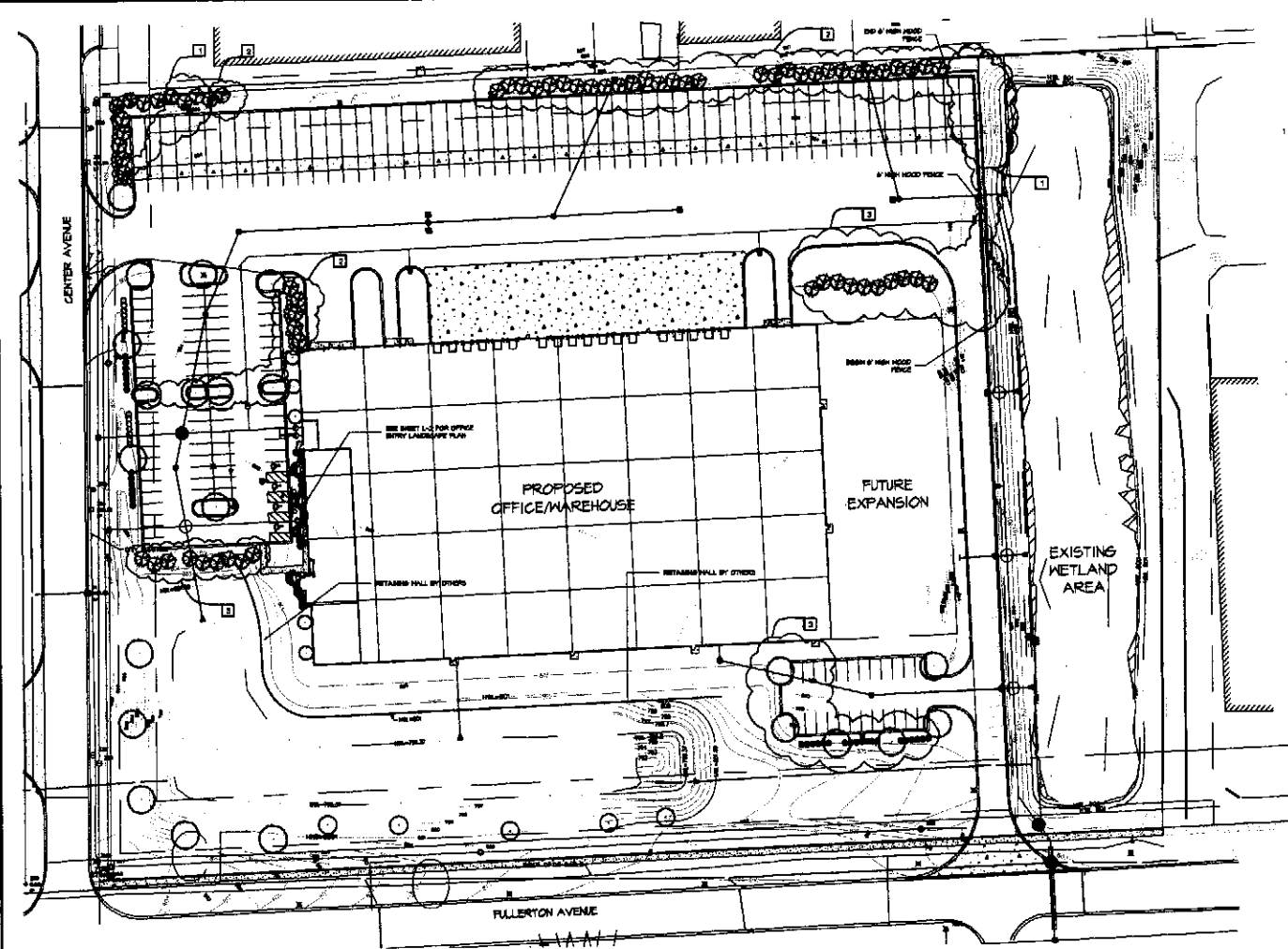
DATE: **5-2-09** SHEET: **17-47**

SCALE: _____

PLANNER: _____

DRAWN BY: _____

CHECKED: _____



- LEGEND**
- SHRUB TREE- 2.5' (TYP.)
 - ORNBARKED TREE- 2" (TYP.)
 - EVERGREEN TREE- 6' (TYP.)
 - NOTE: ALL EVERGREENS SHALL BE AESTRIAN PINES
 - LARGE DECIDUOUS SHRUB- 30' (TYP.)
 - SMALL DECIDUOUS SHRUB / SHRUB ROSES- 3 GAL. (TYP.)
 - EVERGREEN SHRUBS- 3 GAL. (TYP.)
 - PERENNIALS- 1 GAL. (TYP.)

GENERAL NOTES

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plan to represent minimum requirements.

The requirements for measurement, planting and ball size shall conform to the Code of Standards (ANSI Z60.1 - PERC) by the American Association of Nurserymen, Inc.

Drainage shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

All plant species specified are subject to availability. Material shortages in the landscape shall require substitutions. All substitutions must be approved by the City and Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "CALL 811" Local Utility Location for businesses 1-800-480-0123.

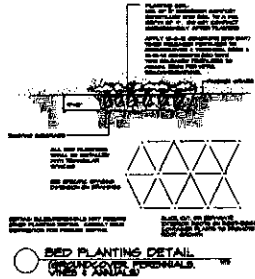
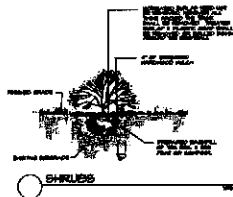
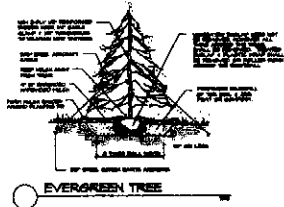
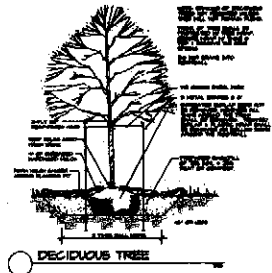
All perimeter trees shall be topdressed with a minimum of three inches (3") of mulch/wood compost. The topdressing shall be worked into the soil to a minimum depth of one inch (1") by the use of a rotating mulcher. Open competition perennials shall be mulched with an additional one inch (1") layer of shredded wood mulch.

All other planting beds and tree enclosures shall be mulched with a minimum of four inches (4") of shredded wood mulch.

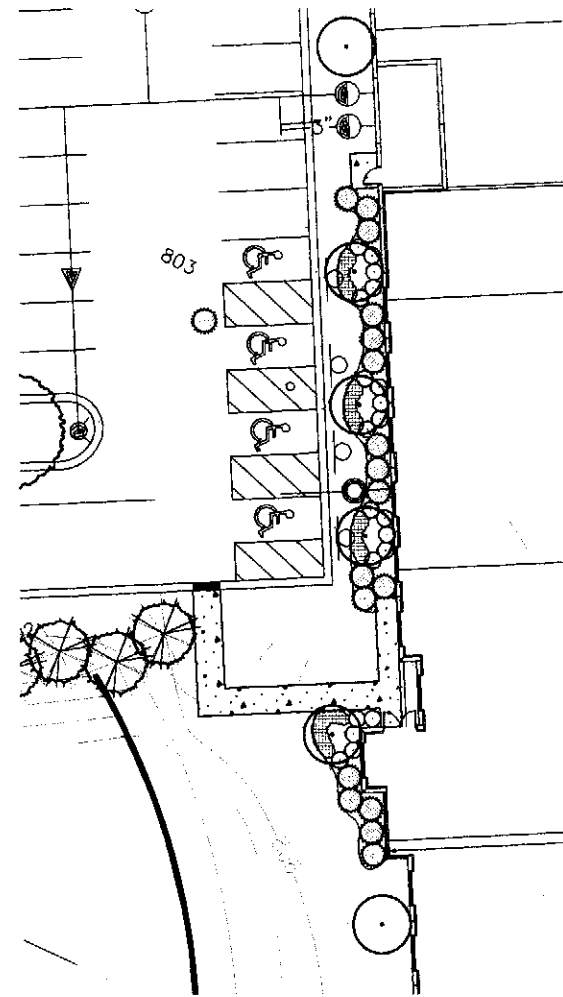
All bed base and tree squares shall require a hard spaced edge between lawn and mulched areas.

Grass seed shall be applied mechanically so that the seed is incorporated into the top one-inch (1") of the soil level. The seed shall then be covered with 1/2"-1" inch.





- LEGEND**
- SHADE TREE - 25' (TYP)
 - ORNAMENTAL TREE - 2' (TYP)
 - ○ ○ DWARF DECIDUOUS SHRUBS / SHRUB ROSES - 3 GAL. (TYP)
 - ○ ○ ○ EVERGREEN SHRUBS - 5 GAL. (TYP)
 - ○ ○ ○ PERENNIALS - 1 GAL. (TYP)



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REVISIONS

GLEN ELLYN STORAGE CORPORATION OFFICE/ WAREHOUSE FACILITY

CAROL STREAM, IL

Ives/Ryan Group, Inc.
 Land Planning
 Landscape Architecture
 Golf Course Architecture
 1801-A North Mill Street
 Naperville, IL 60563
 Phone: (630) 717-0756
 Fax: (630) 717-0875
 E-Mail: ivesryan@aol.com

CONCEPTUAL LANDSCAPE PLAN

PROJECT NO.: L4106	JOB NO.: 7546A
DATE: 8-5-08	SHEET
SCALE: 1"=10'	
PLANNER:	
DRAWN BY:	
CHECKED:	



EXHIBIT A
2 of 2

H-8 7-17-06

ORDINANCE NO. _____

AN ORDINANCE GRANTING A FRONT YARD PARKING SETBACK VARIATION, A VARIATION OF THE REQUIRED PARKING LOT LANDSCAPED AREA AND A VARIATION TO ALLOW THE PERIMETER OF THE PARKING LOT TO NOT HAVE CURB (500 NORTH GARY AVENUE)

WHEREAS, the Village of Carol Stream, owner of the property located at 500 North Gary Avenue, has requested variations from the parking lot setback requirements in accordance with Section 16-5-6(J)(4) and parking lot curb and landscaping requirements in accordance with Section 16-5-6(L)(2) and (3) of the Carol Stream Zoning Code to allow for the reconstruction of the parking lot at the Gregory J. Bielawski Municipal Center; and

WHEREAS, pursuant to proper notice, the Combined Plan Commission/Zoning Board of Appeals, at its public hearing July 10, 2006, reviewed this request for parking and landscape variations and has submitted its findings to the corporate authorities; and

WHEREAS, the Combined Board has filed its minutes regarding its recommendation of approval for this request with the Corporate Authorities; and

WHEREAS, the Corporate Authorities of the Village have determined that approval of these variations would not be inconsistent with surrounding uses nor be contrary to the intent of the Zoning Code of the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the property legally described in Section 1 of this Ordinance, commonly known as 500 North Gary Avenue, be granted approval of the requested front yard parking setback from 30 feet to 20 feet, a variation of the required parking

lot landscaped area from 10% to 6.8%, and a variation to allow the perimeter of the new parking lot to have curb, provided the following conditions are met:

1. That the entire parking lot shall be striped in accordance with the Village's looped parking stall striping standards.
2. That the new proposed landscape materials shall be installed in the quantity and size indicated on the landscape plan, with any dead or dying landscape materials being replaced with the approved size and type species on an annual basis.
3. That wheel stops be provided at all perimeter parking spaces.
4. That building permits shall be obtained, as necessary, for all work to be done on the property.
5. That the building and property shall comply with all applicable state, county and Village Codes and requirements.

LEGAL DESCRIPTION

Lot 1 through 11, inclusive, in block 2 and tracts "B" and "C" in the Greenway at Carol Stream Section 1, a subdivision of a portion of the south half of the southwest quarter of Section 29, and a portion of the north half of the northwest quarter of Section 32, all in Township 40 North, Range 10 East of the Third Principal Meridian, in the Village of Carol Stream, DuPage County, Illinois, according to the plat thereof recorded May 22, 1974 as Document No. R74-24788.

SECTION 2: This Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance is executed by the owners of the subject property or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance, or within such extension of time as may be granted by the corporate authorities by motion.

SECTION 3: That failure of the owner or other party in interest, or a subsequent owner or other party in interest, to comply with the terms of this Ordinance, after execution of said Ordinance, shall subject the owner or party in interest to the

penalties set forth in Section 16-17-7, A and B of the Village of Carol Stream Zoning Code, after notice and public hearing in accordance with the procedures required by statute and the Carol Stream Zoning Code for an amendment to the Zoning Code.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

ORDINANCE NO. _____

**AN ORDINANCE OF THE VILLAGE OF CAROL STREAM,
DU PAGE COUNTY, ILLINOIS ASCERTAINING THE
PREVAILING RATE OF WAGES FOR LABORERS, WORKERS AND
MECHANICS EMPLOYED ON PUBLIC WORKS PROJECTS OF SAID VILLAGE**

WHEREAS, the State of Illinois has enacted "An ACT regulating wages of laborers, mechanics and other workers employed in any public works by the State, County, City or any public body or any political subdivision or by anyone under contract for public works." approved June 26, 1941, as amended, (Ill. Comp.Stat. 1992, Ch.820, par.130/0.01 et seq., previously Ill. Rev. Stat. 1987, Ch. 48, par.39s-1 et seq., as amended by Public Acts 86-799 and 86-693); and,

WHEREAS, the aforesaid Act requires that the Board of Trustees of the Village of Carol Stream investigate and ascertain the prevailing rate of wages as defined in said Act for laborers, mechanics and other workers in the locality of said Village of Carol Stream employed in performing construction or public works for said Village of Carol Stream.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: To the extent and as required by "An Act regulating wages of laborers, mechanics and other workers employed in any public works by the State, County, City or any public body or any political subdivision or by anyone under contract for public works," approved June 26, 1941, as amended, the general prevailing rate of wages in this locality for laborers, mechanics and

other workers engaged in the construction of public works coming under the jurisdiction of this Village is hereby ascertained to be the same as the prevailing rate of wages for construction work in DuPage County area as determined by the Department of Labor of the State of Illinois as of June of the current year, a copy of that determination being attached hereto and incorporated herein by reference. As required by said Act, any and all revisions of the prevailing rate of wages by the Department of Labor of the State of Illinois shall supersede the Department's June determination and apply to any and all public works construction undertaken by the Village of Carol Stream. The definition of any terms appearing in this ordinance which are also used in aforesaid Act shall be the same as in said Act.

SECTION 2: Nothing herein contained shall be construed to apply said general prevailing rate of wages as herein ascertained to any work or employment except public works construction of this Village to the extent required by the aforesaid Act.

SECTION 3: The Village Clerk shall publicly post or keep available for inspection by any interested party in the main office of the Village this determination or any revisions of such prevailing rate of wage. A copy of this determination or of the current revised determination of prevailing rate of wages then in effect shall be attached to all contract specifications.

SECTION 4: The Village Clerk shall mail a copy of this determination to any employer, and to any association of employers and to any person or association of employees who have filed their names and addresses, requesting copies of any determination stating the particular rates and the particular class of workers whose wages will be affected by such rates.

SECTION 5: The Village Clerk shall promptly file a certified copy of this Ordinance with both the Secretary of State and the Department of Labor of the State of Illinois.

SECTION 6: The Village Clerk shall cause to be published in a newspaper of general circulation within the area a notice of its determination in substantially the following form:

"Please take notice that the President and Board of Trustees of the Village of Carol Stream, DuPage County, Illinois, has investigated and ascertained the prevailing rate of wages in accordance with Chapter 48, Section 39s-4, Illinois Revised Statutes, and that a copy of such determination is on file in the office of the Village Clerk of the Village of Carol Stream, and is available for public inspection by any interested party.

Such publication shall constitute notice that the determination is effective and that this is the determination of the Village of Carol Stream.

SECTION 7: This ordinance shall be in full force and effect upon its passage and approval as provided by law.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

Du Page County Prevailing Wage for July 2006

Trade Name	RG	TYP	C	Base	FRMAN	*M-F>8	OSA	OSH	H/W	Pensn	Vac	Trng
=====	==	===	=	=====	=====	=====	====	====	=====	=====	=====	=====
ASBESTOS ABT-GEN		ALL		30.150	30.900	1.5	1.5	2.0	6.860	3.940	0.000	0.170
ASBESTOS ABT-MEC		BLD		23.300	24.800	1.5	1.5	2.0	7.860	4.910	0.000	0.000
BOILERMAKER		BLD		37.700	41.090	2.0	2.0	2.0	6.720	6.790	0.000	0.210
BRICK MASON		BLD		33.250	36.580	1.5	1.5	2.0	6.450	7.020	0.000	0.440
CARPENTER		ALL		35.320	37.320	1.5	1.5	2.0	6.760	5.310	0.000	0.490
CEMENT MASON		ALL		31.750	33.000	2.0	1.5	2.0	6.300	9.650	0.000	0.130
CERAMIC TILE FNSHER		BLD		28.520	0.000	2.0	1.5	2.0	5.650	5.750	0.000	0.330
COMMUNICATION TECH		BLD		29.200	31.300	1.5	1.5	2.0	7.000	9.790	0.000	0.440
ELECTRIC PWR EQMT OP		ALL		27.920	35.880	1.5	1.5	2.0	4.750	7.820	0.000	0.210
ELECTRIC PWR GRNDMAN		ALL		21.640	35.880	1.5	1.5	2.0	4.750	6.060	0.000	0.160
ELECTRIC PWR LINEMAN		ALL		33.220	35.880	1.5	1.5	2.0	4.750	9.310	0.000	0.250
ELECTRIC PWR TRK DRV		ALL		22.340	35.880	1.5	1.5	2.0	4.750	6.260	0.000	0.170
ELECTRICIAN		BLD		31.500	34.650	1.5	1.5	2.0	8.000	11.35	3.470	0.470
ELEVATOR CONSTRUCTOR		BLD		40.745	45.840	2.0	2.0	2.0	7.775	5.090	2.445	0.400
FENCE ERECTOR	NE	ALL		25.840	27.090	1.5	1.5	2.0	7.250	7.080	0.000	0.200
FENCE ERECTOR	W	ALL		34.100	35.810	2.0	2.0	2.0	7.690	13.11	0.000	0.230
GLAZIER		BLD		31.400	32.400	1.5	2.0	2.0	6.490	9.050	0.000	0.500
HT/FROST INSULATOR		BLD		33.300	35.050	1.5	1.5	2.0	7.860	8.610	0.000	0.310
IRON WORKER	E	ALL		36.250	37.750	2.0	2.0	2.0	8.970	10.77	0.000	0.300
IRON WORKER	W	ALL		34.100	35.810	2.0	2.0	2.0	7.690	13.11	0.000	0.230
LABORER		ALL		30.150	30.900	1.5	1.5	2.0	6.860	3.940	0.000	0.170
LATHER		BLD		35.320	37.320	1.5	1.5	2.0	6.760	5.310	0.000	0.490
MACHINIST		BLD		36.890	38.890	2.0	2.0	2.0	4.380	5.650	2.550	0.000
MARBLE FINISHERS		ALL		25.750	0.000	1.5	1.5	2.0	6.070	7.020	0.000	0.580
MARBLE MASON		BLD		33.250	36.580	1.5	1.5	2.0	6.450	7.020	0.000	0.580
MILLWRIGHT		ALL		35.320	37.320	1.5	1.5	2.0	6.760	5.310	0.000	0.490
OPERATING ENGINEER		BLD	1	41.550	45.550	2.0	2.0	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		BLD	2	40.250	45.550	2.0	2.0	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		BLD	3	37.700	45.550	2.0	2.0	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		BLD	4	35.950	45.550	2.0	2.0	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		HWY	1	39.750	43.750	1.5	1.5	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		HWY	2	39.200	43.750	1.5	1.5	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		HWY	3	37.150	43.750	1.5	1.5	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		HWY	4	35.750	43.750	1.5	1.5	2.0	6.850	5.600	1.900	0.700
OPERATING ENGINEER		HWY	5	34.550	43.750	1.5	1.5	2.0	6.850	5.600	1.900	0.700
ORNAMNTL IRON WORKER E	E	ALL		33.600	35.350	2.0	2.0	2.0	7.250	10.09	0.000	0.750
ORNAMNTL IRON WORKER W	W	ALL		34.100	35.810	2.0	2.0	2.0	7.690	13.11	0.000	0.230
PAINTER		ALL		34.380	35.380	1.5	1.5	1.5	5.650	5.750	0.000	0.350
PAINTER SIGNS		BLD		27.640	31.030	1.5	1.5	1.5	2.600	2.210	0.000	0.000
PILEDRIIVER		ALL		35.320	37.320	1.5	1.5	2.0	6.760	5.310	0.000	0.490
PIPEFITTER		BLD		36.010	38.010	1.5	1.5	2.0	8.450	8.690	0.000	0.950
PLASTERER		BLD		32.000	33.500	1.5	1.5	2.0	6.450	6.770	0.000	0.570
PLUMBER		BLD		36.010	38.010	1.5	1.5	2.0	8.450	8.690	0.000	0.950
ROOFER		BLD		33.650	35.650	1.5	1.5	2.0	6.110	3.160	0.000	0.330
SHEETMETAL WORKER		BLD		36.510	38.510	1.5	1.5	2.0	6.890	8.020	0.000	0.640
SPRINKLER FITTER		BLD		36.000	38.000	1.5	1.5	2.0	8.000	5.600	0.000	0.500
STEEL ERECTOR	E	ALL		36.250	37.750	2.0	2.0	2.0	8.970	10.77	0.000	0.300
STEEL ERECTOR	W	ALL		34.100	35.810	2.0	2.0	2.0	7.690	13.11	0.000	0.230
STONE MASON		BLD		33.250	36.580	1.5	1.5	2.0	6.450	7.020	0.000	0.440
TERRAZZO FINISHER		BLD		29.290	0.000	1.5	1.5	2.0	5.650	6.940	0.000	0.270
TERRAZZO MASON		BLD		33.650	36.650	1.5	1.5	2.0	5.650	8.610	0.000	0.300
TILE MASON		BLD		34.600	38.600	2.0	1.5	2.0	5.650	7.000	0.000	0.460
TRAFFIC SAFETY WRKR		HWY		22.800	24.400	1.5	1.5	2.0	3.078	1.875	0.000	0.000
TRUCK DRIVER		ALL	1	29.700	30.250	1.5	1.5	2.0	6.500	3.450	0.000	0.000

TRUCK DRIVER	ALL 2	29.850	30.250	1.5	1.5	2.0	6.500	3.450	0.000	0.000
TRUCK DRIVER	ALL 3	30.050	30.250	1.5	1.5	2.0	6.500	3.450	0.000	0.000
TRUCK DRIVER	ALL 4	30.250	30.250	1.5	1.5	2.0	6.500	3.450	0.000	0.000
TUCKPOINTER	BLD	34.500	35.500	1.5	1.5	2.0	4.710	6.340	0.000	0.400

Legend:

- M-F>8 (Overtime is required for any hour greater than 8 worked each day, Monday through Friday.)
- OSA (Overtime is required for every hour worked on Saturday)
- OSH (Overtime is required for every hour worked on Sunday and Holidays)
- H/W (Health & Welfare Insurance)
- Pensn (Pension)
- Vac (Vacation)
- Trng (Training)

Explanations

DUPAGE COUNTY

IRON WORKERS AND FENCE ERECTOR (WEST) - West of Route 53.

The following list is considered as those days for which holiday rates of wages for work performed apply: New Years Day, Memorial/Decoration Day, Fourth of July, Labor Day, Veterans Day, Thanksgiving Day, Christmas Day. Generally, any of these holidays which fall on a Sunday is celebrated on the following Monday. This then makes work performed on that Monday payable at the appropriate overtime rate for holiday pay. Common practice in a given local may alter certain days of celebration such as the day after Thanksgiving for Veterans Day. If in doubt, please check with IDOL.

EXPLANATION OF CLASSES

ASBESTOS - GENERAL - removal of asbestos material/mold and hazardous materials from any place in a building, including mechanical systems where those mechanical systems are to be removed. This includes the removal of asbestos materials/mold and hazardous materials from ductwork or pipes in a building when the building is to be demolished at the time or at some close future date.

ASBESTOS - MECHANICAL - removal of asbestos material from mechanical systems, such as pipes, ducts, and boilers, where the mechanical systems are to remain.

TRAFFIC SAFETY - work associated with barricades, hoses and drums used to reduce lane usage on highway work, the installation and removal of temporary lane markings, and the installation and removal of temporary road signs.

CERAMIC TILE FINISHER

The grouting, cleaning, and polishing of all classes of tile, whether for interior or exterior purposes, all burned, glazed or unglazed products; all composition materials, granite tiles, warning detectable tiles, cement tiles, epoxy composite materials, pavers, glass, mosaics, fiberglass, and all substitute materials, for tile made in tile-like units; all mixtures in tile like form of cement, metals, and other materials that are for and intended for use as a finished floor surface, stair treads, promenade roofs, walks, walls, ceilings, swimming pools, and all other places where tile is to form a finished

interior or exterior. The mixing of all setting mortars including but not limited to thin-set mortars, epoxies, wall mud, and any other sand and cement mixtures or adhesives when used in the preparation, installation, repair, or maintenance of tile and/or similar materials. The handling and unloading of all sand, cement, lime, tile, fixtures, equipment, adhesives, or any other materials to be used in the preparation, installation, repair, or maintenance of tile and/or similar materials. Ceramic Tile Finishers shall fill all joints and voids regardless of method on all tile work, particularly and especially after installation of said tile work. Application of any and all protective coverings to all types of tile installations including, but not be limited to, all soap compounds, paper products, tapes, and all polyethylene coverings, plywood, masonite, cardboard, and any new type of products that may be used to protect tile installations, Blastrac equipment, and all floor scarifying equipment used in preparing floors to receive tile. The clean up and removal of all waste and materials. All demolition of existing tile floors and walls to be re-tiled.

COMMUNICATIONS TECHNICIAN

Low voltage installation, maintenance and removal of telecommunication facilities (voice, sound, data and video) including telephone and data inside wire, interconnect, terminal equipment, central offices, PABX, fiber optic cable and equipment, micro waves, V-SAT, bypass, CATV, WAN (wide area networks), LAN (local area networks), and ISDN (integrated system digital network), pulling of wire in raceways, but not the installation of raceways.

MARBLE FINISHER

Loading and unloading trucks, distribution of all materials (all stone, sand, etc.), stocking of floors with material, performing all rigging for heavy work, the handling of all material that may be needed for the installation of such materials, building of scaffolding, polishing if needed, patching, waxing of material if damaged, pointing up, caulking, grouting and cleaning of marble, holding water on diamond or Carborundum blade or saw for setters cutting, use of tub saw or any other saw needed for preparation of material, drilling of holes for wires that anchor material set by setters, mixing up of molding plaster for installation of material, mixing up thin set for the installation of material, mixing up of sand to cement for the installation of material and such other work as may be required in helping a Marble Setter in the handling of all material in the erection or installation of interior marble, slate, travertine, art marble, serpentine, alberene stone, blue stone, granite and other stones (meaning as to stone any foreign or domestic materials as are specified and used in building interiors and exteriors and customarily known as stone in the trade), carrara, sanionyx, vitrolite and similar opaque glass and the laying of all marble tile, terrazzo tile, slate tile and precast tile, steps, risers treads, base, or any other materials that may be used as substitutes for any of the aforementioned materials and which are used on interior and exterior which sare installed in a similar manner.

TRUCK DRIVER - BUILDING, HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Two or three Axle Trucks. A-frame Truck when used for transportation purposes; Air Compressors and Welding Machines, including those pulled by cars, pick-up trucks and tractors;

Ambulances; Batch Gate Lockers; Batch Hopperman; Car and Truck Washers; Carry-alls; Fork Lifts and Hoisters; Helpers; Mechanics Helpers and Greasers; Oil Distributors 2-man operation; Pavement Breakers; Pole Trailer, up to 40 feet; Power Mower Tractors; Self-propelled Chip Spreader; Skipman; Slurry Trucks, 2-man operation; Slurry Truck Conveyor Operation, 2 or 3 man; Teamsters Unskilled dumpman; and Truck Drivers hauling warning lights, barricades, and portable toilets on the job site.

Class 2. Four axle trucks; Dump Crets and Adgetors under 7 yards; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnapulls or Turnatrailers when pulling other than self-loading equipment or similar equipment under 16 cubic yards; Mixer Trucks under 7 yards; Ready-mix Plant Hopper Operator, and Winch Trucks, 2 Axles.

Class 3. Five axle trucks; Dump Crets and Adgetors 7 yards and over; Dumpsters, Track Trucks, Euclids, Hug Bottom Dump Turnatrailers or turnapulls when pulling other than self-loading equipment or similar equipment over 16 cubic yards; Explosives and/or Fission Material Trucks; Mixer Trucks 7 yards or over; Mobile Cranes while in transit; Oil Distributors, 1-man operation; Pole Trailer, over 40 feet; Pole and Expandable Trailers hauling material over 50 feet long; Slurry trucks, 1-man operation; Winch trucks, 3 axles or more; Mechanic--Truck Welder and Truck Painter.

Class 4. Six axle trucks; Dual-purpose vehicles, such as mounted crane trucks with hoist and accessories; Foreman; Master Mechanic; Self-loading equipment like P.B. and trucks with scoops on the front.

OPERATING ENGINEERS - BUILDING

Class 1. Mechanic; Asphalt Plant; Asphalt Spreader; Autograde; Backhoes with Caisson attachment; Batch Plant; Benoto; Boiler and Throttle Valve; Caisson Rigs; Central Redi-Mix Plant; Combination Back Hoe Front End-loader Machine; Compressor and Throttle Valve; Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver; Concrete Placer; Concrete Placing Boom; Concrete Pump (Truck Mounted); Concrete Tower; Cranes, All; Cranes, Hammerhead; Cranes, (GCI and similar Type); Creter Crane; Crusher, Stone, etc.; Derricks, All; Derricks, Traveling; Formless Curb and Gutter Machine; Grader, Elevating; Grouting Machines; Highlift Shovels or Front Endloader 2-1/4 yd. and over; Hoists, Elevators, outside type rack and pinion and similar machines; Hoists, one, two and three Drum; Hoists, Two Tugger One Floor; Hydraulic Backhoes; Hydraulic Boom Trucks; Hydro Vac (and similar equipment); Locomotives, All; Motor Patrol; Pile Drivers and Skid Rig; Post Hole Digger; Pre-Stress Machine; Pump Cretes Dual Ram; Pump Cretes; Squeeze Cretes-screw Type Pumps; Raised and Blind Hole Drill; Roto Mill Grinder; Scoops - Tractor Drawn; Slip-form Paver; Straddle Buggies; Tournapull; Tractor with Boom and Side Boom; Trenching Machines.

Class 2. Bobcat (over 3/4 cu. yd.); Boilers; Brick Forklift; Broom, All Power Propelled; Bulldozers; Concrete Mixer (Two Bag and Over); Conveyor, Portable; Fortlist Trucks; Greaser Engineer; Highlift Shovels or Front Endloaders under 2-1/4 yd.; Hoists, Automatic; Hoists, inside Freight Elevators; Hoists, Sewer Dragging Machine; Hoists, Tugger Single Drum; Laser Screed; Rock Drill (self-propelled); Rock Drill (truck mounted); Rollers, All; Steam Generators; Tractors,

All; Tractor Drawn Vibratory Roller; Winch Trucks with "A" Frame.

Class 3. Air Compressor; Combination - Small Equipment Operator; Generators; Heaters, Mechanical; Hoists, Inside Elevators - (Rheostat Manual Controlled); Hydraulic Power Units (Pile Driving, Extracting, and Drilling); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Welding Machines (2 through 5); Winches, 4 small Electric Drill Winches; Bobcat (up to and including 3/4 cu. yd.).

Class 4. Bobcats and/or other Skid Steer Loaders; Oilers; and Brick Forklift.

OPERATING ENGINEERS - HEAVY AND HIGHWAY CONSTRUCTION

Class 1. Craft Foreman; Asphalt Plant; Asphalt Heater and Planer Combination; Asphalt Heater Scarfire; Asphalt Spreader; Autograder/GOMACO or other similar type machines; ABG Paver; Backhoes with Caisson attachment; Ballast Regulator; Belt Loader; Caisson Rigs; Car Dumper; Central Redi-Mix Plant; Combination Backhoe Front Endloader Machine, (1 cu. yd. Backhoe Bucket or over or with attachments); Concrete Breaker (Truck Mounted); Concrete Conveyor; Concrete Paver over 27E cu. ft.; Concrete Placer; Concrete Tube Float; Cranes, all attachments; Cranes, Hammerhead, Linden, Peco & Machines of a like nature; Crete Crane; Crusher, Stone, etc.; Derricks, All; Derrick Boats; Derricks, Traveling; Dowell machine with Air Compressor; Dredges; Field Mechanic-Welder; Formless Curb and Gutter Machine; Gradall and Machines of a like nature; Grader, Elevating; Grader, Motor Grader, Motor Patrol, Auto Patrol, Form Grader, Pull Grader, Subgrader; Guard Rail Post Driver Mounted; Hoists, One, Two and Three Drum; Hydraulic Backhoes; Backhoes with shear attachments; Mucking Machine; Pile Drivers and Skid Rig; Pre-Stress Machine; Pump Cretes Dual Ram; Rock Drill - Crawler or Skid Rig; Rock Drill - Truck Mounted; Roto Mill Grinder; Slip-Form Paver; Soil Test Drill Rig (Truck Mounted); Straddle Buggies; Hydraulic Telescoping Form (Tunnel); Tractor Drawn Belt Loader (with attached pusher - two engineers); Tractor with Boom; Tractaire with Attachments; Trenching Machine; Truck Mounted Concrete Pump with Boom; Raised or Blind Hole; Drills (Tunnel Shaft); Underground Boring and/or Mining Machines; Wheel Excavator; Widener (APSCO).

Class 2. Batch Plant; Bituminous Mixer; Boiler and Throttle Valve; Bulldozers; Car Loader Trailing Conveyors; Combination Backhoe Front Endloader Machine (less than 1 cu. yd. Backhoe Bucket or over or with attachments); Compressor and Throttle Valve; Compressor, Common Receiver (3); Concrete Breaker or Hydro Hammer; Concrete Grinding Machine; Concrete Mixer or Paver 7S Series to and including 27 cu. ft.; Concrete Spreader; Concrete Curing Machine, Burlap Machine, Belting Machine and Sealing Machine; Concrete Wheel Saw; Conveyor Muck Cars (Haglund or Similar Type); Drills, All; Finishing Machine - Concrete; Greaser Engineer; Highlift Shovels or Front Endloader; Hoist - Sewer Dragging Machine; Hydraulic Boom Trucks (All Attachments); Hydro-Blaster; All Locomotives, Dinky; Pump Cretes; Squeeze Cretes-Screw Type Pumps, Gypsum Bulker and Pump; Roller, Asphalt; Rotary Snow Plows; Rototiller, Seaman, etc., self-propelled; Scoops - Tractor Drawn; Self-Propelled Compactor; Spreader - Chip - Stone, etc.; Scraper; Scraper - Prime Mover in Tandem (Regardless of Size); Tank Car Heater; Tractors, Push, Pulling Sheeps Foot, Disc, Compactor, etc.; Tug Boats.

Class 3. Boilers; Brooms, All Power Propelled; Cement Supply Tender; Compressor, Common Receiver (2); Concrete Mixer (Two Bag and Over); Conveyor, Portable; Farm-Type Tractors Used for Mowing, Seeding, etc.; Fireman on Boilers; Forklift Trucks; Grouting Machine; Hoists, Automatic; Hoists, All Elevators; Hoists, Tugger Single Drum; Jeep Diggers; Pipe Jacking Machines; Post-Hole Digger; Power Saw, Concrete Power Driven; Pug Mills; Rollers, other than asphalt; Seed and Straw Blower; Steam Generators; Stump Machine; Winch Trucks with "A" Frame; Work Boats; Tamper - Form-Motor Driven.

Class 4. Air Compressor; Combination - Small Equipment Operator; Directional Boring Machine; Generators; Heaters, Mechanical; Hydraulic Power Unit (Pile Driving, Extracting, or Drilling); Hydro-Blaster; Light Plants, All (1 through 5); Pumps, over 3" (1 to 3 not to exceed a total of 300 ft.); Pumps, Well Points; Tractaire; Welding Machines (2 through 5); Winches, 4 Small Electric Drill Winches.

Class 5. Bobcats (all); Brick Forklifts, Oilers.

TERRAZZO FINISHER

The handling of sand, cement, marble chips, and all other materials that may be used by the Mosaic Terrazzo Mechanic, and the mixing, grinding, grouting, cleaning and sealing of all Marble, Mosaic, and Terrazzo work, floors, base, stairs, and wainscoting by hand or machine, and in addition, assisting and aiding Marble, Masonic, and Terrazzo Mechanics.

Other Classifications of Work:

For definitions of classifications not otherwise set out, the Department generally has on file such definitions which are available. If a task to be performed is not subject to one of the classifications of pay set out, the Department will upon being contacted state which neighboring county has such a classification and provide such rate, such rate being deemed to exist by reference in this document. If no neighboring county rate applies to the task, the Department shall undertake a special determination, such special determination being then deemed to have existed under this determination. If a project requires these, or any classification not listed, please contact IDOL at 618/993-7271 for wage rates or clarifications.

LANDSCAPING


Landscaping work falls under the existing classifications for laborer, operating engineer and truck driver. The work performed by landscape plantsman and landscape laborer is covered by the existing classification of laborer. The work performed by landscape operators (regardless of equipment used or its size) is covered by the classifications of operating engineer. The work performed by landscape truck drivers (regardless of size of truck driven) is covered by the classifications of truck driver.

H-10 7-17-06

Village of Carol Stream

INTER-DEPARTMENTAL MEMO

TO: Mayor & Trustees

FROM: Joseph E. Breinig, Village Manager 

DATE: July 13, 2006

RE: Town Center Use Policy

Fellowship Church, 130 Shawnee Drive, has submitted a request for a worship service to be held at Town Center on Sunday, July 30, 2006 at 10:00 a.m. Anticipated attendance is approximately 200 people. Currently religious assemblies for purpose of prayer or worship are prohibited at Town Center.

Ordinance 01-04-17, adopted in 2001, set forth the policy for Town Center use. Wedding ceremonies are permitted, but worship services are not. Staff has reviewed the request submitted by Fellowship Church with the Village Attorney and recommends a revision to the use policy for Town Center to permit religious assemblies.

Attached for your review and consideration is an ordinance prepared by the Village Attorney amending Ordinance 01-04-17 to permit religious assemblies. The ordinance indicates that requests for religious assemblies at Town Center shall be evaluated in the same manner as all other requests. The ordinance also clarifies that in granting a permit for a religious assembly at Town Center the Village is not sponsoring or co-sponsoring the event. Staff recommends approval of the ordinance.

Attachments

ORDINANCE NO. _____

**AN ORDINANCE CHANGING A POLICY
FOR THE USE OF VILLAGE PROPERTY
AND FACILITIES**

WHEREAS, in Ordinance No. 2001-04-17, the Village Board established a policy for the use Village property and facilities; and

WHEREAS, that Ordinance had attached to it Exhibit "A," which stated a supplementary policy regarding the use of such facilities; and

WHEREAS, in Subparagraph 2, and Subparagraph 3 of the "Village of Carol Stream Supplementary Policy Regarding use of Village property," it was determined that with regard to the use of the Village Hall and other public buildings, and with regard to the use of Village parks, religious assemblies for the purpose of prayer or worship would not be permitted except that wedding ceremonies would be permitted; and

WHEREAS, the issue of the use of such facilities for religious assembly for the purpose of prayer or worship has been the subject of substantial litigation, and the litigation has basically determined that, because of special protections accorded to religious assemblies and the difficulty of determining religious worship from events of a spiritual nature, it would be difficult for a public body to attempt to make distinctions in these areas; and

WHEREAS, the Corporate Authorities believe that public funds should not be expended in attempting to distinguish between applications presented until there is greater clarification in the law; and

WHEREAS, the Village has received requests for the use of its facilities for religious assembly, and it is willing to modify its existing policy subject to a later evaluation of that decision, based upon its experience with regard to such applications; and

WHEREAS, the Corporate Authorities' modification of its existing policy is not intended to express public support or approval for any group seeking to use the public facilities for a religious assembly for the purpose of prayer or worship; and

WHEREAS, the Corporate Authorities continue to believe that a partisan political rally, assembly or meeting is an event which should not take place within a public building or within the Village's parks, and that a determination to continue to prohibit the use of its facilities for those purposes is legally justifiable; and

WHEREAS, there are adequate other facilities within the community for partisan political rallies, assemblies or meetings;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Exhibit "A" to Ordinance No. 2001-04-17, shall be amended in that, in Numbered Paragraph 2, the words "(3) not be a religious assembly for purposes of prayer or worship, except that wedding ceremonies shall be permitted;" shall be deleted and the final item "not be a partisan political rally,

assembly or meeting” shall continue to be a part of the paragraph, but shall be re-numbered as item No. (3).

SECTION 2: Exhibit “A” to Ordinance No. 2001-04-17, shall be amended in that, in Numbered Paragraph 3, the words “(2) not be a religious assembly for purposes of prayer or worship, except that wedding ceremonies shall be permitted;” shall be deleted and the final item “not be a partisan political rally, assembly or meeting” shall continue to be a part of the paragraph, but shall be re-numbered as item No. (2).

SECTION 3: There shall be added to the aforesaid Exhibit “A,” the Village of Carol Stream Supplementary Policy Regarding Use of Village Property, a new Paragraph 4, which shall be as follows: (4) Religious Assembly. In the event that the Mayor and Board of Trustees shall make portions of the Village Hall available for public forums, events or activities which constitute a religious assembly for purposes of prayer or worship, the application shall be evaluated in the same manner as all other applications and the request, if granted, shall not be considered as being sponsored, co-sponsored in any way by the public body, but merely the use of public property by an applicant that has agreed to conform with all of the rules and requirements otherwise to be complied with by entities making use of the public facilities.

SECTION 4: Exhibit “A” shall be modified in accordance with the terms of this Ordinance, and shall remain in effect until and unless further amended by action of the Corporate Authorities.

SECTION 5: This Ordinance shall take effect immediately, the Board of Trustees having determined that the policy adopted herein is a matter of urgency, due to the presence of applications to utilize public property, which require an amendment to existing municipal rules.

SECTION 6: If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity hereof shall not affect any other provisions of this Ordinance, and the remainder of Exhibit "A" is intended to remain in full force and effect.

SECTION 7: This Ordinance shall be in fully force and effect from and after its passage and approval, as provided law, but it shall subsequently be published in pamphlet form.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

2001-04-17

**VILLAGE OF CAROL STREAM
500 North Gary Avenue
Carol Stream, IL 60188**

ORDINANCE NO. 2001-04-17

**AN ORDINANCE ADDING TO A POLICY FOR
THE USE OF VILLAGE PROPERTY AND FACILITIES**

**ADOPTED BY THE MAYOR AND BOARD OF TRUSTEES
OF THE VILLAGE OF CAROL STREAM
THIS 2ND DAY OF APRIL, 2001**

**Published in pamphlet form
by order of the President
and Board of Trustees of
the Village of Carol Stream,
County of DuPage, Illinois
this 12th day of April, 2001.**

ORDINANCE NO. 2001-04-17

**AN ORDINANCE ADDING TO A POLICY FOR THE
USE OF VILLAGE PROPERTY AND FACILITIES**

WHEREAS, the Corporate Authorities of the Village of Carol Stream wish to expand policies previously adopted for the use of Village property, buildings and facilities; and

WHEREAS, a policy establishing priorities and requirements for the use of the Village's public property, buildings and facilities will assist Village staff members to permit and regulate the use of such property by groups, organizations and residents of the Village; and

WHEREAS, the Corporate Authorities have reviewed a proposed policy and regulations for the use of the Village's public property; and

WHEREAS, the Corporate Authorities deem it to be in the interest of the public health, safety and welfare to adopt such a policy and regulations in the interest of fair and equitable use of Village public property consistent with the needs of governmental bodies and other public and private groups; and

WHEREAS, the Corporate Authorities find that the use of Village facilities for a religious assembly for purposes of prayer or worship or for a partisan political rally, assembly or meeting would be viewed as favoritism or sponsorship by the Village of the user; and

WHEREAS, the Corporate Authorities find that a wedding ceremony is a primarily secular event; and

WHEREAS, it is the express intention of the Corporate Authorities to establish a limited public forum, as that term is defined by existing state and federal law, for the Village's public property.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: In addition to any policy statement previously approved, the policy statement attached hereto as Exhibit "A" is hereby adopted and shall govern the use of Village property, buildings, and facilities by local governmental boards, commissions and committees and by public and private groups and individuals.

SECTION 2: This Ordinance shall take effect immediately, the Board of Trustees having determined that the policy adopted herein is a matter of urgency to fully implement the position previously established by the Board's motion of March 5, 2001, concerning the use of Village property.

SECTION 3: If any section, paragraph, clause or provision of this Ordinance shall be held invalid, the invalidity thereof shall not affect any other provision of this Ordinance.

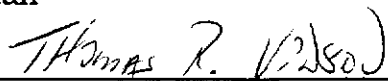
SECTION 4: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 2ND DAY OF APRIL 2001.

AYES: 5 Trustees Stubbs, Pugh, DeLonay, Fenner and Vinson

NAYS: 0

ABSENT: 1 Trustee Shanahan



Thomas R. Vinson, Mayor Pro-Tem

ATTEST:



Janice Koester, Village Clerk

EXHIBIT "A"

VILLAGE OF CAROL STREAM SUPPLEMENTARY POLICY REGARDING USE OF VILLAGE PROPERTY

1. Use of Village Hall and Other Public Building by Other Local Taxing Bodies and Quasi-Governmental Entities

Groups, organizations or entities permitted to seek permission to hold events within the Village Hall and other public buildings shall include overlapping taxing bodies, such as the library or park district and their committees and commissions, and agencies engaged in work for the Village pursuant to a contract or intergovernmental agreement. These groups may use available meeting room space within the Village Hall on an "as available" basis, with priority being given to Village governmental boards, committees and commissions.

2. Use of Village Hall and Other Public Buildings for Public Forums, Events or Activities

The Mayor and Board of Trustees may, on occasion, choose to sponsor, co-sponsor or make portions of the Village Hall available for public forums, events or activities which will normally be concluded within one day, but under no circumstances will extend beyond two consecutive days. Only public forums, events or activities which conform with all of the following requirements may be considered for use of the Village Hall. The forum, event or activity must: (1) be open to all citizens of the Village; (2) be sponsored or put on by a local not-for-profit group or organization based within the Village; (3) not be a religious assembly for purposes of prayer or worship, except that wedding ceremonies shall be permitted; and (5) not be a partisan political rally, assembly or meeting.

The permitted meeting uses of Village Hall shall have a priority over public forums, events and activities in terms of scheduling the use of Village Hall space. Applications for the use of the Village Hall to conduct a public forum, event or activity shall be delivered to the Village Manager with all required information no later than thirty (30) days prior to the scheduled event. The Village Manager may schedule such uses of the Village Hall, which will, at the Manager's discretion, be least disruptive to the normal operations of the Village Hall and the most convenient to the members of the public in terms of attending the public event. Groups sponsoring or putting on such public events within the Village shall comply with all applicable Village ordinances, regulations and requirements.

3. Use of Village Parks Open Spaces

Apart from recreational uses by individual residents and their guests, Village parks and open spaces shall be restricted to public forums, events or activities which will normally be concluded within one day, but under no circumstances will extend beyond two consecutive days except as may be approved for other local taxing bodies or quasi-governmental entities. Only public forums, events or activities which conform with all of the following requirements may be considered for use of Village parks and open spaces. The forum, event or activity must: (1) be sponsored or put on by a local not-for-profit group or organization based within the Village or local taxing body or quasi-governmental entity; (2) not be a religious assembly for purposes of prayer or worship, except that wedding ceremonies shall be permitted; and (3) not be a partisan political rally, assembly or meeting.

Applications for the use of Village parks and open spaces to conduct a public forum, event or activity shall be delivered to the Village Manager with all required information no later than thirty (30) days prior to the scheduled event. Subject to availability of space, public forums, events or activities shall only be held during daylight hours. Groups sponsoring or putting on such public events within the Village shall comply with all applicable Village ordinances, regulations and requirements.

The Village reserves the right to deny any use of Village property, parks and open spaces which the Village Board, in its discretion, determines to be inconsistent with the policy set forth herein. Failure to abide by the Village's policy and rules of conduct for the use of Village property, parks and open spaces may result in cancellation or refusal of future reservations.

RESOLUTION NO. _____

**A RESOLUTION APPROVING A PRELIMINARY PLAT OF SUBDIVISION
(SOUTHWEST CORNER OF GARY AVENUE & STARK DRIVE)**

WHEREAS, Harlem Irving/Folio, LLC, is requesting a Preliminary Plat of Subdivision in accordance with Section 7-2-3 of the Carol Stream Subdivision Code to subdivide the 6.779-acre site on the into two lots with a preschool learning center proposed for Lot 1 and future development of Lot 2.

WHEREAS, the Plan Commission/Zoning Board of Appeals of the Village of Carol Stream at their July 10, 2006 meeting, considered the Preliminary Plat of Subdivision and has found it to be in conformity with the Zoning Code, the Subdivision Code and other ordinances of the municipality relating to the particular property herein proposed to be developed; and

WHEREAS, the Combined Board made its recommendation to the Corporate Authorities regarding the approval of this plat.

NOW, THEREFORE BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Approval is hereby given to the Preliminary Plat of Subdivision, such document being attached to and made a part of this Resolution as Exhibit "A", drawn by Edward J. Molloy & Associates, LTD., 1230 Mark Street, Bensenville, IL 60106 and dated April 24, 2006.

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

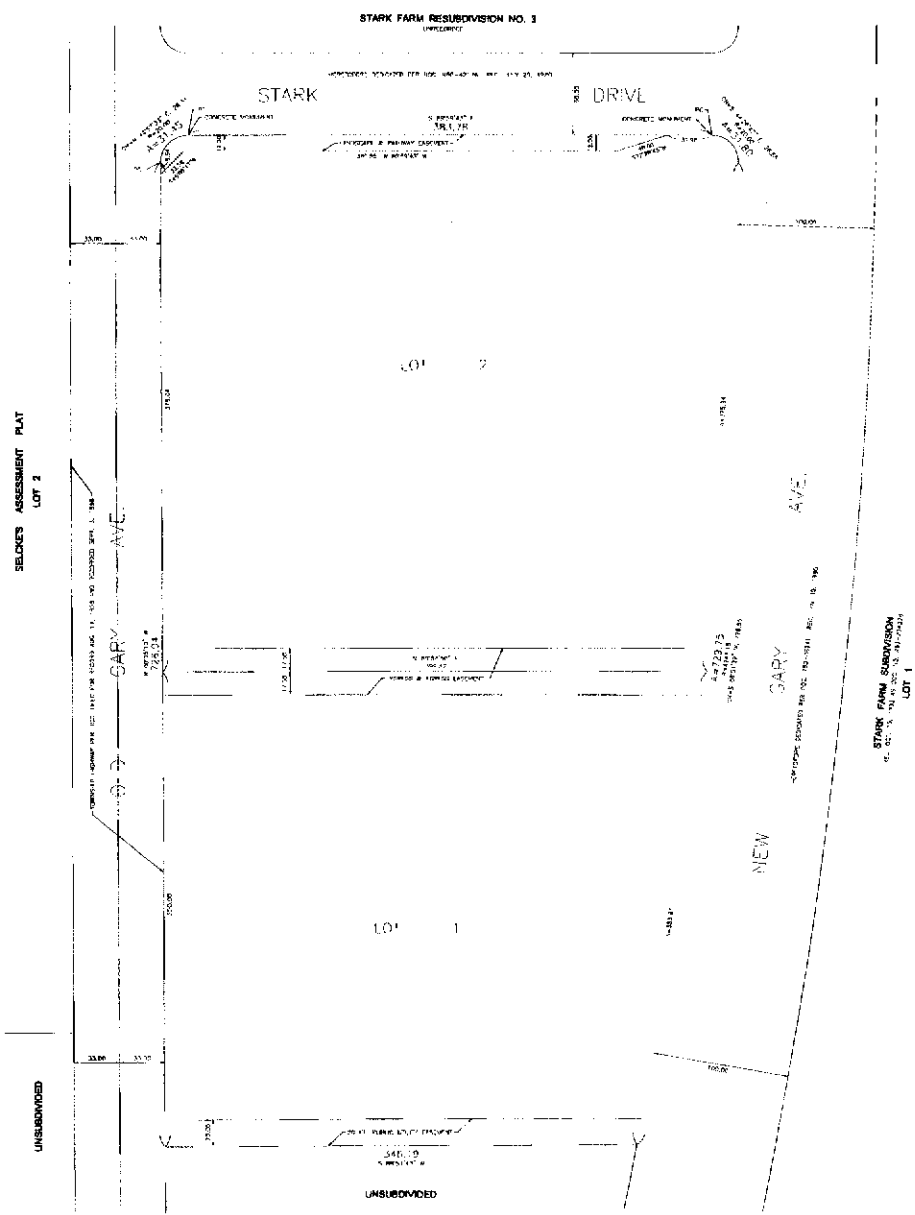
Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

GARY AV. NE1/4 SUBDIVISION

BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPLE MERIDIAN, IN BURAGE COUNTY, ILLINOIS.



AREA SUMMARY

LOT 1	141,274 SQ. FT.	3.214 ACRES
LOT 2	164,094 SQ. FT.	3.764 ACRES
TOTAL AREA	305,368 SQ. FT.	7.078 ACRES

EXHIBIT A

AGENDA ITEM

RESOLUTION NO. _____

I 2 7-17-06

A RESOLUTION ADOPTING DEBT MANAGEMENT POLICIES FOR VILLAGE GOVERNMENT DECISIONS

WHEREAS, the Mayor and Board of Trustees adopted and approved its first dedicated Capital Improvement Budget on April 4, 2005; and

WHEREAS, a debt management policy was also developed in conjunction with the Capital Improvement Budget; and

WHEREAS, the Village's auditor and the credit rating agency, Standard & Poors have recommended that the Village Board formally adopt Debt Management Policies for future use; and

WHEREAS, the Mayor and Board of Trustees have also considered the establishment of Debt Management Policies as an important component to guide its actions.

NOW, THEREFORE BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Mayor and Board of Trustees do hereby formally adopt the Debt Management Policies attached hereto as Exhibit "A".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 17TH DAY OF JULY 2006.

AYES:

NAYS:


ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Stan W. Helgerson, Finance Director 
DATE: July 7, 2006
RE: Debt Management Policies

In FY06, the Village approved its first Capital Improvement Budget. As part of that document, staff also developed a Debt Management Policy. The Debt Management Policy was also included in the FY07 CIP budget.

When staff drafted the Debt Management Policy, we had Standard and Poors (S&P), along with Tom Gavin from RW Baird, review and make suggestions. Staff then incorporated their suggestions into the policy.

As part of S&P's credit rating review of the Village, they recommended that the Village formally approve the Debt Management Policies. Also, as staff was working on implementing GASB Statement No. 44, Economic Condition Reporting: The Statistical Section, the auditors also suggested that the Village Board formally adopt the Debt Management Policies otherwise it could not be used in the statistical section.

Although the Village is not currently looking to issue debt, it is in our best interest to have the policies defined in advance. Therefore, I would recommend that the Village Board approve the attached resolution adopting the Debt Management Policies.

If you have any questions, please give me a call.

SH/td
Attachment

Village of Carol Stream Debt Management Policies

Purpose

The Debt Management Policies set forth comprehensive guidelines for the Financing of capital projects and infrastructure. It is the objective of the policies that (1) the Village obtain financing only when necessary, (2) the process for identifying the timing and amount of debt or other financing be as efficient as possible and (3) the most favorable interest and other costs be obtained.

Responsibility

The primary responsibility for developing financing recommendations rests with the Finance Director. In developing the recommendations, the Finance Director shall be assisted by the Village Manager, Assistant Village Manager and Assistant Finance Director, the four of whom shall comprise a Debt Management Committee. The responsibilities of the committee shall be to:

- meet no less than annually to consider the need for financing and assess progress on the Capital Improvement Program;
- meet as necessary in preparation for a financing and review changes in state and federal legislation;
- review annually all debt issues to determine whether refinancing or restructuring may be in order. (The Finance Director will monitor such opportunities on an ongoing basis.);
- review annually the provisions of ordinances authorizing issuance of obligations; and,
- annually review services provided by the Financial Advisor, Bond Counsel, Paying Agent and other service providers to evaluate the extend and effectiveness of services being provided.

Annually, the Finance Director and Village Manager shall jointly prepare a written report on the status of Capital Improvement Program financing. The report shall be based in part on information collected from the Village Engineer and Public Works Director and shall include a projection of near term financing needs compared to available resources, an analysis of the impact of contemplated financings on the designated revenue source and user charges, and a financing recommendation, trends in interest rates and other factors as appropriate.

Bond Counsel Involvement

The Bond Counsel will issue an opinion as to the legality and tax-exempt status of any obligations. The Village will also seek the advice of Bond Counsel on all other types of

financings and on any other questions involving federal tax or arbitrage law. Bond Counsel is also responsible for the preparation of the ordinance authorizing issuance of obligations and all of the closing documents to complete their sale and will perform other services as defined by contract approval by the Village Board.

Financial Advisor Involvement

The Village will seek the advice of a Financial Advisor when necessary. The Financial Advisor will advise on the structuring of obligations to be issued, inform the Village of various options, advise the Village as to how choices will impact the marketability of Village obligations and will provide other services as defined by contract. To ensure independence, the Financial Advisor will not bid on nor underwrite any Village debt issues on which it is advising.

Short Term Debt

General

Short-term obligations may be issued to finance projects or portions of projects for which the Village ultimately intends to issue long-term debt; i.e., it will be used to provide interim financing which will eventually be refunded with the proceeds of long-term obligations.

Short-term obligations may be backed with a tax or revenue pledge, or a pledge of other available resources.

Interim financing may be appropriate when timing of the financing is critical. Short-term obligations can often be obtained more quickly than long-term obligations and thus can be used in emergencies until long-term financing can be obtained. In addition, in some cases when the amount of financing required is relatively small, it may be cheaper for the Village to issue a small amount of short-term obligations to provide for its immediate needs than to issue a larger amount of long-term obligations to provide financing for both immediate and future needs when the carrying costs of issuing obligations which are not immediately needed are taken into account.

Line of Credit

With the approval of the Village Board, the Village may establish a tax-exempt line of credit with a financial institution selected through a competitive process. Draws shall be made on the line of credit when (1) the need for financing is so urgent that time does not permit the issuance of a long-term debt, (2) the need for financing is so small that the total cost of issuance of long-term debt including carrying costs of debt proceeds not needed immediately is significantly higher, and (3) the Debt Management Committee approves the draw. Draws will be made on the line of credit to pay for projects designated for line of

credit financing by the Village Board. Only projects which will ultimately be financed with the proceeds of authorized bonds may be designated.

Long Term Debt

Long-term obligations will not be used for operating purposes and the life of the obligations will not exceed the useful life of the projects financed, but in any case no longer than 20 years.

Level or declining debt service shall be employed unless operational matters dictate otherwise, or except to achieve overall level debt service with existing bonds. The Village may choose to delay principal payments or capitalized interest during project construction.

The Village shall be mindful of the potential benefits of bank qualification and will strive to limit its annual issuance of debt to \$10 million or less when such estimated benefits are greater than the benefits of exceeding the bank qualification limit. Should subsequent changes in the law raise this limit, then the Village policy will be adjusted accordingly.

The cost of issuance of private activity bonds is usually higher than for governmental purpose bonds. Consequently, private activity bonds will be issued only when they will economically benefit the Village.

The cost of taxable debt is higher than for tax-exempt debt. However, the issuance of taxable debt is mandated in some circumstances and may allow valuable flexibility in subsequent contracts with users or managers of the improvement constructed with the bond proceeds. Therefore, the Village will usually issue obligations tax exempt, but may occasionally issue taxable obligations.

Variable Rate Debt

The Village may choose to issue bonds that pay a rate of interest that varies according to a pre-determined formula or results from a periodic remarketing of the securities, consistent with state laws and covenants of pre-existing bonds, and depending on market conditions. The Village will have no more than 15% of its outstanding general obligation bonds in variable rate form.

Revenue Bonds

The Village shall seek to finance the capital needs of its revenue producing enterprise activities through the issuance of Alternate Revenue-debt obligations. Prior to issuing Alternate Revenue-debt obligations, the Debt Management Committee will develop financial plans and projections showing the feasibility of the planned financing, required rates and charges needed to support the planned financing and the impact of the planned financing on rate payers, property owners and the other affected parties. The amount of

Alternate Revenue-debt obligations issued by the Village will be limited by the feasibility of the overall financing plan as determined by the Debt Management Committee. If it is not feasible to issue an Alternate Revenue obligation, then a revenue-secured debt obligation should be considered.

Interest Rate Swaps

Debt instruments utilizing imbedded swaps or having other less traditional characteristics may be issued, provided the Village is not unduly exposed to third party risk and that utilization of such an instrument does not precipitate an adverse rating agency reaction.

Negotiated versus Competitive Sale versus Private Placement

When feasible and economical, obligations shall be issued by competitive rather than negotiated sale. A sale may be negotiated when the issue is predominantly a refunding issue or in other non-routine situations which require more flexibility than a competitive offer allows. Whenever the option exists to offer an issue either for competition or for negotiation, analysis of the options shall be performed to aid in the decision-making process. When a sale is not competitively bid, the Village will publicly present the reasons and will participate with the Financial Advisor in the selection of the underwriter or direct purchaser.

The criteria used to select an underwriter in a competitive sale shall be the true interest cost. In a negotiated sale, the underwriter may be selected with or without a request for proposals (RFP). The criteria used to select an underwriter in a negotiated sale should include the following:

- Overall experience
- Marketing philosophy
- Capability
- Previous experience as managing a co-managing partner
- Financial statements
- Public Finance team and resources
- Underwriter's discount

When cost/beneficial, the Village may privately place its debt. Since no underwriter participates in a private placement, it may result in lower costs of issuance. Private placement is sometimes an option for small issues. The opportunity may be identified by the Financial Advisor.

Refunding

The Village shall consider refunding debt whenever an analysis indicates the potential for present value savings of approximately 3 to 5% of the principal being refunded.

Depending on the time to maturity and the absolute level of interest rates of the refunding candidate this target may change. For longer maturities the target can be higher, for shorter maturities, lower. For higher interest rates the target may be higher, for lower rates it could be lower.

Private activity bonds may be refunded in a current refunding or by using taxable debt.

Capital Leasing

Capital leasing is an option for the acquisition of a piece or package of equipment costing less than \$500,000.

Leasing shall not be considered when funds are on hand and could be made available for the acquisition unless the interest expense associated with the lease is less than the interest that can be earned by investing the funds on hand or when other factors such as budget constraints or vendor responsiveness override the economic consideration.

Whenever a lease is arranged with a private sector entity, a tax-exempt rate shall be sought. Whenever a lease is arranged with a government or other tax-exempt entity, the Village shall strive to obtain an explicitly defined taxable rate so that the lease will not be counted in the Village's total annual borrowing subject to arbitrage rebate.

The lease agreement shall permit the Village to refinance the lease at no more than reasonable cost should the Village decide to do so. A lease which can be called at will is preferable to one which can merely be accelerated.

Since the market for lease financings is relatively inefficient, the interest rate available at any one time may vary widely. Therefore, the Village shall obtain at least three competitive proposals for any major lease financing. The net present value of competitive bids shall be compared, taking into account whether payments are in advance or in arrears, and how frequently payments are made. The purchase price of equipment shall be competitively bid as well as the terms and cost of financing.

The advice of the Village's bond counsel shall be sought in any capital leasing arrangement and when federal tax forms are prepared to ensure that all federal tax laws are obeyed.

The Village may consider issuing certificates of participation to finance a very large project. Analysis will be performed because financing costs may be greater than other types of financing.

Other Types of Financing

From time to time other types of financing may become available. Examples of these options are debt pools with other entities and low-interest loans from state agencies such as the Illinois Environment Protection Agency. The Debt Management Committee will prepare a written analysis of an option. The analysis will include consideration of the advice of the Village's and Financial Advisor.

Ratios

The total general obligation debt will be limited to \$1,000 per capita, which will be reviewed annually.

The Water and Sewer Fund total long term debt outstanding shall not exceed the amount of fund equity.

The Village will endeavor to maintain 1.5 (times) coverage for all indebtedness of the Water and Sewer Fund.

The review of these ratios will be included in the annual report by the Debt Management Committee to the Village Board.

Official Statement

The Official Statement will be prepared by the Financial Advisor with assistance from the Debt Management Committee.

Ratings

The Village will strive to maintain and/or to improve its bond rating.

When a general obligation bond is issued, the Village will receive a rating from at least two national rating agencies.

Full disclosure of operations will be made to the bond rating agencies. The Debt Management Committee, with the assistance of the Financial Advisor and, will prepare the necessary materials for and presentation to the rating agencies.

The Village shall maintain a line of communications with the rating agencies, informing them of major financial events in the Village as they occur. The Comprehensive Annual Financial Report (CAFR) shall be distributed to the rating agencies after it has been accepted by the Village Board.

The rating agencies will also be notified either by telephone or through written correspondence when the Village begins preparation for a debt issuance. After the initial contact, a formal ratings application will be prepared and sent along with a draft of the Official Statement relating to the bond sale to the rating agencies. This application and related documentation should be sent several weeks prior to the bond sale to give the rating agencies sufficient time to perform their review.

A personal meeting with representatives of the rating agencies will be scheduled every few years or whenever a major project is initiated.

Credit Enhancement

Credit enhancements are mechanisms which guarantee principal and interest payments. They include bond insurance and a line or letter of credit. A credit enhancement, while costly, will usually bring a lower interest rate on debt and a higher rating from the rating agencies, thus lowering overall costs.

During debt issuance planning, the Financial Advisor will advise the Village whether or not a credit enhancement is cost effective under the circumstances and what type of credit enhancement, if any, should be purchased. In a negotiated sale, bids will be taken during the period prior to pricing of the sale. In a competitive sale, bond insurance may be provided by the purchases if the issue qualifies for bond insurance.

Secondary Market Disclosure

SEC 15c2-12 regulations became effective July 3, 1995. The regulation requires municipal debt issuers to provide specified financial and operating information for fiscal years beginning on January 1, 1996, or later. The information provided should mirror the information provided in an official statement at the time of a primary offering. The annual financial information is to be sent to all Nationally Recognized Municipal Information Depositories (NRMSIRs) designated by the SEC. Additionally, issuers must notify the State Information Depositories (SIDs) if one exists.

In addition to the financial and operating information any material event must be provided to all NRMSIRs, Municipal Securities Rulemaking Board (MSRB) and to the state SID's. Municipal debt issuers will be obligated to provide ongoing disclosure on the status of the following material events:

- Principal and interest payment delinquencies
- Nonpayment-related defaults
- Unscheduled draws on reserves
- Unscheduled draws on credit enhancements
- Substitution of credit or liquidity providers, or the failure to perform

- Adverse tax opinions or events affecting the tax-exempt status of the security
- Modifications to rights of security holders
- Bond calls
- Defeasances
- Matters affecting collateral
- Rating changes

The Finance Director will be designated "Compliance Officer" for disclosure requirements. Levels of reporting will include:

- Annual compliance reports to the City Council Finance and Government Committee Notification by certified mail to NRMSIRs, and SIDs of material events, with copies to the Village Board. These reports will be included in the Annual report that is submitted to the Village Board by the Debt Management Committee.
- Copies of CAFR and updated tables from the Official Statement to NRMSIRs and SIDs within six months of fiscal year end.

Arbitrage Liability Management

It is the Village's policy to minimize the cost of arbitrage rebate and yield restriction while strictly complying with the law.

General

Federal arbitrage legislation is intended to discourage entities from issuing tax-exempt obligations unnecessarily. In compliance with the spirit of this legislation, the Village will not issue obligations except for identifiable projects with very good prospects of timely initiation. Obligations will be issued as closely in time as feasible to the time, contracts are expected to be awarded so that they will be spent quickly.

Responsibility

Because of the complexity of arbitrage rebate regulations and the severity of non-compliance penalties, the advice of Bond Counsel and other qualified experts will be sought whenever questions about arbitrage rebate regulations arise.

The Finance Director will be responsible for identifying the amount of unspent debt proceeds including interest which is on hand and for ensuring that, to the extent feasible, the oldest proceeds on hand are spent first.

If necessary, the Village will contract with an arbitrage rebate service provider to maintain a system for computing and tracking the arbitrage rebate liability. The arbitrage service provider will notify the Village within 60 days of year end of the amount of any accrued liability and will also notify the Village 60 days in advance of when a rebate of excess arbitrage earnings is due to the Internal Revenue Service.

The Village's Bond Counsel and Financial Advisor shall review in advance any arbitrage rebate payments and forms sent to the Internal Revenue Service.

The expenditure of obligation proceeds will be tracked in the financial accounting system by [type of issue]. Investments will be pooled for financial accounting purposes and may, at the discretion of the Finance Director, be pooled for investment purposes. When investments of bond proceeds are co-mingled with other investments, the Village shall adhere to the Internal Revenue Service rules on accounting allocations.

Arbitrage rebate costs shall be charged as negative interest revenue to the funds in which the related obligation proceeds were originally deposited.

Internal Interim Financing

In order to defer the issuance of obligations, when sufficient non-restricted reserve funds are on hand, consideration shall be given to appropriating them to provide interim financing for large construction contracts or parts of contracts. When the appropriations are subsequently re-financed with the proceeds of obligations or other resources, the non-restricted reserve funds shall be repaid. When expenditures are reimbursed from debt issuances, applicable state law and the Internal Revenue Service rules on reimbursements will be complied with so that the reimbursements may be considered expenditures for arbitrage purposes. Requirements are in general:

The Village shall declare its intention to reimburse any expenditure with debt proceeds before paying the expenditure via an inducement (reimbursement) resolution.

Reimbursement bonds must be issued and the reimbursement made within one year after the expenditure was made or the property financed by the expenditure was placed in service, whichever is later; and

The expenditure to be reimbursed must be a capital expenditure.

Two Year Spend-out Option

Arbitrage rebate legislation offers a safe harbor whereby obligations issued for construction will be exempt from arbitrage rebate if certain rules are adhered to and the proceeds are spent within two years. However, if this option is elected and all the proceeds

are not spent according to the prescribed schedule, penalties are imposed. The option should be considered when circumstances indicate the Village will with certainty be successful in achieving a two-year spend-out goal. Such circumstances may include, but are not limited to the following:

Obligations are issued to finance a variety of small construction projects, not large projects which might be unexpectedly delayed after the issuance. Also, project management understands the requirements and is firmly committed to achieving the spend-out goal.

Obligations are issued for a single, large high-priority project with a relatively short construction period and there is a high level of commitment to speedy completion.

When the two-year spend-out option is elected, debt will be issued for an estimated one year of expenditures to provide for unexpected delays of up to a year without incurring penalties.

The exercise of the two-year spend-out option will always be coordinated with Bond Counsel and the Financial Advisor.

Investment of Bond Proceeds

The investment of bond proceeds will be dictated by the bond indenture and state statutes.

The Finance Director and Financial Advisor will prepare the cash flow requirements for the bond proceeds and shall be used as a guide in structuring the maturity of the bond proceeds portfolio.

Debt covenants and arbitrage requirements will be designed to maintain compliance with both debt and investment policies with any arbitrage liability adjusting net investment income in the year in which the liability was incurred.

Debt service reserve funds shall be maintained and invested, as applicable, in compliance with the debt agreements.

Modification To Policies

These policies will be reviewed annually by the Debt Management Committee and minor changes may be made with the approval of the Village Manager. Significant policy changes will be presented to the Village Board for confirmation.

AGENDA ITEM

I-3 7-16-06

Village of Carol Stream

Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Robert J. Glees, Community Development Director *RJG*

DATE: July 13, 2006

RE: **Agenda Item for the Village Board meeting of 7/17/06
Consideration Of An Intergovernmental Boundary Agreement With The City
Of West Chicago**

With the recent discovery of vinyl chloride contamination in the residential well water supply in the vicinity of Fair Oaks Road (Judith Court and Riviera Court), the Village of Carol Stream has been working with DuPage County to develop and implement a plan to bring a safe water supply to the residents in that area. For the past several months, Village staff and Mayor Ferraro have worked with the County to address issues of funding, scope of work, legal agreements, permitting, design, and construction. The County's schedule calls for the project to be essentially complete in September.

During the course of project development, Carol Stream and the City of West Chicago had occasion to consider the very real possibility that other property owners in the vicinity of Fair Oaks Road may need to disconnect their wells and connect to a public water supply. In order to address this issue, West Chicago initiated discussions to determine the most practical scenarios for extending the municipal water supplies of the two communities to the area. West Chicago has prepared an updated intergovernmental boundary agreement to replace the current agreement, which was approved in January 1990.

Attached are copies of the 1990 agreement and the proposed agreement. The new jurisdictional boundary line proposed by the City of West Chicago would delegate the properties along Fair Oaks Road east of the West Branch of the DuPage River and north of St. Charles Road to the Village of Carol Stream; the properties to the west of the DuPage River and south of St. Charles Road would be delegated to the City of West Chicago. Staff and the Village Attorney have reviewed the agreement, and found it generally acceptable. Only minor points to be noted is that the legal description of the proposed boundary line (Exhibit B) has not yet been prepared. This work, if determined necessary, would be done at a later date as a shared cost.

Staff recommends the Village Board approve the proposed agreement. If the Village Board concurs with the staff recommendation, they should approve the proposed Intergovernmental Agreement, and adopt the necessary Resolution.

RJG:bg

u:\misc village board correspondence\west chicago boundary agreement 1.doc

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING THE EXECUTION OF AN INTERGOVERNMENTAL
AGREEMENT BY AND BETWEEN
THE VILLAGE OF CAROL STREAM AND THE CITY OF WEST CHICAGO
PROVIDING FOR A JURISDICTIONAL BOUNDARY LINE**

WHEREAS, the Mayor and Board of Trustees of the Village of Carol Stream have determined that it is in the best interest of the Village to enter into an Agreement with the City of West Chicago in the form of an Agreement attached hereto as Exhibit "A", and by this reference incorporated herein.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the Mayor and Village Clerk of the Village of Carol Stream be and the same are hereby authorized to execute the agreement, in the appropriate form, attached hereto as Exhibit "A" and as approved by the Village Attorney.

SECTION 2: That all resolutions or parts thereof, in conflict with the provisions of this Resolution are, to the extent of such conflict, expressly repealed.

PASSED AND APPROVED THIS 17th DAY OF JULY 2006.

AYES:

NAYS:

ABSENT:

Ross Ferraro, Mayor

ATTEST:

Janice Koester, Village Clerk

*Prepared by Clerk
Return to*

VILLAGE OF CAROL STREAM
500 N. Gary
Carol Stream, Illinois 60188

RESOLUTION NO. 1200

A RESOLUTION AUTHORIZING EXECUTION OF
INTERGOVERNMENTAL BOUNDARY AGREEMENT BETWEEN THE CITY
OF WEST CHICAGO AND THE VILLAGE OF CAROL STREAM

RECORDER
DU PAGE COUNTY

ADOPTED BY THE PRESIDENT AND
BOARD OF TRUSTEES OF THE VILLAGE OF
CAROL STREAM

THIS 30TH DAY OF JANUARY, 1990

Stamney

Published in pamphlet form by
authority of the President and
Board of Trustees of the
Village of Carol Stream
County of DuPage, Illinois
this 29th day of MARCH, 1990

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5



AGREEMENT NO. 246

March 27, 1990
Revised

RESOLUTION 1200

INTERGOVERNMENTAL BOUNDARY AGREEMENT BETWEEN THE
CITY OF WEST CHICAGO AND VILLAGE OF CAROL STREAM

WHEREAS, there is unincorporated territory lying between the Village of Carol Stream, DuPage County, Illinois, (hereinafter referred to as "Carol Stream"), and the City of West Chicago, DuPage County, Illinois (hereinafter referred to as "West Chicago"); and

WHEREAS, Carol Stream and West Chicago recognize the need and desirability to provide for logical municipal boundaries and areas of municipal authority between their respective municipalities in order to plan effectively and efficiently for the growth and potential development of the unincorporated territory lying between their municipalities; and

WHEREAS, Carol Stream and West Chicago are "units of local government" as defined by Article VII, Section 1 of the Constitution of the State of Illinois; and

WHEREAS, units of local government are enabled by Article VII, Section 10 of the Constitution of Illinois to enter into agreements among themselves to obtain or share services and to exercise, combine or transfer any power or function, in any manner not prohibited by law or ordinance; and

WHEREAS, units of local government under Chapter 24 Section 11-12-19 are given the authority to enter into intergovernmental agreements establishing municipal boundaries, and

WHEREAS, Carol Stream and West Chicago have authorized the execution of this agreement as an exercise of their respective authority and as an exercise of their intergovernmental cooperation authority under the Constitution of Illinois:

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, ILLINOIS, AS FOLLOWS:

1. The jurisdiction boundary line between Carol Stream and West Chicago for municipal government planning, subdivision, control and municipal purposes shall be the West Branch of the DuPage River from Army Trail Road on the north to a point intersecting with Lies Road, if extended, then easterly to Fair Oaks Road and then south to the Wayne Township line (Hawthorne Lane if extended), as depicted on the map which is attached hereto and made a part hereof as Exhibit A.
2. With respect to the land lying easterly of said boundary line, West Chicago agrees, and with respect to the land lying westerly of said boundary line, Carol Stream agrees, that it shall not annex any unincorporated territory nor shall it exercise or attempt to exercise or enforce any zoning, subdivision control, official map, or other municipal authority or ordinances except as may be hereinafter provided in this Agreement.

R50-060467

AGREEMENT NO. 246

3. With respect to the land lying at a distance of 1000 feet east of said boundary line, Carol Stream agrees, and with respect to the land lying at a depth of 1000 feet west of said boundary line, West Chicago agrees that it will provide a copy of proposed development and engineering plans for said property to the other party for information and comment.
4. Carol Stream's land use plan for property at a distance of 1000 feet east of the boundary line and outside its corporate limits as attached hereto and made a part hereof as Exhibit B, shall not be changed without 30 days written notice to West Chicago. West Chicago shall have the right to submit written comments to the President and Board of Trustees of Carol Stream regarding that change in use.
5. West Chicago's land use plan for property at a distance of 1000 feet west of the boundary line and outside its corporate limits as attached hereto and made a part hereof as Exhibit C shall not be changed without 30 days written notice to Carol Stream. Carol Stream shall have the right to submit written comments to the City Council of West Chicago regarding that change in use.
6. West Chicago and Carol Stream shall jointly pursue the development of an emergency water connection between their water systems on a cost sharing basis.
7. West Chicago agrees to initiate and pursue the realignment of the Facilities Planning areas consistent with Item 1. Carol Stream agrees to join in any required action to effectuate such change.
8. Each municipality shall actively oppose any attempt to effectuate an annexation to its respective municipality, which annexation would have the effect of changing the boundary established under this agreement.
9. This Agreement shall not be construed so as to limit or adversely affect the right of either municipality to file a statutory objection to a proposed rezoning by DuPage County within one and one-half (1-½) miles of its corporate limits.
10. Neither Carol Stream nor West Chicago shall either directly or indirectly seek any modification of this Agreement through court action and this Agreement shall remain in full force and effect for a period of 20 years unless sooner amended or changed by the mutual agreement of both respective corporate authorities.
11. This Agreement shall be construed in accordance with the laws of the State of Illinois and shall become effective when copies of this agreement, certified by the municipal clerks of Carol Stream and West Chicago as having been adopted have been filed in the office of the DuPage County Recorder and made available in the offices of both municipal clerks.

R90-060467

AGREEMENT NO. 246

IN WITNESS WHEREOF, the undersigned local governments have executed this Agreement on the respective dates set forth below.

VILLAGE OF CAROL STREAM,
DUPAGE COUNTY, ILLINOIS

Ross Ferraro
ROSS FERRARO, PRESIDENT

ATTEST:

Ronald Lutenbach
VILLAGE CLERK

DATE: 3-29-90

CITY OF WEST CHICAGO
DUPAGE COUNTY, ILLINOIS

Paul Nifal, MAYOR

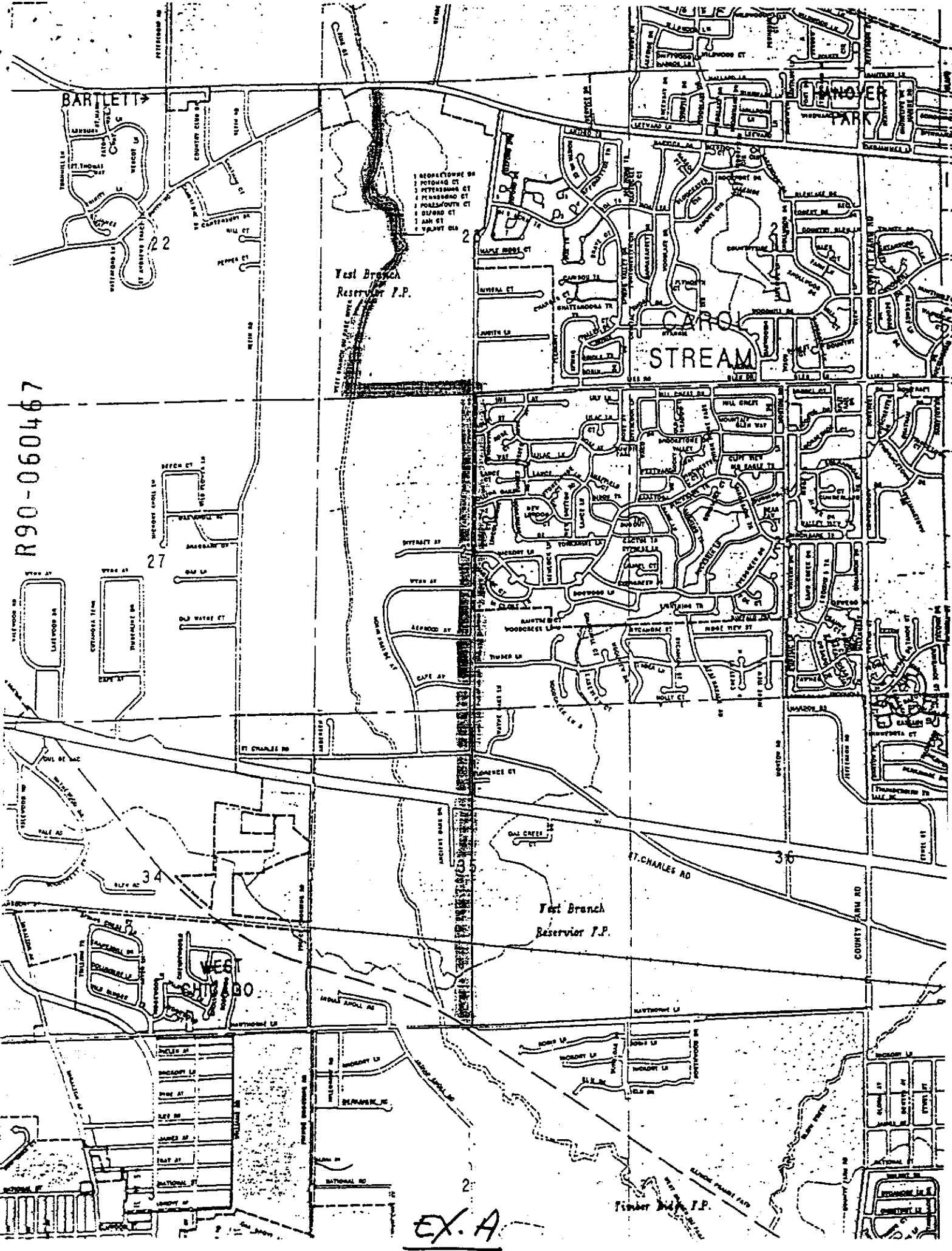
ATTEST:

Alice Meniga
CITY CLERK

DATE: 5-9-90

191090-116M

R90-060467



**AN INTERGOVERNMENTAL AGREEMENT PROVIDING FOR
A JURISDICTIONAL BOUNDARY LINE**

City of West Chicago and Village of Carol Stream, Illinois

THIS INTERGOVERNMENTAL AGREEMENT (this "Agreement"), is made and entered into this ____ day of _____, 2006, by and between the CITY OF WEST CHICAGO, DuPage County, Illinois ("West Chicago") and the VILLAGE OF CAROL STREAM, DuPage County, Illinois ("Carol Stream"),

WITNESSETH:

WHEREAS, West Chicago and Carol Stream are "units of local government" as defined by Article VII, Section 1, of the Constitution of the State of Illinois of 1970, and West Chicago and Carol Stream are "home rule units" as defined by Article VII, Section 6, of the Constitution of the State of Illinois of 1970; and,

WHEREAS, units of local government are enabled by Article VII, Section 10 of the Constitution of the State of Illinois of 1970 to enter into agreements among themselves to obtain or share services and to exercise, combine or transfer any power or function in any manner not prohibited by law or ordinance; and,

WHEREAS, the Illinois Intergovernmental Cooperation Act, (5 ILCS 220/1 et seq.), authorizes municipalities to exercise jointly with any public agency of the State, including other units of local government, any power, privilege, or authority which may be exercised by a unit of local government individually, and to enter into contracts for the performance of governmental services, activities and undertakings; and,

WHEREAS, 65 ILCS 5/11-12-9 authorizes the corporate authorities of municipalities that have adopted official plans to agree upon boundaries for the exercise of their respective jurisdictions within

unincorporated territory that lies within one and one-half miles of the boundaries of such municipalities; and,

WHEREAS, West Chicago and Carol Stream entered into an Intergovernmental Boundary Agreement on or about May 7, 1990 to establish municipal boundaries; and,

WHEREAS, with less than four years remaining in the term of that Agreement, there is still unincorporated territory within one and one-half miles of the boundaries of West Chicago and Carol Stream; and,

WHEREAS, West Chicago and Carol Stream have adopted official plans making recommendations with respect to the development of that unincorporated territory; and,

WHEREAS, West Chicago and Carol Stream recognize that the territory lying between their present municipal boundaries is an area in which problems related to land development including open space preservation, flood control, population density, provision of public services and ecological and economic impact are increasing in number and complexity; and,

WHEREAS, West Chicago and Carol Stream and their respective citizens are vitally affected by said problems, and efforts to solve them and provide for the public health, safety, welfare and prosperity of the inhabitants of said municipalities will be enhanced by mutual action and intergovernmental cooperation; and,

WHEREAS, West Chicago and Carol Stream recognize the need and desirability to provide for logical future municipal boundaries and areas of municipal authority between their respective corporate limits in order to plan effectively and efficiently for growth management and potential development between their communities; and,

WHEREAS, West Chicago and Carol Stream, after due investigation and consideration, have determined to enter into an agreement providing for the establishment of a boundary for their respective jurisdictions in the unincorporated territory lying between and near their boundaries; and,

WHEREAS, West Chicago and Carol Stream have determined that the observance of the boundary line in future annexations by either municipality will serve the best interests of both communities; and,

WHEREAS, West Chicago and Carol Stream have authorized, by ordinance, the execution of this Agreement as an exercise of their intergovernmental cooperation authority under the Constitution of the State of Illinois, and the Intergovernmental Cooperation Act, and their authority to enter into jurisdictional boundary agreements pursuant to 65 ILCS 5/11-12-9.

NOW, THEREFORE, in consideration of the foregoing recitals and the mutual promises hereinafter contained, the adequacy and sufficiency of which the parties hereto stipulate, West Chicago and Carol Stream agree as follows:

Section 1. Incorporation of Recitals. The recitals set forth hereinabove are incorporated herein by reference as substantive provisions of this Agreement.

Section 2. Jurisdictional Boundary Line. The boundary line between West Chicago and Carol Stream for the purpose of establishing their respective jurisdictions for land use planning, official map purposes, zoning, subdivision control and annexation of unincorporated territory, and other municipal purposes, all as hereinafter provided, shall be as depicted upon the map attached hereto as Exhibit "A" and made a part hereof and as legally described on Exhibit "B" attached hereto and made a part hereof.

That portion of the unincorporated territory lying westerly and southerly of said boundary line shall be within the West Chicago jurisdictional area ("West Chicago Jurisdictional Area") as shown on Exhibit "A". The West Chicago Jurisdictional Area, together with all territory located within the corporate limits of West Chicago from time to time, shall be within the West Chicago territory ("West Chicago Territory"). That portion of the unincorporated territory lying easterly and northerly of said boundary line shall be within the Carol Stream jurisdictional area ("Carol Stream Jurisdictional Area") as shown on Exhibit "A". The Carol Stream Jurisdictional Area, together with all territory located within the corporate limits of Carol Stream from time to time, shall be within the Carol Stream territory ("Carol Stream Territory").

To the extent that there is any conflict between Exhibit "A" (the map) and Exhibit "B", (the legal description) Exhibit "B" shall control.

Section 3. Exercise of Authority. West Chicago agrees that it shall not exercise or attempt to exercise or enforce any comprehensive plan jurisdiction, official map jurisdiction, zoning authority or subdivision control authority within the Carol Stream Jurisdictional Area. Carol Stream agrees that it shall not exercise or attempt to exercise or enforce any comprehensive plan jurisdiction, official map jurisdiction, zoning authority or subdivision control authority within the West Chicago Jurisdictional Area.

Section 4. Statutory Zoning Objections. This Agreement shall not be construed to limit or adversely affect the right of either municipality to file a statutory objection to proposed rezonings within one and one-half (1½) miles of its corporate limits, or to otherwise contest or oppose such rezonings in accordance with applicable law.

Section 5. Annexation. Both West Chicago and Carol Stream acknowledge that it is not in their respective best interests to engage in disputes with respect to the annexation of territory. The boundary line established pursuant to this Agreement was carefully studied and considered with respect to those matters heretofore set out in the recitals to this Agreement. Therefore, each municipality agrees not to annex any territory which is located in the other municipality's Territory.

West Chicago and Carol Stream also agree to take all reasonable and appropriate actions to oppose any involuntary or court-controlled annexation proceedings that propose to annex territory within either municipality's Territory in a manner inconsistent with this Agreement. In addition, West Chicago and Carol Stream each hereby agree that it waives any right to challenge or otherwise contest the validity of any annexation the other municipality has effected, is effecting, or will effect in the future for territory located within such other municipality's Territory. West Chicago and Carol Stream further agree not to solicit or otherwise make any requests, formal or informal, to any third party for that third party to encourage the disconnection from the other municipality of land within the other municipality's Territory

or to challenge the validity of the other municipality's past, current, or future annexations within such other municipality's Territory.

Section 6. Utilities. In the event that any territory within West Chicago's Territory lies within Carol Stream's Facilities Planning Area ("FPA") established pursuant to the Clean Water Act (33 U.S.C. 1251 et seq.) and the Illinois Environmental Protection Act (415 ILCS 5/1 et seq.), and West Chicago files a petition with the Illinois Environmental Protection Agency to transfer such territory to West Chicago's FPA, Carol Stream agrees that it shall enter its consent to such transfer in connection with such petition. In the event that any territory within Carol Stream's Territory lies within West Chicago's FPA, and Carol Stream files a petition with the Illinois Environmental Protection Agency to transfer such territory to Carol Stream's FPA, West Chicago agrees to enter its consent to such transfer in connection with such petition.

West Chicago and Carol Stream are separately undertaking utility studies to determine how best to eventually provide the unincorporated territory between their two communities with municipal water and sewer service. Both communities agree to include in their respective studies' scopes of work that the consultants will determine the ideal location for an emergency connection between their water systems. West Chicago and Carol Stream agree to equally share the engineering and construction costs associated with this interconnect.

Section 7. Comprehensive Plan. With respect to the West Chicago Territory within 1,000 feet west or south of the boundary line, West Chicago shall give thirty (30) days written notice to Carol Stream prior to approval of any action, including an amendment to the West Chicago Zoning Ordinance, an annexation agreement or amendment thereto and an amendment to the West Chicago official comprehensive plan, which commits West Chicago to a land use which substantially deviates from the West Chicago official Comprehensive Plan in place at the time of this Agreement, or which pertains to any parcel for which no land use designation is shown in the West Chicago official Comprehensive Plan. A copy of the City's existing Comprehensive Plan Future Land Use Map is attached as Exhibit "C".

With respect to Carol Stream Territory within 1,000 feet north or east of the boundary line, Carol Stream shall give thirty (30) days written notice to West Chicago prior to approval of any action, including an amendment to the Carol Stream Zoning Ordinance, an annexation agreement or amendment thereto and an amendment to the Carol Stream official comprehensive plan, which commits West Chicago to a land use which substantially deviates from the Carol Stream official Comprehensive Plan in place at the time of this Agreement, or which pertains to any parcel for which no land use designation is shown in the Carol Stream official Comprehensive Plan. A copy of the City's existing Comprehensive Plan Future Land Use Map is attached as Exhibit "D".

Failure of either municipality to notify the other as provided for in this section shall not invalidate any action of either municipality regarding planning, annexation, or zoning of land within its Territory, and shall not invalidate the provisions of this agreement.

Section 8. General Implementation. The parties hereto agree to cooperate to the fullest extent possible and take all steps reasonably practicable, to achieve any appropriate modification of the postal service boundary, the NIPC and Illinois EPA Facilities Planning Area, the local access telephone service area code, and the Emergency 911 telephone service area, to conform to the boundary defined under this Agreement.

Section 9. Binding Effect. This Agreement shall be binding upon and shall apply only to the legal relationship between West Chicago and Carol Stream. Nothing herein shall be used or construed to affect, support, bind or invalidate any claims of either West Chicago and/or Carol Stream insofar as such claims shall affect any entity which is not a party to this Agreement.

Section 10. Amendment. Neither West Chicago nor Carol Stream shall directly or indirectly seek any modification of this Agreement through court action and this Agreement shall remain in full force and effect until amended or changed in writing by the mutual agreement of both West Chicago and Carol Stream.

Section 11. Partial Invalidity. If any provision of this Agreement shall be declared invalid for any reason, such invalidation shall not affect other provisions of this Agreement which can be given

effect without the invalid provisions and to this end, the provisions of this Agreement are deemed to be separable.

Section 12. Notice and Service. Any notice hereunder from either municipality hereto to the other municipality shall be in writing and shall be served by registered or certified mail, postage prepaid, return receipt requested addressed as follows:

To West Chicago: City of West Chicago
475 Main Street
West Chicago IL 60185
Attn: City Administrator

To Carol Stream: Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL 60188
Attn: Village Manager

or to such persons or entities and at such address as either municipality may from time to time designate by notice to the other municipality. Notice shall be deemed received on the third business day following deposit in the U.S. Mail in accordance with this Section.

Section 13. Term. This Agreement shall be in full force and effect for a period of twenty (20) years from and after the date hereof. The term of this Agreement may be extended, renewed or revised at the end of this initial term or any extended term thereof by further agreement of West Chicago and Carol Stream.

Section 14. Illinois Law. This Agreement shall be construed in accordance with the laws of the State of Illinois.

Section 15. Execution of Agreement, Recordation. Each municipality shall authorize the execution of this Agreement by an ordinance duly passed and approved. Certified copies of such ordinances and of this Agreement shall be recorded with the Recorder of Deeds for DuPage County.

Section 16. Termination of Prior Agreement. This Agreement shall supercede the previous Intergovernmental Boundary Agreement adopted in 1990.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals on the date first above written.

CITY OF WEST CHICAGO, an Illinois
municipal corporation

By: _____
Mayor

ATTEST:

City Clerk


VILLAGE OF CAROL STREAM, an
Illinois municipal corporation

By: _____
Mayor

ATTEST:

Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Stan W. Helgerson, Finance Director 
DATE: July 7, 2006
RE: Standard and Poors Issuer Credit Rating

Several months ago, Standard and Poors (S&P) approached the Village about performing an Issuer Credit Rating (ICR). The ICR is an indication as to where the Village might be rated if we were to go to market. S&P offered this as a complimentary service to the Village.

Over the past several months, we have provided information and documentation to them along with Bob Mellor and I giving S&P representatives a tour of the Village.

As a result of their review, S&P has given the Village an ICR rating of "AA". S&P's highest rating is "AAA" so you can see that we received a very strong rating.

Recently, S&P has introduced a Financial Management Assessment (FMA) program, which is designed to improve the definition of their analysis of management practices and policies, which is one of the four components that they look at when doing a credit review.

The Village was one of the first municipalities to receive such a review and I am happy to report that the Village received a score of "strong", the highest rating.

Along with a copy of S&P's publication release, I have included some information on the FMA program.

If you have any questions, please give me a call.

SH/td
Attachment

Carol Stream, Illinois

Primary Credit Analysts:

John Kenward
Chicago
(1) 312-233-7003
john_kenward@
standardandpoors.com

Secondary Credit Analysts:

Helen Samuelson
Chicago
(1) 312-233-7011
helen_samuelson@
standardandpoors.com

Credit Profile

Issuer Credit Rating (ICR) AA
Sale date: 30-JUN-2006

OUTLOOK: STABLE

Rationale

The 'AA' issuer credit rating (ICR) on Carol Stream, Ill. reflects the village's:

- Participation in the deep and diverse Chicago MSA economy;
- Above-average wealth income levels;
- Strong financial operations, with strong management and reserves; and
- Moderate debt burden.

Carol Stream is located in north central DuPage County (GO rated 'AAA') in the western suburbs of Chicago. The village was founded in 1959 and is approaching buildout. Parcels remain, however, for industrial and commercial growth. The village's population doubled during the 1980s and grew 28% during the 1990s to 40,438 in 2000. Residents commute to a wide variety of employment opportunities throughout the county; the western and northwestern suburbs of Cook County; and downtown Chicago, which is accessible via several Metra commuter train stations located in neighboring communities. The village is home to a large industrial park that makes up about one-third of its 10 square miles, which is the location of a number of industrial and distribution companies. The village's income level is well above average, with median household effective buying income at 134% of the state and 145% of the national levels. Although mostly built out, commercial and industrial growth helped the village's tax base to increase at an average annual rate of 7.6% from 2001-2005 to an estimated market value of \$3.6 billion, which is a high \$88,310 per capita. The tax base is diverse, with the 10 largest taxpayers accounting for only 6.6% of equalized assessed valuation.

For the fiscal year ended April 30, 2005, the village's general fund balance grew \$2.8 million to \$29.35 million, which is a very strong 173% of expenditures. Of that amount, \$28.6 million (169%) was unreserved. Liquidity is very strong, with \$26.9 million of unrestricted general fund cash amounting to 581 days' cash at the end of fiscal 2005. The village's strong liquidity alleviates concern over its dependence on sales taxes for general operations. The village projects a general fund surplus for fiscal 2006.

The village's overall debt burden, including debt from school districts and other overlapping entities, is moderate at \$2,130 per capita and 2.4% of market value. Although the village currently has about \$4 million of tax increment revenue bonds outstanding, it does not have CO debt at this time. It manages its street improvements, water and sewer infrastructure, and other capital needs with the help of a five-year capital plan. The village spends about \$2 million a year on road improvements on a pay-as-you-go basis. A recently completed 10-year rebuilding project rebuilt the village's core streets and added storm water lines.

Outlook

The stable outlook reflects Standard & Poor's Ratings Services' expectation that the village will maintain sound financial operations and strong reserves as its tax base continues to grow. Supporting the outlook is the village's participation in the diverse Chicago metropolitan area economy.

Finances/Financial Management Assessment

Finances

As a home-rule community, the village is not subject to the property tax caps and can levy a home rule sales tax. Most of the village's operating revenues are made up of sales taxes (39% of general fund revenues in 2005), utility taxes (20%), and the village's share of state income taxes (14%). Due to the adequacy of these revenues, the village has not levied for property taxes in a number of years. In addition to the village's share of the state's 1% municipal sales tax, the village levies a 0.5% home rule sales tax.

The village's general fund balance is maintained at high levels, consistent with the board's annually voted policy to maintain an operating budget reserve of at least 50% of expenditures. Over the past four audited fiscal years, the general fund balance grew to \$29.35 million (173% of expenditures and net transfers) from \$26.00 million (164%).

The village buys treated Lake Michigan water from Chicago through the DuPage Water Commission. The village's sewer treatment plan was expanded in 1997 with a state revolving fund loan and has adequate capacity to serve the village through buildout. The village's water and sewer operations are self-supporting and do not require transfers from the general fund. The water and sewer fund reported \$9.9 million of unrestricted cash and investments at the end of fiscal 2005, which represented a very strong 651 days' cash on hand.

Financial Management Assessment

The village's management practices are considered strong under Standard & Poor's Financial Management Assessment (FMA). An FMA of strong indicates that practices are strong, well embedded, and likely sustainable. Among the highlights of the village's management practices are:

- Three-year budget planning,
- Five-year capital plan, and
- A formal fund balance policy of 50% of operating expenditures.

To keep its budget on track, the village does monthly reviews of revenues and expenditures. The budget is typically amended just once during the year, but can be amended at any time if the need arises.

Revenue projections are done in-house; major sales taxpayers are interviewed annually to help the village with its sales tax projections. A written investment policy is maintained that provides a conservative list of permitted investments; the board receives a monthly report of earnings and holdings. The village has written debt management policies that are made part of the annual capital budget.

**STANDARD
& POOR'S****RATINGS DIRECT**

RESEARCH

Public Finance Criteria: Financial Management Assessment

Publication date: 27-Jun-2006
Primary Credit Analyst: James Wiemken, Chicago (1) 312-233-7005;
james_wiemken@standardandpoors.com
Secondary Credit Analysts: Colleen Woodell, New York (1) 212-438-2118;
colleen_woodell@standardandpoors.com
Richard J Marino, New York (1) 212-438-2058;
richard_marino@standardandpoors.com

The rigor of a government's financial management practices is an important factor in Standard & Poor's Ratings Services analysis of that government's creditworthiness. Managerial decisions, policies, and practices apply directly to the government's financial position and operations, debt burden, and other key credit factors. A government's ability to implement timely and sound financial and operational decisions in response to economic and fiscal demands is a primary determinant of near-term changes in credit quality. Standard & Poor's will now offer a more transparent assessment of a government's financial practices as an integral part of our general obligation and appropriation credit rating process.

Assessing Financial Practices

Major elements of governmental financial management include economic analysis, revenue forecasting, risk management, accounting practices, financial strategies, cash and liquidity administration, and debt management. All of these elements have an impact on a government's bottom line, and, as a result, on its credit quality. If a government is unable or unwilling to employ its authority in a timely manner to address events that impact its budget and financial condition, its credit rating can be adversely affected.

Many finance directors and other local government officials take pride in the managerial policies, practices, and structures they have established to ensure efficiency and quality of service, and to promote innovation and security. While credit ratings incorporate financial management as one of many factors, the impact of financial management on the rating may not be readily apparent because other factors may counterbalance, or even outweigh it. Examples of such factors include local economic conditions, debt levels, and statutory limitations. By focusing special attention on the assessment of financial practices, Standard & Poor's will more fully recognize governments' efforts in this important area. In fact, the vast majority of downgrades in recent years can be attributed to financial practices, or lack thereof. (For further information on this trend, see the report, "GO Credit Ratings Are At A Crossroad As Downgrades Increase," RatingsDirect, June 12, 2006).

Analytical Framework

Standard & Poor's has established an analytical methodology that evaluates established and ongoing management practices and policies in the seven areas most likely to affect credit quality. These areas are:

- Revenue and expenditure assumptions
- Budget amendments and updates
- Long term financial planning
- Long term capital planning
- Investment management policies
- Debt management policies
- Reserve and liquidity policies

The evaluation of each area focuses on best practices and policies that are credit-important in most governments rather than policies that address issues that are fairly unusual or unique to the government. The nature of the policies and practices considered are those that governments may use in some manner regardless of the size or type of government. Issuers that rank well in the evaluation should be those whose policies help reduce the likelihood of credit deterioration, or enable them to benefit more from changing conditions, whether they are economic, budgetary, statutory, or personnel related.

Users of the FMA, however, should also realize its limitations. By focusing on a government's policies and practices, the FMA is not an evaluation of the competency or aptitude of individual finance professionals; nor is it an evaluation of a finance department's ability to handle unique challenges. Moreover, the nature of the entity's governing body, the effectiveness of its governance practices, and issues of public policy pursued by the government are beyond the scope of this analysis.

Although Standard & Poor's considers in its analysis any material information that provides relevant context or influences financial management, it is important to note that this assessment of financial practices is based primarily on the existence and implementation of management practices, and not necessarily the results achieved by such practices. Results—both positive and negative—are assumed to manifest themselves in other visible ways. The purpose of the focus on policies and practices is to evaluate the potential for credit quality to move away from those currently indicated by results.

The following tables detail each of the seven financial practice areas examined by Standard & Poor's.

Table 1

Revenue And Expenditure Assumptions

Are the organization's financial assumptions and projections realistic and well grounded from both long-term and recent trend perspectives?

Strong	Formal historic trend analysis is performed and updated annually for both revenue and spending; regular effort is made to determine whether revenues or expenditures will deviate from their long-term trends over the next couple of years; evidence of independent revenue forecasting exists (when possible).
Standard	Optimistic assumptions exist that, while supportable, add risk; assumptions are based on recent performance, but little evidence of questioning or validating assumptions exists.
Vulnerable	Assumptions neglect likely shortfalls, expenditure pressures or other pending issues; assumptions exist which enjoy no prudent validation.

Table 2

Budget Amendments And Updates

Are there procedures for reviewing and amending the budget based on updated information and actual performance to ensure fiscal targets are met?

Strong	At least quarterly budget surveillance is maintained to identify problem areas and enable timely budget adjustments; management exhibits ability and willingness to address necessary intra-year revenue and expenditure changes to meet fiscal targets.
Standard	Semiannual budget reviews exist; management identifies variances between budget and actual performance.
Vulnerable	No formal process exists for regular review and timely updating of budget during the year.

Table 3

Long-Term Financial Planning

Does management have a long-term financial plan that allows them to identify future revenues and expenditures as well as address upcoming issues that might affect these?

Strong	A multi-year financial plan exists where future issues are identified and possible solutions are identified, if not implemented; revenue and expenditure decisions are made primarily from a long-term perspective. Structural balance is a clear goal.
Standard	Multi-year projections are done informally; multi-year projections are done, but without discussion of pending issues, so that issues are not addressed; some one-shot actions exist, but the long-term consequences of these actions are acknowledged and communicated.
Vulnerable	No long-term financial planning exists; operational planning is done on a year-to-year (or budget-to-budget) basis; one-shot budget fixes are used with little attention to long-term consequences.

Table 4**Long-Term Capital Planning****Has the organization created a long-term capital improvement program?**

- Strong** A five-year rolling CIP with funding identified for all years exists and is linked to the operating budget and long-term revenue and financing strategies.
- Standard** A five-year CIP is done, but is generally limited to projects to be funded from the current budget plus a four-year wish list; some funding for out-year projects is identified, but not all.
- Vulnerable** No five-year CIP exists; capital planning is done as needs arise.

Table 5**Investment Management Policies****Has the organization established policies pertaining to investments, such as the selection of financial institutions for services and transactions; risk assessment; investment objectives; investment maturities and volatility; portfolio diversification; safekeeping and custody; and investment performance reporting, benchmarking, and disclosure?**

- Strong** Investment policies exist and are well defined; strong reporting and monitoring mechanisms exist and are functioning.
- Standard** Informal or non-published policies exist; policies are widely communicated and followed.
- Vulnerable** Absence of informal or non-published policies

Table 6**Debt Management Policies****Has the organization established policies pertaining to the issuance of debt, such as projects that may or may not be funded with debt (including economic development projects); maturity and debt service structure; use of security and pledges, credit enhancement, and derivatives; and debt refunding guidelines?**

- Strong** Debt policies exist and are well defined; strong reporting and monitoring mechanisms exist and are functioning. If swaps are allowed, a formal swap management plan that follows S&P's guidelines (see the DDP) has been adopted.
- Standard** Basic policies exist; policies are widely communicated and followed. If swaps are allowed there is a swap management plan in place, but it does not follow S&P's guidelines.
- Vulnerable** Absence of basic policies or clear evidence that basic policies are followed. Swaps are allowed but there is no swap management plan in place, and/or there is no local (non-FA) knowledge about the swap.

Table 7**Reserve And Liquidity Policies****Has the organization established a formalized operating reserve policy, which takes into account the government's cash flow/operating requirements and the historic volatility of revenues and expenditures through economic cycles?**

- Strong** A formal operating reserve policy is well defined. Reserve levels are clearly linked to the government's cash flow needs and the historic volatility of revenues and expenditures throughout economic cycles. Management has historically adhered to it.
- Standard** A less defined policy exists, which has no actual basis but has been historically adhered to it.
- Vulnerable** Absence of basic policies or, if they exist, are not followed.

Assessment Methodology

Standard & Poor's evaluates and assigns each of the seven areas a qualitative ranking, based on the above framework. In determining the overall assessment, the revenue and expenditure assumptions, budget amendments and updates are given a relatively higher importance; long-term financial planning and liquidity policies are given an average importance; and capital planning, debt policies, and investment policies receive relatively less weight. The difference in degrees of importance is limited, however, so that each factor's contribution to the assessment is meaningful.

Overall assessments are communicated using the following terminology: The term "good", in addition to the terms "strong", "standard", and "vulnerable", is used to further differentiate governments with a mix of strong and standard practices.

"Strong"

A Financial Management Assessment of 'strong' indicates that practices are strong, well embedded, and likely sustainable. The government maintains most best practices deemed critical to supporting credit quality and these are well embedded in the government's daily operations and practices. Formal policies support many of these activities, adding to the likelihood that these practices will be continued into the future and transcend changes in the operating environment or personnel.

"Good"

A Financial Management Assessment of 'good' indicates that practices are deemed currently good, but not comprehensive. The government maintains many best practices deemed as critical to supporting credit quality, particularly within the finance department. These practices, however, may not be institutionalized or formalized in policy, may lack detail or long-term elements, or may have little recognition by decision makers outside of the finance department.

"Standard"

A Financial Management Assessment of 'standard' indicates that the finance department maintains adequate policies in most, but not all key areas. These policies often lack formal detail and institutionalization, and may not include best practices.

"Vulnerable"

A Financial Management Assessment of 'vulnerable' indicates that the government lacks policies in many of the areas deemed most critical to supporting credit quality. The 'vulnerable' designation suggests a high degree of uncertainty regarding a government's ability to effectively adapt to changing conditions that could threaten its long-term financial position.

Analytical Process And Supporting Documentation

To perform its analysis of local government financial practices, Standard & Poor's will rely on documentation provided by the government and discussions with the organization's management. Relevant documents include, but are not limited to, audited financial statements and accompanying notes, budget documents, financial plans, management policy statements, procedure manuals, and periodic reports. Discussions provide an important opportunity for management to elaborate on the factors listed above, as well as answer specific questions, so as to enable Standard & Poor's analysts to assess the factors as thoroughly as possible.

Analytic services provided by Standard & Poor's Ratings Services (Ratings Services) are the result of separate activities designed to preserve the independence and objectivity of ratings opinions. The credit ratings and observations contained herein are solely statements of opinion and not statements of fact or recommendations to purchase, hold, or sell any securities or make any other investment decisions. Accordingly, any user of the information contained herein should not rely on any credit rating or other opinion contained herein in making any investment decision. Ratings are based on information received by Ratings Services. Other divisions of Standard & Poor's may have information that is not available to Ratings Services. Standard & Poor's has established policies and procedures to maintain the confidentiality of non-public information received during the ratings process.

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**STANDARD
& POORS****RATINGS DIRECT**

RESEARCH

Credit FAQ: Financial Management Assessment In U.S. Public Finance

Publication date: 27-Jun-2006
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Standard & Poor's Ratings Services is enhancing its analysis of financial management policies and procedures in U.S. public finance with the introduction of the concept of the Financial Management Assessment (FMA), a transparent assessment of a government's financial practices. The purpose of the FMA is to highlight aspects of management that are common to most governments in a consistent manner. (For a complete description of the FMA criteria, see the companion report, "Public Finance Criteria: Financial Management Assessment," RatingsDirect, June 27, 2006)

Frequently Asked Questions

What is the FMA?

The FMA is an analytic enhancement adopted by Standard & Poor's to improve the definition of our analysis of management practices and policies, and expand our methods of communicating analytic conclusions about policies and procedures.

The FMA encompasses seven areas most likely to affect credit quality. They are:

- Revenue and expenditure assumptions
- Budget amendments and updates
- Long-term financial planning
- Long-term capital planning
- Investment management policies
- Debt management policies
- Reserve and liquidity policies

The FMA is a word evaluation that offers a more transparent assessment of a government's financial practices as an integral part of our GO and appropriation credit rating process. The overall assessments will be communicated using the following terminology:

- "Strong" indicates that practices are strong, well embedded, and likely sustainable.
- "Good" indicates that practices are deemed currently good, but not comprehensive.
- "Standard" indicates that the finance department maintains adequate policies in most, but not all key areas.
- "Vulnerable" indicates that the government lacks policies in many of the areas deemed most critical to supporting credit quality.

Why is Standard & Poor's introducing the FMA at this time?

A government's ability to implement timely and sound financial and operational decisions in response to economic and fiscal demands is an important component of credit quality. Standard & Poor's is introducing the FMA in order to make certain aspects of our analysis of management more transparent—specifically those concerned with policies and practices that are considered most critical to credit quality.

What types of issuers will be assigned an FMA?

FMA's will be assigned only to general government tax-backed and annual appropriation-backed issues. Special districts (TIFs, MUDs, special tax districts) will not have an FMA assigned.

Doesn't Standard & Poor's already assess management?

Yes. Management is one of the four key areas underpinning tax-backed analysis. More specifically, the areas considered by the FMA have already been detailed in previous articles focusing on management best practices. The FMA is best understood as a framework in which to apply existing criteria and communicate results in a transparent and consistent manner.

How did you choose the various areas of focus, and why did you not include others?

By focusing on a government's policies and practices, the FMA is not an evaluation of the competency or aptitude of individual finance professionals; nor is it an evaluation of a finance department's ability to handle either ordinary occurrences or unique challenges. The purpose of the FMA is to highlight the most transparent aspects of management that are common to most governments in a consistent manner. Even with this narrow definition, other possible practices could be considered, such as accounting and disclosure practices, internal controls, and policies for knowledge retention and staff turnover. While each of these, and others have the potential to affect credit quality, the factors considered in the FMA are those that Standard & Poor's considers the most critical in determining credit quality.

Is the assessment affected by the type or size of the government?

While larger governments typically have additional finance staff that may be capable of producing more complex or sophisticated analyses, we believe all types and sizes of governments can implement good practices in each of the areas covered by the FMA, at least in some form. While school districts may not use independent economic forecasts for revenue analysis, as do states, objective forecasts for enrollment are still important. A local government dependent on state aid might argue that state politics make it too difficult to predict funding beyond the current budgetary term, but an understanding of how quickly expenditures will outpace revenues given an assumed revenue growth rate is still extremely important—even if the assumed growth rate does not prove correct.

What is the expected relationship between FMA's and credit ratings?

The FMA is one component of an assigned rating; we will continue to evaluate all of the other factors—economic, financial condition, debt and management. Given what the FMA measures, it is possible that an entity with a strong FMA may be better able to tolerate weakness in the basic credit areas, or conversely, may be better able to take advantage of improving conditions. As a result, the practices that are captured by the FMA could contribute to rating changes, or allow a community to better prevent a downgrade. We do not expect a large number of rating changes to occur, as evaluation of the policies measured is already included in our analysis. The FMA is simply a different way of reporting analytic results.

Analytic services provided by Standard & Poor's Ratings Services (Ratings Services) are the result of separate activities designed to preserve the independence and objectivity of ratings opinions. The credit ratings and observations contained herein are solely statements of opinion and not statements of fact or recommendations to purchase, hold, or sell any securities or make any other investment decisions. Accordingly, any user of the information contained herein should not rely on any credit rating or other opinion contained herein in making any investment decision. Ratings are based on information received by Ratings Services. Other divisions of Standard & Poor's may have information that is not available to Ratings Services. Standard & Poor's has established policies and procedures to maintain the confidentiality of non-public information received during the ratings process.

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AGENDA ITEM

J-2 6-19-06

Village of Carol Stream

Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: Stan W. Helgerson, Finance Director *SH*
DATE: June 14, 2006
RE: 2006 Tax Levy Determination

The proposed tax levy for the Carol Stream Public Library is \$3,320,709.00. This is an increase of 3.43% over their 2005 levy/extension.

At the Board meeting on Monday night (July 17th), a motion will need to be made establishing \$3,320,709.00 as the amount needed to fund the Library for the 2008 fiscal year and to direct staff to publish a notice for a public hearing on the proposed tax levy to be held on August 21, 2006.

The notice will need to be published on August 11th and I have included a copy for your information.

If you have any questions, please give me a call.

cc: Ann Kennedy
Carol Stream Public Library

**NOTICE OF PROPOSED PROPERTY TAX INCREASE FOR THE VILLAGE OF
CAROL STREAM, DUPAGE COUNTY, ILLINOIS**

- I. A public hearing to approve a proposed property tax levy increase for the Village of Carol Stream (including the Carol Stream Public Library) for 2006 will be held on August 21, 2006 at 8:00 p.m. at the Carol Stream Village Hall, 500 North Gary Avenue, Carol Stream, Illinois.

Any person desiring to appear at the public hearing and present testimony to the taxing district may contact Joseph Breinig, Village Manager, 500 North Gary Avenue, Carol Stream, IL 60188, 630/665-7050.

- II. The corporate and special purpose property taxes extended or abated for 2005 were \$3,210,555.74.

The proposed corporate and special purpose taxes to be levied for 2006 are \$3,320,709.00. This represents a 3.43% increase over the previous year.

- III. The property taxes extended for debt service and public building commission leases for 2005 were \$0.00.

The estimated property taxes to be levied for debt service and public building commission leases for 2006 are \$0.00. This represents a 0.00% increase over the previous year.

- IV. The total property taxes extended or abated for 2005 were \$3,210,555.74.

The estimated total property taxes to be levied for 2006 are \$3,320,709.00. This represents a 3.43% increase over the previous year.

Printed by Order of the Corporate Authorities
of the Village of Carol Stream,
DuPage County, Illinois

TO BE PRINTED ON FRIDAY, AUGUST 11, 2006

Printer: This must be printed on 1/8 of a page with the smallest type used being 12 point. The notice must be enclosed in a black border no less than 1/4 inch wide. The notice must not be placed in that portion of the newspaper where legal notices and classified advertisements appear.

AGENDA ITEM

J-3 7-17-06

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: Terry Davis, Secretary *td*
DATE: July 11, 2006
RE: **Outreach Community Center - Amplification Permit Application**

The Outreach Community Center in Carol Stream is sponsoring an outdoor Community Barbecue on Tuesday, August 1, 2006. Attached is a Sound Amplification Permit Application in connection with this event.

Since this event is being held in conjunction with the Carol Stream Police Department's National Night Out Against Crime, staff recommends a waiver of the \$25 Amplification Permit fee.

Please place this on the agenda for the July 17th Board Meeting for the Board's review and consideration.

Attachment



Village of Carol Stream

Sound Amplifier Permit Application



Please thoroughly read the attached local Sound Amplification Ordinance that details the permit procedures and guidelines for use of a sound amplification device.

Applicant Name: _____

Applicant Address: _____

Applicant Phone #: () _____ - _____ **Applicant e-Mail:** _____

Organization Name: OUTREACH COMMUNITY CENTER

Organization Address: 345 S. President Center
Carol Stream, IL 60188

Organization Phone #: (630) 260 - 7600 **Organization e-Mail:** _____

Address Where Sound Amplifier Device Will Be Used:

Community Park - East End of Thornhill Drive, Carol Stream, IL.

Description Of Purpose Or Event Where Sound Amplifier Device Will Be Used:

Community Barbecue in conjunction with "National Night Out Against Crime"

Dates/Times For Which Use Of Sound Amplifier Device Is Requested:

Tuesday, August 1, 2006 6 pm. to Dusk

Steel Drum Band

PERMIT FEE:

**\$25/day when used at a fixed location or in a moving vehicle.
 Please return completed permit application and fee payment(s) to:**

Village Manager's Office
 Village of Carol Stream
 500 N. Gary Avenue
 Carol Stream, IL. 60188-1899
 (630) 871- 6250

NATIONAL NIGHT OUT AGAINST CRIME

COMMUNITY BARBECUE

FUN FOR ALL
AGES!

RAFFLES!

FREE LIVE MUSIC
BY A STEEL DRUM
BAND!

FOOD!

OBSTACLE
COURSE WITH
CLIMBING WALL
AND SLIDE!

BASKETBALL!

FACE
PAINTING!

MOONJUMPS!



Tuesday, August 1, 2006 from 6PM to Dusk

Bring a blanket
or lawn chair!

Rain date: Wednesday, August 2

Community Park

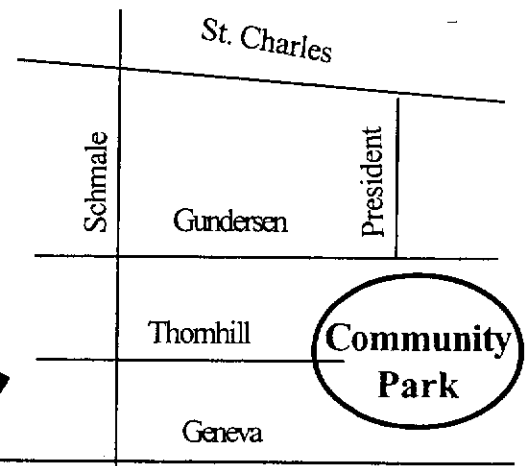
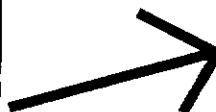
east end of Thornhill Dr., Carol Stream, IL

\$2 p/person (max. of \$7 p/immediate family), children under 3 are free!!

The barbecue is sponsored by the neighborhood coalition of volunteers serving on the Joint Council, in conjunction with the Carol Stream Police Department in celebration of the "National Night Out Against Crime."

DON'T MISS IT!

DIRECTIONS TO THE BARBECUE



For more information, please call the Outreach Community Center at (630) 260-7600

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
A T & T							
SERV FOR MAY 17-JUN 16	55.00	TELEPHONE	04.420.230		630Z86102906		026 00055
SERV FOR MAY 17-JUN 16	128.60	TELEPHONE	04.410.230		708Z06300606		026 00057
SERV FOR MAY 17-JUN 16	55.00	TELEPHONE	04.410.230		708Z86001306		026 00056
SERV FOR MAY 17-JUN 16	55.00	TELEPHONE	04.410.230		708Z86121206		026 00058
SERV FOR MAY 17-JUN 16	1,365.24	TELEPHONE	04.420.230		708Z86529806		026 00054
	1,658.84	*VENDOR TOTAL					
ALLWAYS INC							
FULL E-MAILS JULY2006	10.95	DUES & SUBSCRIPTIONS	01.465.234		134473	460554 P	026 00069
ANCEL, GLINK, DIAMOND, BUSH							
LEGAL SERV-MAY 2006	31,858.47	LEGAL FEES	01.457.238		6/12/2006	460565 P	026 00043
B & F TECHNICAL CODE SER							
INSP'S JUN 2- JUN 14	760.00	CONSULTANT	01.464.253		23981	463204 P	026 00002
CHRISTOPHER B BURKE ENGR							
400 FULLERTON AVE PLN RV	7,186.50	CONSULTANT	01.462.253		59498	462273 P	026 00021
MCKESSON SITE -CS PARTNR	6,913.00	CONSULTANT	01.462.253		59499	462273 P	026 00020
FISCHER FARM PROP-LAKEHM	9,013.50	CONSULTANT	01.462.253		59500	462273 P	026 00023
FAIR OAKS RD IMPRV	2,118.50	CONSULTANT	01.462.253		59501	462273 P	026 00025
RVW FOREST GLEN DEV	220.00	CONSULTANT	01.462.253		59502	462273 P	026 00022
SHOPPES OF C S PLAN RVW	249.00	CONSULTANT	01.462.253		59503	462273 P	026 00024
	25,700.50	*VENDOR TOTAL					
CITY COMMUNICATIONS INC							
FIRE ALARM PWC	90.00	MAINTENANCE & REPAIR	04.420.244		26279		026 00013
COMMONWEALTH EDISON CO							
SERV 5/18-6/19	73.50	ELECTRICITY	06.432.248		0030086009		026 00009
SERV 5/18-6/19	621.52	ELECTRICITY	04.410.248		0793651000		026 00003
SERV 5/18-6/19	5,354.68	ELECTRICITY	04.420.248		0793651000		026 00004
SRV FOR 5/18-6/19	173.75	ELECTRICITY	01.467.248		0803155026		012 00009

AGENDA ITEM
K1-A 7-17-06

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
COMMONWEALTH EDISON CO							
SERV FOR 5/9-6/8	34.76	ELECTRICITY	06.432.248		1083101009		012 00005
SERV FOR 5/18-6/19	108.53	ELECTRICITY	06.432.248		1353117013		012 00006
SRV FOR 5/18-6/19	142.67	ELECTRICITY	01.467.248		1865134015		012 00010
SERV 5/18-6/19	88.02	ELECTRICITY	06.432.248		3153036011		026 00008
SERV FOR 5/19-06/20	178.51	ELECTRICITY	01.467.248		4483019016		012 00007
SERV 5/19 - 6/20	2,789.16	ELECTRICITY	06.432.248		4863004008		026 00006
SRV FOR 5/23 - 6/21	13.40	ELECTRICITY	01.467.248		5838596003		026 00053
SERV 5/18-6/16	131.05	ELECTRICITY	01.467.248		6337409002		026 00007
SRV FOR 5/18-6/19	92.55	ELECTRICITY	06.432.248		6597112015		012 00008
SRV FOR MAY 18 - JUN 19	114.99	ELECTRICITY	06.432.248		6675448009		026 00073
SERV 5/9 - 6/08	285.83	ELECTRICITY	01.467.248		6827721000		026 00005
	10,202.92	*VENDOR TOTAL					
COOK COUNTY CLERK'S OFFI NOTARY COMM-K LALLY	10.00	UNIFORMS	01.466.324		KELLY LALLY		026 00014
COOPER/BRIAN TRAINING REIMBUSEMENTS	136.00	TRAINING	01.466.223		TRAINING REIMB		012 00002
COUNTY COURT REPORTERS I PLAN COMM MTG JUN 12	335.00	COURT RECORDER FEES	01.453.241		089157		026 00012
EXAMINER PUBLICATIONS IN NWS PAPER AD-FESTIVAL	540.00	SUMMER IN THE CENTER	01.475.287		10120833		026 00017
FEDEX							
INV SUMM JUN 14,2006	114.72	POSTAGE	01.465.229		1-062-82206	460545 P	026 00031
INV SUMM JUN 21, 2006	73.18	POSTAGE	01.465.229		1-076-27953	460545 P	026 00070
	187.90	*VENDOR TOTAL					
FOURTH OF JULY PARADE CO 2006 DONATION-PARADE	18,000.00	MISC EVENTS/ACTIVITIES	01.475.291		4TH OF JULY	461449 P	012 00001

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
IEPA FISCAL SERVICES SEC							
PERMIT RNWL 7/06-6/07	30,000.00	NPDES PERMIT FEE	04.410.272		IL0026352	467374	P 026 00063
IEPA FEE 7/2006-6/2007	1,000.00	PROPERTY MAINTENANCE(NPD	01.462.272		MS4 IEPA FEE	462272	P 026 00027
	31,000.00	*VENDOR TOTAL					
IL SECRETARY OF STATE							
POLICE PLATE UNIT #614	8.00	AUTO MAINTENANCE & REPAI	01.466.212		UNIT #614	467370	P 026 00048
TITLE/PLTS UNIT #82	75.00	AUTO MAINTENANCE & REPAI	01.467.212		UNIT 82	467375	P 026 00062
	83.00	*VENDOR TOTAL					
IL SECRETARY OF STATE -N							
NOTARY COMM-M KONIOR	10.00	DUES & SUBSCRIPTIONS	01.466.234		MONIOR KONIOR		026 00050
NOTARY COMM-R WILLING	10.00	DUES & SUBSCRIPTIONS	01.466.234		RICK WILLING		026 00018
	20.00	*VENDOR TOTAL					
ILLINOIS MUNICIPAL LEAGU							
REGIS-TRUSTEE FENNER	240.00	MEETINGS	01.452.222		IML CONF 9/28		012 00004
IML CONF-TRUSTEE STUBBS	320.00	MEETINGS	01.452.222		9/28-10/1		012 00011
	560.00	*VENDOR TOTAL					
KOMON COMMUNICATIONS							
COMPUTER CONSULT-6/27	275.00	MAINTENANCE & REPAIR	01.468.244		2280		026 00071
COMPUTER CONSULT-6/27	250.00	MAINTENANCE & REPAIR	01.468.244		2282		026 00072
	525.00	*VENDOR TOTAL					
KONIOR/PAT							
MEALS-TRNG WISC 7/10-13	191.00	TRAINING	01.466.223		ARMORERS CLS		026 00045
KOWALSKI MEMORIALS INC							
SANDBLAST BRICKS	50.00	OPERATING SUPPLIES	01.467.317		34553		026 00047
LAILAW EDUCATION SERVIC							
FESTIVAL TRANSPORT	439.36	SUMMER IN THE CENTER	01.475.287		188-C-010719		026 00030
FESTIVAL TRANSPORT	439.36	SUMMER IN THE CENTER	01.475.287		188-C-010720		026 00029

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LAIDLAW EDUCATION SERVIC FESTIVAL TRANSPORT	439.36 1,318.08	SUMMER IN THE CENTER *VENDOR TOTAL	01.475.287		188-C-010721		026 00028
LAW ENFORCEMENT TRAINING TRAINING CLS-LAW LIABILI 14 IL OFFCR LEGL SOUR BK	600.00 420.00 1,020.00	TRAINING REFERENCE MATERIALS *VENDOR TOTAL	01.466.223 01.466.318		6/7/2006 6/7/2006	466552 P 466552 P	026 00032 026 00033
MORONI & HANDLEY PTNSHP LEGAL SRV FOR MAY,2006	2,190.00	LEGAL FEES-PROSECUTION	01.457.235		JUNE 16,2006	460553 P	026 00016
MOTOR INFORMATION SYSTEM 1 YR SUBSCRIPT 6/13/06	1,500.00	REFERENCE MATERIALS	01.469.318		63087-16260	467373 P	026 00060
NAVISTAR FINANCIAL CORPO TRUCK & PLOW	91,815.00	VEHICLES	01.467.415		060150-670	467329 P	026 00059
NORTHWEST POLICE ACADEMY WILLING,O'BRIEN,GILMORE	50.00	DUES & SUBSCRIPTIONS	01.466.234		DUES 06/07		026 00051
NOTARY PUBLIC AGENCY NOTARY COMM-M KONIOR NOTARY COMM-R WILLING	36.00 36.00 72.00	DUES & SUBSCRIPTIONS DUES & SUBSCRIPTIONS *VENDOR TOTAL	01.466.234 01.466.234		MONICA KONIOR RICK WILLING		026 00049 026 00019
ONESTI ENTERTAINMENT COR JUN, JULY, AUG CONCERTS	22,920.00	CONCERT SERIES	01.475.288		SUMMER CONCRTS	460587 P	026 00067
PASKEVICZ/CHAD MEALS-TRNG WISC 7/10-13	191.00	TRAINING	01.466.223		ARMORERS CLS		026 00046
PLOTE CONSTRUCTION INC 2006 FLEX PAVEMNT PROJ 2006 FLEX PAVEMNT PROJ	271,246.56 27,124.65CR 244,121.91	STREET RESURFACING RETAINAGE - PLOTE 2006 *VENDOR TOTAL	06.432.470 06.2633		60120.04 60120.04	462270 P 462270 P	026 00064 026 00065

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
POWELL MSW LCSW BCD/KATH TNG-CASE REVIEW	170.00	TRAINING	01.466.223		6/15/06		026 00026
S T S CONSULTANTS LTD FULLERTON/CTR WETLND SIT	1,393.75	CONSULTANT	01.462.253		N3885	462219	P 026 00066
SEGAL COMPANY/THE HEALTH COVRG RVW-MAY	5,103.75	CONSULTANT	01.459.253		3010867	461434	P 026 00015
SERVICE FORMS & GRAPHICS FINAL READ ORDER FORMS	164.65	PRINTED MATERIALS	04.410.315		112116		026 00010
FINAL READ ORDER FORMS	164.65	PRINTED MATERIALS	04.420.315		112116		026 00011
	329.30	*VENDOR TOTAL					
SISTER CITIES INTERNATIO ANNL MEMB DUES -2006	485.00	SISTER CITIES	01.452.285		3000		026 00041
TAUTGES / JOHN STONE	705.00	CA-6	06.432.347		174		026 00039
DEBRIS HAULED	280.00	HAULING	01.467.265		174		026 00040
	985.00	*VENDOR TOTAL					
THEODORE POLYGRAPH SERVI POLYGRAPH OFFCR CANDIDAT	125.00	PERSONNEL HIRING	01.451.228		15467		026 00042
POLYGRAPH POLICE OFFCR	250.00	PERSONNEL HIRING	01.451.228		15483		026 00001
	375.00	*VENDOR TOTAL					
THIRD MILLENIUM ASSOC IN 2006 PARADE LETTER	928.57	MISC EVENTS/ACTIVITIES	01.475.291		6415	461442	P 026 00036
WTR BILL NOTICES-MAY06	1,165.90	UTILITY BILL PROCESSING	04.410.221		6415	461442	P 026 00037
WTR BILL NOTICES-MAY06	1,165.91	UTILITY BILL PROCESSING	04.420.221		6415	461442	P 026 00038
E-PAY FOR MAY 2006	225.00	UTILITY BILL PROCESSING	04.410.221		6501	461441	P 026 00034
E-PAY FOR MAY 2006	225.00	UTILITY BILL PROCESSING	04.420.221		6501	461441	P 026 00035
	3,710.38	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
THOMAS/MINDI MEALS-TRAINING 7/13-16	96.00	TRAINING	01.466.223		CENTER TO BE		026 00044
TRI-R SYSTEMS INC WORK ON CONTROL PANEL	285.00	MAINTENANCE & REPAIR	04.420.244		002150		026 00052
TT-ICD REGIS-STRMWTR CONF YORK	25.00	TRAINING	04.410.223		9/20-21/2006	467376 P	026 00061
U S POSTAL SERVICE REPLENISH PERMIT #2128	100.00	POSTAGE	01.465.229		PERMIT 2128		012 00003
POSTAGE SUMR NWSLTR 06	2,212.72	PUBLIC NOTICES/INFORMATI	01.452.240		SUMMER NWSLTR	460586 P	012 00012
	2,312.72	*VENDOR TOTAL					

BRC/ISD FINANCIAL SYSTEM
06/30/2006 09:03:57

Schedule of Bills

VILLAGE OF CAROL STREAM
GL540R-V06.70 PAGE 7

VENDOR NAME	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
DESCRIPTION							
REPORT TOTALS:	502,388.47						

RECORDS PRINTED - 000084

BRC/ISD FINANCIAL SYSTEM
06/30/2006 09:03:58

Schedule of Bills

VILLAGE OF CAROL STREAM
GL060S-V06.70 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	DISBURSEMENTS
01	GENERAL CORPORATE FUND	213,113.90
04	WATER & SEWER O/M FUND	41,146.15
06	MOTOR FUEL TAX FUND	248,128.42
TOTAL ALL FUNDS		502,388.47

BANK RECAP:

BANK	NAME	DISBURSEMENTS
OBB	OAK BROOK BANK	502,388.47
TOTAL ALL BANKS		502,388.47

THE PRECEDING LIST OF BILLS PAYABLE WAS REVIEWED AND APPROVED FOR PAYMENT.

DATE APPROVED BY

The preceding list of bills payable was reviewed and approved for payment.

Approved by:



Joseph E Breinig – Village Manager

Date: 6/30/06

Authorized by:

Ross Ferraro – Mayor

Janice Koester, Village Clerk

Anthony Manzzullo, Village Treasurer

Date: _____

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
A T & T								
	SRV JUN 5-JUL 4	6,710.40	TELEPHONE	01.465.230		630665705007		057 00072
	SRV JUN 5-JUL 4	589.28	TELEPHONE	01.467.230		630665755307		057 00073
		7,299.68	*VENDOR TOTAL					
AIG LIFE INSURANCE CO								
	INS RNWL 8/06-8/07	575.00	LIABILITY INSURANCE	01.465.261		SRG8059092		057 00034
ALLMAND BROS INC #1								
	capacitor 45uf marath	270.47	STREET LIGHT MAINTENANCE	01.467.271		67784		067 00229
AMERICAN ADMINISTRATIVE								
	JUN/06 FLEX SPENDING	195.75	EMPLOYEE SERVICES	01.459.273		8196		057 00005
AMERICAN FIRST AID SER								
	Restock Firstaid-VLG	260.97	OPERATING SUPPLIES	01.465.317		18916	460470	067 00019
	first aid supplies	42.78	OPERATING SUPPLIES	01.467.317		19512		067 00070
		303.75	*VENDOR TOTAL					
AMERICAN PUBLIC WORKS								
	apwa membership pw	312.00	DUES & SUBSCRIPTIONS	01.467.234		20978		067 00056
	apwa membership eng	312.00	DUES & SUBSCRIPTIONS	01.462.234		20978		067 00057
	MicroPaver 8/06-7/07	650.00	SOFTWARE MAINTENANCE	01.462.255		612957		067 00023
		1,274.00	*VENDOR TOTAL					
APA ON-LINE MEMBERSHIP								
	APA Membshp-Weiss	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00187
	APA Memb-Sutenbach	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00188
	APA Memb-Hundhausen	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00189
	APA Memb-Spink	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00190
	APA Memb-Michaelsen	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00191
	APA Memb-Vora	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00192
	APA Memb-Smoot	65.00	DUES & SUBSCRIPTIONS	01.453.234		038844		067 00193
		455.00	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
ARAMARK UNIFORM #701								
	cleaning uniforms	6.91	UNIFORM CLEANING	01.467.267		5218470		067 00043
	cleaning supplies	47.22	MAINTENANCE SUPPLIES	01.467.319		5218470		067 00044
	cleaning uniforms	6.88	UNIFORM CLEANING	01.468.267		5218470		067 00045
	cleaning uniforms	26.63	UNIFORM CLEANING	01.469.267		5218470		067 00046
	cleaning supplies	28.50	OPERATING SUPPLIES	04.420.317		5218470		067 00047
	Cleaning uniforms	21.19	UNIFORM CLEANING	04.420.267		5218470		067 00048
	clean uniforms	6.91	UNIFORM CLEANING	01.467.267		5226577		067 00050
	clean supplies	47.22	MAINTENANCE SUPPLIES	01.467.319		5226577		067 00051
	clean uniforms	6.88	UNIFORM CLEANING	01.468.267		5226577		067 00052
	clean uniforms	26.63	UNIFORM CLEANING	01.469.267		5226577		067 00053
	clean uniforms	21.19	UNIFORM CLEANING	04.420.267		5226577		067 00055
	clean uniforms	6.91	UNIFORM CLEANING	01.467.267		5242215		067 00061
	clean supplies	47.22	MAINTENANCE SUPPLIES	01.467.319		5242215		067 00062
	clean uniforms	6.88	UNIFORM CLEANING	01.468.267		5242215		067 00063
	clean uniforms	26.63	UNIFORM CLEANING	01.469.267		5242215		067 00064
	clean supplies	28.50	OPERATING SUPPLIES	01.469.317		5242215		067 00065
	clean uniforms	21.19	UNIFORM CLEANING	04.420.267		5242215		067 00066
	clean uniforms	6.91	UNIFORM CLEANING	01.467.267		5250611		067 00071
	clean Supplies	47.22	MAINTENANCE SUPPLIES	01.467.319		5250611		067 00072
	clean uniforms	6.88	UNIFORM CLEANING	01.468.267		5250611		067 00073
	clean uniforms	26.63	UNIFORM CLEANING	01.469.267		5250611		067 00074
	clean supplies	28.50	OPERATING SUPPLIES	01.469.317		5250611		067 00075
	clean uniforms	21.19	UNIFORM CLEANING	04.420.267		5250611		067 00076
		520.82	^VENDOR TOTAL					
ARAMARK UNIFORM SERVICES								
	Clean Supplies	28.50	OPERATING SUPPLIES	01.469.317		5226577		067 00054
AUTO KOOL SYSTEMS								
	2 radiators	189.00	PARTS PURCHASED	01.469.354		RJ058431		067 00315
AUTOZONE #2669								
	hex wrench	7.99	TOOLS	01.467.316		2669484418		067 00241

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
B & F TECHNICAL CODE SER FLUMB INSP'S-6/16-30	720.00	CONSULTANT	01.464.253		24068	463204 P	057 00004
B M C SOLUTIONS INC MAINT AGR 8/1 - 10/31	163.47	OFFICE EQUIPMENT MAINTEN	01.461.226		675527		057 00041
BARAK BUSINESS SERVICE Event Staff T-Shirts	118.80	UNIFORMS	01.467.324		31671		067 00220
Youth Comm Event T-s	178.20	SUMMER IN THE CENTER	01.475.287		31671		067 00224
PW Yearly T-Shirts	337.12	UNIFORMS	01.467.324		31694		067 00221
PW Yearly T-Shirts	51.60	UNIFORMS	01.469.324		31694		067 00222
PW Yearly T-Shirts	200.47	UNIFORMS	04.420.324		31694		067 00223
	886.19	*VENDOR TOTAL					
BARN OWL FEED & GARD tree stakes	6.69	OPERATING SUPPLIES	01.467.317		082862		067 00127
glamour sunny mix	286.62	OPERATING SUPPLIES	01.467.317		085413		067 00142
	293.31	*VENDOR TOTAL					
BARN OWL FEED & GARDEN credit-tax - sunny mix	18.12CR	OPERATING SUPPLIES	01.467.317		0020		067 00143
BASIC IRRIGATION SERVICE SPRINKLER SYSTM-TWN CTR	345.00	PROPERTY MAINTENANCE	01.467.272		10465		057 00066
SPRINKLER SYSTM-TWN CTR	360.00	PROPERTY MAINTENANCE	01.467.272		10466		057 00065
	705.00	*VENDOR TOTAL					
BATTERIES PLUS rechargeable batteries	28.97	OPERATING SUPPLIES	01.467.317		296116560		067 00141
BATTERY SERVICE CORP recharge battery	22.35	PARTS PURCHASED	01.469.354		152622		067 00305
2 - 65-5 batteries	149.90	PARTS PURCHASED	01.469.354		153133		067 00327
	172.25	*VENDOR TOTAL					

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
BELL FUELS										
	GAS	21,566.40	GAS PURCHASED	01.469.356		60372	467359	P	057	00020
	GAS	21,915.89	GAS PURCHASED	01.469.356		61823	467359	P	057	00021
		43,482.29	*VENDOR TOTAL							
BEST WAY INC										
	jersey gloves	39.36	OPERATING SUPPLIES	04.420.317		053494			067	00207
BONCOSKY OIL CO										
	15 w 40 oil	976.50	PARTS PURCHASED	01.469.354		1005559			067	00160
BOSTON UNIVERSITY*										
	Tuition Spizzirri	3,780.00	TRAINING	01.466.223		Spring 06	2551		067	00028
BRACING SYSTEMS										
	strainer,6ft strap	75.85	OPERATING SUPPLIES	04.420.317		58800			067	00382
	surfalute6-1 w/handle	39.95	TOOLS	01.469.316		58838			067	00238
	16" abrasive blades	340.00	OPERATING SUPPLIES	01.467.317		59053			067	00134
	drill hammer,woodlath	115.80	OPERATING SUPPLIES	01.467.317		59182			067	00345
		571.60	*VENDOR TOTAL							
BROOK ELECTRIC-CAROL S										
	light bulbs	133.76	MAINTENANCE SUPPLIES	01.468.319		s1894165.002			067	00093
BUCK BROS INC										
	tooth:r, l & straight	60.56	OPERATING SUPPLIES	01.467.317		01249247			067	00128
	tooth:r, l & straight	114.62	OPERATING SUPPLIES	01.467.317		01250120			067	00129
	jd cable,pin,snapring	36.85	PARTS PURCHASED	01.469.354		01250507			067	00311
	jd gasket + shipping	24.74	PARTS PURCHASED	01.469.354		01251040			067	00328
	repairs parts	157.12	AUTO MAINTENANCE & REPAI	01.467.212		01251259			067	00239
	ring	6.45	AUTO MAINTENANCE & REPAI	01.467.212		01251260			067	00240
	rental- 6' power rake	350.00	AUTO MAINTENANCE & REPAI	01.467.212		180923			067	00136
		750.34	*VENDOR TOTAL							

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
BUDS & BLOOM INC Sick/funeral/mothersd	318.00	EMPLOYEE RECOGNITION	01.452.242		5/4-5/27		067 00149
BUIKEMA'S ACE HARDWARE springs-electrical dr keys cut	3.54 22.76 26.30	MAINTENANCE SUPPLIES PARTS PURCHASED *VENDOR TOTAL	01.468.319 01.469.354		c77383 73929		067 00092 067 00322
CADLE/STEPHEN MEALS-JUL 30- AUG 3	120.00	TRAINING	01.466.223		DES MOINES, IA		057 00044
CAROL STREAM LAWN P safety helmets wheel lock,kit,gas air filter kits saw	221.02 331.69 45.44 140.00 738.15	UNIFORMS AUTO MAINTENANCE & REPAI AUTO MAINTENANCE & REPAI SMALL EQUIPMENT EXPENSE *VENDOR TOTAL	01.467.324 01.467.212 01.467.212 01.468.350		173421 173659 173907 174403		067 00122 067 00349 067 00131 067 00083
CARQUEST #2765 Returned parts 6 batteries battery defective batteries fuel pump module battery rearview mirror adhes 12 v european de returned batteries digital caliper sway bar link kit sway bar link kit returned uv cable tie crank pos sensor oil filter	31.31CR 324.19 55.66 103.81CR 312.30 57.48 32.52 73.62 114.18CR 59.85 44.06 38.07 10.13CR 16.88 13.47	PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED TOOLS PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED PARTS PURCHASED	01.469.354 01.469.354 01.469.354 01.469.354 01.469.354 01.469.354 01.469.354 01.469.354 01.469.354 01.469.316 01.469.354 01.469.354 01.469.354 01.469.354 01.469.354		retnd parts 2420-19910 2420-19966 2420-20030 2420-20058 2420-20156 2420-20157 2420-20176 2420-20222 2420-20456 2420-20737 2420-20860 2420-21221 2420-21396 2420-21560		067 00320 067 00297 067 00298 067 00299 067 00300 067 00301 067 00302 067 00303 067 00304 067 00306 067 00307 067 00309 067 00312 067 00313 067 00316

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CARQUEST #2765								
	oil filter	53.88	PARTS PURCHASED	01.469.354		2420-21561		067 00317
	int man set,belt retu	17.09	PARTS PURCHASED	01.469.354		2420-21761		067 00318
	engine heaters	47.46	PARTS PURCHASED	01.469.354		2420-21842		067 00321
	plugs,6pole skt metal	47.87	PARTS PURCHASED	01.469.354		2420-22363		067 00329
	7pw hs rd set metal	14.05	PARTS PURCHASED	01.469.354		2420-22392		067 00330
	returned sway bar lin	44.06CR	PARTS PURCHASED	01.469.354		2420-22418		067 00331
	spark plugs	39.72	PARTS PURCHASED	01.469.354		2420-23049		067 00336
	disc pads,brake rotor	127.24	PARTS PURCHASED	01.469.354		2420-23051		067 00335
	oxygen sensor skt	16.61	PARTS PURCHASED	01.469.354		2420-23071		067 00337
	strip caulk	13.49	PARTS PURCHASED	01.469.354		2420-23200		067 00339
	disc pad, brake rotor	96.27	PARTS PURCHASED	01.469.354		2420-23259		067 00340
		1,198.29	*VENDOR TOTAL					
CARQUEST AUTO PARTS								
	Parts	31.31	PARTS PURCHASED	01.469.354		2420-C21806		067 00319
CDW GOVERNMENT								
	HP Printer	301.99	COMPUTER EQUIPMENT	01.461.413		CCF8883		067 00005
	Hard Drives	830.99	OTHER EQUIPMENT	01.465.412		ZK85535		067 00352
	Antivirus renewal	3,625.00	SOFTWARE MAINTENANCE	01.465.255		ZM90029		067 00096
	Remote backup license	174.00	SOFTWARE MAINTENANCE	01.465.255		ZP85526		067 00353
		4,931.98	*VENDOR TOTAL					
CENRAL SOD FARMS, INC.								
	blue grass sod	31.00	OPERATING SUPPLIES	01.467.317		106319		067 00144
CHICAGO COMMUNICATIONS								
	VRM Laptop Maint-Jul	492.25	RADIO MAINTENANCE	01.466.227		147712	2537	067 00039
CHICAGO VENDOR SUPPLY								
	Water-Summer in Cente	270.00	SUMMER IN THE CENTER	01.475.287		8396		067 00341
CLASSIC LANDSCAPE, LTD								
	LATE SPRNG-VLG,TWN,DAYL	675.00	MAINTENANCE & REPAIR	01.468.244		30075	001532 P	057 00050

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
CLASSIC LANDSCAPE, LTD							
LT SPRNG WEED-NORTH AVE	1,220.00	PROPERTY MAINTENANCE	01.467.272		30076	001532	P 057 00070
MOW, TWN, VLG, DAYLIL	1,740.00	MAINTENANCE & REPAIR	01.468.244		30639	001430	P 057 00051
NORTH, COUNTY, SCH, GARY	5,750.00	PROPERTY MAINTENANCE	01.467.272		30640	001430	P 057 00052
MOW-LIES, KUHN RD	2,865.00	PROPERTY MAINTENANCE	01.467.272		30645	001430	P 057 00053
	12,250.00	*VENDOR TOTAL					
COMMONWEALTH EDISON CO							
SRV 5/25-6/26	145.75	ELECTRICITY	06.432.248		7139030002		065 00001
CONCEPT COMMERCIAL							
install new radio	599.00	RADIOS	01.467.417		120656		067 00145
COOPER/BRIAN							
MEALS, TRNG-7/25-27	112.00	TRAINING	01.466.223		SPRINGFIELD, IL		057 00031
CORRPRO - MEDINA							
cathodic protection	515.00	MAINTENANCE & REPAIR	04.420.244		SI077267		067 00210
COUNTY COURT REPORTERS I							
PLAN COMM -JUN 26 MINUTE	195.00	COURT RECORDER FEES	01.453.241		089338		057 00006
CREATIVE PROMOTIONAL A							
Clothing Allow-Eby	114.14	UNIFORMS	01.466.324		11194		067 00244
CUSTOM SERVICE HEAT-COOL							
AC MAINT-GARAGE	456.64	MAINTENANCE & REPAIR	01.467.244		07/05/06		057 00039
AC MAINT-ALL BLDGS	405.00	MAINTENANCE & REPAIR	01.467.244		6/27/06		057 00038
AC MAINT-P/WKS CTR	892.25	MAINTENANCE & REPAIR	01.467.244		6/29/06		057 00040
	1,753.89	*VENDOR TOTAL					
D P A							
Color Printer Repair	50.00	OFFICE EQUIPMENT MAINTEN	01.466.226		4290		067 00286
Printer Cartridge	88.00	OFFICE SUPPLIES	01.460.314		4435		067 00148

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
D P A								
	HP4250 Service	379.00	OFFICE EQUIPMENT MAINTEN	01.461.226		4449		067 00001
	ink cartridges	607.40	OFFICE SUPPLIES	01.467.314		4515		067 00059
	ink cartridges	152.00	OFFICE SUPPLIES	04.420.314		4515		067 00060
	HP 4100 N CARTGS (2)	176.00	OFFICE SUPPLIES	01.464.314		4549		067 00196
		1,452.40	*VENDOR TOTAL					
DAILY HERALD CLASS								
	PUBLIC NOTICE #06100	167.44	PUBLIC NOTICES/INFORMATI	01.453.240		T3751750		067 00185
DCACPOWERINVERTERS COM								
	Pwr.invrtrs-commandlap	81.96	OPERATING SUPPLIES	01.466.317		96825		067 00367
DEFENSE TECHNOLOGY								
	Reg Beyer-ovrpymnt	550.00CR	TRAINING	01.466.223		33859		067 00263
DELL MARKETING LP								
	9 computers-Police Dp	8,927.82	COMPUTER EQUIPMENT	01.466.413		N50057848	460580	P 067 00114
	3 computers-Finance	2,975.94	COMPUTER EQUIPMENT	01.461.413		N50057848	460580	P 067 00115
	1 computer-Empl Relat	991.98	COMPUTER EQUIPMENT	01.459.413		N50057848	460580	P 067 00116
	1 computer-Com Dev	991.98	COMPUTER EQUIPMENT	01.463.413		N50057848	460580	P 067 00117
	3 computers-Public Wk	2,975.94	COMPUTER EQUIPMENT	01.467.413		N50057848	460580	P 067 00118
	1 computer-Wtr	991.98	COMPUTER EQUIPMENT	04.420.413		N50057848		067 00119
	1 computer-Adm	991.98	COMPUTER EQUIPMENT	01.460.413		N50057848	460580	P 067 00120
	1 computer-Bldg Dept	991.98	COMPUTER EQUIPMENT	01.464.413		N50057848	460580	P 067 00121
		19,839.60	*VENDOR TOTAL					
DITCH WITCH MIDWEST								
	Pink Paint- Prj. mrkg	72.00	OPERATING SUPPLIES	01.462.317		C76965		067 00198
DRUMMOND								
	ogle	272.01	OPERATING SUPPLIES	01.467.317		4488255		067 00133
DU-KANE ASPHALT CO								
	ASPHALT	918.08	MATERIALS	06.432.340		16755		057 00071

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
DU-KANE ASPHALT CO ASPHALT	665.91 1,583.99	MATERIALS *VENDOR TOTAL	06.432.340		16792		057 00074
DUNKIN DONUTS Bike Rodeo	43.86	COMMUNITY RELATIONS	01.466.325		099069		067 00281
DUPAGE CELLULAR COMM chargers&holsters	244.86	OPERATING SUPPLIES	01.466.317		10039106		067 00368
DUPAGE COUNTY CLERK REG-NOTARY COM-K GEORGE	10.00	DUES & SUBSCRIPTIONS	01.466.234		KEN GEORGE		057 00008
DUPAGE COUNTY TREASURER TAXI CAB COUPONS	500.00	DIAL-A-RIDE	01.452.250		573	461417 P	057 00032
DUPAGE MAYORS-MANAGERS C MTG BREINIG JUNE 21	35.00	MEETINGS	01.460.222		4530		057 00036
DURABILT FENCE TEMPORY FENCE-TWN CTR	300.00	SUMMER IN THE CENTER	01.475.267		4490		057 00069
EDWARDS ENGINEERING Maint-May 2006	273.00	MAINTENANCE & REPAIR	01.468.244		M36033	460500	067 00085
EXAMINER PUBLICATI Legal notice	17.00	OPERATING SUPPLIES	01.466.317		101175		067 00272
FECHHEIMER BROS CO Sailer Belt	93.50	UNIFORMS	01.466.324		0051820		067 00359
Zochert,Miller,Lally	209.30	UNIFORMS	01.466.324		0052070		067 00365
Zochert,Miller,Lally	29.75	UNIFORMS	01.466.324		0052072		067 00366
Harrison, uniform	104.85	UNIFORMS	01.466.324		0052439		067 00360
Gilmore, nameplate	3.95	UNIFORMS	01.466.324		0053015		067 00361

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
FECHHEIMER BROS CO										
	DuMoulin, shoes	82.50	UNIFORMS	01.466.324		0053754			067	00362
	Moffet, jacket	134.95	UNIFORMS	01.466.324		0054315			067	00363
	Nemeth, uniform shrts	107.85	UNIFORMS	01.466.324		0054323			067	00364
		766.65	*VENDOR TOTAL							
FECHHEIMER UNIFORM										
	Corporal Insignia (8)	47.60	UNIFORMS	01.466.324		40524-0			067	00378
FEDEX										
	INV SUMM JUNE 28	188.65	POSTAGE	01.465.229		1-089-14242	460545	P	057	00037
	INV SUMM JUL 05,2006	109.45	POSTAGE	01.465.229		1-101-72861	460545	P	057	00022
		298.10	*VENDOR TOTAL							
FERRARO/ROSS										
	JAN-JUNE MILEAGE REIMB	370.77	MEETINGS	01.452.222		MILEAGE REIMB			057	00043
FIRST ADVANTAGE OCCUPTIO										
	RANDOM DRG TEST REVWS	83.85	EMPLOYEE SERVICES	01.459.273		6066661			057	00023
GAL*GALLS INC										
	SOU Uniforms	152.91	UNIFORMS	01.466.324		582874300001			067	00355
	Raincoat for Gray	131.99	UNIFORMS	01.466.324		58362541000			067	00372
	Raincoat for Larsen	123.49	UNIFORMS	01.466.324		58371202000			067	00379
		408.39	*VENDOR TOTAL							
GAS MART 36 10045Q65										
	Gas-Bloomington,Wells	30.76	AUTO GAS & OIL	01.466.313		86sw8m73r7gp			067	00296
GATEWAY BUSINESS DIREC										
	Natural Keyboard	39.45	COMPUTER EQUIPMENT	01.466.413		37547602			067	00354
GLENDALE INDUSTRIES										
	Honor Guard Supplies	442.15	UNIFORMS	01.466.324		#301286			067	00245

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
GORDON FLESCH COMPANY							
Staples for Copier	61.98	OFFICE SUPPLIES	01.466.314		TA0833		067 00287
New Copier Staples	55.97	OFFICE SUPPLIES	01.466.314		593010		067 00288
adm copr 4/28-5/16	4.93	OFFICE EQUIPMENT MAINTEN	01.466.226		627130		067 00033
rec copr 4/28-5/28	179.92	OFFICE EQUIPMENT MAINTEN	01.466.226		637348		067 00034
	302.80	*VENDOR TOTAL					
GOVERNMENT FINANCE OFF							
GFOA Budget Award	300.00	DUES & SUBSCRIPTIONS	01.461.234		Budget Award		067 00013
GFOA Budget Book	40.50	REFERENCE MATERIALS	01.461.318		2504602		067 00009
	340.50	*VENDOR TOTAL					
GRAND PALMS HOTEL							
NLC/PSCP/Hotel	177.60	MEETINGS	01.452.222		42330		067 00158
GREENWAY INSTANT PRINT							
Survey Cards - 4 Day	34.45	SUMMER IN THE CENTER	01.475.287		261387		067 00216
HALLORAN AND YAUCH							
Maint irrigation sytm	405.94	MAINTENANCE & REPAIR	01.468.244		15817		067 00078
Cln/chk sprinkler sys	462.15	MAINTENANCE & REPAIR	01.468.244		15829		067 00077
	868.09	*VENDOR TOTAL					
HO-CHUNK HOTEL CONVENT							
IGFOA -Damolar	137.02	TRAINING	01.461.223		6/7-8/06		067 00162
HOLIDAY INNS HOTEL & S							
Conf Rent-Heavy Equip	700.00	TRAINING	01.466.223		44328		067 00262
Rooms/4-day event	821.40	SUMMER IN THE CENTER	01.475.287		45061		067 00152
	1,521.40	*VENDOR TOTAL					
HOME DEPOT/THE							
LIVESCAN SUPPLIES	7.97	OPERATING SUPPLIES	01.466.317		0270298		067 00369

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P	ID	LINE
HOTELS MASTERCARD									
USCM/Annual Meeting	351.26	MEETINGS	01.452.222		FERRARO	002052	P	067	00159
Hotel/IGFOA/MELLOR	124.00	TRAINING	01.460.223		514863			067	00113
	475.26	*VENDOR TOTAL							
HOWARD JR/THOMAS F									
LEGAL SRV'S-JUN/2006	6,656.25	LEGAL FEES	01.457.238		121	466529	P	057	00014
HR SIMPLIFIED									
COBRA ADM-MAY 2006	50.00	EMPLOYEE SERVICES	01.459.273		16345			057	00035
I R M A									
WORKMANS COMP-L SMITH	989.69	WORKERS COMP	01.467.114		6310	001585	P	057	00054
WORKMANS COMP-LUDMAN	57.70	WORKERS COMP	01.462.114		6310	001585	P	057	00055
AUTO DAMAGE-POLICE	792.83CR	VEHICLE INSURANCE	01.466.224		6310	001585	P	057	00056
PROP DAMAGE-P/WKS	417.18CR	PROPERTY INSURANCE	01.465.263		6310	001585	P	057	00057
WORKMANS COMP-BECKLEY	34.50	WORKERS COMP	01.466.114		6310	001585	P	057	00058
WORKMANS COMP-GEORGE	16.35	WORKERS COMP	01.466.114		6310	001585	P	057	00059
WORKMANS COMP-STRIKE	657.95	WORKERS COMP	01.467.114		6310	001585	P	057	00060
WORKMANS COMP-PAULING	464.39	WORKERS COMP	01.467.114		6310	001585	P	057	00061
	1,010.57	*VENDOR TOTAL							
IGFOA									
IGFOA Conf 8/10-11/06	85.00	TRAINING	01.461.223		Helgerson			067	00026
IL CITY-COUNTY MGMT ASSN									
06/07 ANNL DUES-BREINIG	347.75	DUES & SUBSCRIPTIONS	01.460.234		06/07 BREINIG	460589	P	057	00027
IL SECRETARY OF STATE -N									
NOTARY COMM-O MORALES	10.00	DUES & SUBSCRIPTIONS	01.466.234		OSCAR MORALES			057	00075
ILL POLICE ACCREDITATION									
MEMB DUES-R WILLING	50.00	DUES & SUBSCRIPTIONS	01.466.234		JUNE 19, 2006			057	00007

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
ILL TACTICAL OFF ASSOC Reg-Petragallo	40.00	TRAINING	01.466.223		4166		067 00257
ILLINOIS PAPER CO Copy Paper	994.50	COPY EXPENSE	01.465.231		36780400		067 00151
ILLINOIS SECTION AWWA Hyd mnt-Strk,Now,Tij	75.00	TRAINING	04.420.223		4653		067 00211
IMAGISTICS Maint-Jun/Usq May	53.35	COPY EXPENSE	01.467.231		404504333		067 00068
INLAD TRUCK AND VAN EQ toolbox for sign trk alum lo-side box	433.96 684.79 1,118.75	OPERATING SUPPLIES AUTO MAINTENANCE & REPAIR *VENDOR TOTAL	01.467.317 01.467.212		8171 8183		067 00125 067 00123
INLAND DETROIT DIESEL-AL mutual aid toolbox	360.00	OPERATING SUPPLIES	01.467.317		8171		067 00124
INTELLIGENT SOLUTIO consult 5/1-5 Consult-5/1/06 consult 5/8-12 HP Tower Server consult 5/15-5/19 consult 5/22-5/25 consult 5/30-6/2 consult 5/6-6/9 Consult-April 21/06 Consult-4/27-4/28	1,017.50 67.50 1,072.50 3,044.00 1,347.50 811.25 907.50 921.25 135.00 813.75 10,137.75	CONSULTANT CONSULTANT CONSULTANT OTHER EQUIPMENT CONSULTANT CONSULTANT CONSULTANT CONSULTANT CONSULTANT CONSULTANT CONSULTANT *VENDOR TOTAL	01.466.253 01.465.253 01.466.253 01.465.412 01.466.253 01.466.253 01.466.253 01.466.253 01.466.253 01.465.253 01.465.253		06-1043 06-1062 06-1078 06-1089 06-1119 06-1147 06-1188 06-1201 06-958 06-998	2553 460501 2553 460561 2553 2553 2553 2553 460501 460501	067 00031 067 00004 067 00032 067 00020 067 00030 067 00036 067 00037 067 00038 067 00002 067 00003
INTERNET PURCHASES MASTE GFOA Montreal-HELGERSON	58.33CR	TRAINING	01.461.223		5/10/06		067 00014

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
INTOXIMETERS INC ECIRII Breathalyzer	5,470.00	OTHER EQUIPMENT	01.466.412		193982	2401	067 00035
INTOXIMETERS, INC. testing tank	120.00	OPERATING SUPPLIES	01.466.317		195717		067 00265
J U L I E INC LOCATES JUNE 2006	166.38	PROPERTY MAINTENANCE	01.467.272		06-06-0346		057 00046
LOCATES JUNE 2006	166.38	NPD'S PERMIT FEE	04.410.272		06-06-0346		057 00047
LOCATES JUNE 2006	166.39	PROPERTY MAINTENANCE/NPD	04.420.272		06-06-0346		057 00048
	499.15	*VENDOR TOTAL					
JACK NADEL INC lanyards for PACT cam	70.08	COMMUNITY RELATIONS	01.466.325		MN56679		067 00027
JCPENNEY STORE 2376 Uniform Allw-Harrison	275.91	UNIFORMS	01.466.324		8385		067 00264
JEWEL-OSCO 3246 S31 Dare graduation	81.29	COMMUNITY RELATIONS	01.466.325		324604014311		067 00280
JEWISH CHILDRENS BUREA Training-Mindi Thomas	125.00	TRAINING	01.466.223		MBT6-30-2006		067 00294
JOE COTTEN FORD parts	195.95	PARTS PURCHASED	01.469.354		parts		067 00323
manifolrd a, kit-o	282.51	PARTS PURCHASED	01.469.354		258626		067 00325
alternators	389.80	PARTS PURCHASED	01.469.354		258629		067 00324
brake repair-#218	365.75	OUTSOURCING SERVICES	01.469.353		373152		067 00308
brake repairs-#632	373.05	OUTSOURCING SERVICES	01.469.353		374031		067 00332
cut/program #614 key	112.45	OUTSOURCING SERVICES	01.469.353		374263		067 00338
	1,719.51	*VENDOR TOTAL					
JOHN E REID & ASSOC IN interrog-Eby,Cummings	250.00	TRAINING	01.466.223		23541		067 00256

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
JUNGERS/JOHN MEALS, TRNG-7/25-27	112.00	TRAINING	01.466.223		SPRINGFIELD,IL		057 00030
KAMMES AUTO&TRUCK state tk tests 45, 68	50.00	AUTO MAINTENANCE & REPAI	01.467.212		123602		067 00135
KANSAS STATE BANK VOICE LOGGR SYSTM-AUG	253.00	OFFICE EQUIPMENT MAINTEN	01.466.226		3338459	466528 P	057 00026
KELLY P. REYNOLDS & AS SUBSCRIPT-Milroy	75.00	DUES & SUBSCRIPTIONS	01.464.234		Cds & Stand		067 00179
KOHL'S #0065 Clothing Allow-Garza	29.99	UNIFORMS	01.466.324		65/27/7657/9		067 00254
KOHL'S #0177 Clothing allow-Eby	120.96	UNIFORMS	01.466.324		017700035774		067 00243
KOMON COMMUNICATIONS CONSULT 07/12/06	250.00	MAINTENANCE & REPAIR	01.468.244		2290		057 00067
LANDMARK FORD INC 2006 FORD CRWN VICTOR	19,846.00	VEHICLES	01.466.415		06 FORD CRWN	466493 P	057 00001
2-06 FORD CRWN VICTOR	39,592.00	VEHICLES	01.466.415		2-06 FORD CRWN	466500 P	057 00002
	59,438.00	*VENDOR TOTAL					
LESCO SC 0661 4 bx tree stakes	208.84	OPERATING SUPPLIES	01.467.317		14181893		067 00138
LEWIS UNIVERSITY TUITION PYMNT-LT ORR	1,830.00	TRAINING	01.466.223		ID 200415619	466556 P	057 00033
LOWE'S #1821 supplies-maint	11.35	MAINTENANCE SUPPLIES	01.468.319		0114538		067 00089

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
LOWE'S #1821								
	plastic faucet couplg	6.89	MAINTENANCE SUPPLIES	01.468.319		014435		067 00090
	irrigation prt-Daylil	10.47	MAINTENANCE SUPPLIES	01.468.319		02302		067 00087
	parts-vlg hl drk fntn	22.28	MAINTENANCE SUPPLIES	01.468.319		02818		067 00082
	parts kboard-invest	2.30	MAINTENANCE SUPPLIES	01.468.319		09240		067 00084
	stakes to event	7.20	OPERATING SUPPLIES	01.467.317		09529		067 00346
	Signs-Flop hs propert	11.92	MAINTENANCE SUPPLIES	01.468.319		14345		067 00079
	receptacle cover	4.64	OPERATING SUPPLIES	01.467.317		14577		067 00232
	faucet, hose washers	11.93	OPERATING SUPPLIES	01.467.317		14846		067 00235
		88.98	*VENDOR TOTAL					
MARQUEE PROMOTIONS, IN								
	Balloons for concerts	217.99	SUMMER IN THE CENTER	01.475.287		10151		067 00146
	Beachballs/Concerts	342.81	SUMMER IN THE CENTER	01.475.287		10152		067 00147
	Sports Bottles	460.48	MISC EVENTS/ACTIVITIES	01.475.291		10168		067 00153
		1,021.28	*VENDOR TOTAL					
MCCANN INDUSTRIES INC								
	returned merchandise	441.50CR	OPERATING SUPPLIES	01.467.317		01157809		067 00234
MCKESSON MEDICAL-SURGI								
	Respirator Masks	112.50	EMERGENCY EQUIPMENT	01.466.322		242257		067 00289
MEADE ELECTRIC COMPANY								
	traf sig maint 4/06	150.00	MAINTENANCE & REPAIR	06.432.244		624124		067 00126
MENARDS GLENDALE HETS								
	ssteel clnr/plumb pts	21.42	MAINTENANCE SUPPLIES	01.468.319		062006		067 00094
	irrigation prt-daylil	9.99	MAINTENANCE SUPPLIES	01.468.319		113998		067 00086
	cedar shims	5.74	OPERATING SUPPLIES	01.467.317		120798		067 00233
		37.15	*VENDOR TOTAL					
MENARDS WEST CHICAGO								
	pin flourescen - 2	19.94	OPERATING SUPPLIES	04.420.317		5/24/06		067 00351

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
MEYER MATERIAL COMPANY concrete-gary & lies	616.00	CONCRETE	06.432.338		343761		067 00132
MICHAELS #8677							
FACT Camp	113.82	COMMUNITY RELATIONS	01.466.325		11808677040		067 00283
FACT Camp	34.40	COMMUNITY RELATIONS	01.466.325		14848677		067 00284
Bike Rodeo Supplies	3.98	COMMUNITY RELATIONS	01.466.325		84628677002		067 00252
	152.20	*VENDOR TOTAL					
MIDWAY TRUCK PARTS 5" id stack pipe	65.34	PARTS PURCHASED	01.469.354		517285		067 00314
MIDWEST METER INC							
meter parts	129.99	METERS	04.420.333		79149		067 00201
meters,battery,ship	4,440.21	METERS	04.420.333		79304		067 00058
	4,570.20	*VENDOR TOTAL					
MINUTEMAN PRESS							
Business Cards	161.82	OPERATING SUPPLIES	01.466.317		13876		067 00376
Door Hangers	58.79	PRINTED MATERIALS	04.410.315		13999		067 00024
Door Hangers	58.80	PRINTED MATERIALS	04.420.315		13999		067 00025
	279.41	*VENDOR TOTAL					
MR. SITCO, INC							
Meter Reads 06/06	1,587.30	UTILITY BILL PROCESSING	04.410.221		50130	461394	067 00010
Meter Reads 06/06	1,587.30	UTILITY BILL PROCESSING	04.420.221		50130	461394	067 00011
	3,174.60	*VENDOR TOTAL					
MY CHAUFFEUR/AMERICAN							
2006 ICSC GR. TRANS	56.10	ECONOMIC DEVELOPMENT	01.463.246		5337100		067 00184
2006 ICSC GR TRANS	95.20	ECONOMIC DEVELOPMENT	01.463.246		5706557		067 00183
	151.30	*VENDOR TOTAL					
NATIONAL CRIME PREVENT bike stickers/pencils	356.66	COMMUNITY RELATIONS	01.466.325		ca6010243813		067 00250

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
NATIONAL CRIME PREVENT safety brochures	74.67	COMMUNITY RELATIONS	01.466.325		ca6010243924		067 00251
bike safety clrbooks	236.67	COMMUNITY RELATIONS	01.466.325		Ca6010243926		067 00249
	668.00	*VENDOR TOTAL					
NATIONAL MEDICAL SVC Dui testing	89.00	OPERATING SUPPLIES	01.466.317		28192		067 00267
NATIONAL WATERWORKS 22 valve repair kits	458.36	OPERATING SUPPLIES	04.420.317		3526715		067 00208
NEENAH FOUNDARY Adjusting Ring	162.00	STREET RESURFACING	06.432.470		797634		067 00197
NEHER ELECTRIC SUPPLY light bulbs	206.34	MAINTENANCE SUPPLIES	01.468.319		151966 01		067 00081
NEOPOST Lease July 06	291.95	OFFICE EQUIPMENT MAINTEN	01.465.226		4224363	461439	067 00022
NEOPOST POC Office Supplies	22.50	OFFICE SUPPLIES	01.461.314		11513346		067 00021
NORTH EAST MULTI REG Tax	35.00	TRAINING	01.466.223		78996		067 00260
Cooper-ET	250.00	TRAINING	01.466.223		79812		067 00258
Michalek/Kalinewicz	70.00	TRAINING	01.466.223		80014		067 00259
	355.00	*VENDOR TOTAL					
NORTHCENTER CAMERA & PHO PHOTO PROCESS-POLICE	15.52	OPERATING SUPPLIES	01.466.317		28079		057 00009
PHOTO PROCESS-POLICE	23.35	OPERATING SUPPLIES	01.466.317		28101		057 00011
PHOTO PROCESS-POLICE	14.47	OPERATING SUPPLIES	01.466.317		28147		057 00010
	53.34	*VENDOR TOTAL					

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VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
NOTARY PUBLIC AGENCY	NOTARY COMM-O MORALES	36.00	DUES & SUBSCRIPTIONS	01.466.234		OSCAR MORALES		057 00076
NOVATOO INC	Sound/Car Show	1,300.00	MISC EVENTS/ACTIVITIES	01.475.291		2072		067 00150
OFFICE DEPOT #1105	office supplies	358.45	OFFICE SUPPLIES	01.466.314		337707791001		067 00041
	exhibit stamp	19.49	OFFICE SUPPLIES	01.463.314		338098286		067 00180
	Fiberboard Roll File	33.55	OFFICE SUPPLIES	01.462.314		338470702-00		067 00343
	Misc. Office Supplies	62.26	OFFICE SUPPLIES	01.465.314		338650255001		067 00095
	BINDER COVERS	15.78	OFFICE SUPPLIES	01.464.314		338941440001		067 00182
	PRINT CARTRIDGE	243.60	OFFICE SUPPLIES	01.463.314		340344819001		067 00186
	PAPER CLPS/WRTG PADS	12.25	OFFICE SUPPLIES	01.464.314		341852619001		067 00195
		745.38	*VENDOR TOTAL					
OFFICE DEPOT #674	office suppl/Jungers	18.29	OFFICE SUPPLIES	01.466.314		339197415-001		067 00042
	Cash box-Town ctr	20.08	MISC EVENTS/ACTIVITIES	01.475.291		6740144724		067 00161
		38.37	*VENDOR TOTAL					
OFFICE MAX 00000596	Supplies for 4-Day	20.99	SUMMER IN THE CENTER	01.475.287		43441556		067 00217
ORIENTAL TRADING CO	Special Needs Prizes	87.60	SUMMER IN THE CENTER	01.475.287		608377189		067 00212
	PACT Camp	60.45	COMMUNITY RELATIONS	01.466.325		608794220		067 00285
		148.05	*VENDOR TOTAL					
ORR/KEVIN	CLASS HR DEV-TXT BK REIM	51.29	TRAINING	01.466.223		REIMB-BOOKS		057 00024
OUTREACH COMMUNITY CENTE	SPONSORSHIP FY 06/07	1,750.00	COMMUNITY RELATIONS	01.466.325		2006/07	466558 P	057 00012

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
PANERA BREAD #896 Working meeting	179.97	MEETINGS	01.452.222		6/19/06		067 00154
PARTY CENTRAL rental-griddle T.C. 7/4 float parade	88.20 115.89 204.09	MISC EVENTS/ACTIVITIES COMMUNITY RELATIONS *VENDOR TOTAL	01.475.291 01.466.325		332688 336082-001		067 00137 067 00282
PAULING BROS STRAW FOR TWN CTR EVNT	110.00	SUMMER IN THE CENTER	01.475.287		1243		057 00068
PEAVEY CORPORATION Evidence packaging	267.00	OPERATING SUPPLIES	01.466.317		137917		067 00273
PESI HEALTHCARE SEMINA Training-E. Molloy	160.00	TRAINING	01.466.223		EM7-13-2006		067 00295
PLANT RENTALS MTHLY RENTL-JULY	154.00	MAINTENANCE & REPAIR	01.468.244		22927	460558 P	057 00049
PLOTE CONSTRUCTION INC 2006 FLEX PAVEMNT PROJ 2006 FLEX PAVEMNT PROJ	170,136.92 51,064.37 221,201.29	STREET RESURFACING RETAINAGE - PLOTE 2006 *VENDOR TOTAL	06.432.470 06.2633		60120.05 60120.05	462270 P 462270 P	057 00063 057 00064
PLUSH IN A RUSH Special Needs Prizes	171.45	SUMMER IN THE CENTER	01.475.287		238925		067 00213
POOL CARE AQUATECH Chck valve/fount rpr	523.20	MAINTENANCE & REPAIR	01.468.244		00090849		067 00091
PRECISION SERVICE & PART returned parts	42.36CR	PARTS PURCHASED	01.469.354		03-012408		067 00326

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
PRECISION SERVICE&PART mercon v 6 cases	203.46	PARTS PURCHASED	01.469.354		03146446		067 00333
RADCO COMMUNICATIONS I GPS repair/Siren Test	207.70	AUTO MAINTENANCE & REPAI	01.466.212		69229		067 00358
Repair Unit 641	105.35	AUTO MAINTENANCE & REPAI	01.466.212		69261		067 00357
Rev. flshing lght out	56.75	AUTO MAINTENANCE & REPAI	01.466.212		69315		067 00356
2 port. radios repair	260.87	RADIO MAINTENANCE	01.466.227		69331		067 00377
	630.67	*VENDOR TOTAL					
RAY O'HERRON CO.INC. O 6 Level 3 Holsters	703.66	UNIFORMS	01.466.324		29464		067 00374
RESOURCE UTILITY SUPP hydrant parts	975.26	OPERATING SUPPLIES	04.420.317		046785		067 00203
hydrant parts	650.94	OPERATING SUPPLIES	04.420.317		046787		067 00202
sewer parts	900.00	OPERATING SUPPLIES	04.420.317		046924		067 00204
sewer parts	116.79	OPERATING SUPPLIES	04.420.317		046924		067 00206
	2,642.99	*VENDOR TOTAL					
RESTAURANTS MASTERCARD IGFOA CONF-MELLOR	26.50	TRAINING	01.460.223		111359		067 00097
IGFOA CONF-MELLOR	6.26	TRAINING	01.460.223		328218-MELLOR		067 00098
	32.76	*VENDOR TOTAL					
RIO SUITES FRONT DESK 2006 ICSC HOTEL	890.65	ECONOMIC DEVELOPMENT	01.463.246		S05ICS6		067 00181
ROSATI'S PIZZA Food for Volunt-6/8	104.94	COMMUNITY RELATIONS	01.466.325		289		067 00253
ROYAL OFFICE PRODUCTS OFFICE CHAIR	390.00	SMALL EQUIPMENT EXPENSE	01.464.350		OE159020-01		067 00194

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VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SAFETY SYSTEMS CORP Ballistic vest WELLS	726.00	UNIFORMS	01.466.324		36909		067 00040
SAFETY-KLEEN CORP clean garage machine	300.36	EQUIPMENT MAINTENANCE	01.469.284		0031867199		067 00334
SAUBER MFG COMPANY clean,ck,maint boom	229.35	AUTO MAINTENANCE & REPAI	01.467.212		1124241		067 00139
SBC BUSINESS PH PMT-MW Srvc 4/17-5/16/06	216.40	TELEPHONE	04.420.230		630286102905		067 00017
Srvc 4/8-5/7/06	36.13	TELEPHONE	01.468.230		630221073205		067 00008
Srvc 4/17-5/16/06	161.99	TELEPHONE	01.456.230		630540111205		067 00018
Srvc 4/5/-5/4/06	3,441.62	TELEPHONE	01.465.230		630665705005		067 00006
Srvc 4/5-5/4/06	398.08	TELEPHONE	01.467.230		630665755305		067 00007
Srvc 4/11-5/10/06	245.58	TELEPHONE	01.466.230		630668216705		067 00016
	4,499.80	*VENDOR TOTAL					
SCIFERT/KYLE HR MGMT-TEXTBOOK REIM	186.51	TRAINING	01.466.223		REIMB-BOOKS		057 00025
SE ME PROFESSIONAL PHO Videotapes	223.50	OPERATING SUPPLIES	01.466.317		62765		067 00271
SEARS ROEBUCK 1172 Clothing Allow-Garza	19.99	UNIFORMS	01.466.324		011725214113		067 00255
SEAWAY SUPPLY CO wiper/towels	150.00	OPERATING SUPPLIES	04.420.317		43537		067 00209
SECURITY CAMERAS DIREC Surveillance battery	60.00	OPERATING SUPPLIES	01.466.317		1076987		067 00274
SERVICE COMPONENTS CO Parts	588.26	PARTS PURCHASED	01.469.354		68294		067 00310

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SEWER EQUIPMENT CO high pres jetter hose	1,200.00	SMALL EQUIPMENT EXPENSE	04.420.350		0000078086	2362	067 00069
SIGN A RAMA Signage for 4 Day	65.00	SUMMER IN THE CENTER	01.475.287		27046		067 00219
SIGNS NOW Magnetic sigs 4 detec	62.00	OPERATING SUPPLIES	01.466.317		sn-29838		067 00371
SIR SPEEDY PRINTING Dare graduation	187.50	COMMUNITY RELATIONS	01.466.325		18202		067 00279
Festival Flyers	213.12	SUMMER IN THE CENTER	01.475.287		18210		067 00015
	400.62	*VENDOR TOTAL					
SMITH AND WESSON replacmnt parts	93.74	OPERATING SUPPLIES	01.466.317		0445894-00		067 00269
SMITH AND WESSON ACADE Regis-Konior, Paskevic	950.00	TRAINING	01.466.223		0733742		067 00261
SPORTS AUTHORITY #615 Tent for Town Center	99.99	SUMMER IN THE CENTER	01.475.287		96860615001		067 00226
SPRINT *DOWNLOAD&SVCS FYI downloads	3.99	RADIO MAINTENANCE	01.467.227		mscaramella		067 00140
SPRINT *WIRELESS SVCS							
Srv for Apl 18-May 17	50.64	TELEPHONE	04.410.230		760300514-51		067 00099
Srv for Apr 18-May 17	72.22	TELEPHONE	04.420.230		760300514-51		067 00100
Srv for Apr 18-May 17	38.29	TELEPHONE	01.465.230		760300514-51		067 00101
Srv for Apr 18-May 17	312.82	TELEPHONE	01.456.230		760300514-51		067 00102
Srv For Apr 18-May 17	50.74	TELEPHONE	01.466.230		760300514-51		067 00103
Srv for Apr 18-May 17	51.64	TELEPHONE	01.466.230		760300514-51		067 00104
Srv for Apr 18-May 17	182.41	TELEPHONE	01.466.230		760300514-51		067 00105
Srv for Apr 18-May 17	137.40	TELEPHONE	01.466.230		760300514-51		067 00106
Srv for Apr 18-may 17	209.56	TELEPHONE	01.462.230		760300514-51		067 00107

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
SPRINT *WIRELESS SVCS								
	Srv for Apr 18-May 17	145.33	TELEPHONE	01.464.230		760300514-51		067 00108
	Srv For Apr 18-May 17	94.63	TELEPHONE	01.468.230		760300514-51		067 00109
	Srv for Apr 18-May 17	165.04	TELEPHONE	04.420.230		760300514-51		067 00110
	Srv for Apr 18-May 17	132.97	TELEPHONE	01.467.230		760300514-51		067 00111
	Srv for Apr 18-May 17	326.00	TELEPHONE	01.466.230		760300514-51		067 00112
		1,969.69	*VENDOR TOTAL					
SR EMBROIDERY								
	FIU CLOTHING-B COOPER	128.00	UNIFORMS	01.466.324		106784		057 00028
STEPHEN A LASER ASSOCIAT								
	POLICE OFFCR ASSESSMNT	575.00	PERSONNEL HIRING	01.451.228		70520073	459149 P	057 00013
STEVE & BARRY'S #127								
	clothing reimb-Castro	15.96	UNIFORMS	01.466.324		96291-000		067 00200
T P I								
	CONTR BLDG INSP-JUN/06	22,595.00	TOWN & COUNTRY HOMES ESC	01.2230		1351	463206 P	057 00003
TALX CORPORATION								
	Background Check	13.00	INVESTIGATION FUND	01.466.330		Pagan		067 00293
	Background Check	13.00	INVESTIGATION FUND	01.466.330		3645		067 00292
	Background Check	13.00	INVESTIGATION FUND	01.466.330		6449		067 00291
		39.00	*VENDOR TOTAL					
TARGET								
	00008SMM Supplies for 4 Day	11.37	SUMMER IN THE CENTER	01.475.287		261560836007		067 00214
THE FLOLO CORPORATIO								
	predictive maint-5/06	300.00	MAINTENANCE & REPAIR	04.420.244		076436		067 00205
THE GRAND STEAKHOUSE								
	NLC/PSCP/Dinner	72.33	MEETINGS	01.452.222		144842		067 00157

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
THE HOME DEPOT #1943								
	Supplies for 4-Day	145.82	SUMMER IN THE CENTER	01.475.287		0120261		067 00215
	6" strap	14.16	OPERATING SUPPLIES	01.467.317		0121087		067 00237
	masking tape, knife	23.35	OPERATING SUPPLIES	01.467.317		0125575		067 00067
	2' tri tap, breaker, 2x	242.53	OPERATING SUPPLIES	01.467.317		0150532		067 00231
	saw blades, clorox	28.33	OPERATING SUPPLIES	04.420.317		0162669		067 00385
	4" brush	5.87	OPERATING SUPPLIES	04.420.317		0171611		067 00381
	spreader fan piping	5.03	PARTS PURCHASED	01.469.354		0172569		067 00348
	door keys & glides	18.06	OPERATING SUPPLIES	01.467.317		0176446		067 00130
	dehumif lift stn	202.88	SMALL EQUIPMENT EXPENSE	04.420.350		0191700		067 00384
	Brooms for CST cars	50.82	OPERATING SUPPLIES	01.466.317		0230789		067 00380
	tape rule, thrded rod	21.21	TOOLS	01.467.316		0234732		067 00230
	poles for tc event	37.46	OPERATING SUPPLIES	01.467.317		028990		067 00347
	Supplies for 4-Day	114.91	SUMMER IN THE CENTER	01.475.287		0531533		067 00218
	Supplies for 4-Day	73.20	SUMMER IN THE CENTER	01.475.287		0643197		067 00225
	tc so end snow fence	114.18	OPERATING SUPPLIES	01.467.317		2022507		067 00344
	spiral, wire rope	261.18	OPERATING SUPPLIES	01.467.317		2948842		067 00236
		1,358.99	*VENDOR TOTAL					
THE MEN'S WEARHOUSE #4								
	clothing allow-Cadle	449.98	UNIFORMS	01.466.324		4610421909		067 00242
THEODORE POLYGRAPH SERVI								
	POLYGRAPH-OFFCR CANDIDAT	125.00	PERSONNEL HIRING	01.451.228		15516		057 00042
THIRD MILLENIUM ASSOC IN								
	E-PAY JUNE 2006	225.00	UTILITY BILL PROCESSING	04.420.221		6630	461441	P 057 00018
	E-PAY JUNE 2006	225.00	UTILITY BILL PROCESSING	04.410.221		6630	461441	P 057 00019
	WTR NOTICES-JUNE	1,131.44	UTILITY BILL PROCESSING	04.410.221		6631	461442	P 057 00016
	WTR NOTICES-JUNE	1,131.44	UTILITY BILL PROCESSING	04.420.221		6631	461442	P 057 00017
		2,712.88	*VENDOR TOTAL					
THOMPSON PUBLISHING GR								
	EE Record Retention	299.00	TRAINING	01.466.223		8717		067 00290

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
TITAN SUPPLY INC	Maint.paper supplies	993.25	JANITORIAL SUPPLIES	01.468.320		2878		067 00088
TMP*MONSTER.COM	Adv InfoSysCoord	395.00	PERSONNEL HIRING	01.459.228		1388308		067 00227
TOYS R US	used wrong cC-R TURNER	43.09	OPERATING SUPPLIES	01.467.317		C85470		067 00228
TRANSYSTEMS CORP	PH 3 LIES RD BIKEWAY	10,832.78	ROADWAY CAPITAL IMPROVEM	11.474.486		4(885572)	462253 P	057 00015
U.S. CELLULAR FLD- RET	clothing reimb-Castro	120.00	UNIFORMS	01.466.324		82477		067 00199
UFIRST *UNIFIRST CORP	sales tax credit	15.43CR	UNIFORMS	04.420.324		0810369587		067 00049
VERIZON WIRELESS MESSAGI	srv for June 2006	0.13	TELEPHONE	01.465.230		U1-113407		067 00178
VZW MESSAGING	srv for June 2006	3.59	PAGING	01.464.243		u1-113407		067 00163
	srv for June 2006	21.54	PAGING	01.466.243		U1-113407		067 00164
	srv for June 2006	25.13	PAGING	01.466.243		U1-113407		067 00165
	srv for June 2006	25.13	PAGING	01.466.243		U1-113407		067 00166
	srv for June 2006	10.77	PAGING	01.466.243		U1-113407		067 00167
	srv for June 2006	7.18	PAGING	01.466.243		U1-113407		067 00168
	srv for June 2006	21.54	PAGING	01.466.243		U1-113407		067 00169
	srv for June 2006	46.03	PAGING	01.466.243		U1-113407		067 00170
	srv for June 2006	3.59	PAGING	01.467.243		U1-113407		067 00171
	srv for June 2006	50.26	PAGING	01.467.243		U1-113407		067 00172
	skv for June 2006	10.77	PAGING	01.467.243		U1-113407		067 00173
	srv for June 2006	7.18	PAGING	01.468.243		U1-113407		067 00174
	skv for June 2006	9.70	TELEPHONE	01.465.230		U1-113407		067 00175
	srv for June 2006	3.59	EQUIPMENT MAINTENANCE	01.469.284		U1-113407		067 00176

Schedule of Bills

VENDOR NAME	DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
VZW MESSAGING	srv for June 2006	28.72	PAGING	04.420.243		U1-113407		067 00177
		274.72	*VENDOR TOTAL					
W SUBURB LIMO SEVR	ISCS/Shopping Center	33.00	MEETINGS	01.452.222		5028289		067 00155
	USCM/Annual Meeting	55.00	MEETINGS	01.452.222		5356907		067 00156
		88.00	*VENDOR TOTAL					
WAL MART	cans for CST veh.	14.91	OPERATING SUPPLIES	01.466.317		332242972321		067 00373
	Refund due to tax	31.86CR	COMMUNITY RELATIONS	01.466.325		5276		067 00278
		16.95CR	*VENDOR TOTAL					
WAL-MART	Sun Protection	31.86	OPERATING SUPPLIES	01.466.317		5276		067 00276
WAL-MART #1420	certificate frames	35.60	OPERATING SUPPLIES	01.466.317		142087093896		067 00268
WAL-MART #1553	Fest sun protection	30.15	OPERATING SUPPLIES	01.466.317		155321231904		067 00277
	Bike Rodeo Supplies	97.94	COMMUNITY RELATIONS	01.466.325		155337301307		067 00248
	certificate frames	49.84	OPERATING SUPPLIES	01.466.317		155373819471		067 00266
		177.93	*VENDOR TOTAL					
WE GROW DREAMS	Flowers-Vlg Hall	107.55	MAINTENANCE SUPPLIES	01.468.319		13045		067 00080
WESTSIDE TRACTOR SALES	kit	19.19	PARTS PURCHASED	01.469.354		N45635		067 00350
WHISPERING SPRINGS	Water-CONCERT SERIES	270.00	CONCERT SERIES	01.475.288		8396		067 00342

Schedule of Bills

VENDOR NAME DESCRIPTION	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
WHITE COTTAGE PIZZERIA Tobacco agent pizza	39.86	COMMUNITY RELATIONS	01.466.325		12		067 00275
WHITE/ROBERT MEALS-JUL 30- AUG 3	120.00	TRAINING	01.466.223		DES MOINES, IA		057 00045
MEALS, TRNG-7/25-27	112.00	TRAINING	01.466.223		SPRINGFIELD, IL		057 00029
	232.00	*VENDOR TOTAL					
WWW COSTCO COM Snack vending machine	2,709.36	SMALL EQUIPMENT EXPENSE	01.465.350		13438150	2548	067 00029
XEROX CAC1 Mtnce Lease June 06	1,429.84	COPY EXPENSE	01.465.231		017570861	460295	067 00012
Z-ROSE PRODUCTIONS Bike Rodeo Supplies	900.00	COMMUNITY RELATIONS	01.466.325		8354		067 00247
ZIEBELL WATER SERVICE magnetomatic pipe loc	38.00	TOOLS	04.420.316		682		067 00383
ZIEGLER'S ACE-CAROL ST OIC Keys	15.92	OPERATING SUPPLIES	01.466.317		B24836		067 00270
3M H S SERVICE Respirator Medical Ex	125.00	MANAGEMENT PHYSICALS	01.466.236		060609@1128		067 00370
Respirator Tests	750.00	MANAGEMENT PHYSICALS	01.466.236		061506143544		067 00375
	875.00	*VENDOR TOTAL					
4 IMPRINT Bike Rodeo supplies	314.37	COMMUNITY RELATIONS	01.466.325		2690988		067 00246

Schedule of Bills

VENDOR NAME	AMOUNT	ACCOUNT NAME	FUND & ACCOUNT	CLAIM	INVOICE	PO#	F/P ID LINE
DESCRIPTION							
REPORT TOTALS:	515,596.31						

RECORDS PRINTED - 000461

Schedule of Bills

FUND RECAP:

FUND	DESCRIPTION	DISBURSEMENTS
01	GENERAL CORPORATE FUND	262,269.58
04	WATER & SEWER O/M FUND	18,634.92
06	MOTOR FUEL TAX FUND	223,859.03
11	CAPITAL IMPROVEMENT FUND	10,832.78
TOTAL ALL FUNDS		515,596.31

BANK RECAP:

BANK	NAME	DISBURSEMENTS
OBB	OAK BROOK BANK	515,596.31
TOTAL ALL BANKS		515,596.31

THE PRECEDING LIST OF BILLS PAYABLE WAS REVIEWED AND APPROVED FOR PAYMENT.

DATE APPROVED BY

AGENDA ITEM

K2a 7-17-06

ADDENDUM WARRANTS June 8, 2006 thru July 3, 2006

Fund	Check #	Vendor	Description	Amount
General	A C H	Oak Brook Bank	Payroll June 5, 2006 - June 18, 2006	435,159.11
Water & Sewer	A C H	Oak Brook Bank	Payroll June 5, 2006 - June 18, 2006	33,311.76
Water & Sewer	A C H	Oak Brook Bank	Dupage Water Commission -May, 2006	176,572.11
				<u>645,042.98</u>

Approved this _____ day of _____, 2006

By: _____
Ross Ferraro - Mayor

Janice Koester, Village Clerk

Anthony Manzzullo - Village Treasurer

ADDENDUM WARRANTS
July 4, 2006 thru July 17, 2006

Fund	Check #	Vendor	Description	Amount
General	A C H	Oak Brook Bank	Payroll June 19, 2006 - July 02, 2006	422,054.13
Water & Sewer	A C H	Oak Brook Bank	Payroll June 19, 2006 - July 02, 2006	33,611.19
General	A C H	Ill Funds	I P B C for June, 2006	143,629.91
Water & Sewer	A C H	Ill Funds	I P B C for June, 2006	<u>11,917.93</u>
				<u>611,213.16</u>

Approved this _____ day of _____, 2006

By: _____
Ross Ferraro - Mayor

Janice Koester, Village Clerk

Anthony Manzzullo - Village Treasurer

AGENDA ITEM

L-4 7-17-06

VILLAGE OF CAROL STREAM BALANCE SHEET

JUNE 30, 2006

FUND	CASH	INVESTMENTS	OTHER ASSETS	TOTAL ASSETS	LIABILITIES	ADJ. FUND BAL.	LIAB. & EQUITY
GENERAL CORPORATE	1,243,395.31	18,763,640.52	4,800,376.34	24,807,412.17	3,830,297.88	20,977,114.29	24,807,412.17
WATER & SEWER	831,155.00	10,531,310.48	48,104,582.07	59,467,047.55	6,427,790.92	53,039,256.63	59,467,047.55
MOTOR FUEL TAX	532.24	2,249,177.46	126,763.97	2,376,473.67	92,403.63	2,284,070.04	2,376,473.67
GENERAL CORPORATE - CIP		13,855,060.82	176,454.22	14,031,515.04	0.00	14,031,515.04	14,031,515.04
GENEVA CROSSING - TIF*	837,399.71	0.00	92,520.78	929,920.49	0.00	929,920.49	929,920.49
TOTAL	2,912,482.26	45,399,189.28	53,300,697.38	101,612,368.92	10,350,492.43	91,261,876.49	101,612,368.92

* Funds invested in JP Morgan Bank money market fund.

**VILLAGE OF CAROL STREAM
REVENUE / EXPENDITURE STATEMENT
FOR 2 MONTHS ENDED JUNE 30, 2006**

FUND	REVENUE			EXPENDITURES			NET MONTHLY REV. - EXPEND.
	BUDGET	MONTH	Y.T.D.	BUDGET	MONTH	Y.T.D.	
GENERAL CORPORATE	21,490,508	2,159,646.65	4,453,927.84	21,147,692	1,511,286.04	2,802,540.46	648,360.61
WATER & SEWER O/M	7,942,042	706,307.16	1,280,279.19	6,526,531	366,266.41	470,045.18	340,040.75
MOTOR FUEL TAX	2,733,633	133,092.57	228,395.95	2,244,123	806,035.44	924,619.27	(672,942.87)
GENERAL CORPORATE - CIP	3,573,000	68,207.98	114,412.59	3,573,000	13,537.03	13,537.03	54,670.95
GENEVA CROSSING - TIF	4,791,086	217,623.68	219,973.79	370,973	93,989.25	93,986.25	123,634.43
TOTAL	40,530,269.00	3,284,878.04	6,296,989.36	33,862,319.00	2,791,114.17	4,304,728.19	493,763.87

FISCAL BASIS

	EARNED/MONTH		EARNED/YEAR-TO-DATE		COLLECTIONS
	2005-06	2006-07	2005-06	2006-07	
	SALES TAX	484,462.38	533,294.70	5,178,927.55	
HOME RULE SALES TAX	177,527.41	188,865.75	1,780,440.89	1,972,888.55	MAR 2006
UTILITY TAX - COM ED	136,545.88	134,827.67	136,545.88	134,827.67	MAY 2006
UTILITY TAX - TELECOM.	162,941.58	156,585.49	1,846,062.37	1,865,254.32	MAR 2006
USE TAX -NATURAL GAS	57,587.76	54,599.81	613,497.34	572,773.26	APR 2006
INCOME TAX	694,817.25	751,627.71	2,635,807.51	2,872,106.97	MAR 2006

	BILLINGS/MONTH		BILLINGS/YEAR-TO-DATE	
	2005-06	2006-07	2005-06	2006-07

WATER	329,587.76	334,036.52	654,670.09	631,178.14
SEWER	202,560.75	217,070.13	393,592.87	406,751.31

	CASH RECEIPTS/MONTH		CASH RECEIPTS/YEAR-TO-DATE	
	2005-06	2006-07	2005-06	2006-07

WATER & SEWER	556,272.68	504,927.75	1,016,081.35	955,243.12
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The Village is on an accrual basis of accounting and financial reporting. This report is for ease of understanding, on a cash basis, which recognizes revenues when collected and expenditures when made.