

Village of Carol Stream

BOARD MEETING

AGENDA

AUGUST 6, 2018

7:30 P.M.

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES:

1. Approval of Minutes of the July 16, 2018 Village Board Meeting.
2. Approval but not release of Executive Session Minutes of the July 16, 2018 Village Board Meeting.

C. LISTENING POST:

1. Resolution No. 3031 Recognizing Rick Lescher for Twenty Years of Service with the Village of Carol Stream.
2. Introduction of Carol Stream Chamber of Commerce CEO Miriam Iwrey. *Miriam Iwrey began as the new Chamber of Commerce CEO on June 1, 2018.*
3. Addresses from Audience (3 Minutes).

D. PUBLIC HEARINGS:

E. SELECTION OF CONSENT AGENDA:

If you are here for an item, which is added to the consent agenda and approved, the Village Board has acted favorably on your request.

F. BOARD AND COMMISSION REPORTS:

1. Plan Commission/Zoning Board of Appeals
 - a. #18-0013 LA Fitness-470 E. North Avenue
Amendment to a Special Use Permit for a Planned Unit Development
RECOMMEND APPROVAL WITH CONDITIONS 4-1-1 (abstain)
Final PUD Plan Approval
RECOMMEND APPROVAL WITH CONDITIONS 4-1-1 (abstain)
North Avenue Corridor Review
APPROVED WITH CONDITIONS 4-1-1 (abstain)

Village of Carol Stream

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- b. #18-0024 IG Commercial-775 Kimberly Drive
*Special Use Permit for Outdoor Activities and Operations –
Parking of Trailers and Equipment*
CONTINUED TO THE AUGUST 27, 2018 PLAN COMMISSION
MEETING
- c. #18-0025 NTA Precision Axle Corporation-795 Kimberly Drive
*Special Use Permit for Outdoor Activities and Operations –
Installation of Air Compressors*
RECOMMEND APPROVAL WITH CONDITIONS 6-0
- d. #18-0026 Wayne Township-27W031 North Avenue
*An Amendment to a Special Use Permit-Government Offices and
Related Uses*
RECOMMEND APPROVAL WITH CONDITIONS 5-1
*Zoning Code Variation Regarding Parking Lot Design and
Landscaping*
*Install low growing landscaping instead of shade trees along
North Avenue frontage*
RECOMMEND APPROVAL WITH CONDITIONS 5-1
*Install curbed landscaped islands at both ends of the front
parking row along North Avenue*
MOTION FAILED TO CARRY 3-3
Sign Code Variation
APPROVED 4-2
North Avenue Corridor Review
APPROVED 5-1
EXPECTED TO BE ON THE AUGUST 20, 2018 VILLAGE
BOARD MEETING

G. OLD BUSINESS:

H. STAFF REPORTS AND RECOMMENDATIONS:

1. Presentation of WRC Annual Report. *Jacobs Engineering will attend the Village Board meeting on August 6, 2018 to present the annual report and financial reconciliation for the recently concluded operating year. **Not to be included on the Consent Agenda.***

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2. Approval of a Request of Issuer to redeem on September 15, 2018 \$12,830,000 Village of Carol Stream, Illinois, Multifamily Housing Revenue Refunding Bonds (St. Charles Square Project) Series 1997, approval of a Termination Agreement of Land Use Restriction Agreement and authorization of the Village Manager to execute the Request of Issuer and the Termination Agreement on behalf of the Village of Carol Stream.

I. ORDINANCES:

1. Ordinance No. 2018-08-___ Approving an Amendment to a Special Use Permit for a Planned Unit Development and a Final PUD Plan (LA Fitness, 470 E. North Avenue). *See F.1.a.*
Not to be included on the Consent Agenda.
2. Ordinance No. 2018-08-___ Approving a Special Use Permit for Outdoor Activities and Operations (Air Compressors) (NTA Precision Axle, 795 Kimberly Drive). *See F.1.c.*

J. RESOLUTIONS:

1. Resolution No. _____ Accepting a Grant of Storm Water Management and Conveyance Easement (440 Mission Street-Devanco Foods). *Staff recommends accepting the grant of easement for storm water management and conveyance.*
2. Resolution No. _____ Declaring Surplus Property owned by the Village of Carol Stream. *Staff recommends designated Public Works items be declared surplus and authorize to be sold at auction and/or disposed of.*

K. NEW BUSINESS:

1. Amplification Permit – Carol Stream Park District. *The Carol Stream Park District requests approval and waiver of fees for an amplification permit for their Fall 5K Stars & Stripes Shuffle on September 30, 2018 at Armstrong Park.*

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2. Raffle License Application-Humanitarian Service Project. *The Humanitarian Service Project is requesting approval of a raffle license and waiver of the fee and manager's fidelity bond for their event "Strike Against Hunger" to be held on October 4, 2018.*
3. Proposal for 2018 Summer Carnival. *Staff recommends approving a contract for carnival services from August 31st thru September 3rd with Alpine Amusement Co. Inc.*
4. Raffle License Application-Windsor Park Manor. *Windsor Park Manor is requesting approval of a raffle license and waiver of the fee and manager's fidelity bond for their Windsor Park Annual Benevolent Care Gala to be held on October 14, 2018.*

L. PAYMENT OF BILLS:

1. Regular Bills: July 17, 2018 through August 6, 2018.
2. Addendum Warrants: July 17, 2018 through August 6, 2018.

M. REPORT OF OFFICERS:

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: *Revenue/Expenditure Statements and Balance Sheet for the Month Ended June 30, 2018.*

N. EXECUTIVE SESSION:

O. ADJOURNMENT:

LAST ORDINANCE	2018-07-30	LAST RESOLUTION	3030
NEXT ORDINANCE	2018-08-31	NEXT RESOLUTION	3031

**REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Carol Stream Fire Protection District, Station No. 28, 365 Kuhn Road,
Carol Stream, DuPage County, IL**

July 16, 2018

Mayor Saverino called the Regular Meeting of the Board of Trustees to order at 7:30 p.m. and directed Village Clerk Laura Czarnecki to call the roll.

Present: Mayor Frank Saverino, Sr. and Trustees David Hennessey, John LaRocca, Rick Gieser, Mary Frusolone, Greg Schwarze and Matt McCarthy

Absent:

Also Present: Village Manager Joe Breinig, Assistant Village Manager Bob Mellor, Village Clerk Laura Czarnecki and Village Attorney Jim Rhodes

*All persons physically present at meeting unless noted otherwise

MINUTES:

Trustee Schwarze moved and Trustee McCarthy made the second to approve the Minutes of the July 2, 2018 Special Workshop meeting of the Village Board. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Abstain: 0

Absent 0

The motion passed.

Trustee Gieser moved and Trustee Frusolone made the second to approve the Minutes of the July 2, 2018 Regular Meeting of the Village Board. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Abstain: 0

Absent 0

The motion passed.

Trustee McCarthy moved and Trustee Frusolone made the second to approve, but not release the Minutes of the July 2, 2018 Executive Session meeting of the Village Board. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Abstain: 0

Absent: 0

The motion passed.

LISTENING POST:

1. Resolution No. 3030 Recognizing James Knudsen for Thirty Years of Service with the Village of Carol Stream.

Trustee LaRocca moved and Trustee Gieser made the second to approve Resolution No. 3030 Recognizing James Knudsen for Thirty Years of Service with the Village of Carol Stream.

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

2. Historical Spotlight: Carole Ellermeier, Carol Stream Historical Society. *Trustee Gieser introduced Carole Ellermeier, President of the Carol Stream Historical Society, who provided a brief history on Ms. Carol Stream and her life.*

3. Addresses from Audience (3 Minutes).

Michael Gulczynski, 1416 Rose Court, thanked the Village of Carol Stream and Fire Protection District for facilitating the visit to his house by the bikers honoring fallen soldiers – Tribute to the Troops. The Gulczynski family lost their son in Iraq in 2008.

David Larimer, 732 Buffalo Circle, praised Village of Carol Stream Public Works and Engineering Departments for advising him on how to save his house from water damage.

PUBLIC HEARINGS:

CONSENT AGENDA:

Trustee Schwarze moved and Trustee McCarthy made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

Trustee McCarthy moved and Trustee Hennessey made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

1. Comprehensive Plan Progress Update.
2. Agreement with GovTemps USA for Professional Administrative Services.
3. Engineering Services Agreement for Design, Bid Assistance Services and Construction Oversight for Water Storage Tank Floor Repair.
4. Disapproval of bill from Dynamic Industrial Services, Inc., Contract No. 13-22-01-04/05-18, based upon claim for damage to water storage tank.
5. Ordinance No. 2018-07-29 Amending the Carol Stream Code of Ordinances, Chapter 2, "Appointed Officers and Employees", Article 7, "Officers and Employees Generally", Section 13, "Police Powers of Certain Employees".
6. A request from the Carol Stream Park District for Temporary Lighting for Youth Football from 6-9 p.m. from July 30 thru November 16, 2018.
7. Payment of Regular and Addendum Warrant of Bills from July 3, 2018 through July 16, 2018.

Trustee Frusolone moved and Trustee Hennessey made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

The following are brief descriptions of those items approved on the Consent Agenda for this meeting.

Comprehensive Plan Progress Update:

The Village Board received the Comprehensive Plan Progress Update.

Agreement with GovTemps USA for Professional Administrative Services:

The Village Board approved an Employee Leasing Agreement with GovTemps USA to staff the Administrative Assistant Position within the Public Works Department for the period of July 16, 2018 through April 30, 2019 at a rate not to exceed \$1,127.00 per week.

Engineering Services Agreement for Design, Bid Assistance Services and Construction Oversight for Water Storage Tank Floor Repair:

The Village Board approved an Engineering Services Agreement with Baxter & Woodman, Inc. for Engineering Design, Bid Assistance and Construction Oversight Services for repairs to the Gerzevske Lane 2.5 million gallon water storage tank in an amount not-to-exceed \$29,400.00.

Disapproval of bill from Dynamic Industrial Services, Inc., Contract No. 13-22-01-04/05-18, based upon claim for damage to water storage tank:

The Village Board authorized not approving payment to Dynamic Industrial Services, Inc. at this time pending further investigation into the cause of the damage.

Ordinance No. 2018-07-29 Amending the Carol Stream Code of Ordinances, Chapter 2, "Appointed Officers and Employees", Article 7, "Officers and Employees Generally", Section 13, "Police Powers of Certain Employees":

The Village Board approved amendments to the Carol Stream Code of Ordinances regarding Chapter 2, Article 7, Section 13, Police Powers of Certain Employees.

A request from the Carol Stream Park District for Temporary Lighting for Youth Football from 6-9 p.m. from July 30 thru November 16, 2018:

The Village Board approved the Park District's request for a code waiver to allow for temporary lighting in Red Hawk Park for weekday youth football practices during their 2018 season.

Regular Bills and Addendum Warrant of Bills:

The Village Board approved payment of the Regular Bills dated July 16, 2018 in the amount of \$1,436,110.72. The Village Board approved the payment of the Addendum Warrant of Bills from July 3, 2018 thru July 16, 2018 in the amount of \$662,228.83.

NON-CONSENT AGENDA

Ordinance No. 2018-07-30 Amending the Village of Carol Stream Code of Ordinances Relative to the Permitting, Regulation and Deployment of Small Wireless Facilities:

Public Act 100-0585, the Small Wireless Facilities Deployment Act was signed into law. The Act provides regulations and processes for permitting and deploying small cell wireless facilities in Illinois.

Trustee Schwarze moved and Trustee McCarthy made the second to approve amendments to the Village's Code of Ordinances relative to the Permitting, Regulation and Deployment of Small Wireless Facilities. The results of the roll call were as follow:

*Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone,
Schwarze and McCarthy*

Nays: 0

Absent: 0

The motion passed.

Report of Officers:

Trustee LaRocca thanked Jim Knudsen for his years of service to the Village of Carol Stream and being an external leader. He encouraged people to donate to the Veteran's Memorial fundraising events.

Trustee Gieser thanked everyone who participated in the 4th of July parade. This Thursday is the concert for the troops at the town center. 7th Heaven will be playing from 7 to 9pm and the food vendor will be Rocco Vino. Village Planner

Tom Farace provided an update on the Village of Carol Stream's Comprehensive Plan.

Trustee Schwarze thanked Carole Ellermeier for her historical review. He also thanked Jim Knudsen for his 30 years of service to the Village of Carol Stream. The Carol Stream Fire Protection District did a joint active shooter training at Jay Stream School with the Carol Stream Police Department. The Rescue Task Force included the Fire and Police Command communicating with each other. He thanked CERT for volunteering for this event. Please shop in Carol Stream.

Trustee Hennessey thanked Jim Knudsen for his years of service to the Village of Carol Stream and helping him as a resident of Carol Stream.

Trustee Frusolone thanked Jim Knudsen for his years of service to the Village of Carol Stream and thanked Carole Ellermeier for presenting the history of Carol Stream's life.

Trustee McCarthy thanked Jim Knudsen for his years of service to the Village of Carol Stream. He thanked the 4th of July volunteers and staff for their long hours during the parade and fireworks. Trustee McCarthy and Mayor Saverino will be hosting another fundraising event for the Veteran's Memorial at the Fox Valley Distillery.

Village Clerk Czarniecki thanked Jim Knudsen for his years of service to the Village of Carol Stream and Carole Ellermeier for presenting her story on Carol Stream. She had a wonderful time at the parade and thanked the staff for supporting the Gulczynski family who lost their son while serving in the army.

Village Attorney Rhodes congratulated Jim Knudsen on his 30 years of service with the Village of Carol Stream and commented on the passage of the Small Cell Ordinance and compliance with state law.

Village Manager Breinig congratulated Jim Knudsen on his 30 years of service. He reiterated how well staff works together on behalf of the Village of Carol Stream especially during the 4th of July fireworks event and dealing with bad weather. National Night Out is on August 7 at 6 p.m. at Community Park.

Mayor Saverino thanked Carole Ellermeier and Jim Knudsen for his years of service. He complimented the Public Works Department for their work on North Avenue.

At 8:46 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting to Executive Session pursuant to Section 2.C.6 of the Open Meetings Act to discuss sale or lease of property owned by the public body. One item may be acted upon after executive session. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

At 9:00 p.m. Trustee McCarthy moved and Trustee Frusolone made the second to go back into open session. The results of the roll call vote were as follows:

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Abstain: 0

Absent 0

The motion passed.

Vacant Lots – Surrey Drive:

Trustee LaRocca moved and Trustee Frusolone made the second to approve a listing agreement with RE/MAX All Pro for two (2) Village owned parcels on Surrey Drive.

Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone, Schwarze and McCarthy

Nays: 0

Absent: 0

The motion passed.

At 9:02 p.m. Trustee McCarthy moved and Trustee Gieser made the second to adjourn the meeting. The results of the roll call vote were as follows:

*Ayes: 6 Trustees Hennessey, LaRocca, Gieser, Frusolone,
Schwarze and McCarthy*

Nays: 0

Absent: 0

The motion passed.

FOR THE BOARD OF TRUSTEES

Mayor Frank Saverino, Sr.

ATTEST:

Laura Czarnecki, Village Clerk

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Carol Stream Fire Protection District Station 28, DuPage County,
Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
July 23, 2018.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 7:00 p.m. Chairman Parisi directed Jane Lentino, Community Development Secretary, to call the roll.

The results of the roll call were:

Present: Commissioners Dave Creighton, John Meneghini, Frank Petella, Dee Spink, Charlie Tucek, and Chairman Parisi

Absent: Commissioner Christopher

Also Present: Tom Farace, Planning and Economic Development Manager, Jane Lentino, Secretary, and a representative from the DuPage County Court Reporters.

MINUTES:

Commissioner Creighton moved and Commissioner Spink seconded the motion to approve the minutes of the meeting of June 25, 2018.

The results of the roll call vote were:

Ayes: 5 Commissioners Creighton, Petella, Spink, Tucek, and Chairman Parisi

Nays: 0

Abstain: 1 Commissioner Meneghini

Absent: 1 Commissioner Christopher

PUBLIC HEARING

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Spink moved and Commissioner Petella seconded the motion.

The motion was passed by unanimous vote.

Case #18-0013 – LA Fitness – 470 E. North Avenue

Amendment to a Special Use for a Planned Unit Development
Final PUD Plan Approval
Gary/North Avenue Corridor Review

Chairman Parisi swore in Scott Pritchett, ARSA Architects, 1411 W. Peterson Avenue, Park Ridge, IL, 60068, and Robertino Presta, Carol Stream Market Place, 520 S Schmale, Carol Stream, IL, 60188.

Mr. Pritchett stated that he is the architect for ARSA and is representing Caputo's and Carol Stream Marketplace, regarding the proposed LA Fitness. He introduced Robertino Presta from Caputo's, Gary Collins of Fitness International for LA Fitness, and Joe Lewis from SpaceCo Engineering, for civil engineering.

Mr. Pritchett referred to the site plan and stated that the Carol Stream Market Place is at the southwest corner of North Avenue and Schmale Road. He stated that the PUD was presented to the Village in 2012, and that it currently houses the Caputo's retail grocery store, their corporate offices, commissary, and distribution facilities, and that there are two retail buildings at the northwest corner of the property.

Mr. Pritchett stated that the next proposed business for the PUD is LA Fitness. He stated that the building will be located along North Avenue at the far west end of the Carol Stream Market Place development. He stated that the entry of the building will face east toward Schmale Road, and into the Carol Stream Market Place development and the parking lot for the LA Fitness building, which is directly in front of it.

Mr. Pritchett stated that the building will be a one story, 34,000 s.f. building, and the parking lot will have 251 spaces, which is seven spaces less than required, and requires final PUD approval.

Mr. Pritchett referred to the landscape plan, and stated that there will be landscaping along North Avenue, around the building and throughout the parking lot, and will conform to the North Avenue Corridor requirements.

Mr. Pritchett referred to the building floor plan, and stated that the building will provide full state of the art equipment package, group exercise area, cycling area, a 75 foot lap pool and spa, full service locker rooms, and a kids club with babysitting services.

Mr. Pritchett stated that the building would be constructed of precast concrete panels, similar to Caputo's, and steel framing. He stated that the panels would include simulated brick appearance at the base to blend with the existing buildings in the development. He stated that the building would be accented with an aluminum storefront and windows with metal surrounds, accent panels and awnings.

Mr. Pritchett stated that the building would have two vertical towers at the east and north sides of the building, which would be clad in a simulated wood finish, and would provide the backdrop for the LA Fitness identification signs. He stated that the signs would be internally illuminated individual letters. He stated that the signs are 40 inches and would require final PUD approval.

Chairman Parisi asked for questions from the audience. There were none.

Chairman Parisi asked Mr. Farace for the Staff Report.

Mr. Farace stated that the petitioner is seeking approval to an amendment to a Special Use permit for a PUD, along with final PUD plan approval, and North Avenue Corridor review for a proposed LA Fitness to be located at 470 E. North Avenue, which is the western most outlot of the Carol Stream Market Place. He stated that in 2006, the Village Board adopted an ordinance which approved Special Use permits for a PUD and a shopping center, and rezoned a portion of the property that fronted North Avenue, leaving the remainder of the property industrial, and also approved a preliminary PUD plan.

Mr. Farace stated that the former McKessen Corporation vacated their building in 2009, and a few years later, Caputo's Fresh Markets acquired the entire site and began redevelopment, with Caputo's in the main 70,000 s.f. building. He stated that to the north and east are the outlots, which are zoned for commercial development. Mr. Farace stated that, initially, there were going to be smaller outlot buildings where the 34,000 s.f. building will be placed.

Mr. Farace referred to the site plan and stated the building would be on the far west side of the site, with 251 parking spaces located on the east side of the property. He stated that access would be provided by existing curb cuts along North Avenue, to the east and to the west, with drive aisles throughout the site.

Mr. Farace stated that the initial PUD plan illustrated a fire lane and landbanked parking spaces to the west, behind the Caputo's building. He stated that there was a condition as part of initial plan from 2012 that indicated that the fire lane and landbanked parking be constructed when outlot construction began. He stated that Staff looked at this in conjunction with LA Fitness to determine if this was the time to construct the fire lane and landbanked parking. He stated that the Carol Stream Fire Protection District was consulted, and indicated that they were ok with waiting on the construction of the fire lane and that the parking numbers did not require construction of landbanked parking. Mr. Farace also stated that there is a condition of approval that reserves the right that, in the event of a parking shortage, the landbanked parking be developed.

Mr. Farace referred to the landscape plan and stated that the requirements along North Avenue and Gary Avenue are stringent and that there is a point system based on the frontage of a property for setback and screening requirements of a parking lot, as well as landscape requirements within the parking lot, usually in the form of islands, and buffering of adjacent properties. He stated that the plan exceeds the requirements.

Mr. Farace stated Staff recommended a smaller ground sign be removed and that the space be filled in with additional landscaping to complete parking lot screening.

Mr. Farace stated that the dominant material on the exterior of the building would be off white precast concrete panels with taller features with a faux wood finish, along with curtain wall window systems along the sides of the building, and decorative canopies over the windows. He stated that the sides of the building have a modern look, but that Staff is concerned with the materials.

Mr. Farace referred to a slide showing the exterior of the smaller outlot buildings at the northeast corner of the development. He stated that the PUD plan approved buildings of masonry construction, with brick and stone detailing, and that what was going to be seen throughout the Carol Stream Market Place development.

Mr. Farace referred to a slide showing the LA Fitness building with the precast concrete panels and stated that it did not match with the architectural theme of the shopping center. He stated that Staff understands that there is a corporate look that LA Fitness is trying to achieve, but this location is in a shopping center with previously PUD approval, and that Staff would prefer to see more masonry material on the building. He stated that LA Fitness has tried to accommodate the request by adding a pattern to the panels on the lower part of the building, however, Staff feels that there should be more masonry, brick, and features that would emulate the style of existing buildings as is allowed in the original PUD plan agreement. He stated that future buildings will be constructed along Schmale Road, and that if an exemption is allowed at this time, there is the potential for an allowance for other types of building materials that could be constructed in the future.

Mr. Farace stated that there was a stipulation, based on the original PUD plan, that all wall signs be individual channel letter signs, and that the proposed LA Fitness sign meets that requirement, but that the maximum size of the letters be no more than 30 inches, and that LA Fitness is requesting 40 inches in height. He stated that the recommendation in the Staff Report is to reduce the size of the sign to 30 inches. He asked LA Fitness to explain why they could not meet that requirement.

Mr. Farace listed the requested exemptions, such as the parking reduction from 258 to 251 spaces, which Staff is comfortable with based on usage; building setback exemption, properties are generally required to be set back 100 feet from North Avenue, and that Staff is comfortable with supporting a setback of 48.5 feet; and exemption for the building elevations not matching the preapproved PUD plan, which Staff does not support.

Mr. Farace stated that Staff is supportive of the project overall, with the conditions listed at the end of the Staff Report.

Chairman Parisi asked for questions from the Commission.

Commissioner Tucek asked Mr. Farace if the parking, even with restrictions, met the loop type striping.

Mr. Farace stated that it did.

Commissioner Tucek asked if the elevations that Mr. Farace is looking for are new to Mr. Pritchett.

Mr. Pritchett stated that Staff recommendations were presented to Caputo's and they presented them to LA Fitness.

Commissioner Tucek asked if this submittal was their final offer.

Chairman Parisi stated that the Commission will decide if Staff recommendation will be sustained.

Commissioner Tucek asked if the mechanicals will be screened.

Mr. Pritchett stated that the mechanicals will be concealed.

Commissioner Petella asked for clarification as to what entails a fire lane and where it will be located, and if there could be a fire land along with parking spaces.

Mr. Farace stated that a fire lane would be required if there was a concern from a life safety standpoint, such as if there was not adequate access for the Fire Department to get behind a building, which is not been a concern at this point.

Mr. Pritchett stated that all the parking spaces are already along a fire lane.

Chairman Parisi stated that usually the Carol Stream Fire Protection District will want access with a fire lane all the way around the building and, depending upon the Fire Marshal, around three sides so a fire could be fought from three elevations. He stated that the original PUD may have mandated a fourth lane, and it is just a lane.

Commissioner Spink stated that the project is beautiful and that the building should coincide with the other buildings, but that the 40 inch sign should be allowed.

Commissioner Meneghini stated that he is in agreement with Commissioner Spink's comment that the building should be consistent with the other buildings and the original PUD plan.

Commissioner Creighton asked Mr. Farace what Staff would like to see changed.

Mr. Farace stated that Staff understands that LA Fitness is trying to emulate the warehouse portion of the Caputo's building, which is an existing building that was retro fitted to accommodate all of the components of Caputo's. He stated that Staff would prefer to see newer buildings emulate the existing out lot buildings by using brick and stone detailing. He stated that Staff is not opposed to the building form, but suggested having other features to break up the flatness of the elevations on the South and west sides.

Commissioner Petella asked to see a slide of the whole front of the shopping center.

Mr. Farace explained that the two outlot buildings consisted of stone corner features and detailing, which break up the buildings, and the EIFS cornices. Mr. Farace showed a slide of the LA Fitness building for comparison.

Chairman Parisi asked if the cornices on the LA Fitness building were EIFS.

Mr. Pritchett stated that they were.

Commissioner Creighton stated that he Googled LA Fitness images and found all building types to be different.

Chairman Parisi stated that he agrees with Staff on the look of the building. He stated that there is no stone and the base is a precast concrete which is painted to look like brick. He stated that the building has four sides and that the west elevation is devoid of the brick form liner that's at the base, and that the west elevation is very prominent when traveling eastbound on North Avenue.

Chairman Parisi stated that the requirements of the North Avenue Corridor are in place to represent the impression of Carol Stream and that he would like to see stone on all four sides of the building so as to tie in with the rest of the development. He stated that he would like to see colors incorporated with the brick, and would not be opposed to precast instead of form liner with thin brick.

Chairman Parisi stated that he agrees with Commissioner Creighton from a branding standpoint. He stated that when he saw the application, he thought Carol Stream was getting a building like the Glendale Heights location and was surprised with the proposed building. He stated that he likes the accents for the towers, and that in summary, he would like to see the materials used on all four sides. He stated that he agrees with Staff recommendations to try to tie in with the rest of the PUD, as opposed to tying in with the precast buildings along North Avenue.

Chairman Parisi asked Mr. Farace asked about the logic between the 30 inch and the 40 inch signs.

Mr. Pritchett stated that, regarding the fire lane, there is a fire protection system that goes around the exterior of the building and there will be connections for the Fire Department, which may be why the Carol Stream Fire Protection District is ok with having no fire lane.

Mr. Pritchett stated that the architect for LA Fitness will have to deal with the south elevation wall being fire rated, which will limit the ability to put in windows. He referred to the Google street view of the far west end of the Caputo's building, noting that he worked with Mr. Presta to develop the original project, and that it was Mr. Presta's idea for the corner of his building to face the corner of North Avenue and Schmale Road, as pictured. He stated that the original vision for the PUD was to have small buildings along both streets, with the largest building being 10,000 s.f. to 15,000 s.f. along the lines of a Walgreens or CVS, and that the small buildings would reinforce the materials from the corner all the way down. Mr. Pritchett stated that the original vision didn't materialize. He stated that LA Fitness is set apart from the rest of the out lot buildings, closer to the corporate entrance to Caputo's that has precast panels and faux aluminum windows. He stated that LA Fitness' idea is that they are closer to the precast portion of the Caputo's building, a long way from the stone/masonry corner buildings, and they did blend a few things in.

Mr. Presta stated that the original intent was to have a couple of outlot buildings, and that the buildings on the corner are two 5,000 s.f. buildings, and that brick and stone make sense. He stated that they didn't envision a 35,000 s.f. building, and that the original vision was for retail. He stated that the LA Fitness building will not block the visibility of his store, 251 spaces in the parking lot will bring more people shopping, and it is creating a commercial spot out of an industrial area. He stated that any buildings built along Schmale Road will match the PUD plan.

Commissioner Tucek asked Mr. Farace what was on the other side of North Avenue, referring to the precast building.

Mr. Farace stated that the precast building is Dermody Properties building.

Mr. Pritchett referred back to the question about signage stating that a 30 inch sign would have been sufficient for small buildings with multiple tenants with signs along North Avenue and Schmale, however, with the size of the building being much larger than anticipated, larger signage is needed, and they are requesting only two 40 inch signs in an area that had the potential for a larger number of smaller signs. He stated that it is also for better visibility and proportion to the building.

Commissioner Spink asked Mr. Farace if there was discussion about why LA Fitness wanted to make the building the way it is.

Mr. Farace stated that Staff understood that it was a combination of LA Fitness' corporate look, the Caputo's building and the materials. He stated that Staff was looking at the original approvals that were granted and the materials that were approved. He stated that commercial buildings that were observed allowed brick and stone with EIFS detailing. He stated that the McKessen building was different because it was an existing building that was retrofitted. He stated that they are not opposed to having any precast material, but some form of masonry would give a tie in to the rest of the shopping center and still allow LA Fitness to achieve their look from a branding perspective.

Commissioner Creighton asked Mr. Farace if the building would have to meet North Avenue Corridor regulations if it were a stand-alone building.

Mr. Farace stated that they would ask for some masonry, maybe something at the lower portion as well. He stated that it was tricky because it is part of a PUD and there are PUD plans to take into consideration, as well as provisions within the code for properties along the North Avenue Corridor. Mr. Farace stated that industrial buildings are looked at differently than commercial buildings.

Commissioner Creighton asked to clarify the language in the PUD.

Mr. Farace stated that the outlot buildings should be of masonry materials, which is why they are asking for the exemption, and that if there was some masonry it would be a partial exemption. He stated that if there is any precast on the building then an exemption has to be requested.

Mr. Farace stated that he had only seen the color elevations, that this was the first time he had seen this particular rendering, and he wasn't as clear on the material on the tower feature. He stated that now that he has seen it, it will probably look nice.

Commissioner Petella asked if this was a part of TIF district.

Mr. Farace stated that it was.

Commissioner Petella asked who would own the building.

Mr. Presta stated that Caputo's would be the landlord and LA Fitness would be the builder.

Commissioner Petella asked if they could match the stone that is at the corner.

Chairman Parisi stated that this is the subjective part of the Commission that rarely comes across. He stated it is the Commission's subjective nature that the look of this building complies with the North Avenue Corridor regulations and in line with the recommendations that Staff is making from the PUD standpoint. He asked Mr. Farace if it would go to Village Board.

Mr. Farace stated that the North Avenue Corridor component does not go to Village Board.

Chairman Parisi stated that the decision lies within the Commission.

Chairman Parisi stated that he felt a building at the west end of the Caputo's was a godsend to that elevation. He stated that there is brick and stone in the out lots going around the corner and facing Schmale Road. He stated that it is his opinion that if the north elevation were to emulate the outlot buildings, it would enhance the property and block the precast Caputo's building. He stated that it could be done cost effectively. He stated that form liner around the entire building would be receptive and that it would meet the original intent of the PUD from a visual perspective. He stated that this was done at the Glendale Heights location. He stated that he agrees with design of the south elevation, but that the east, north, and west elevations are predominant. He stated that he understood the logic of the 40 inch letters versus the 30 inch letters, and could agree to the 40 inch letters based upon how far back the building is.

Commissioner Creighton stated that north elevation of the Caputo's building is different from the east elevation, and can see how tying into the north elevation makes sense, and referred to the rendering of the Caputo's building.

Commissioner Creighton proposed to amend to eliminate requirement #7, that the building elevation shall be revised to include additional masonry materials on all sides of the building, additional masonry details, such as stone cornices and sills and building recesses and projections on the west and south elevations.

Chairman Parisi suggested to separate and make the motion on the individual items.

Chairman Parisi asked for a motion to amend the Special Use permit for the PUD.

Commissioner Creighton moved and Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes:	5	Commissioners Creighton, Petella, Spink, Tucek, and Chairman Parisi
Nays:	0	
Abstain:	1	Commissioner Meneghini
Absent:	1	Commissioner Christopher

The motion was approved.

This case will go before the Village Board of Trustees on Monday, August 6, 2018, at 7:30 PM for formal approval.

Chairman Parisi asked for a motion for the final PUD plan.

Commissioner Creighton moved and Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes:	5	Commissioners Creighton, Petella, Spink, Tucek, and Chairman Parisi
Nays:	0	

Abstain: 1 Commissioner Meneghini
Absent: 1 Commissioner Christopher

The motion was approved.

This case will go before the Village Board of Trustees on Monday, August 6, 2018, at 7:30 PM for formal approval.

Commissioner Creighton moved to eliminate requirement #7. Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes: 2 Commissioners Creighton and Petella
Nays: 3 Commissioners Spink, Tucek, Chairman Parisi
Abstain: 1 Commissioner Meneghini
Absent: 1 Commissioner Christopher

The motion did not carry.

Commissioner Creighton motioned to allow the exemption to go from a 30 inch sign height to a 40 in sign height. Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Creighton, Petella, Spink, Tucek, Chairman Parisi
Nays: 0
Abstain: 1 Commissioner Meneghini
Absent: 1 Commissioner Christopher

The motion was approved.

Chairman Parisi asked for a motion for the North Avenue Corridor Review including the exemption allowed for Item #6 to allow the 40 inch height for the signage as noted in the Staff Report.

Commissioner Creighton moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 4 Commissioners Creighton, Petella, Spink, Tucek.
Nays: 1 Chairman Parisi
Abstain: 1 Commissioner Meneghini

Absent: 1 Commissioner Christopher

The motion was approved.

Case #18-0024 – IG Commercial – 775 Kimberly Drive

Special Use Permit for Outdoor Activities and Operations –
Parking of Trailers and Equipment

The Commission received memorandum stating that the applicant proposes to modify his application and has requested that the case be continued to the August 27, 2018. PC/ZBA Meeting.

Case #18-0025 – NTA Precision Axle Corporation – 795 Kimberly Drive

Special Use for Outdoor Activities and Operations –
Installation of Air Compressors

Chairman Parisi swore in John McCormick, Account Manager for Air Technologies, 6630 Bartlett Street, Downers Grove, IL.

Mr. McCormick stated that they are asking the Village to allow placement of temporary unmanned storage facilities that would house compressed air equipment. He stated that they would like to place them at the southwest corner and the southeast corner of the building located at 795 Kimberly Drive.

Mr. McCormick stated that the structures would be filled with equipment that is needed to pump air into the plant so that NTA can use this equipment as part of their production operation. He stated that NTA wants to do this because managing their own compressed air operation is costly and Air Technologies will do it for a monthly fee.

Mr. McCormick stated that the structures are made out of a material called King Span, which is a metal sheathing with a hardened sponge type of material that is often used in home insulation. He stated that the structures would be 44 feet by 25 feet rectangular and about 14 feet tall.

Mr. McCormick stated that they went to a great deal of effort to try to find a screening solution and it was very expensive. He stated that mature spruce trees fronting the southwest module, in addition to what may be existing, will screen the structure from the street, especially southbound on Kimberly Drive. He stated that there are exhaust hoods on the top that would be screened from view as well. He stated that to maintain aesthetics, and make the modules unnoticeable, the structures will be painted the same color as the plant wall. Mr. McCormick stated that the southeast corner is 330 feet away from Center Avenue, which is on the east side, and there are trees already in place.

Chairman Parisi asked for questions from the audience. There were none.

Chairman Parisi asked for the Staff Report.

Mr. Farace stated that the applicant is seeking Special Use approval for outdoor activities and operations in the form of two large air compressors to be located at the southeast and southwest corners at NTA Precision Axle. He stated that the structures are 44 ft by 25 ft by 14 feet high, and will have exhaust units on top. Mr. Farace stated that the compressors will be enclosed inside metal panel structures, with metal panels on top to screen the rooftop units.

Mr. Farace stated that, generally, Staff likes to see fencing or a screen wall around outdoor units, however, given the expense of installing the screen walls, and Staff proposed 5 evergreen trees be

installed to screen the unit at the southwest corner. He referred to the site plan stating that the southeast corner will be screened by existing evergreens.

Mr. Farace stated that Staff feels comfortable supporting the request with the combination of the evergreen screening and the structures being painted to match the building, and recommends approval.

Chairman Parisi asked for questions from the Commission. Commissioners Creighton, Meneghini, Spink and Chairman Parisi had none.

Commissioner Petella asked if the new compressors will be quieter than the ones sitting on trailers today.

Mr. McCormick stated that they would.

Mr. Farace stated that the current temporary compressors will be removed.

Commissioner Tucek asked to clarify that the new compressors will be temporary.

Mr. McCormick stated that they are considered temporary because they can be dropped into and lifted out of the structures.

Commissioner Tucek asked if they will be plumbed for the contaminated water/oil run off.

Mr. McCormick stated that they are.

Chairman Parisi asked for a motion to approve the Special Use permit to allow outdoor activities and operations in the form of the installation of air compressors in the I-Industrial District.

Commissioner Petella moved and Commissioner Spink seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Creighton, Petella, Spink, Meneghini, Tucek, and Chairman Parisi.

Nays: 0

Abstain: 0

Absent: 1 Commissioner Christopher

The motion was approved.

This case will go before the Village Board of Trustees on Monday, August 6, 2018, at 7:30 PM for formal approval.

Case #18-0026 – Wayne Township – 27W031 North Avenue
Amendment to a Special Use Permit –
Government Offices and Related Uses
Zoning and Sign Code Variations
North Avenue Corridor Review

Chairman Parisi swore in Brian Armstrong, Attorney for Wayne Township, 105 E Irving Park Road, Itasca, IL, and Randy Ramey, Township Supervisor, 935 Glenlake Drive, Carol Stream, IL, 60188.

Mr. Armstrong stated that they are asking to amend a Special Use permit that was granted in 2016, as well as Zoning and Sign Code variations and North Avenue Corridor Review. He stated that in 2016 the Village and the Township entered into an annexation agreement and concurrently granted a Special Use permit, and variations to remodel and add onto the building.

Mr. Armstrong stated that the previous township board couldn't get the funding to do the large remodel that they wanted to do. He stated that when Mr. Ramey became the supervisor he scaled back the proposed remodel to one third of the original cost, which was approximately \$3,000,000 and is now approximately \$1,000,000, through alternative funding sources. Mr. Armstrong stated that there were plans that were approved as part of the Special Use Permit and as part of the Annexation Agreement, which have since been revised.

Mr. Armstrong stated that the addition proposed at the southeast corner of the building is almost the same as the previously proposed addition, however, the internal structure has changed. He stated that one of the occupants of the building is a food pantry, and the addition at the southeast corner will expand the food pantry and provide more storage, including refrigerators and freezers. He stated there will be private offices for eligibility interviews that can be conducted in private.

Mr. Armstrong stated that there will be another addition at the northwest corner of the building that will expand the senior center with a computer lab, storage, and a small meeting/activity room. He stated that the northwest section was not part of the previously approved plan.

Mr. Armstrong stated that the parking lot design in front of the building will also be changed. He stated that the entrance to the property is on the east side and that the driveway at the west side is an exit only. He stated that there is a significant slope at the exit caused by the widening of North Avenue about 10 years ago, which will be addressed in the future.

Mr. Armstrong stated there is currently a curb area and striped lines on the west side and a small area on the east side of the parking lot that are proposed to be a landscape islands without curbs. He stated that there are currently light poles in the back of the parking lot that will be enclosed and landscaped islands with curbs.

Mr. Armstrong stated that Staff is generally in agreement with the proposal for the building and site plan with the exception of the landscape islands at the front of the building. He stated that Staff is recommending curbed landscape islands at the east entrance and west exit. He stated that the concern the Township has is that it is creating more barriers, especially on the east where there is a tight turn. He stated that the Township is requesting not to have to plant shade trees along the front parking spaces as they will obstruct the view of the new sign that was recently installed.

Mr. Armstrong referred to a photo looking westbound from the east which shows the sign, the property line, the easement, utilities, and the small area where trees could go. He referred to a photo of the west exit looking eastbound which also showed the small area.

Mr. Armstrong stated, again, that the Township would like permission to not have curbs on the front landscape islands and not planting shade trees along North Avenue. He stated that due to the size of the area, shade trees will likely obstruction the view of the sign.

Chairman Parisi asked for questions from the audience. There were none.

Chairman Parisi asked Mr. Farace for the Staff Report.

Mr. Farace stated that the petitioner is seeking approval of an amendment to a Special Use permit for a government office and related uses in the R-1 district, along with Zoning and Sign Code variations, and North Avenue Corridor Review. He stated that in 2016, the Village Board adopted ordinances which

annexed the Wayne Township property into the Village, approved an annexation agreement, and granted certain zoning approvals for the Wayne Township government office. He stated that there were a variety of projects that were being proposed at that time. He stated that a majority of the projects did not move forward, but that smaller components did move forward, including connecting to Village utilities. He stated that they are now moving forward with additions to the building, parking, and landscaping modifications. Mr. Farace stated that since the plans were adopted as part of the annexation agreement, an amendment to the annexation agreement has to be approved by the Village Board, which is being worked on at the same time as the zoning approvals.

Mr. Farace stated that the projects are a 2200 s.f. addition at the southeast corner for the food pantry, and an 1100 s.f. addition at the northwest corner for the senior center, as well as the parking lot work being proposed along the front area which would create one way circulation along the front drive aisle and reduce the slope of the west driveway.

Mr. Farace stated that the landscaping modifications would include additional proposed landscaping along the front of the building, a new landscape island at the northwest corner of the building, and new islands in the back of the building around parking lot lights, as well as additional handicapped spaces that will be striped out in conjunction with sealcoating and restriping of the parking lot.

Mr. Farace stated that Staff believes that the project, as a whole is really good, and is supportive. He stated that there were a couple of items that Staff recommends be changed, which include curbed landscape islands instead of just striping that area off. He stated that curbing the area would provide a safer driving environment by separating the parking lot and the drive aisles. He also stated that the other item recommended is that a couple of shade trees be installed along the property fronted in between the proposed boxwood shrubs, but that the parking lot islands are more important from a safety and circulation perspective.

Mr. Farace stated that the zoning code variations that are being requested are to reduce parking lot greenspace are similar to the variations requested in late 2015. He stated that properties along the Corridor require 10% of their parking lots to be greenspace, and this would be about 1.5%, the two additional islands would bring it up to 2%. He stated that there is a requirement to have landscaped islands for every 20 parking spaces, which is not met in the back parking lot, but Staff is comfortable with that variation given the additional islands where the parking lot lights are located and that it is not beneficial to lose parking as this is an existing property.

Mr. Farace stated that there is a point system requirement for landscaping along the North Avenue Corridor, but that this is an existing property that was developed under DuPage County requirements and doesn't meet a lot of the Village's greenspace requirements, therefore Staff is comfortable with reducing the points.

Mr. Farace stated that Staff is supportive of the components with the additional trees and the two landscaped and curbed islands in the front row of parking.

Mr. Farace stated that the requested sign code variation is to allow a ground sign to be closer than five feet of the property line. He stated that there was a sign that was reviewed by the Commission in 2017, to be along the property frontage, and that when the sign was installed, it was partially located within the North Avenue right of way. He stated that the Township was able to shift the sign out of the right of way, but that it is still within the five foot setback area. He stated that if it were to be placed outside of the five foot area they would lose parking spaces.

Mr. Farace stated that Staff is supportive of allowing the sign to remain in place as the sign is a couple of feet from the property line and North Avenue has been widened over the years. He stated that Staff is comfortable with allowing the variation.

Mr. Farace stated that Staff is comfortable with the project and recommends approval of the variations, Special Use amendment and North Avenue Corridor Review with the conditions listed at the end of the Staff Report.

Mr. Ramey stated that there is a row of bushes in front of the building and small trees at each corner of the building, and that with the close proximity of the building to North Avenue, they are proposing to add bushes along the front of the parking spaces. He stated that adding two trees will block the sign as they mature and that the space is not adequate for proper growth. He stated that they would like to propose smaller trees that will stay below the five foot level of their sign.

Mr. Ramey stated that there are 700 seniors who are members of the senior center and there could be as many as 220 onsite when they have meetings. He stated that the curbing at the east entrance would become a hazard when turning in and that he could foresee people running over the curbed island. He stated that the elevation on the west side would be changed to add a retaining wall and it wouldn't allow for a curbed island.

Chairman Parisi asked for questions from the Commission.

Commissioner Creighton asked Mr. Farace to clarify how the amendment to the Special Use is different from the last amendment that was approved.

Mr. Farace stated that the additions and parking lot have changed.

Mr. Ramey stated that the parking lot is already angled parking

Commissioner Creighton asked at what point an annexed property is held to Corridor standards, and if that point would be when it changed hands.

Mr. Farace stated that it would depend upon what the property could physically do. He stated that a property may not meet the requirements because it may not have been built to meet the requirements. He stated that variations can be granted in these instances.

Commissioner Meneghini stated that he understands the curbing on the south side of the building for the landscape and asked Mr. Farace the purpose of curbing into the northeast entrance.

Mr. Farace stated that it is to delineate the entrance area from the parking spaces and it is common to have a landscaped island as a barrier. He stated that this island does not protrude into the drive aisle and that it would be a typical six inch curb.

Commissioner Spink stated that she could see how it could be a problem, especially in the winter with 700 seniors coming and going, and suggested bollards with landscaping where the curb is suggested, because it could be seen.

Mr. Ramey stated that there is angled and striped parking in the lot and staff parks in front, as do people who come in for services. He stated that the back part is for food pantry, general assistance and the assessor, the seniors are to the south and west. He stated that a bollard would entail running electricity.

Clarification was made that it would be a concrete bollard.

Mr. Ramey stated that the State has already curbed the drive coming in to the property line, which is where the parking lot flattens out. He stated that arrows would be painted for directional flow, the first space isn't open because there is already a parking space designated, and that if a turn is not properly made, the driver would be going over a six inch curb or bollard. He also stated that a snow plow would knock over a bollard in the winter or cover it with snow making it unseen.

Commissioner Spink asked if trucks come through the lot.

Mr. Ramey stated that trucks go straight back to the current food pantry, then come around and exit the western exit, and don't go to the front of the building.

Commissioner Petella stated that he agrees that the shade trees along North Avenue would obstruct the sign and asked when the sign was moved and where the landscaping was.

Mr. Ramey stated that the sign was moved right after the sign was installed, and that the previous agreement allowed for the landscaping to be installed after the parking lot was finished, but they have beautified the area in the meantime.

Commissioner Tucek stated that it doesn't make sense to try to make this property fit into the North Avenue Corridor, and that low maintenance, high salt bushes make sense.

Commissioner Tucek stated that the curbing might be a detriment, not only as a driving hazard, but also as a trip hazard, and asked if, during the reconstruction of the parking lot, it would be possible to use the same material that is used for handicapped people.

Chairman Parisi stated that it was a detectable warning surface, and it would not hold up during winter as a plow would tear it up.

Commissioner Tucek stated that the plows will throw snow close to the parking lot, over the island on the east side and the south side.

Mr. Farace stated that what islands often are for.

Chairman Parisi asked Mr. Farace for information regarding the appearance of the addition in conjunction with the North Avenue Corridor Review.

Mr. Farace stated that the building would be the same masonry material as the existing building and coping will match what is existing on the top of the building. He stated that there will be a canopy on the back of the building near the rear entrance.

Chairman Parisi stated that he agrees with Staff on the curbing. He stated that he sees an issue when entering eastbound, that it is a sharp turn, and that it would take skills to pull in and park in the first spot. He stated that the curb would benefit in the event of a car parking in the first space and another incoming car having difficulty with the sharp turn. He suggested a curb higher than a six inches.

Chairman Parisi asked Mr. Farace if, in order to meet points, the landscaping could be anywhere on the property or if it has to be balanced in the islands.

Mr. Farace stated that it is the whole property is taken into account in the point total.

Mr. Ramey stated that there is landscaping proposed for the area around the flagpole.

Mr. Farace stated that because the site is restricted on size, they are not physically able to meet the point requirement, and that Staff is comfortable with that.

Chairman Parisi stated that the previous recommendation is acceptable as long as there is an intent to beautify the North Avenue side with landscaping, that decorative landscaping would be acceptable, and shade trees are not necessary.

Chairman Parisi asked Mr. Farace to clarify the setback for signs in the North Avenue Corridor is five feet.

Mr. Farace stated that is correct.

Chairman Parisi asked how the sign was going to be landscaped when the parking lot is redone, as an island will have to be created and parking spaces may be lost.

Mr. Ramey stated that there will be a small angle change of the parking lot, starting at the eastern entrance, which is on the property line, which will come out further, and straighten out.

Chairman Parisi stated that the landscaping around the sign would be very tight, and if it went to the graphic proportion of the image, the transfer area of the handicapped space would be compromised.

Mr. Ramey stated that they are looking at the design and that they may lose that space.

Chairman Parisi stated to Mr. Farace to note that as a condition when the parking lot design is submitted.

Mr. Farace stated that there may be enough space for clearance.

Chairman Parisi stated that they may be able to get creative with the space.

Chairman Parisi asked for a motion to approve an amendment to a Special Use permit for government office related uses in the R-1 District.

Commissioner Petella moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Creighton, Petella, Spink, Meneghini, Tucek and Chairman Parisi.
Nays: 0
Abstain: 0
Absent: 1 Commissioner Christopher

The motion was approved.

This case will go before the Village Board of Trustees on Monday, August 20, at 7:30 PM for formal approval.

Discussion took place regarding landscaping along the property frontage and curbing of the front islands.

Chairman Parisi asked for a motion to make a modification to Staff recommendation to allow additional bushes, 5 feet or less, in lieu of shade trees along the North Avenue property frontage.

Commissioner Petella moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Petella, Spink, Meneghini, Tucek, and Chairman Parisi.

Nays: 1 Commissioner Creighton

Abstain: 0

Absent: 1 Commissioner Christopher

The motion was approved.

This case will go before the Village Board of Trustees on Monday, August 20, at 7:30 PM for formal approval.

Chairman Parisi asked for a motion to modify Staff recommendation to not provide curbs around the landscape islands at the ends of the parking row along North Avenue.

Commissioner Petella moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes: 3 Commissioners Petella, Meneghini, Tucek.

Nays: 3 Commissioner Creighton, Spink, Chairman Parisi.

Abstain: 0

Absent: 1 Commissioner Christopher

The motion tied.

This case will go before the Village Board of Trustees on Monday, August 20, at 7:30 PM for formal approval.

Chairman Parisi asked for a motion for a variation to the Sign Code to allow a ground sign to be located closer than five feet to the lot line.

Commissioner Spink moved and Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes: 4 Commissioners Petella, Spink, Meneghini, Tucek,

Nays: 2 Commissioner Creighton and Chairman Parisi

Abstain: 0

Absent: 1 Commissioner Christopher

The motion was approved.

Chairman Parisi asked for a motion to approve the North Avenue Corridor Review.

Commissioner Creighton moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

- Ayes: 6 Commissioners Creighton, Petella, Spink, Meneghini, Tucek, and Chairman Parisi.
- Nays: 0
- Abstain: 0
- Absent: 1 Commissioner Christopher

The motion was approved.

Chairman Parisi asked for a motion to close public hearing,

Commissioner Creighton moved and Commissioner Petella seconded the motion to close Public Hearing.

The motion was passed by unanimous vote.

PRESENTATION:

OLD BUSINESS:

NEW BUSINESS:

ADJOURNMENT:

At 9:15pm Commissioner Creighton moved and Commissioner Spink seconded the motion to adjourn the meeting.

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

 Jane Lentino
 Community Development Secretary

Minutes approved by Plan Commission on this ____ day of _____, 20____.

 Chairman

RESOLUTION NO. 3031

**A RESOLUTION RECOGNIZING RICK LESCHER FOR
TWENTY YEARS OF SERVICE WITH THE VILLAGE OF CAROL STREAM**

WHEREAS, Rick Lescher was hired as Building Maintenance Employee on July 20, 1998 and was promoted to Building Maintenance Supervisor on October 26, 1998; and

WHEREAS, Rick Lescher has been actively involved in the renovation and improvements to Village facilities including the Historical Farmhouse and Municipal Center Renovation Projects; and

WHEREAS, Rick Lescher has utilized his valuable insights and expertise as Building Maintenance Supervisor to troubleshoot and repair a multitude of Village facilities and equipment including the Ross Ferraro Town Center fountain and visitor center and Daylily park; and

WHEREAS, under his leadership, the Village of Carol Stream has a contemporary and technology driven building maintenance and automation system and has met its obligations under a host of new and ever changing building codes and requirements; and

WHEREAS, Rick Lescher has responded to many snow and ice clearing events at the Municipal Center during all hours of the day and night; and

WHEREAS, Rick Lescher places a high priority upon building comfort, economy and efficiency for residents, guests and employees of the Municipal Center.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, on behalf of all the former and current elected and appointed officials, employees and residents of Carol Stream, as follows:

SECTION 1: Rick Lescher is hereby recognized and commended for twenty years of dedication and outstanding service to the Village of Carol Stream.

SECTION 2: Rick Lescher is wished the very best in the future.

This Resolution shall be in full force and effect from and after its passage as approved by law.

PASSED AND APPROVED THIS 6th DAY OF AUGUST 2018.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Laura Czarnecki, Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager *TF*

THROUGH: Donald T. Bastian, Community Development Director *DB*

DATE: August 2, 2018

RE: **Agenda Item for the Village Board Meeting of August 6, 2018**
PC/ZBA Case 18-0013, LA Fitness – 470 E. North Avenue, Amendment to a Special Use Permit for a PUD, Final PUD Plan Approval, North Avenue Corridor Review Approval

Robertino Presta, with 520 E. North Avenue, LLC, requests approval of an Amendment to a Special Use Permit for a Planned Unit Development (PUD), a Final PUD Plan, and North Avenue Corridor (NAC) Review for a proposed LA Fitness at the Carol Stream Marketplace at 470 E. North Avenue. The 34,000 square foot building will be constructed at the northwest corner of the shopping center. The building will be located on the far west side of the North Avenue outlot, with a 251-space parking lot located east of the building. Landscaping is also proposed along the North Avenue frontage, within the parking lot, and around the building, which will meet the green space and point values required for properties within the NAC. The applicant also requests approval of four exemptions as part of the Final PUD Plan: a seven-space parking reduction as compared to what is required per Code, a reduction of the front building setback from 100 feet to 48.5 feet along North Avenue, an increase in wall signage letter size from 30 inches to 40 inches, and a deviation from the previously approved building elevations for the PUD. Staff is supportive of the Special Use Amendment, Final PUD Plan, and NAC Review with the requested exemptions, **but does not support the request to deviate from the approved building materials and elevations for the PUD.**

In 2012, the Village Board approved Ordinance No. 2012-08-29, which granted PUD Amendments, and Preliminary/Final PUD Plans for the Carol Stream Marketplace. The shopping center included the conversion of the vacant McKesson warehouse building into the corporate headquarters for the Caputo's grocery store chain, with a grocery store and warehouse, distribution, and production facility in the vacant building, and the preliminary PUD Plan for several commercial outlots on the frontage along North Avenue and Schmale Road. Architectural and signage standards were also established for the outlot buildings, specifically requiring brick and stone as the exterior building materials, with stone detailing and decorative cornices to visually enhance all buildings within the PUD. Attached are photos of the existing Caputo's and outlot buildings for reference.

LA Fitness Building Elevations Exemption Request

LA Fitness proposes a different building design in terms of building materials and architectural style than required for the PUD, with the use of off-white precast concrete panels, painted concrete panels with form liners to emulate brick along the lower portion of the building, an EIFS cornice, EIFS and metal canopies and prefinished vertical metal siding wall elements on the north and east elevations, and curtainwall systems on the north and east elevations. Staff had concerns with the proposed building elevations and materials, in terms of maintaining consistency with the rest of the Carol Stream Marketplace shopping center and meeting the intent of the NAC architectural regulations, and recommended that the building elevations be revised to include additional masonry materials on all sides of the building, additional detailing such as cornices and sills, and building recesses and projections on the west and south elevations. At the July 23, 2018 PC/ZBA meeting, the Commission concurred with staff's recommendation that additional masonry and detailing should be included on the exterior of the building to be consistent with the rest of the center and meet the intent of Corridor regulations to establish "harmonious physical and visual relationships among existing, new and proposed buildings."

Since the July 23rd Plan Commission meeting, LA Fitness has revised the building elevations to include the following elements: expansion of the painted panels with the brick form liner on the lower portion of the building from four feet to seven feet on all four sides of the building as compared to only on the north and east elevations originally; inclusion of additional reveals within the precast along the upper portion of the building on all four sides to provide additional articulation along the building facades; and inclusion of brick surrounds around windows on the west elevation.

It is staff's determination that the submitted building elevations do not meet the Commission's recommended condition of approval regarding additional masonry material and detailing on the building, and that the Village Board would need to approve an exemption from the required building elevation standards for the PUD. For reference purposes, staff has provided photos of other LA Fitness buildings in the area which include the use of masonry and details such as cornices to visually enhance the buildings. We note that the examples of other LA Fitness buildings appear to closely resemble the materials and design standards required in the Carol Stream Marketplace shopping center.

Staff has concerns that consistency may be lost with the building architecture and materials established at the shopping center if the exemption is granted. Likewise, it may be difficult for the Village to preserve the original architectural standards of the PUD for the remainder of the outlots along Schmale Road if the exemption is granted. If the Board is inclined to approve an exemption to deviate from the previously approved building elevations for the PUD, staff recommends that the painted panels with the brick form liner finish along the lower portion on all four sides of the building be painted a beige color to match the color of the brick on the Caputo's and other outlot buildings at the Carol Stream Marketplace.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on July 20, 2018. At its meeting on July 23, 2018, by a vote of 4-1 with one member abstaining, the PC/ZBA recommended approval of the Amendment to the Special Use Permit for a PUD, Final PUD Plan, and North Avenue Corridor Review subject to the conditions in the July 23, 2018 staff report. As a reminder, the PC/ZBA recommended that the building elevations be revised to include additional masonry materials and detailing on all sides of the building.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Amendment and Final PUD Plan subject to the conditions contained within the Ordinance, and direct LA Fitness to revise the building elevations for the project to include additional masonry materials and detailing on all sides of the proposed building to maintain consistency with the approved elevations for the Carol Stream Marketplace PUD, and adopt the necessary Ordinance. If the Village Board does not concur with the PC/ZBA recommendation regarding the exemption for the building elevations, they should approve the Special Use Amendment and Final PUD Plan for LA Fitness subject to the conditions contained within the Ordinance excluding Condition #6, and adopt a revised Ordinance at the August 20, 2018 Village Board meeting. It should be noted that no Village Board action is necessary regarding the North Avenue Corridor Review.

ec: Robertino Presta, 520 E. North Avenue, LLC (via email)

Photos of Carol Stream Marketplace – Case 18-0013



Photos of LA Fitness Buildings – Case 18-0013



Naperville Location



Tinley Park Location

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager *TF*

THROUGH: Donald T. Bastian, Community Development Director *DB*

DATE: July 31, 2018

RE: **Agenda Item for the Village Board Meeting of August 6, 2018**
PC/ZBA Case 18-0025, NTA Precision Axle – 795 Kimberly Drive, Special Use Permit for Outdoor Activities and Operations – Installation of Air Compressors in the I Industrial District

John McCormack, with Air Technologies, requests approval of a Special Use Permit for Outdoor Activities and Operations for the installation of air compressors on behalf of NTA Precision Axle at 795 Kimberly Drive. As proposed, two air compressors will be installed outside of the building near the southeast and southwest corners of the building. The proposed structures would contain compressed air equipment, and pump air into the plant. The installation of the compressors will provide a cost savings measure for the business, and the proposed air compressor locations are the most appropriate to allow the connections into the building to pump air into the plant.


The air compressors will be housed within metal panel structures measuring 44 feet x 25 feet, and will stand approximately 14 feet tall. In addition, rooftop exhaust units will be located on top of the structures, but the applicant proposes to install metal panel screening around the top of each structure to screen the rooftop units. Both the structures that will enclose the air compressors and the rooftop screens will be painted to match the color of the building. In addition, the structures will be screened by landscaping in the form of five new Spruce trees to be installed to screen the structure at the southwest corner of the building, and three existing evergreen trees to screen the structure at the southeast corner of the building. The location of the air compressors adjacent to the building corners, along with the landscape screening, will minimize the appearance of the structures from adjacent roadways and properties.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on July 20, 2018. At its meeting on July 23, 2018, by a vote of 6-0, the PC/ZBA recommended approval of the Special Use Permit subject to the conditions in the July 23, 2018 staff report.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permit for Outdoor Activities and Operations in the form of the installation of air compressors at NTA Precision Axle subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

ec: John McCormack, Air Technologies (via email)
Steve Summers, NTA Precision Axle (via email)

Village of Carol Stream
Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: Philip J. Modaff, Director of Public Works 
CC: Jon Batek, Director of Finance
DATE: July 25, 2018
RE: WRC Annual Report and Financial Reconciliation for Period Ending April 30, 2018

The Village's Water Reclamation Center (WRC) is operated under contract by Jacobs Engineering (formerly CH2M). Each year they are required to submit an Annual Operating Report as well as reconcile any payments due to or from the Village for various expense categories that are subject to a rebate or additional costs. The contract provides the following:

- Repairs - the Village is responsible for 100% of expenses that exceed the Repairs limit.
- Utilities/Solids/Labor & Benefits - the operator is responsible for any amounts that exceed the aggregate established limits for these cost centers. If actual costs come under the aggregate limit amount for these costs centers, that savings is shared 50/50 between the Village and the operator.

Below is a summary of those items for the recently completed contract year:

Item Description	Limit	Actual	% Invoiceable	(Under)/Over
Repairs	\$ 60,000	\$ 65,418.34	100%	\$ 5,418.34
Utilities	\$243,198	\$213,152.62	0%	(\$30,045.38)
Solids	\$160,940	\$139,485.16	0%	(\$21,454.84)
Labor & Benefits	\$670,037	\$609,657.20	0%	(\$60,379.80)
Total Amount of Rebate:				\$50,521.67 ¹

The rebate check in the amount of \$50,521.67 has already been received.

Attached you will find the WRC Annual Report prepared by CH2M; representatives will attend the August 6 Village Board Workshop to make a summary presentation of the annual report.

Attachment

¹ The final reconciliation amount represents 50% of the aggregate amount of Utilities, Solids, Labor & Benefits under the limit *minus* 100% of the Repairs overage of \$5,418.34.

JACOBS®

**Operations Management and Facilities Services
2017 Annual Operations Report**

Village of Carol Stream



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A Message from Project Manager Dan Hughes



On December 15, 2017, Jacobs Engineering Group Ltd. completed its acquisition of CH2M. Although our company name and ownership changed, our focus on delivering world-class service and our emphasis on safety and sustainable business remains. As a new, combined company we bring you broader resources and provide innovative and cost-effective solutions, with a continued focus and dedication to safety and quality. We are enthusiastic about the future and bringing you the best-in-class talent, solutions, technical excellence, and delivery available in our industry. First and foremost, we remain dedicated to serving you. You have our firm commitment that we are focused on bringing you all the advantages our combination has to offer, serving you well, as we have always done.

Since 1997, the Village of Carol Stream has relied on CH2M, now Jacobs, as your operations partner for wastewater services. We have proudly worked side-by-side with the passionate people who make the Village a vibrant place to live and work. This report highlights some of the accomplishments of our relationship during the past year, as well as initiatives currently underway and planned for 2018.

Carol Stream saw some significant challenges with repairs, capital improvements, local limits, and sewer use ordinance revisions. Jacobs is able to address these challenges by responding with numerous company resources, including leading operations and maintenance (O&M) specialists, engineers, scientists, and members of our compliance team representing more than 2,000 hours of regional and onsite support.

The Jacobs Carol Stream team would like to convey our appreciation to the Mayor, Board, and other Village officials for their support. We understand the importance of being innovative, resourceful, and flexible partners with our clients, to provide the best solutions for wastewater and environmental needs.

We look forward to the opportunity to continue serving the people of Carol Stream. We are committed to the Village of Carol Stream and being good corporate citizens contributing to the betterment of our community.

Thank you for your continued support.

Dan Hughes



Executive Summary

Jacobs is pleased to present the Village of Carol Stream with this 2017 annual report, as an overview of activities related to the Village's wastewater facility.

Serving Carol Stream since 1997, we take pride in the projects we deliver and are excited about taking the wastewater operations into the future. Our goal is to provide you with an overview of daily operations, system capabilities improvements, permit compliance, cost containment, and trends as compared with present treatment capacities.

Jacobs leadership and dedication to quality service is evident by specific accomplishments found throughout the report. We will discuss specific actions we initiated to continue our exemplary service to the Village. Our support for the Water Environment Federation (WEF), American Water Works Association (AWWA), Illinois Environmental Protection Agency (IEPA), Fox Valley Operators Association (FVOA) and the U.S. Environmental Protection Agency (U.S. EPA) further demonstrates our focus on environmental issues in the state of Illinois.

In 2017, Jacobs worked closely with the Village, design engineers, contractors, and local industries on many projects involving the Water Reclamation Center (WRC) and Industrial Pretreatment Program (IPP). Below are several examples of this collaboration during the 2017 Capital Improvement Plan (CIP):

- Rebuilt clarifier drive units #1 and #2.
- Excavated and installed valve vault at headworks.
- Rehabilitated Hycor units and replaced drive sprockets and chains.
- Replaced the flooring in the laboratory and painted cabinets.
- Installed new conduit and wiring to screw pump.
- Installed level sensors for sodium hypochlorite and sodium bisulfite tanks with hookup to the supervisory control and data acquisition (SCADA).
- Implemented improvements at the headworks including the installation of a new variable frequency drive (VFD), replaced the screw pump motor, rebuilt the gearbox, and rebuilt the primary screw pump motor.



The Carol Stream Team: Will King, Eric Weberski, Susan Ruta, Dan Hughes, Andy Liebman, and Andy Warmus.

Wastewater Treatment Facility



Aerial view of the facilities.

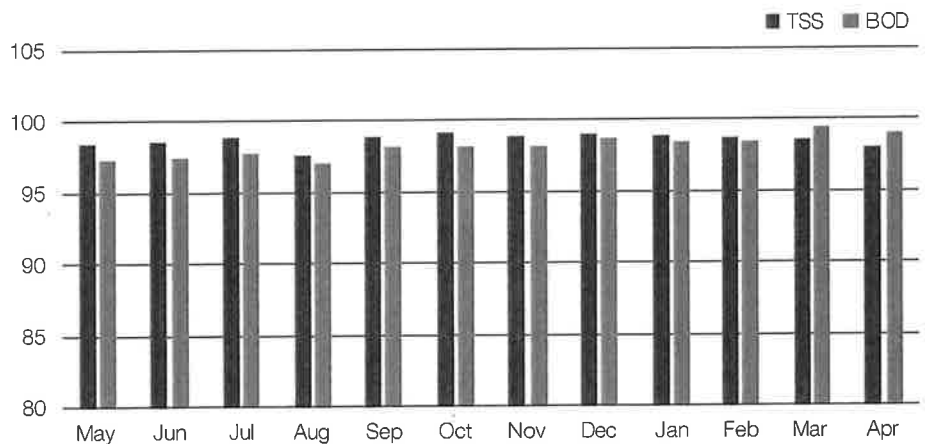
The Carol Stream WRC is a conventional activated sludge plant permitted to treat 6.5 million gallons per day (mgd) average daily flow. Staffed 7 days a week, the plant is continually monitored 24 hours per day. The facility is equipped with an automatic dialing alarm (SCADA) system to notify plant personnel of any emergencies. From May 2017 - April 2018 we operated the WRC well below all required parameters; 85 percent of permitted capacity (mgd), 28 percent of permitted discharge for 5-day biochemical oxygen demand (BOD), and 18 percent permitted discharge of total suspended solids (TSS) (Exhibit 1).

Our average percentage for removal of TSS is 98.6 percent and 98.1 percent for BOD (Exhibit 2).

Exhibit 1
Actual Effluent Plant Performance

Parameter	Average	Limit
Flow (mgd)	5.5	6.5
5-day BOD (mg/L)	<2.8	10
TSS (mg/L)	<2.2	12

Exhibit 2
Facility Removal Efficiency



Wastewater Treatment Facility

Exhibit 3 depicts influent BOD and TSS concentrations for 2017-2018.

Exhibit 4 depicts effluent BOD and TSS concentrations for permit compliance for 2017-2018.

Statistical process control procedures were established to ensure continuous compliance with National Pollutant Discharge Elimination System (NPDES) permit limitations. The mean cell residence time, sludge age, food to microorganism ratio, and sludge volume index are tracked daily to monitor plant performance. Upper and lower control limits have been established to provide guidance when approaching critical stages in the facility's operation.

Exhibit 3
Influent BOD and TSS Concentrations

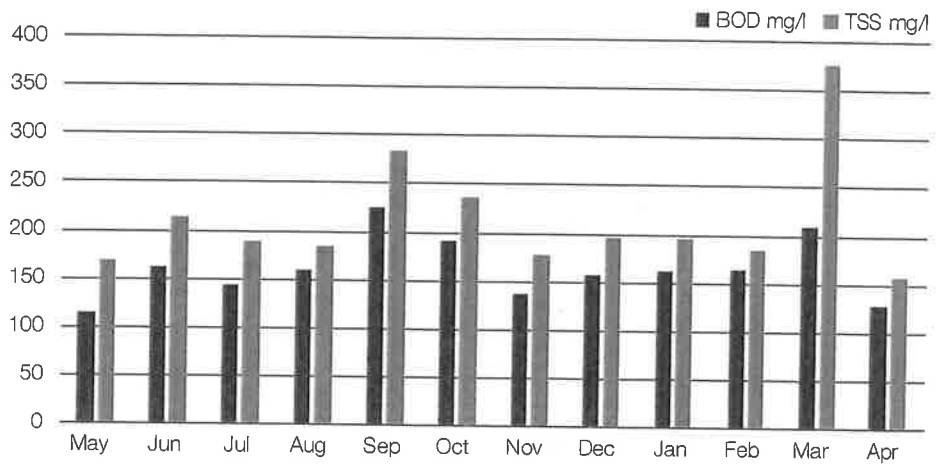
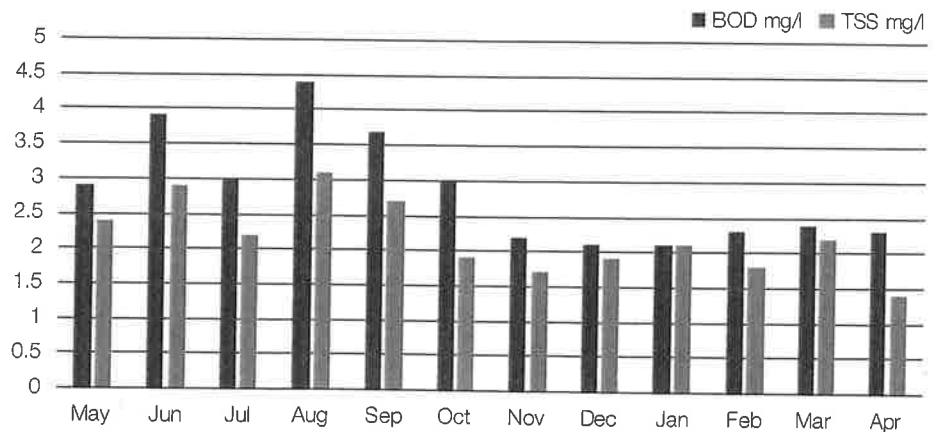


Exhibit 4
Effluent BOD and TSS Concentrations



Repairs

In 2017, the WRC experienced necessary repairs on the following:

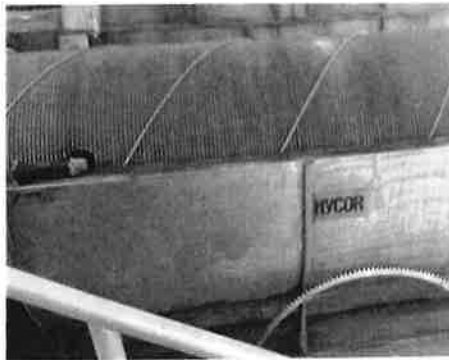
- Repaired the grit tank inductor.
- Rehabilitation of two Hycor units.
- Replaced the primary screw pump VFD and rebuilt the motor and gearbox.
- Repaired the aeration basin headers for diffusers.
- Excavated and installed a valve vault.
- Replaced worn sand filter drive sprockets, and fabricated slide gates.
- Replaced clarifier wiers and baffles.



Repairing grit tank inductor.



Rehabilitation of the Hycor units.

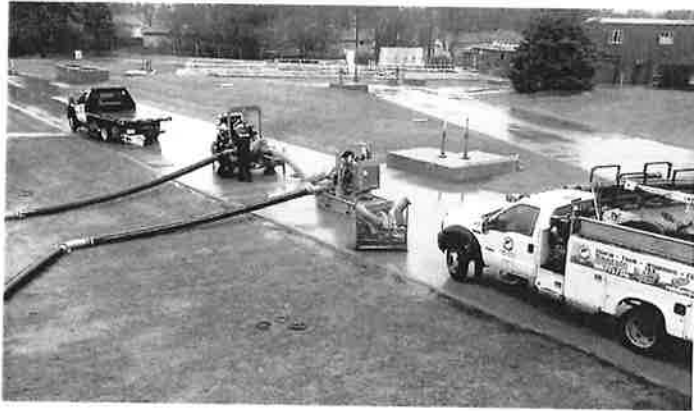


Aeration basin headers for diffusers.

Wastewater Treatment Facility



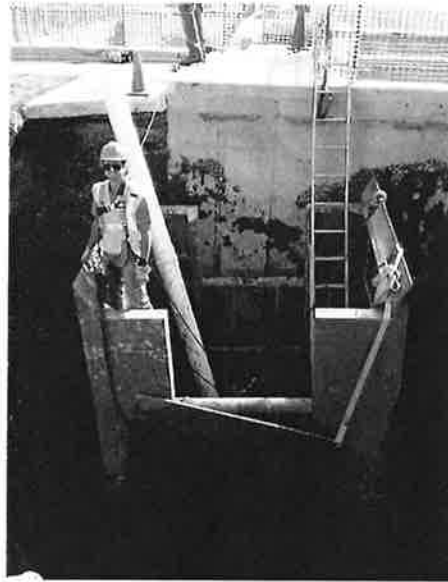
Primary screw pump repairs, coupling, motor, and gearbox replacement.



Emergency bypass pumping standing by during primary screw pump repairs during rain event.



Wastewater Treatment Facility

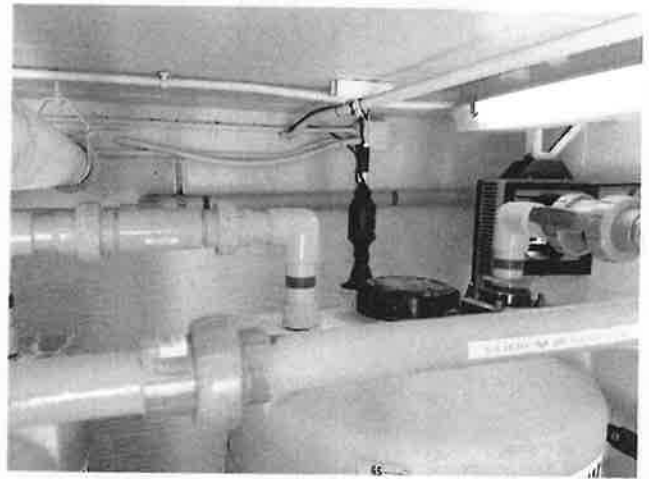


Valve vault installation at influent drain valve.

WRC Improvements

In 2017, we also completed projects to improve the WRC's appearance. Projects included:

- Installed level sensors for the sodium hypochlorite and sodium bisulfite chemical tanks.
- Replaced flooring and painted cabinets in the laboratory.
- Acquired new signage.
- Removed dead trees onsite.
- Painted the blower building.
- Installed new LED lighting on the exterior of buildings.
- Decommisioned electrical cabinets and obsolete equipment.
- Removed one Spencer blower.

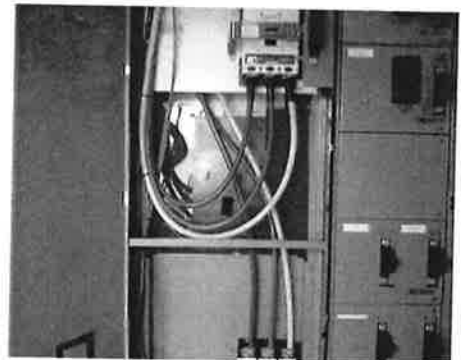
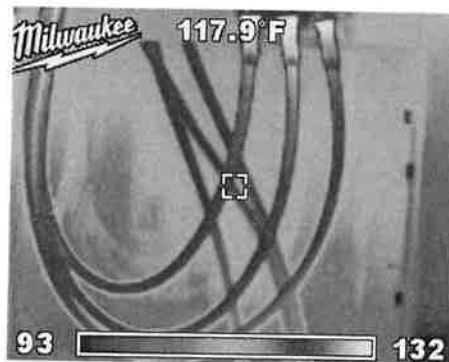


Level sensors installed on sodium hypochlorite and sodium bisulfite chemical tanks.

Wastewater Treatment Facility

Innovations and Technology

- Completed infrared imaging of all electrical panels.
- Implemented newly approved laboratory test methods for fecal coliform and ammonia nitrogen.
- Researched solar energy and electric utility vehicles.
- Worked with NRG Curtailment Solutions on energy cost savings.
- Fitted the generator with a catalytic converter.

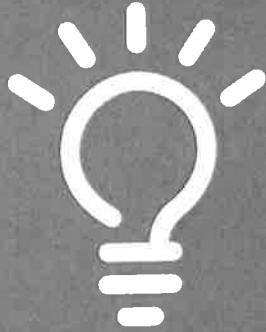


Completing infrared imaging on an electrical panel.

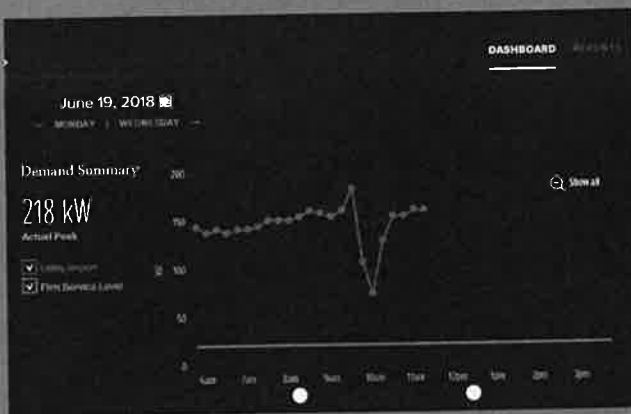
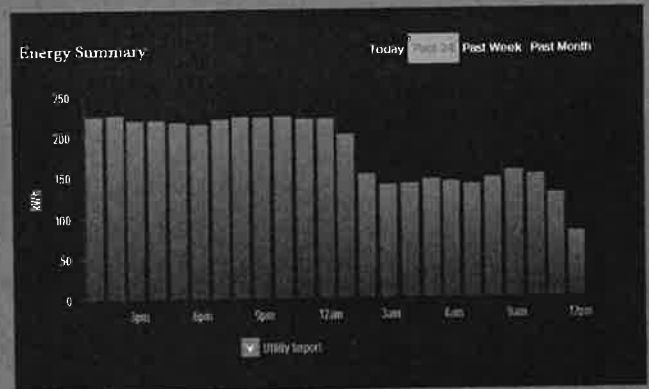
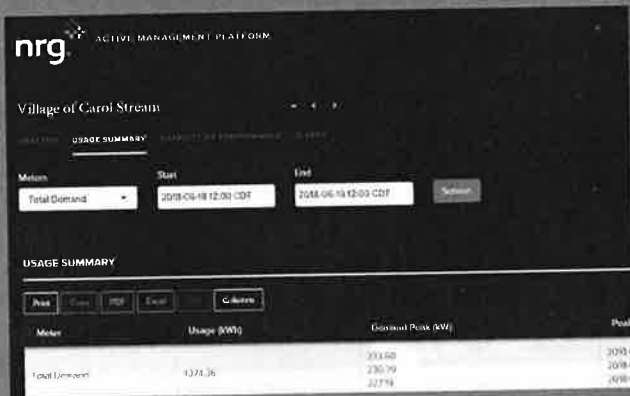


New laboratory test methods.

Catalytic converter and controls installed on generator.



The NRG energy demand curtailment program is a voluntary PJM Interconnection program. PJM is a regional transmission organization (RTO) that coordinates the movement of wholesale electricity in all or parts of multiple states including Illinois. The program compensates end-use customers for reducing their electricity use (load), when requested by PJM, during periods of high power prices or when the reliability of the grid is threatened. These customers receive payments from PJM members called Curtailment Service Providers.



NRG energy demand curtailment program dashboard information.

Wastewater Treatment Facility

Training

Jacobs places a high priority on safety and provides the necessary equipment and training to comply with federal and state regulations. This protects project personnel, the general public from injury, Jacobs, and the Village from liability.

Jacobs' formal training programs increase staff efficiency and levels of expertise. Our program uses individual training plans, correspondence courses, on-the-job training, and cross-training, which results in a more versatile staff capable of performing a variety of tasks. Accomplishments in 2017 include:

- Lock out/tag out training.
- Electrical training.
- Confined space training.
- CPR/AED/First Aid training.
- Increase in certification Wastewater Operator Class IV.
- Fork lift training.
- Welding/metals fabrication training.
- Ethics and quality training.
- Program of sustainability.
- Fall protection.
- Class in basics of motors and drives.
- Vibration analysis training.



The team participating in CPR/AED/First Aid training.





Dan displays the CSWEA 2018 Treatment Facility Operations Award.



Carol Stream received the George W. Burke, Jr. Facility Safety Award.

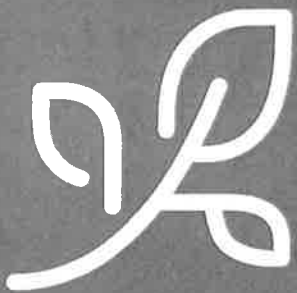


Certifications, Awards, and Accomplishments

Our hardworking team received the following certifications, awards, and accomplishments:

- **Eric Weberski** received his Class IV Wastewater Treatment Works Operator certificate from the Illinois Environmental Protection Agency (IEPA).
- **Dan Hughes** was recognized by the Central States Water Environment Association (CSWEA) with the 2018 Treatment Facility Operations Award. This is given to one operator per year, in recognition of outstanding performance of a wastewater treatment plant and demonstration of professionalism in the performance of their duties.
- The Illinois Water Environment Association (IWEA) presented Carol Stream with the 2018 George W. Burke, Jr Facility Safety Award in recognition of their excellence in an active and effective safety program and safety record.
- **Dan Hughes** has been active in the DuPage River Salt Creek Workgroup (DRSCW). He continues to work with multiple entities to meet the goals of the permit with technology for phosphorus and copper control. In addition to being recognized with the CSWEA 2018 Treatment Facility Operations Award, he was elected Secretary of the Illinois Association of Water Pollution Control Operators (IAWPCO).
- **Susan Ruta** began her fourth year serving the FVOA as Executive Officer. She attended several seminars in various topics on wastewater. She performed a survey of all dental offices as required by the U.S. EPA for amalgam separation and mercury discharge. With Dan Hughes, she worked on the submission of permit modification requests with supporting laboratory data to lower the restrictions of the discharge permit, as well as help develop a copper optimization discharge plan.
- **Andy Warmus** holds both Class I Wastewater and Class A Water licenses. He attended several seminars covering maintenance and reliability, and a training course in Basics of Motors and Drives. He is active in several water and wastewater organizations, namely FVOA, IAWPCO, IWEA, and CSWEA. He also became certified in confined space and arc flash safety.
- **Andy Liebmann** attended a training course in Vibration Analysis and became recognized as a Level 1 for performing work in this field of operation. He worked on thermographic imaging of all electrical assets for the WRC. He became certified in arc flash safety, and is a Certified Maintenance Reliability Technician.
- **Eric Weberski** attended a training course in Basics of Motors and Drives and arc flash safety. He became a certified Wastewater Operator Class IV, is active in the FVOA, and is the group's leader on safety training.
- **William King** is active in the FVOA and works as the group's lead on sustainability and community involvement. He attended arc flash safety training. He initiated contact with ComEd to begin an energy assessment to reduce costs of operating the WRC.

NPDES Permit



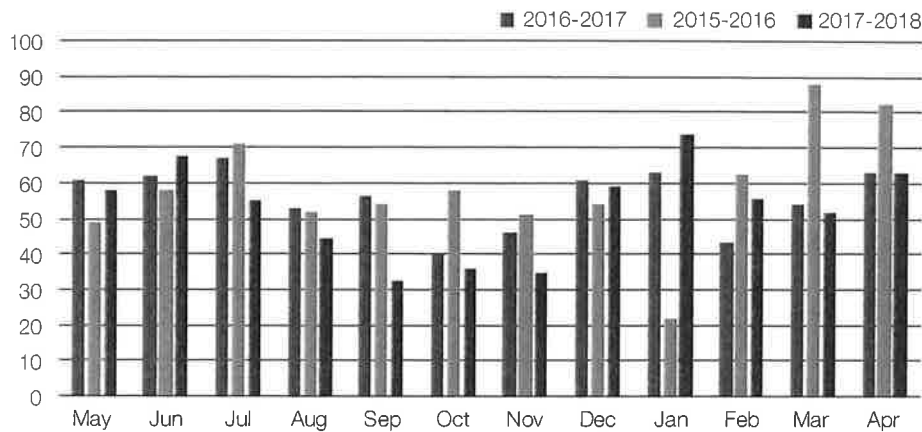
An IEPA Compliance Evaluation Inspection conducted at the Carol Stream WRC NPDES Permit No. II 0026352 by Maureen Brehmer from the IEPA reported no findings.

All records were maintained as required by the NPDES permit and in good operating condition. A Copper Discharge Optimization Plan has been developed and updates have been submitted to the state. Collection of data and development of a Dichlorobromomethane (volatile organic compound) study continues to be performed on the discharge. Monitoring for phosphorus and copper discharges continue. Because of the history of compliance, a permit modification request has been approved which lowers testing frequencies for most parameters from three days per week to two days per week. This will result in significant cost-savings for laboratory testing.

Solids Handling

We operate our biosolids treatment processes to reduce volume, facilitate handling and transport, destroy pathogens, and control odor. Exhibit 5 represents the amount of biosolids in dry tons that were removed and pressed from the system; the solids were then hauled to the landfill for disposal. Through plant optimization, a drier sludge is being produced thereby reducing the amount of annual dry solids being transported and saving costs.

Exhibit 5
Biosolids Removed from the Past Three Years



Laboratory

Measuring the environmental impact of treated wastewater to the receiving waters is our main laboratory objective. All sampling we conduct for state and federal permit requirements are performed in-house or sent to a state-certified laboratory for analysis. Our in-house laboratory services perform process control analysis of the activated sludge process and are an integral part of our overall operation of the wastewater treatment system. Our goal is to provide regulatory agencies with reliable, accurate, and up-to-date information to enhance their ability to serve our clients and protect the environment. In 2017, there were more than 2,000 samples taken and tested for compliance with the daily limits of the NPDES permit. Additionally, semi-annual metals samples for effluent, influent, and sludge were collected and tested, as well as priority pollutants. All permitted industries were tested for their individual permits as required by industrial pretreatment regulations.

Required parameters in the permit include:

- Flow
- BOD5
- CBOD5
- TSS
- Ammonia-nitrogen
- Dissolved oxygen
- Total phosphorus
- Total nitrogen
- Nitrates and nitrites
- Copper
- Zinc
- pH
- Temperature
- Fecal coliform
- Total chlorine residual
- Chloride
- Dissolved phosphorus
- Total Kjeldahl nitrogen
- Suspended solids
- Alkalinity

Statistical analysis for each parameter is analyzed and graphed, showing upper and lower control limits. Operations personnel are responsible for entering daily laboratory data into a computerized operational database. The data is transferred into a computerized NPDES form for reporting to the IEPA. Being intimately familiar with daily analytical data, the laboratory is the first line of defense in identifying potential problems associated with permit compliance.



The Carol Stream laboratory is a part of our internal quality control program. We pride ourselves in the quality control measures we take to validate and corroborate our analytical data.

The following list reflects routine minimum standards for Jacobs laboratories:

- Adherence to Jacobs' comprehensive quality assurance/quality control (QA/QC) program for all permit-required analyses, including, but not limited to, precision and accuracy results and corresponding control charts.
- Chain of custody documentation for all samples entering or leaving the facility (internal or external), which are kept in Jacobs bound and numbered books.
- A Chemical Hygiene Plan, including Safety Data Sheets (SDS) for all chemicals and reagents, emergency response, training sign-off sheets, and any site-specific requirements.
- Segregation of existing chemical stock according to chemical compatibility; all chemicals and reagents exceeding the expiration date are discarded according to state and local guidelines.
- Standard operating procedures for all chemical and physical analyses.
- A comprehensive computerized preventive maintenance (PM) program for all laboratory equipment.



Microscopic observation of a sample from the aeration basins.

Maintenance

Cost control through effective PM and corrective maintenance (CM) program is a hallmark of our success. Our ability to provide effective maintenance management is well known and is confirmed by viewing equipment records.

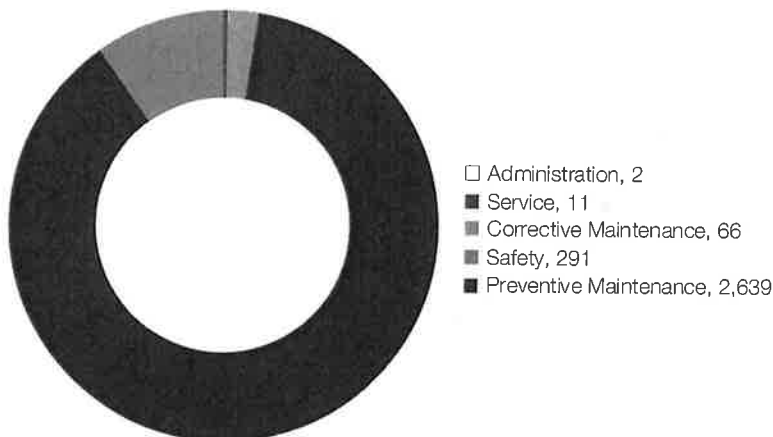
Jacobs' approach to maintenance involves three functions: PM, repair (scheduled and unscheduled), and predictive maintenance (PdM). We have found that by concentrating on PM and PdM, best practice, and reliability centered maintenance activities, we can control costs because warranties are protected.

The Carol Stream maintenance team utilizes Maintenance Connection®, an enterprise asset-management program. The program allows us to better meet the needs of the project and to facilitate efforts to support additional asset-management functions. The Carol Stream maintenance program consists of audits and analyses of equipment condition, warranty status, and repair records. The information gathered from our analysis is used to populate Maintenance Connection® and establishes baselines for ongoing maintenance activities and inventory control. The computerized maintenance management system (CMMS) serves as the pivotal tool for guiding and tracking all onsite CM, PM, general, and emergency maintenance activities.

From May 2017 through April 2018, we completed 3,005 total work orders, 2,639 PM tasks, and 66 corrective repairs at the Carol Stream WRC. A breakdown of maintenance work orders is shown in Exhibit 6.

Several PdM activities performed by the operations staff included using infrared detectors, vibration analyzers, temperature probes, and power/amperage meters. This data is tracked to aid the prediction of possible equipment problems. By taking a proactive maintenance approach, we can prevent breakdowns or the loss of major components. For example, infrared scanners allow us to detect hot spots in electrical equipment that can result from frayed wiring, loose connections, corroded connections, or failing parts. Detecting and repairing these problems, usually at a slight cost, can prevent the total failure of an expensive electrical device. In the past we have shared this equipment with Public Works for use in water pump stations and sewer lift stations. Vibration analyzers allow us to detect and record vibration histories for high speed pumps and motors.

Exhibit 6
Maintenance Work Order Activity Summary 2017-2018



A CMMS is an integral part of the Carol Stream facility. It keeps the staff fully informed of the facility's maintenance and repair status, and ensures that proper maintenance is being performed to protect the Village's capital investment. Presented below is a brief description of our capabilities using the computerized operations and maintenance program (COMPs). Part of COMPs is the PM and CM management system. The program includes the following main areas of information handling, which are necessary for effective maintenance management:

- **Equipment and facility item information.** This includes location, manufacturer, model and serial numbers, replacement cost, startup data, meter readings, supplier information, nameplate data, recommended spare parts, and notes.

- **Documentation of PM procedures.** This module includes estimated time to perform work; craft or job skill required; budget identification for the work; associate assigned to perform the work; tools, materials, and spare parts

needed; and instructions for proper and safe repair procedures.

- **PM scheduling.** This program allows the user to assign appropriate intervals for PM of each piece of equipment according to the manufacturer's standards. The program lists all work to be performed, identifies the due date, and continues to note the PM work until it has been completed. The program also automatically calculates costs based on the labor and materials estimated for the procedures.

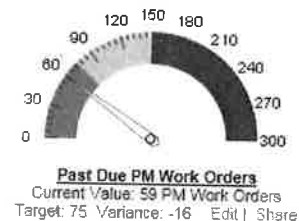
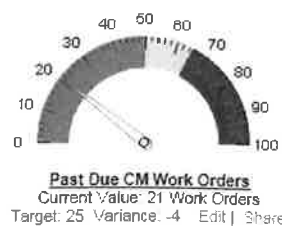
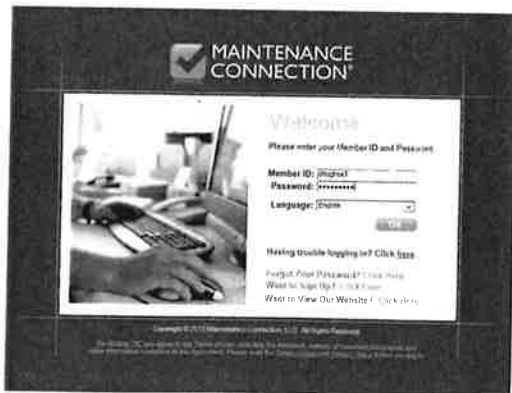
- **CM tracking.** This furnishes the user with a method for tracking performance and cost of CM. Work orders are used in conjunction with this program.

- **Staffing information.** Employee information regarding name, craft, pay rate, and shift schedules are stored in this program, allowing effective scheduling for PM tasks.

Maintenance Connection® has a very powerful customizable reporting capability, including reports that examine and track all costs associated with maintenance activities, making it easy for us to identify our savings. Each report includes equipment identification and descriptive report:

- Equipment task report.
- CM work order history and summary report.
- Equipment data report.
- PM procedures report.
- Tools report.
- Employee report.
- CM work order status report.
- CM performance report.

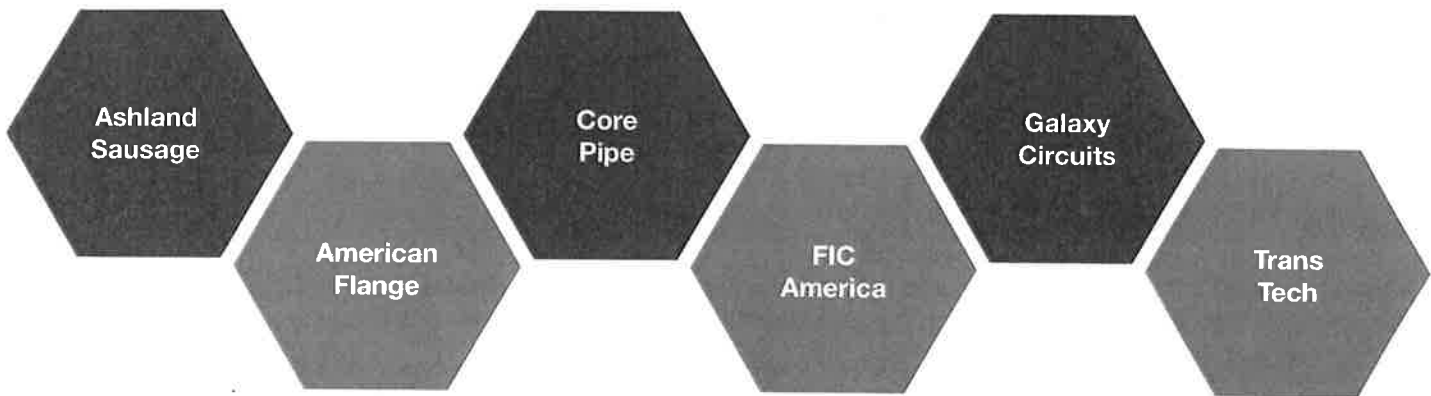
All reports can be reviewed on screen or printed, and each can be manipulated to suit the user's needs. These reports can be printed quickly and easily if a question arises concerning a particular piece of equipment or the program in general.



Industrial Pretreatment Program

The Village of Carol Stream's IPP currently is comprised of five categorical industrial users (CIU) and one industrial user. Exhibit 7 is a summary of the IPP.

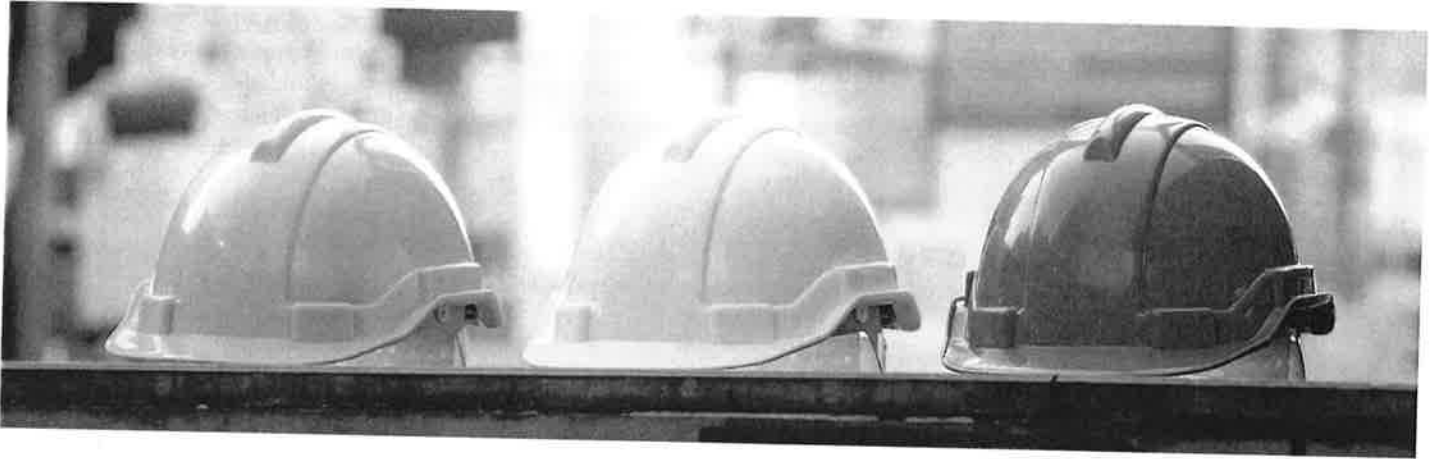
Exhibit 7
IPP Customers



IPP activities in 2017 include:

- Performed semi-annual metals and priority pollutant testing on effluent, influent, and sludge from the publicly owned treatment works (POTW).
- Performed annual inspections and sampling for the permitted SIUs.
- Updated industrial fact sheets for each permitted industry.
- Prepared new permits for each permitted industry for updated requirements.
- Participated in sponsoring a summer concert series at Carol Stream which included an informative session with citizens regarding wastewater and sustainability.
- Conducted tours for elementary, middle, and high school, and college classes demonstrating wastewater treatment and information on wastewater and water quality.
- Hosted an open house, including information for visitors regarding wastewater and sustainability.
- Participation in the Salt Creek Watershed Study Group.
- Submitted quarterly surcharge billing calculations for BOD; TSS; and fats, oils, and grease (FOG).
- Continued to work with local industries on phosphorus alternatives.
- Continued to sample for copper sources in the collection system.
- Devoted a total of 906 work hours and \$42,543.19 managing the pretreatment program.
- Updated the industrial survey of all businesses in Carol Stream and a survey of all dental offices was completed.
- Submitted the results from local limits sampling and updated sewer use and pretreatment ordinance to U.S. EPA for approval.

Safety



Jacobs places a high priority on safety and provides the necessary equipment and training to comply with federal and state regulations, which protects project personnel and the general public from injury, and Jacobs and the Village from liability.

During 2017, employees at the Carol Stream project implemented the following improvements as part of our safety action plan:

- Updated the facilities site-specific safety plan.
- Expanded and updated the emergency response plan.
- Experienced no Occupational Safety and Health Administration (OSHA) recordable incidents.
- Conducted weekly staff safety meetings and quarterly site inspections to ensure all OSHA regulations are followed.

To remain accident free from known safety hazards, our team also participated in the following:

- Corrected all safety review findings by the end of the contract year.
- Held at least 40 tailgate sessions, totaling 10 hours of safety training for each employee.
- Identified unsafe conditions with monthly inspections by the safety team, and made all project employees aware of unsafe conditions during safety training sessions.
- Completed/reviewed 20 job safety analyses.
- Maintained 100-percent permit compliance.
- Increased state operator certifications.
- Received a minimum of 12 hours of technical training per employee.
- Achieved IEPA compliance.



Community Involvement

Our goal is to continue our growth in the Village of Carol Stream as a civic-minded organization, sensitive to the needs of our community. Our concept is to support local projects and embrace the community as it has so graciously embraced us.

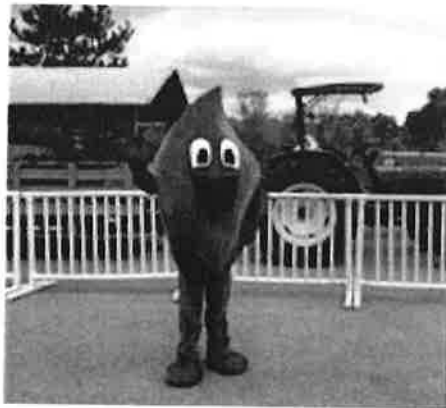
The following list shares several ways our employees have supported organizations, schools, and local groups with environmental efforts and community involvement programs during 2017:

- Participated in the Annual Pond and Stream Sweep Cleanup initiative for Klein Creek.
- Conducted educational tours for several area schools and community groups.
- Participated and sponsored the Carol Stream 2017 Summer Concert Series.
- Participated in Adopt-a-Highway (Birchbark Trail) and have adopted the bicycle path on the northeast side of the WRC.
- Susan Ruta, laboratory supervisor, is executive director of FVOA.
- Participated in the Christmas sharing program, Earth Day, and Prairie Meadow ribbon-cutting ceremony.
- Held the annual Open House in October for residents with guided plant tours, hay rides, touch-a-truck, exhibits from the Conservation Foundation and the Carol Stream Public Library, and free pumpkins for children.
- Hosted electronics and pumpkin recycling.



Prairie Meadow dedication.





Annual Village of Carol Stream WRC Open House in October.

Community Involvement



Glenbard North High School students on Earth Day performing stream sampling and testing, picking up along Klein Creek and the Prairie Meadow, as well as helping put fresh wood chips on the walking path in the meadow.



Students learn about the WRC.

Community Involvement



Christmas sharing program.



Electronics and pumpkin recycling.



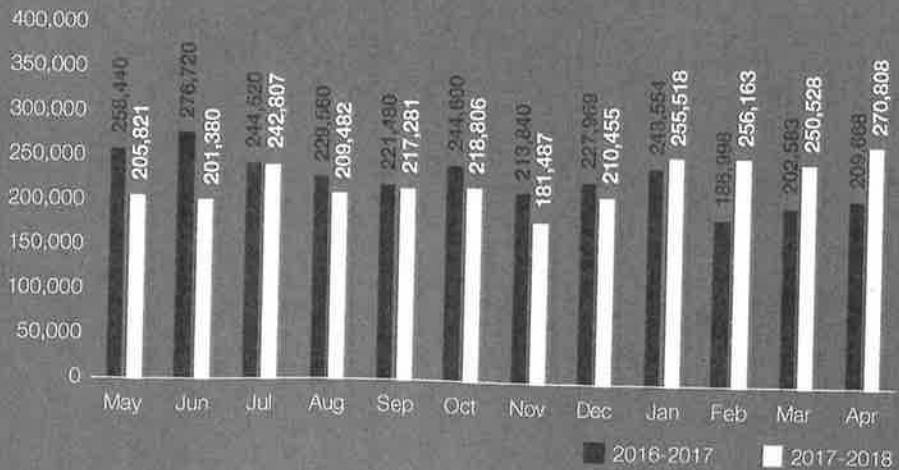
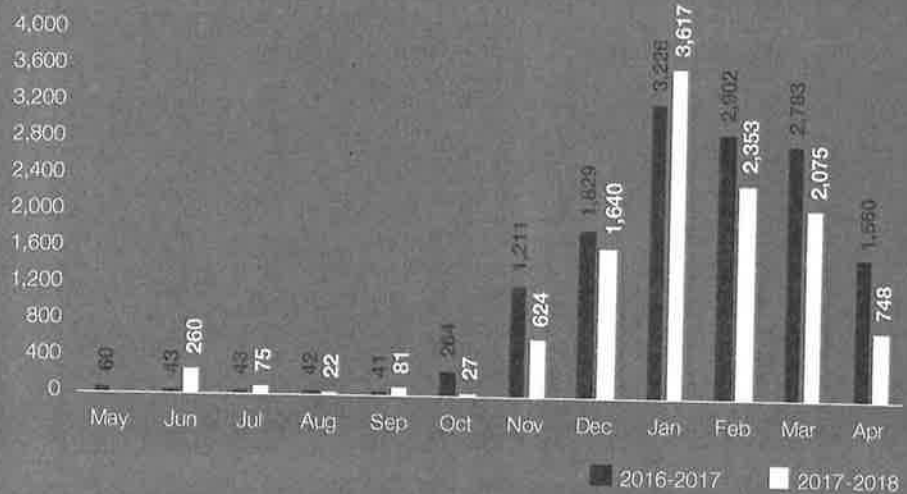
Sustainability



At Jacobs, we are committed to developing sustainable business practices. We pledge to develop strategies that enable us to move toward sustainability while enhancing the value to the citizens of Carol Stream. Exhibit 8 highlights our efforts to reduce natural gas and electrical consumption from 2016-2017 to 2017-2018.

We pledge to develop strategies that enable us to move toward sustainability while enhancing the value to the citizens of Carol Stream.

Exhibit 8
Natural Gas and Electrical Consumption Comparisons



Financial Review

This section is an overview of the wastewater treatment system and a summary of rebateable expenditures. We are committed to continuing the same degree of cost containment achieved in 2017-2018 going forward.

The total budgeted amount for labor and benefits during 2017-2018 was \$670,037; actual expenditures were \$609,657.20.

The total budgeted amount for repairs during 2017-2018 was \$60,000; actual expenditures were \$65,418.34.

The total budgeted amount for utilities during 2017-2018 was \$243,198; actual expenditures were \$213,152.62.

The total budgeted amount for biosolids processing and disposal during 2017-2018 was \$160,940; actual expenditures were \$139,485.16.

Jacobs understands the importance of cost containment.

Exhibit 9 differentiates our actual expenditures in repairs, utilities, solids disposal, and labor costs.

Jacobs employees at the Carol Stream project actively participated in the establishment of goals for our 2017-2018 Annual Project Business Plan. Our mission is focused on exceeding the Village's expectations, providing a safe working atmosphere for our employees, and preservation of the environment.

Exhibit 10 lists specific areas of CIPs for 2017-2018.

Jacobs is pleased to have performed our operations under budget, thus **saving the Village of Carol Stream \$50,521.67** in the aggregate of repairs, electrical, and solids disposal costs.

Exhibit 9
2017-2018 Financial Overview

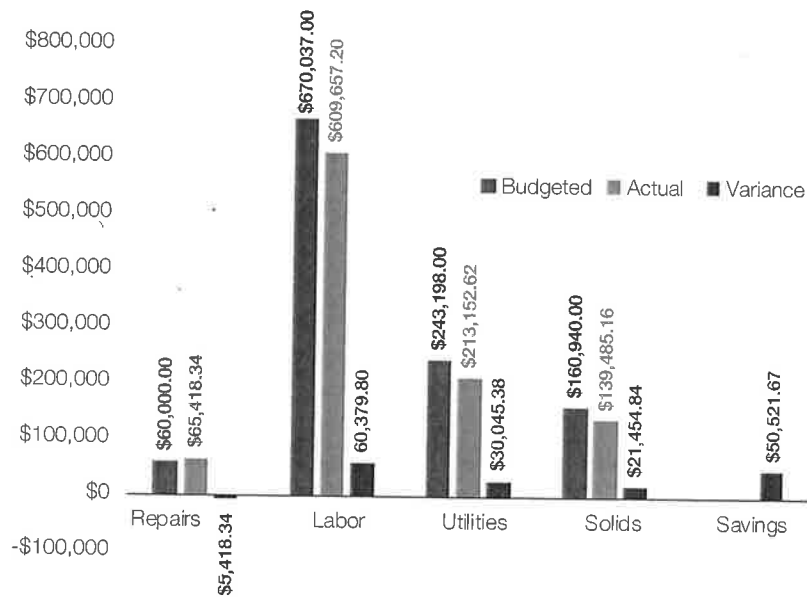


Exhibit 10
Capital Improvement Projects May 2017-April 2018

Process Area	Work Description	Project Total
Valve Vault	Excavate and install valve vault.	\$16,750.00
Screenings	Hycor units 1, 2, 3 replace drive sprockets.	\$44,351.00
Laboratory	Replace laboratory flooring.	\$3,000.00
Chemical Rooms	SBS, Hypo level sensors.	\$2,864.68
Headworks	VFD installation, primary screw pump motor repair and replacement, gear box rebuild, Rain-for-Rent.	\$53,450.59
		\$124,031.27

Summary

In summary, contract year 2017-2018 brought about many challenges for the Carol Stream team, we are excited about tough challenges and solving them in creative and innovative manner. We are also proud of the following accomplishments:

- We take pride in our outstanding track record with safety, known as one of the Jacobs model facilities.
- Working closely with the Village on monitoring the IPP, and exceeding our customers' expectations.
- Proud of our proactive approach to PM and CM.
- Working closely with the Village and consulting engineers on obtaining our new NPDES permit.
- Focusing on improving WRC appearance to protect the environment and provide natural areas.
- Continuing with being a leader in innovation and technology.
- Providing exceptional advanced wastewater treatment.
- Continuing our team efforts with the Village on capital planning and O&M related issues affecting the wastewater treatment facility.



Finished treated effluent into Klein Creek.

We fully understand the importance of the WRC as related to the future growth and development of the Village. We are excited about the challenges we tackle and inspired by the opportunities we see.



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Chicago, Illinois 60606-2903
T 312 984 6400 F 312 984 6444 T 708 349

DD: 312-984-6427
jarhodes@ktjlaw.com

AGENDA ITEM
H-2 8/6/18

MEMORANDUM

**TO: Mayor and Board of Trustees
Joseph E. Breinig, Village Manager**

FROM: James A. Rhodes, Village Attorney

DATE: August 2, 2018

**RE: Redemption of \$12,830,000 Village of Carol Stream, Illinois
MultiFamily Housing Revenue Refunding Bonds (St. Charles
Square Project), Series 1997**

In 1997, the Village of Carol Stream issued \$12,830,000 in MultiFamily Housing Revenue Refunding Bonds, the proceeds of which were used to fund a loan to St. Charles Square Limited Partnership (the Borrower), to provide financing for a multifamily residential project, a portion of which was for rental to persons of low and moderate income. These Bonds were issued pursuant to the Illinois Industrial Project Revenue Bond Act, 65 ILCS 5/11-74-1 et seq. In order to issue the Bonds, the corporate authorities adopted a Bond Ordinance that authorized the execution of the documents necessary to complete the financing and issuance of the Bonds (the Bond Documents). Under the terms of the Bond Documents, the term of the loan was until 2027. However, under the Bond Documents the Borrower was allowed to prepay the loan and redeem the Bonds on any Interest Payment Date (defined in the Bond Documents as the 15th of each month).

The Bond Documents provide that upon direction of the Borrower, the Village is required to issue a formal request to redeem the Bonds. St. Charles Square Limited Partnership desires to redeem the Bonds on September 15, 2018 and has provided its direction to the Village to issue such request.

In addition, as part of the Bond transaction, the Borrower entered into a Land Use Restriction Agreement which required that twenty (20%) per cent of the units in the project be occupied by persons of low and moderate income and that the units be available for rental to the general public without restrictions. The Land Use Restriction Agreement was recorded with the DuPage County Recorder of Deeds. The Land Use Restriction Agreement will terminate upon the redemption of the Bonds however, in order to ensure that this Agreement does not have any future effect upon the title to the project after the loan is paid off, the Parties to the Bond must execute a termination

agreement acknowledging that the Land Use Restriction Agreement will terminate with the redemption of the Bonds on September 15, 2018.

The President and Board of Trustees is therefore requested to approve the Request of Issuer to Redeem Bonds on September 15, 2018 and the Termination Agreement of Land Use Restriction Agreement in a form substantially similar to the documents attached hereto and to authorize the Village Manager to execute such documents on behalf of the Village.

I recommend the President and Board of Trustees approve the attached documents. Should the members of the Board have any questions, please feel free to contact me.

REQUEST OF ISSUER TO REDEEM BONDS ON SEPTEMBER 15, 2018

\$12,830,000

Village of Carol Stream, Illinois
Multifamily Housing Revenue Refunding Bonds
(St. Charles Square Project) Series 1997

August 7, 2018

Jonathan W. Glover, Vice President
U.S. Bank National Association
190 S. LaSalle
Chicago, IL 60603

This letter is being sent to you with reference to the above-captioned bonds (the “Bonds”) and the related Trust Indenture, dated as of March 1, 1997 (the “Indenture”), by and between the Village of Carol Stream, Illinois (“Issuer”), and U.S. Bank National Association (successor to First Trust National Association), as trustee (the “Trustee”). Capitalized terms used but not defined herein shall have the meanings assigned to such terms in the Indenture.

The Issuer has been notified that St. Charles Square Limited Partnership (“Borrower”) intends to prepay the Mortgage Loan on the date hereof by making an irrevocable deposit with the Trustee of sufficient Available Moneys to pay in full all principal of the Bonds and interest to accrue thereon up to an September 15, 2018 redemption date (the “Defeasance Deposit”), all pursuant to Section 502 of the Indenture. Borrower will further deliver to the Trustee on the date hereof irrevocable instructions to use the Defeasance Deposit to redeem the Bonds on such redemption date.

Section 214(a) of the Indenture provides that the Bonds shall be subject to redemption in whole upon the request of the Issuer, at the direction of the Borrower but only with prior written notice to the Servicer and the prior written consent of the Credit Facility Provider. At the direction of Borrower, upon prior notice to the Servicer and with the consent of the Credit Facility Provider (copies of such direction, notice and consent are attached hereto), Issuer hereby requests Trustee to do the following upon receipt of the Defeasance Deposit and irrevocable instructions from Borrower (and upon satisfaction of the other applicable requirements of Section 502 of the Indenture):

(i) immediately provide the notice of redemption to the Bondholders as required by Section 502 of the Indenture; and

(ii) redeem the Bonds in whole on September 15, 2018 in accordance with Sections 214(a) and 502 of the Indenture.

VILLAGE OF CAROL STREAM, ILLINOIS

By: _____

Prepared by:

After Recording Return to:

[Above space for Recorder's Office]

**TERMINATION AGREEMENT
OF
LAND USE RESTRICTION AGREEMENT**

THIS TERMINATION (“Termination Agreement”) OF LAND USE RESTRICTION AGREEMENT, (the “**Agreement**”) is entered into as of September 15, 2018 by and among the Village of Carol Stream (the “**Issuer**”), a municipal corporation and home rule unit of government under the Constitution and laws of the State of Illinois, First Trust National Association, as Trustee (the “**Trustee**”) under a Trust Indenture, dated as of March 1, 1997 (the “**Indenture**”), St. Charles Square Limited Partnership, a limited partnership organized and existing under the laws of the State of Illinois (the “**Borrower**”) and American National Bank and Trust Company of Chicago, not personally but as Trustee under Trust Agreement dated February 6, 1989 and known as Trust No. 107559-08 (the “**Land Trust**”).

WITNESSETH

WHEREAS, the Issuer issued its Multifamily Housing Revenue Refunding Bonds (St. Charles Square Project), Series 1997 (the “**Bonds**”), for the purpose of loaning the proceeds of the Bonds to the Borrower (the “**Mortgage Loan**”) pursuant to a Financing Agreement dated as of March 1, 1997 (the “**Financing Agreement**”) among the Issuer, the Trustee and the Borrower, to refund the Issuer's original aggregate principal amount \$12,850,000 Multifamily Housing Revenue Bonds, Series 1993 (St. Charles Square Project) (the “**Prior Bonds**”) of which the proceeds were used to finance the acquisition, rehabilitation and equipping of a 350-unit multifamily rental housing project on the real property described in Exhibit A attached hereto (the “**Project**”) in the Village of Carol Stream, Illinois; and

WHEREAS, the parties executed the Agreement in connection with the issuance of the

Bonds which were recorded on March 20, 1997 as Document R97-03 8424 in DuPage County, Illinois; and

WHEREAS, pursuant to Section 1(d) of the Agreement, the Agreement terminates upon the upon the termination of the Occupancy Restrictions and the Rental Restrictions, as provided in Section 1(a) and (b) of the Agreement; and

WHEREAS, the Occupancy Restrictions terminate on the latest of (i) the date which is fifteen (15) years after the date on which the Bonds are issued; (ii) the first date on which no tax-exempt Bond (including any refunding bond) issued with respect to the Project is outstanding; or (iii) the date on which any housing assistance provided with respect to the Project under Section 8 of the United States Housing Act of 1937, as amended, terminates (which period is hereinafter referred to as the "Qualified Project Period"); and

WHEREAS, the Bonds were issued more than fifteen (15) years prior to the date hereof, the Mortgage Loan is being paid off contemporaneously herewith by Borrower and the Bonds shall be redeemed; and

WHEREAS, Borrower has issued a certification that there is no housing assistance provided under Section 1 (a) (iii) of Land Use Restriction Agreement recorded on March 20, 1997 as Document No. R97-038424, and no Qualified Project Period exists as of the date hereof.

NOW, THEREFORE, the Borrower, the Land Trust, the Issuer, and the Trustee confirm and agree that the Agreement shall be terminated as of the date of redemption of the Bonds which is September 15, 2018.

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, the parties hereto have caused this Termination Agreement to be signed and sealed by their respective, duly authorized representatives, as of the day and year first above written.

[SEAL]

ATTEST:

By: _____
Village Clerk

**VILLAGE OF CAROL STREAM,
ILLINOIS**

By: _____
Village President

[SEAL]

ATTEST:

By: _____
Its: _____

**FIRST TRUST NATIONAL
ASSOCIATION, as Trustee**

By: _____
Its: _____

**AMERICAN NATIONAL BANK AND
TRUST COMPANY OF CHICAGO, not
personally but as Trustee under Trust
Agreement dated February 6, 1989 and known
as Trust No. 107559-08**

By: _____
Its: _____

**ST. CHARLES SQUARE LIMITED
PARTNERSHIP, an Illinois limited
partnership**

By: LG Greenview Corporation

By: _____
Kenneth Gliedman
Its: Vice President

EXHIBIT A

Property Description

LOT 1 OF VAVRUS' SUBDIVISION OF PART OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MARCH 4, 1969 AS DOCUMENT R69-9000, IN DUPAGE COUNTY, ILLINOIS.

Common Address: 603-643 Gunderson Drive, Carol Stream, Illinois 60188

PIN: 05-04-401-006 and 05-04-401-007

STATE OF ILLINOIS)
) SS:
COUNTY OF DUPAGE)

BEFORE ME, the undersigned authority, on this day personally appeared Joseph E. Breinig and Sherry Craig, Village Manager and Deputy Village Clerk, respectively, of the Village of Carol Stream, Illinois, known to me to be the persons whose names are subscribed to the foregoing instrument, and known to me to be the Village Manager and Deputy Village Clerk respectively, of said Village and acknowledged to me they executed the same for the purposes and consideration therein expressed and in the capacity therein stated, as the act and deed of said Village.

GIVEN UNDER MY HAND and seal of office, this the _____ day of August, 2018.

Notary Public in and for the State of Illinois

[SEAL]

My commission expires on:

STATE OF ILLINOIS)
) SS:
COUNTY OF COOK)

BEFORE ME, the undersigned authority, on this day personally appeared _____ and _____, to me personally known, who being by me duly sworn and say that they are the _____ and _____, respectively, of First Trust National Association, and acknowledged to me that they executed the same for the purposes and consideration therein expressed and in the capacity therein stated, as the act and deed of said bank.

GIVEN UNDER MY HAND and seal of office, this the ____ day of August, 2018.

Notary Public in and for the State of Illinois

[SEAL]

My commission expires on:

STATE OF ILLINOIS)
) SS:
COUNTY OF COOK)

BEFORE ME, the undersigned authority, on this day personally appeared _____, to me personally known, who being by me duly sworn and say that he/she is the _____ of American National Bank and Trust Company of Chicago, and acknowledged to me he/she executed the same for the purposes and consideration therein expressed and in the capacity therein stated, as the act and deed of said bank.

GIVEN UNDER MY HAND and seal of office, this the _____ day of August, 2018.

Notary Public in and for the State of Illinois

[SEAL]

My commission expires on:

STATE OF NEW YORK)
) SS:
COUNTY OF NEW YORK)

BEFORE ME, the undersigned authority, on this day personally appeared Kenneth Gliedman, to me personally known, who being by me duly sworn and say that he is the Vice President of LG Greenview Corporation, a general partner of St. Charles Square Limited Partnership, an Illinois limited partnership, known to me to be the person whose name is subscribed to the foregoing instrument, and known to me to be the general partner of said Partnership, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated, as the act and deed of said general partner and partnership.

GIVEN UNDER MY HAND and seal of office, this the _____ day of August, 2018.

Notary Public in and for the State of Illinois

[SEAL]

My commission expires on:

AN ORDINANCE APPROVING AN AMENDMENT TO A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT AND A FINAL PUD PLAN (LA FITNESS, 470 E. NORTH AVENUE)

WHEREAS, Robertino Presta with 520 E. North Avenue, LLC and on behalf of LA Fitness, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for an Amendment to Special Use Permit for a Planned Unit Development in accordance with Sections 16-9-3 (C)(1) and 16-9-2 (C)(1) of the Carol Stream Code of Ordinances; and Final PUD Approval for a 34,000 square foot fitness center in accordance with Section 16-16-4 of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 470 E. North Avenue, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on July 23, 2018, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Amendment to a Special Use Permit and Final PUD Plan be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Amendment to a Special Use Permit and Final PUD Plan with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Amendment to a Special Use Permit for a Planned Unit Development and a Final PUD Plan and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *The proposed fitness center will provide another recreational locale for residents in the community.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The requested Special Use Amendment should not be detrimental to or endanger public health, safety, morals, comfort or general welfare.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The proposed fitness center should not be injurious to the use and enjoyment of other property in the immediate vicinity, nor substantially diminish or impair property values within the neighborhood.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *It is not believed that there should be an impact on the normal and orderly development and improvement of surrounding properties in the immediate vicinity with the approval of the proposed fitness center, which may also spur development of other outlots at the Carol Stream Marketplace.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are already in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The proposal is expected to conform to all applicable codes and requirements.*

SECTION 2:

The Amendment to a Special Use Permit and Final PUD Plan, as set forth in the above recitals, are hereby approved and granted to LA Fitness subject to the conditions set forth in Section 3, upon the real estate commonly known as 470 E. North Avenue, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN DUDA'S FIRST RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 2006, AS DOCUMENT R2006-128930, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

SECTION 3:

The approval of the Amendment to a Special Use Permit and Final PUD Plan granted in Section 1 herein are subject to the following conditions:

1. That all terms and conditions of Ordinance No. 2012-08-29 for the Carol Stream Marketplace not specifically revised herein shall be hereby reaffirmed by reference;
2. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
3. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with

dead or dying materials being replaced in accordance with the approved plan on an annual basis;

4. That if there is evidence in the future that there is insufficient on-site parking for LA Fitness, or there is a need for the installation of the fire lane on the west side of the property, said fire lane and landbanked parking denoted on the Preliminary PUD Site Plan shall be constructed by the property owner;
5. That a note shall be placed on the landscape plan that the existing small monument sign along the North Avenue property frontage shall be removed and landscaping shall be installed in its place to continue the required screening of the parking lot;
6. That the building elevations shall be revised to include additional masonry materials on all sides of the building, additional masonry details such as stone cornices and sills, and building recesses and projections on the west and south elevations;
7. That parking spaces must be striped in accordance with the Village's looped striping detail;
8. That parking lot lighting for the parking lot must comply with the Village Code requirements for foot-candle illumination, and match lighting in the rest of the center in terms of style;
9. That all trash dumpsters and recycling containers must be kept within a code compliant trash enclosure, and that the enclosure gates must be closed and latched at all times, except when trash containers are being accessed by employees or emptied by the trash collection service;
10. That rooftop mounted mechanical equipment must be screened from view in all directions from adjacent public streets and drive aisles;
11. That the applicant or owner must install additional landscape materials in the future, subject to the approval of the Community Development Director, to screen yet-unknown ground-mounted mechanical and utility equipment; and
12. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations.

SECTION 4:

The Amendment to the Special Use Permit and Final PUD Plan are hereby approved and granted as set forth in the following plans and exhibits:

1. PUD Site Plan (Exhibit A dated July 17, 2018) prepared by Spaceco Inc., 9575 W. Higgins Road, Suite 700, Rosemont, Illinois, 60018.
2. Preliminary Geometric Plan (Exhibit B dated July 17, 2018) prepared by Spaceco Inc., 9575 W. Higgins Road, Suite 700, Rosemont, Illinois, 60018.
3. Concept Elevations (Exhibit C dated July 30, 2018) prepared by 222 Architects, 222 S. Morgan Street, Suite 4B, Chicago, Illinois, 60607.
4. Landscape Plan (Exhibit D dated July 18, 2018), prepared by Ruff Landscaping.
5. Floor Plan (Exhibit E dated March 22, 2018), prepared by LA Fitness.
6. Color Rendering (Exhibit F dated July 31, 2018) prepared by 222 Architects, 222 S. Morgan Street, Suite 4B, Chicago, Illinois, 60607.

SECTION 5:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 6:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 6th DAY OF AUGUST, 2018.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

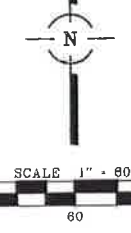
Laura Czarnecki, Village Clerk

I, Robertino Presta, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. 520 E. North Avenue LLC further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

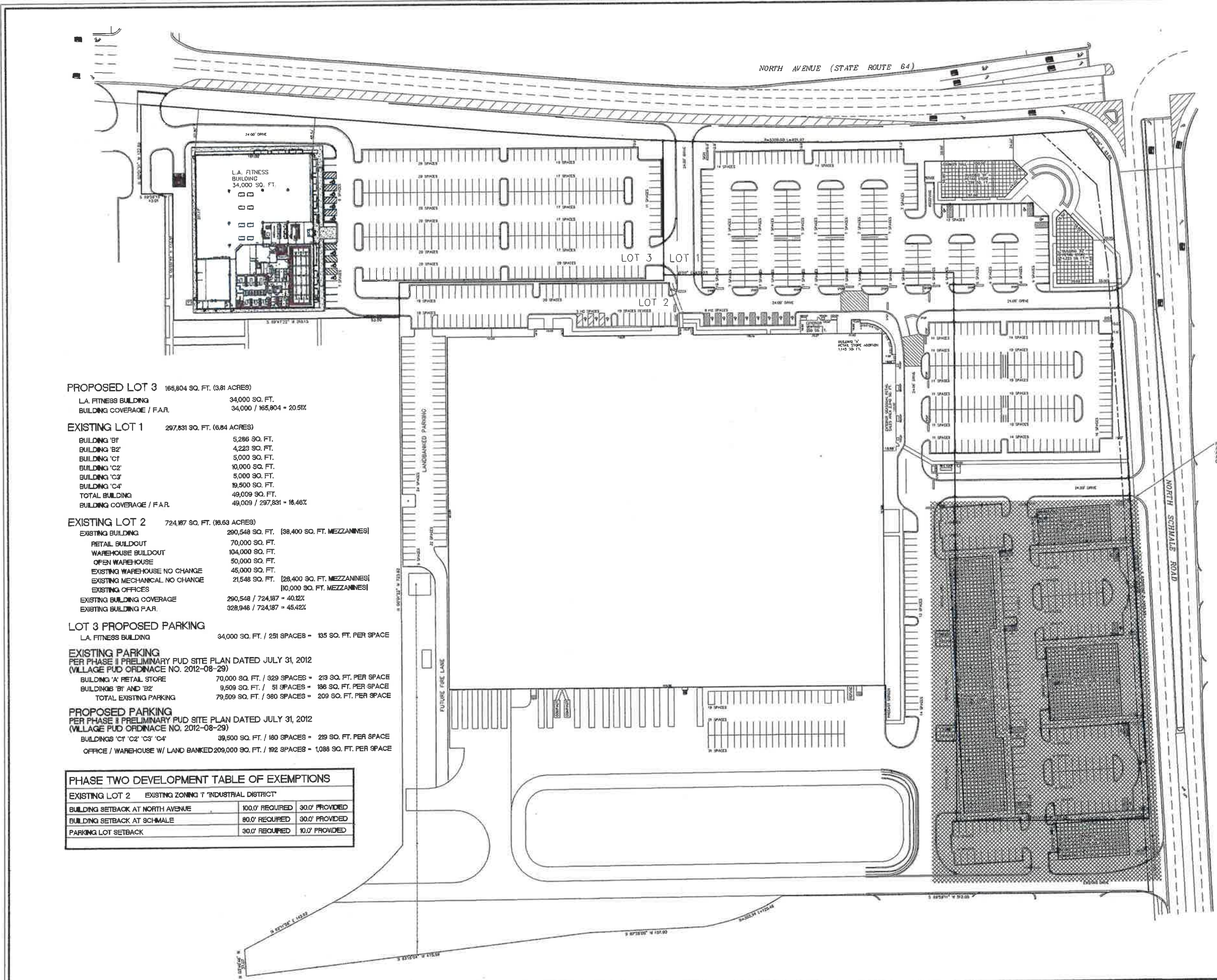
Date

Owner/Party In Interest

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 JUL 18 2018
 COMMUNITY DEVELOPMENT
 DEPT



FIELD EVIDENCE INDICATES THAT EXISTING EAST-WEST ACCESS DRIVE WAS CONSTRUCTED FURTHER TO THE SOUTH. ADJUSTMENT TO THIS AREA OF THE PUD PLAN SHALL BE APPROVED IN THE FUTURE AT TIME OF THE DEVELOPMENT OF THE SOUTH EASTERN OUTLOT(S).



PROPOSED LOT 3 165,804 SQ. FT. (3.81 ACRES)
 L.A. FITNESS BUILDING 34,000 SQ. FT.
 BUILDING COVERAGE / F.A.R. 34,000 / 165,804 = 20.51%

EXISTING LOT 1 297,831 SQ. FT. (6.84 ACRES)
 BUILDING 'B1' 5,286 SQ. FT.
 BUILDING 'B2' 4,223 SQ. FT.
 BUILDING 'C1' 5,000 SQ. FT.
 BUILDING 'C2' 10,000 SQ. FT.
 BUILDING 'C3' 5,000 SQ. FT.
 BUILDING 'C4' 19,500 SQ. FT.
 TOTAL BUILDING 49,009 SQ. FT.
 BUILDING COVERAGE / F.A.R. 49,009 / 297,831 = 16.46%

EXISTING LOT 2 724,187 SQ. FT. (16.63 ACRES)
 EXISTING BUILDING 290,548 SQ. FT. [38,400 SQ. FT. MEZZANINES]
 RETAIL BUILDOUT 70,000 SQ. FT.
 WAREHOUSE BUILDOUT 104,000 SQ. FT.
 OPEN WAREHOUSE 50,000 SQ. FT.
 EXISTING WAREHOUSE NO CHANGE 45,000 SQ. FT.
 EXISTING MECHANICAL NO CHANGE 21,548 SQ. FT. [28,400 SQ. FT. MEZZANINES]
 EXISTING OFFICES 110,000 SQ. FT. MEZZANINES
 EXISTING BUILDING COVERAGE 290,548 / 724,187 = 40.12%
 EXISTING BUILDING F.A.R. 328,948 / 724,187 = 45.42%

LOT 3 PROPOSED PARKING
 L.A. FITNESS BUILDING 34,000 SQ. FT. / 251 SPACES = 135 SQ. FT. PER SPACE

EXISTING PARKING
 PER PHASE II PRELIMINARY PUD SITE PLAN DATED JULY 31, 2012
 (VILLAGE PUD ORDINANCE NO. 2012-08-29)
 BUILDING 'A' RETAIL STORE 70,000 SQ. FT. / 329 SPACES = 213 SQ. FT. PER SPACE
 BUILDINGS 'B1' AND 'B2' 9,509 SQ. FT. / 51 SPACES = 186 SQ. FT. PER SPACE
 TOTAL EXISTING PARKING 79,509 SQ. FT. / 380 SPACES = 209 SQ. FT. PER SPACE

PROPOSED PARKING
 PER PHASE II PRELIMINARY PUD SITE PLAN DATED JULY 31, 2012
 (VILLAGE PUD ORDINANCE NO. 2012-08-29)
 BUILDINGS 'C1' 'C2' 'C3' 'C4' 39,500 SQ. FT. / 180 SPACES = 219 SQ. FT. PER SPACE
 OFFICE / WAREHOUSE W/ LAND BANKED 209,000 SQ. FT. / 192 SPACES = 1,088 SQ. FT. PER SPACE

PHASE TWO DEVELOPMENT TABLE OF EXEMPTIONS			
EXISTING LOT 2	EXISTING ZONING 'I' INDUSTRIAL DISTRICT		
BUILDING SETBACK AT NORTH AVENUE	100.0' REQUIRED	30.0' PROVIDED	
BUILDING SETBACK AT SCHMALE	80.0' REQUIRED	30.0' PROVIDED	
PARKING LOT SETBACK	30.0' REQUIRED	10.0' PROVIDED	

PRELIMINARY PUD SITE PLAN EXHIBIT
L.A. FITNESS AT CAROL STREAM MARKETPLACE
 CAROL STREAM, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9874 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4040 Fax: (847) 696-4045



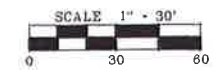
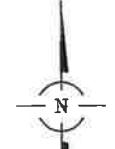
SPACECO INC.
 FILENAME:
 10173P-PUD-SITE-EX
 DATE:
 07/17/18
 JOB NO.
 10173
 SHEET
 PUD
 1 OF 1

NO.	DATE	REMARKS

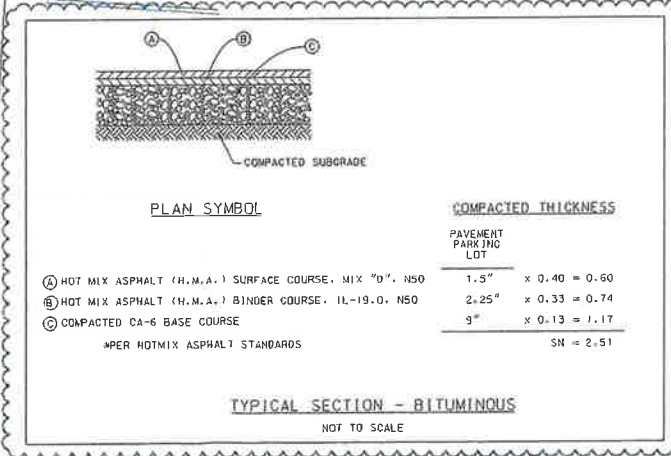
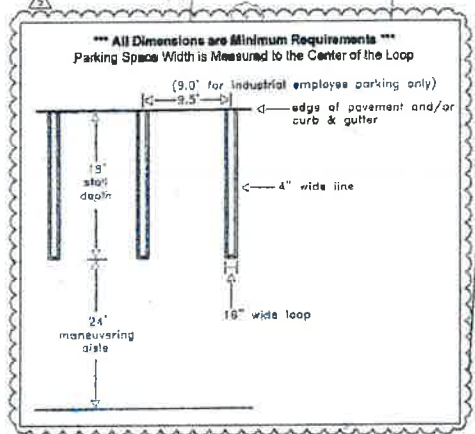
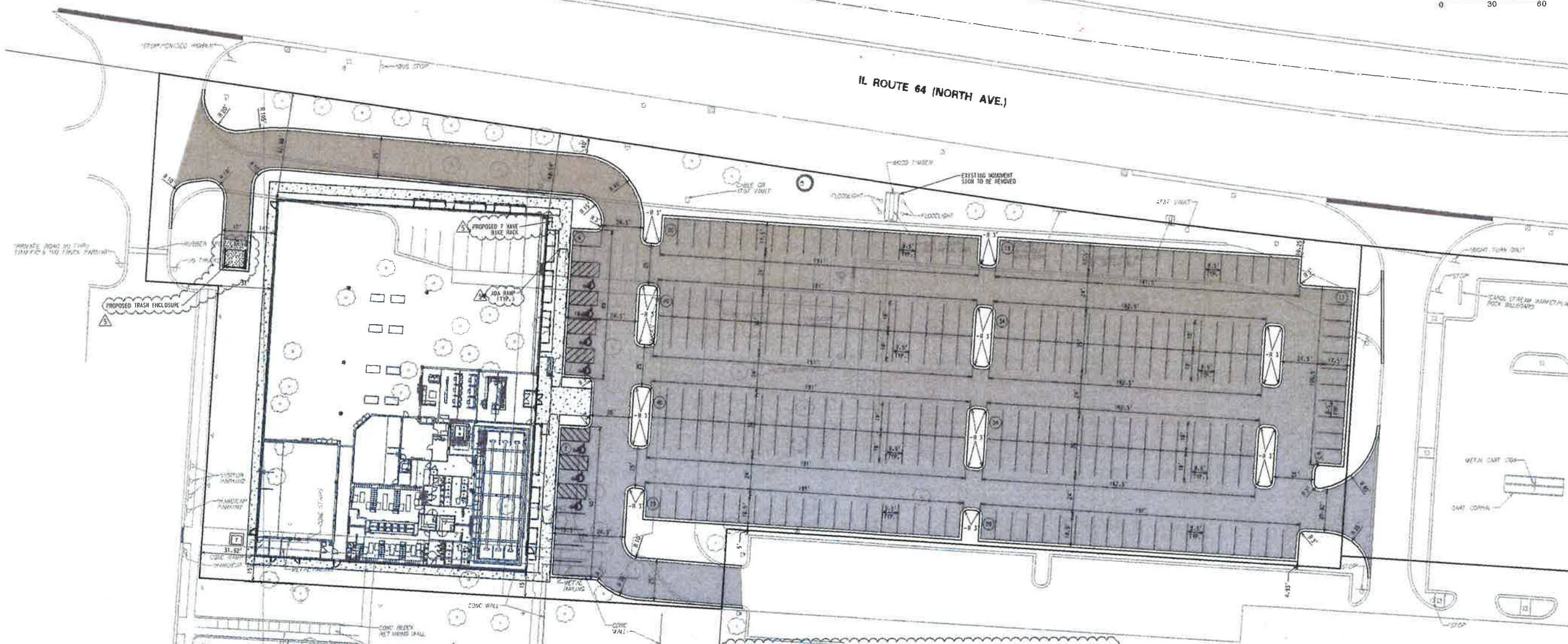
EXHIBIT A

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IL ROUTE 64 (NORTH AVE.)



PARKING SUMMARY
STANDARD PARKING SPACES = 244
ADA PARKING SPACES = 7
TOTAL PARKING SPACES = 251

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE REVERSED PITCH UNLESS OTHERWISE NOTED.
 3. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 4. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 5. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS
 6. THE PROPOSED "ASPHALT PAVEMENT" SECTION IS IN ACCORDANCE WITH THE PROPOSED PAVEMENT DETAIL, DEPICTED ON SHEET CE-13 OF THE "SITE IMPROVEMENTS FOR CAPUTO'S PHASE-2" DATED MAY 15, 2013, LAST REVISED JUNE 3, 2013, PREPARED BY MARCHIS ENGINEERING, LTD.

- LEGEND**
- ASPHALT PAVEMENT
 - CONCRETE PAVEMENT OR APRON
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK
HC RAMP (5' WIDE UNLESS NOTED)
 - STANDARD PITCH CURB
 - REVERSE PITCH CURB
 - DEPRESSED CURB & GUTTER

EXHIBIT B

PRELIMINARY GEOMETRIC PLAN
L.A. FITNESS AT CAROL
STREAM MARKETPLACE
CAROL STREAM, ILLINOIS

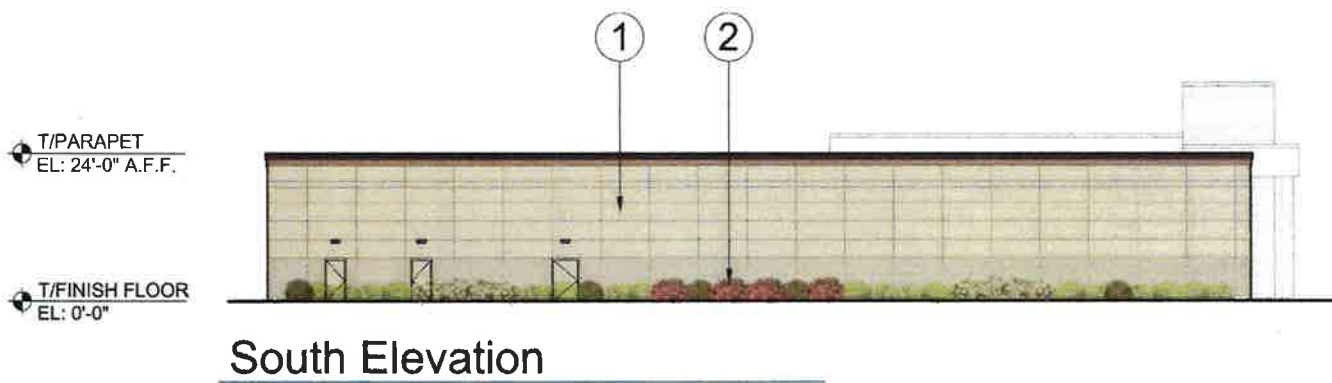
CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYORS



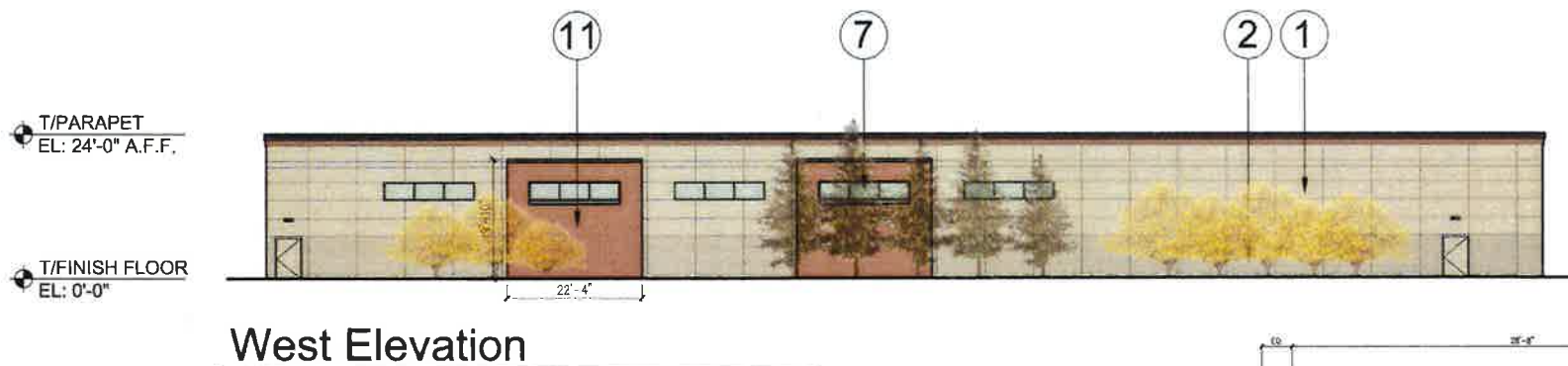
FILENAME:
10173P-GM
DATE:
04/13/18
JOB NO.
10173
SHEET
P-GM
2 OF 3

NO.	DATE	REMARKS
5	06/27/18	PER VILLAGE
4	06/14/18	PER CLIENT/SPACED
3	05/17/18	PER CLIENT/SPACED
2	04/30/18	PER CLIENT
1	04/26/18	PER CLIENT
6	07/17/18	PER VILLAGE

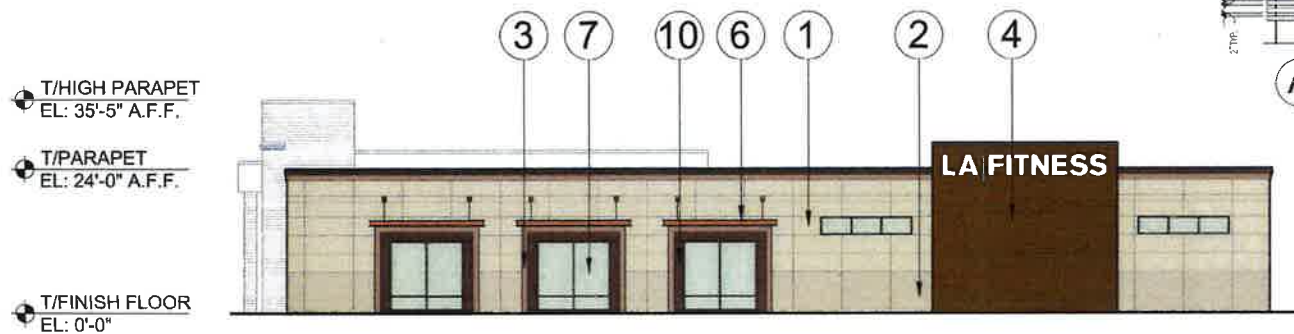
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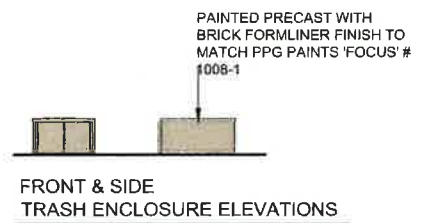
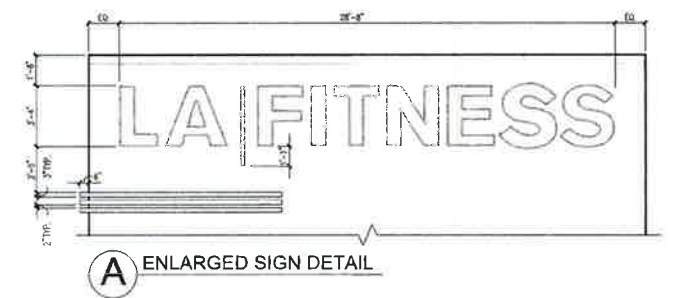
South Elevation



West Elevation



North Elevation



FRONT & SIDE
 TRASH ENCLOSURE ELEVATIONS



East Elevation

GENERAL NOTES:

1. Information provided for design intent only. Design professional of record is responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professional shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professional of record for this or any other project.

MATERIAL LEGEND:

1	Painted Concrete Panel - Match PPG Paints 'Focus' #1008-1	2	Painted Concrete Panel with Brick Formliner Finish, TexCote Fine Texture - Match PPG Paints 'Focus' #1008-1	3	Painted Concrete Panel - Match PPG Paints 'Gray By Me' #1008-4	4	Prefinished Metal Siding - Longboard 'Light National Walnut'
5	EIFS Cornice - Match PPG Paints 'Metropolis' #1006-7 (Top Band) & PPG Paints 'Gray By Me' #1008-4 (Bottom Band)	6	Painted Metal Canopy - Match PPG Paints 'Cinnamon Crunch' #1080-6	7	Curtainwall and Entry Doors - Clear Anodized Finish w/ Dual Glazed Green Tint Glass	8	Prefinished Aluminum Accent - Match LAF Logo Color Yellow PMS #129U
9	Painted EIFS Canopy - Match PPG Paints 'Focus' #1008-1	10	Firestone Una-Clad Aluminum Panel - Medium Bronze	11	Brick - Match Glen Gery - 'Walnut Velour'		

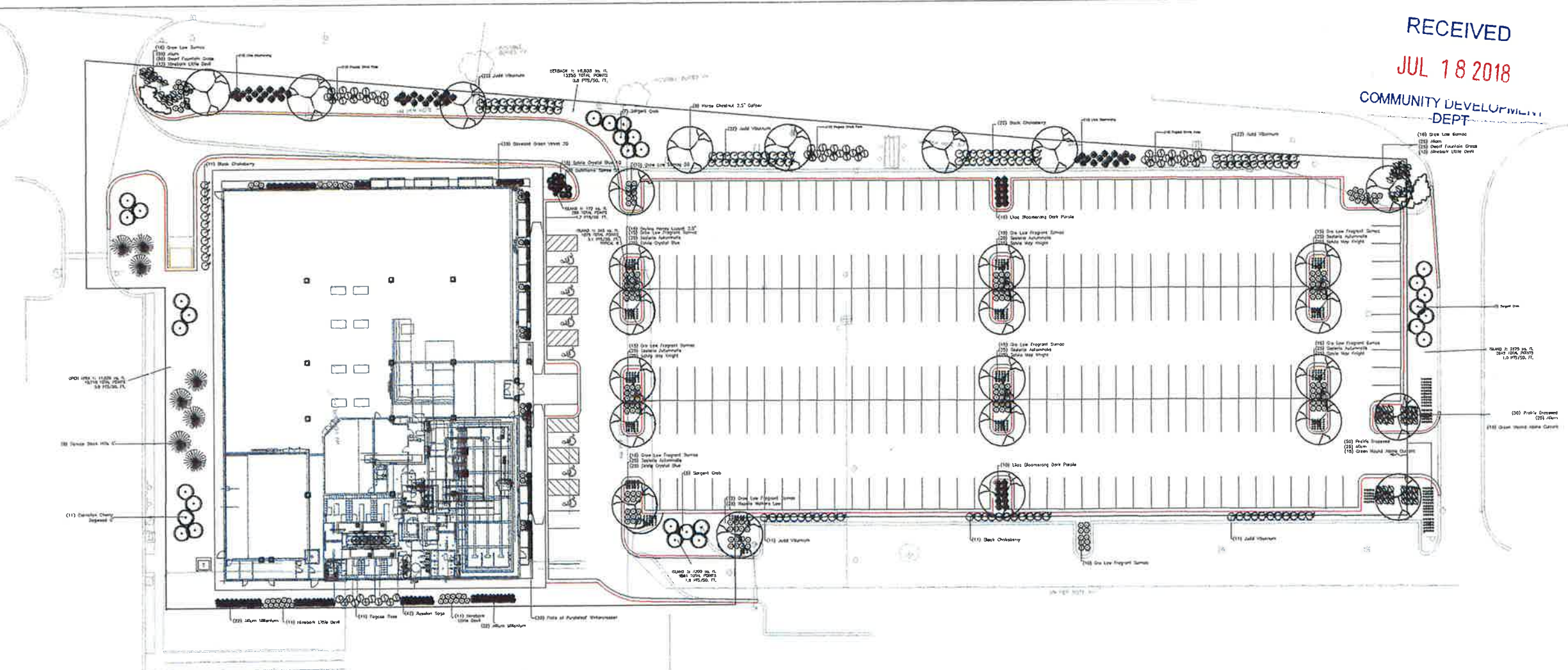
EXHIBIT C



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PLANT SCHEDULE:

TREES

16	SKYLINE HONEYLOCUST	2.5" CALIPER
8	HORSECHESNUT	2.5" CALIPER
11	CORNUS MAS DOGWOOD	6' CLUMP
19	FLOWERING CRABAPPLE SARGENT	6' CLUMP
8	BLACK HILLS SPRUCE	6'

SHRUBS

28	BOXWOOD GREEN VELVET	3 GAL.
55	JUDD VIBURNUM	24"
36	GREEN MOUND ALPINE CURRANT	5 GAL.
44	BLACK CHOKEBERRY	5 GAL.
155	GROW LOW FRAGRANT SUMAC	5 GAL.
48	NINEBARK LITTLE DEVIL	5 GAL.
23	HYDRANGEA LANNABELLE	5 GAL.
72	RUGOSA SHRUB ROSE	5 GAL.
52	LILAC BLOOMERANG DARK PURPLE	5 GAL.
8	SPIREA GOLDFLAME	5 GAL.

PERENNIALS

20	KARL FOERSTER FEATHER REED	1 GAL.
75	SALVIA MAY KNIGHT	1 GAL.
100	SALVIA CRYSTAL BLUE	1 GAL.
225	SESLERIA AUTUMNALIS	1 GAL.
100	PRAIRIE DROPSEED	1 GAL.
50	DWARF FOUNTAIN GRASS	1 GAL.
42	RUSSIAN SAGE LITTLE SPIRE	1 GAL.
150	ALLIUM	1 GAL.
30	PURPLE LEAF WINTERCREEPER	FLATS

Landscape Areas	Area (square footage)	Points Required	Points Provided
Open Space			
Landscape Setback	11600	4060	10718
Landscape Screen	3600	7200	13255
Landscape Islands (Parking lot)	8945	4473	15490
Landscape Buffer			
Totals	24145	15733	39463

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Ruff Landscaping

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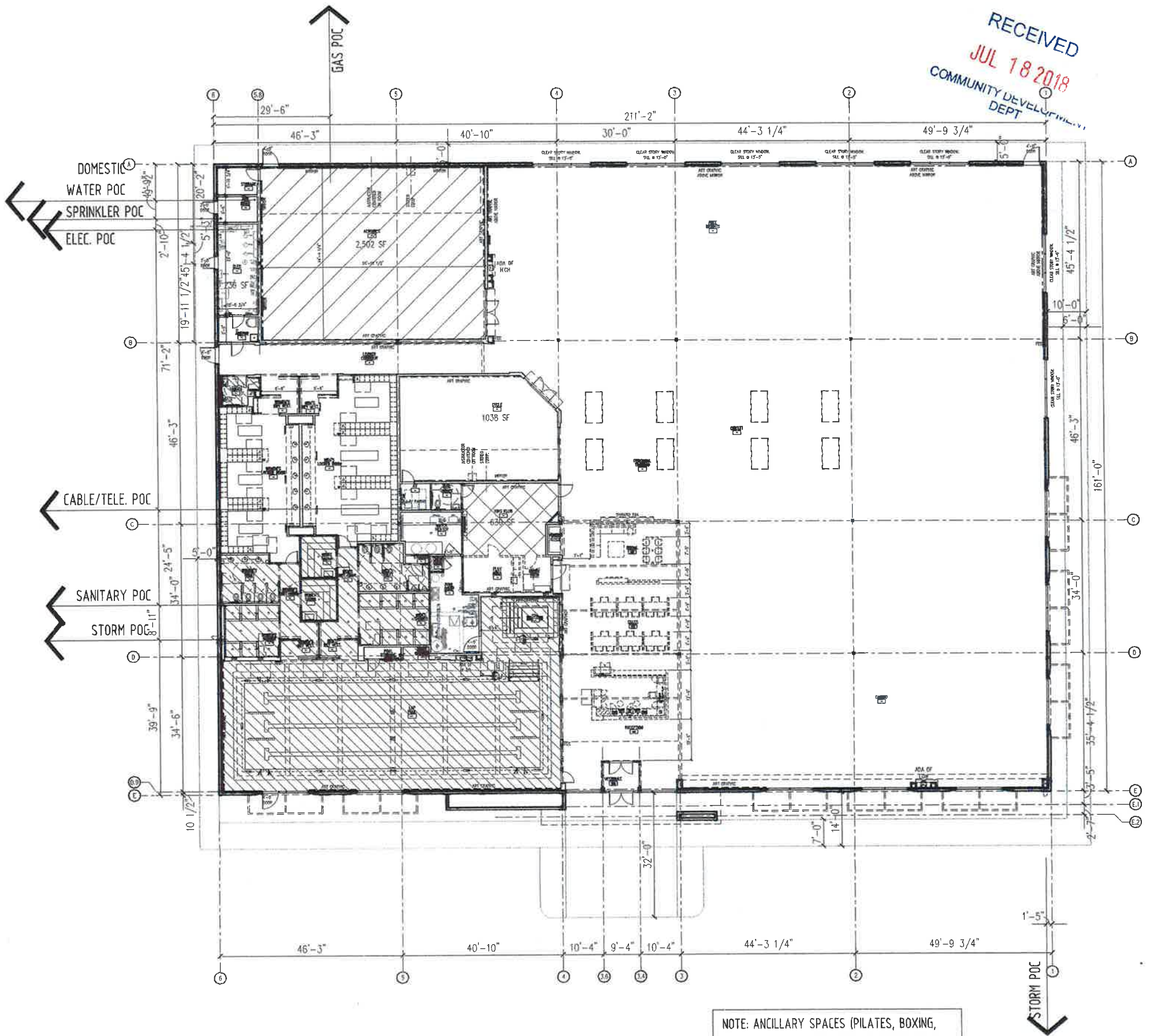
Robertino Presta
LA Fitness
Carol Stream, IL



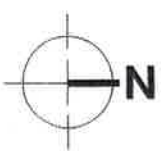
DESIGNED BY:
MARLA SGARBOSSA
TEL: 630-290-1684
JULY 18, 2018
REV. 3
SCALE 1" = 30'

EXHIBIT D

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 COMMUNITY DEVELOPMENT
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NOTE: ANCILLARY SPACES (PILATES, BOXING, STRETCH ZONE) STANDARDS OF DESIGN TO BE DETERMINED. FLOOR PLAN SUBJECT TO CHANGE ONCE THESE STANDARDS ARE FINALIZED. VERIFY WITH DEVELOPMENT MANAGER AT KICK OFF OF DESIGN DEVELOPMENT.



Ground Floor Level

TOTAL - 34,000 S.F.

GENERAL NOTES:

- Information provided for design intent only. Design professional of record is responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professional shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professional of record for this or any other project.
- Ground floor area tabulation is the gross leasable area measure from the exterior surface of exterior walls, face of glass and from the center of Tenant demising partitions, including interior columns; excluding arcades, bump-outs, elevators, shafts, leave-outs. Existing mezzanines at the rear of the premises will not be counted unless they provide usable space such as electrical room or if they are large enough for fitness use.

Floor Plan Hatched Symbol at Wood Aerobics and Basketball

Approximate graded building pad area by Landlord depressed 2 1/2" below typical pad height for LAF's depressed concrete slab for athletic wood flooring

Floor Plan Hatched Symbol at Pool and Shower Area

Approximate graded building pad area by Landlord depressed 1 1/2" below typical pad height for LAF's depressed concrete slab in areas containing tile over mud bed. Excavate to allow for lap pool finish depth of 4'-6" at pool. Coordinate with pool consultant and structural engineer

Floor Plan Hatched Symbol at Kids Klub

Approximate graded building pad area by Landlord depressed 1 1/2" below typical pad height for LAF's depressed concrete slab for PLAYTIME padded carpet flooring

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COMMUNITY



ENTRY VIEW

STUDIO
222ARCHITECTS
222 SOUTH MORGAN STREET, SUITE 401 CHICAGO, ILLINOIS 60607
P. 312.856.4970 F. 312.850.4976 WWW.STUDIO222ARCHITECTS.COM

CAROL STREAM, IL
EXTERIOR RENDERING **LA|FITNESS**
DATE 07.31.18 PROJ NO 18022

EXHIBIT F

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR OUTDOOR
ACTIVITIES AND OPERATIONS (AIR COMPRESSORS)
(NTA PRECISION AXLE, 795 Kimberly Drive)**

WHEREAS, John McCormack, on behalf of NTA Precision Axle, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for outdoor activities and operations in the form of the installation of air compressors in the I Industrial District, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 795 Kimberly Drive, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on July 23, 2018, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permit be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations; and

WHEREAS, the Mayor and Board of Trustees find it to be in the best interest of the Village to grant approval of the Special Use Permit, as set forth in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for a Special Use Permit for Outdoor Activities and Operations in the form of the installation of air compressors, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *NTA Precision Axle requires the additional equipment to enable efficient processing of important product lines.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The air compressors will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*
3. Will not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *Other industrial properties have received Special Use approval for outdoor activities and operations*

for silos, tanks, vaporizers or other types of outdoor pieces of equipment, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding properties for uses permitted in the district. *Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The installation of the equipment is expected to conform to all applicable codes and requirements.*

SECTION 2:

The Special Use Permit is hereby approved and granted subject to the conditions set forth in Section 3, upon the real estate commonly known as 795 Kimberly Drive, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN THE 1ST RESUBDIVISION OF BLOCK 3, CAROL POINT BUSINESS CENTER, BEING A RESUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 28 AND PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 29 IN TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 23, 1999 AS DOCUMENT NUMBER R99-068668, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

SECTION 3:

The approval of the Special Use Permit in Section 2 herein is subject to the following conditions:

1. That the air compressor structures, including the screens to shield the rooftop units on both structures, shall be painted to match the color of the building;
2. That the rooftop unit screening shall completely screen the units from view;
3. That the Black Hills Spruce trees that will screen the southwest air compressor structure will not be installed directly over the existing storm sewer, but will be installed at a minimum height of eight feet at the time of installation and with a separation distance of 10 feet on center between trees, and that said trees shall be installed no later than October 1, 2018;

4. That said Black Hills Spruce trees and the evergreens at the southeast corner of the building must be maintained in a neat and healthy condition, with dead or dying materials being replaced with a similar type of tree on an annual basis; and
5. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations.

SECTION 4:

The Special Use Permit is hereby approved and granted as set forth in the following plans and exhibits:

1. Site Arrangement Plan (Exhibit A dated April 10, 2018), prepared by Air Technologies, 400 Wright Drive, Middletown, Ohio, 45044.
2. Module Elevation (Exhibit B dated May 18, 2018), prepared by Air Technologies, 400 Wright Drive, Middletown, Ohio, 45044.
3. Module Elevation with Trees (Exhibit C dated May 18, 2018), prepared by Air Technologies, 400 Wright Drive, Middletown, Ohio, 45044.
4. SW Site Arrangement with Trees (Exhibit D dated July 5, 2018), prepared by Air Technologies, 400 Wright Drive, Middletown, Ohio, 45044.
5. SE Site Arrangement with Trees (Exhibit E dated July 5, 2018), prepared by Air Technologies, 400 Wright Drive, Middletown, Ohio, 45044.

SECTION 5:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 6:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 6th DAY OF AUGUST, 2018.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Laura Czarnecki, Village Clerk

I, John McCormack, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. NTA Precision Axle further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

Date

Owner/Party In Interest

I, Steve Summers, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. NTA Precision Axle further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

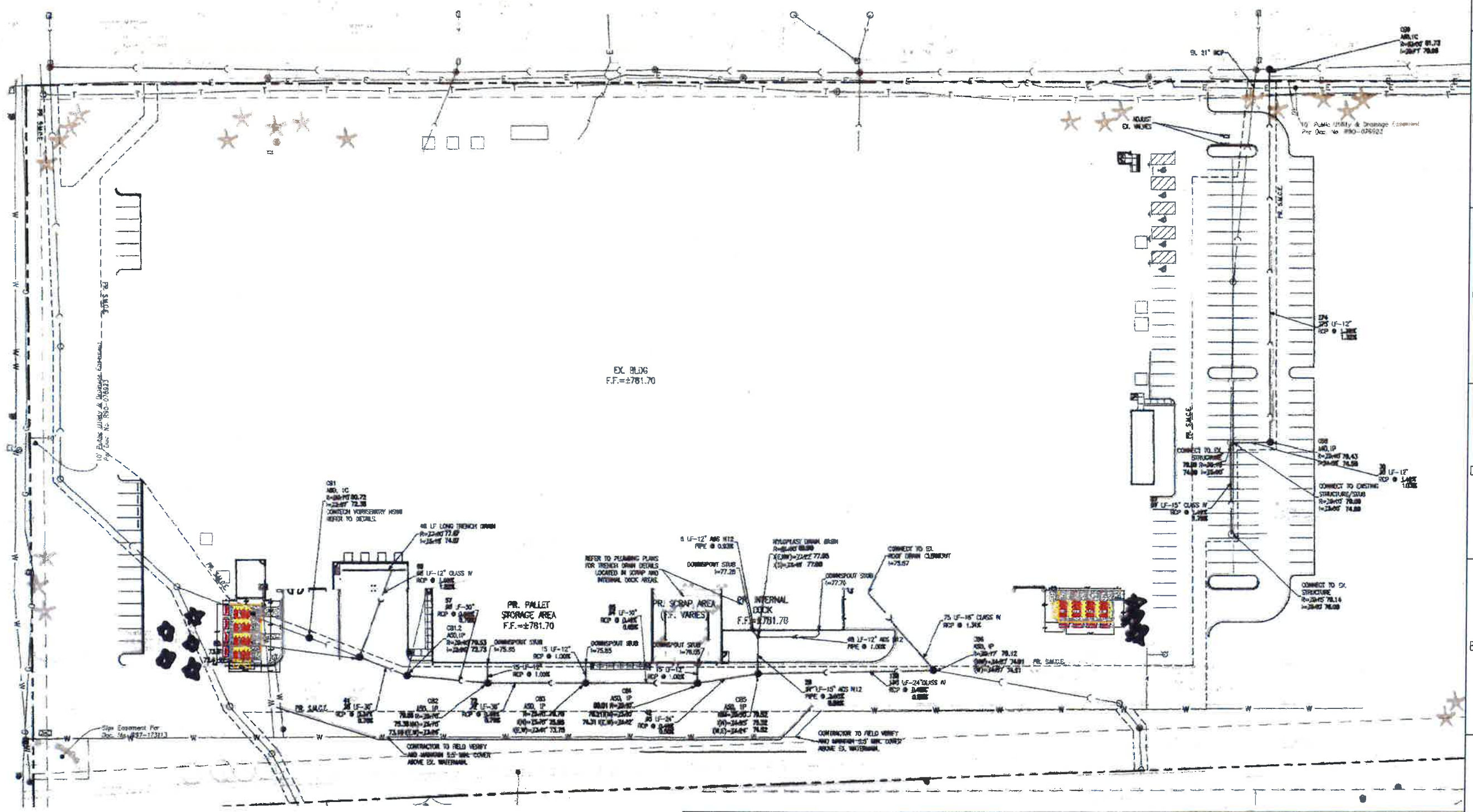
Date

Owner/Party In Interest

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 JUN 15 2018
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MISSION ST

KIMBERLY DR



PRELIMINARY

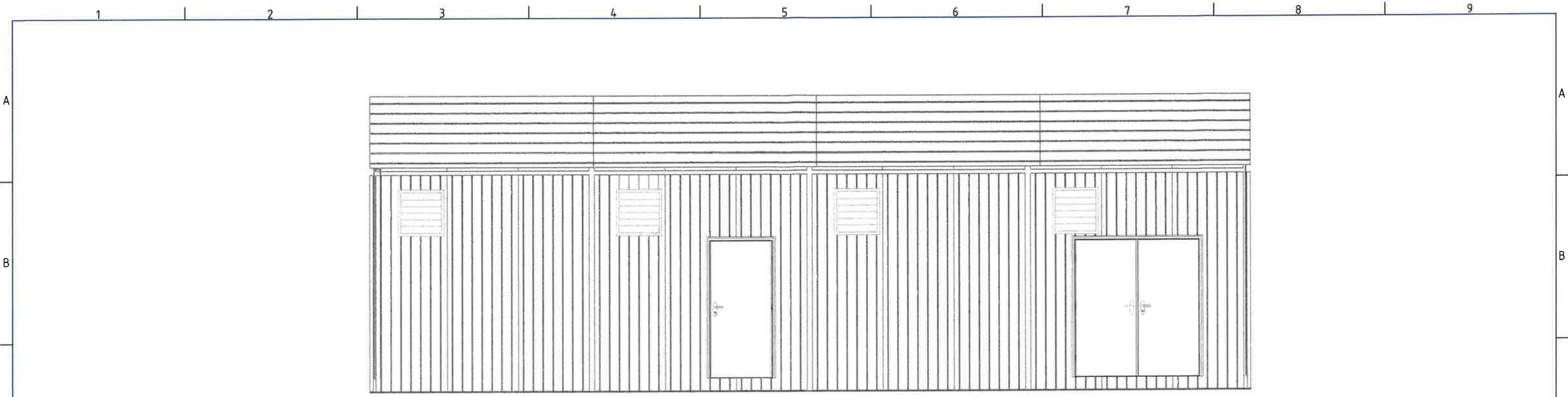
CONFIDENTIAL

Rev	Date	Description
XX	XX-XX-XX	X

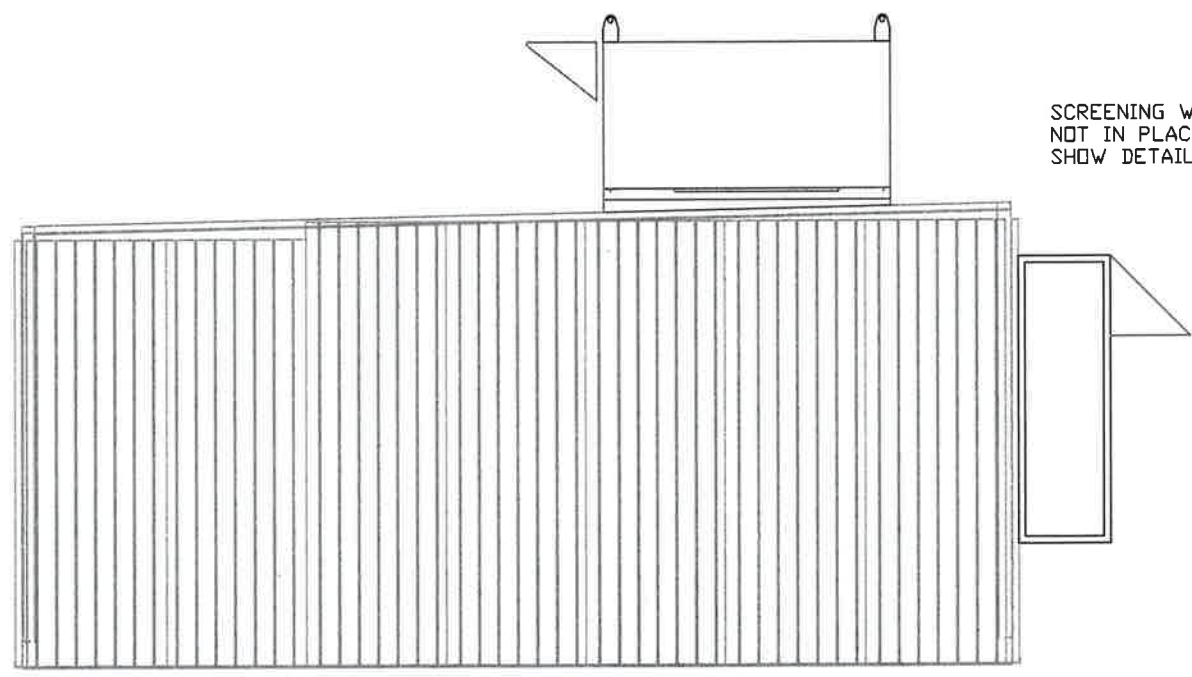
AIR TECHNOLOGIES
 Compressed Air Systems
 LISTED COMMERCIAL DRIVER
 400 Wright Drive Middletown, Ohio 45044

Date 4-10-18	NTA	
Designed by JDS	SITE ARRANGEMENT	
Checked by DRH	File name X	Drawing Number X
Approved by DRH	Revision 0	

EXHIBIT A



VIEW FROM WEST



SCREENING WALL
NOT IN PLACE TO
SHOW DETAIL

VIEW FROM SOUTH

RECEIVED
JUL 06 2018
COMMUNITY DEVELOPMENT
DEPT

EXHIBIT B

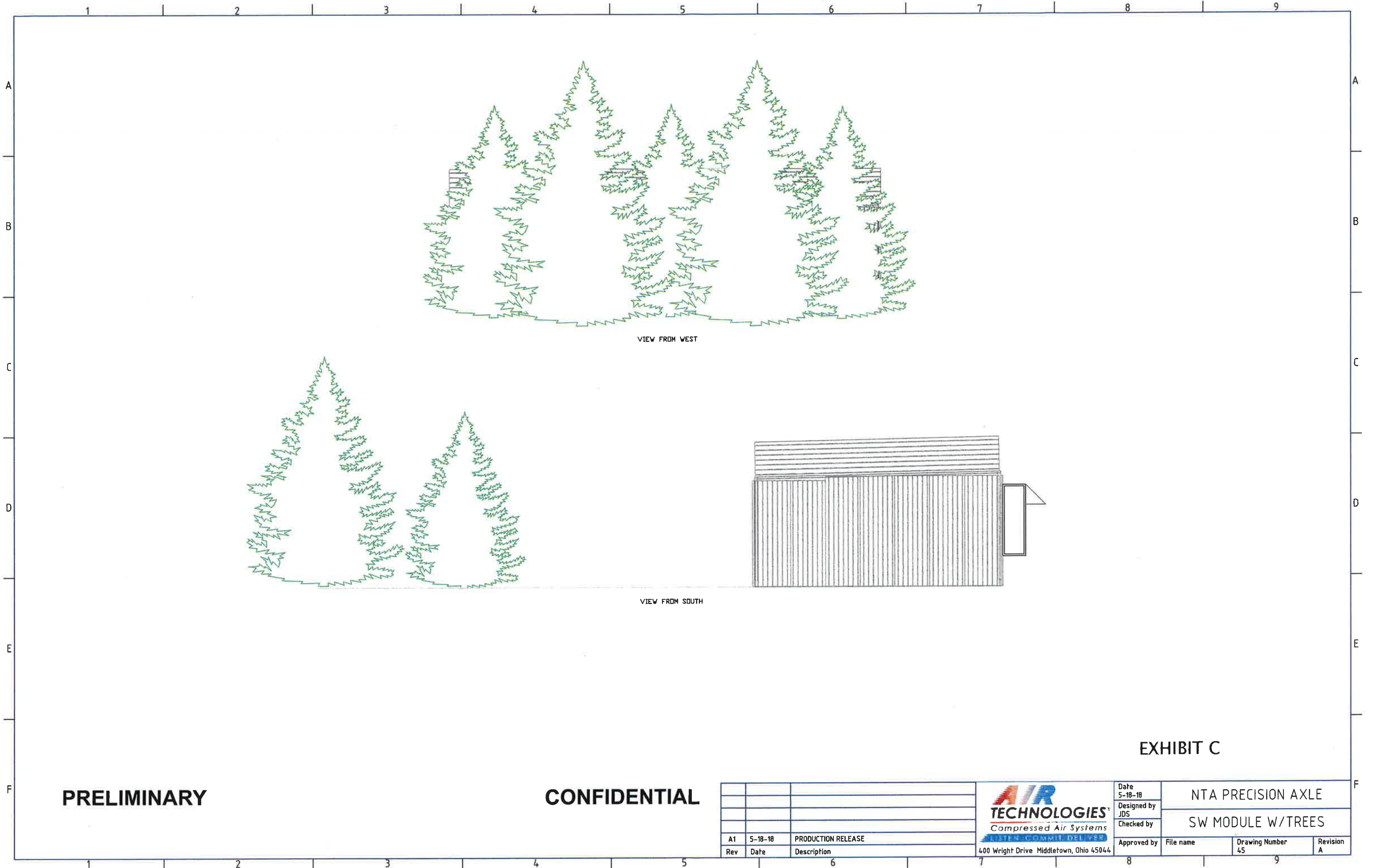
PRELIMINARY

CONFIDENTIAL

Rev	Date	Description
A1	5-18-18	PRODUCTION RELEASE

AIR TECHNOLOGIES
Compressed Air Systems
LISTEN. COMMIT. DELIVER.
400 Wright Drive, Middletown, Ohio 45044

Date	5-18-18	NTA PRECISION AXLE		
Designed by	JDS	SW MODULE ELEVATION		
Checked by		File name	Drawing Number	Revision
Approved by			044	A



VIEW FROM WEST

VIEW FROM SOUTH

EXHIBIT C

PRELIMINARY

CONFIDENTIAL

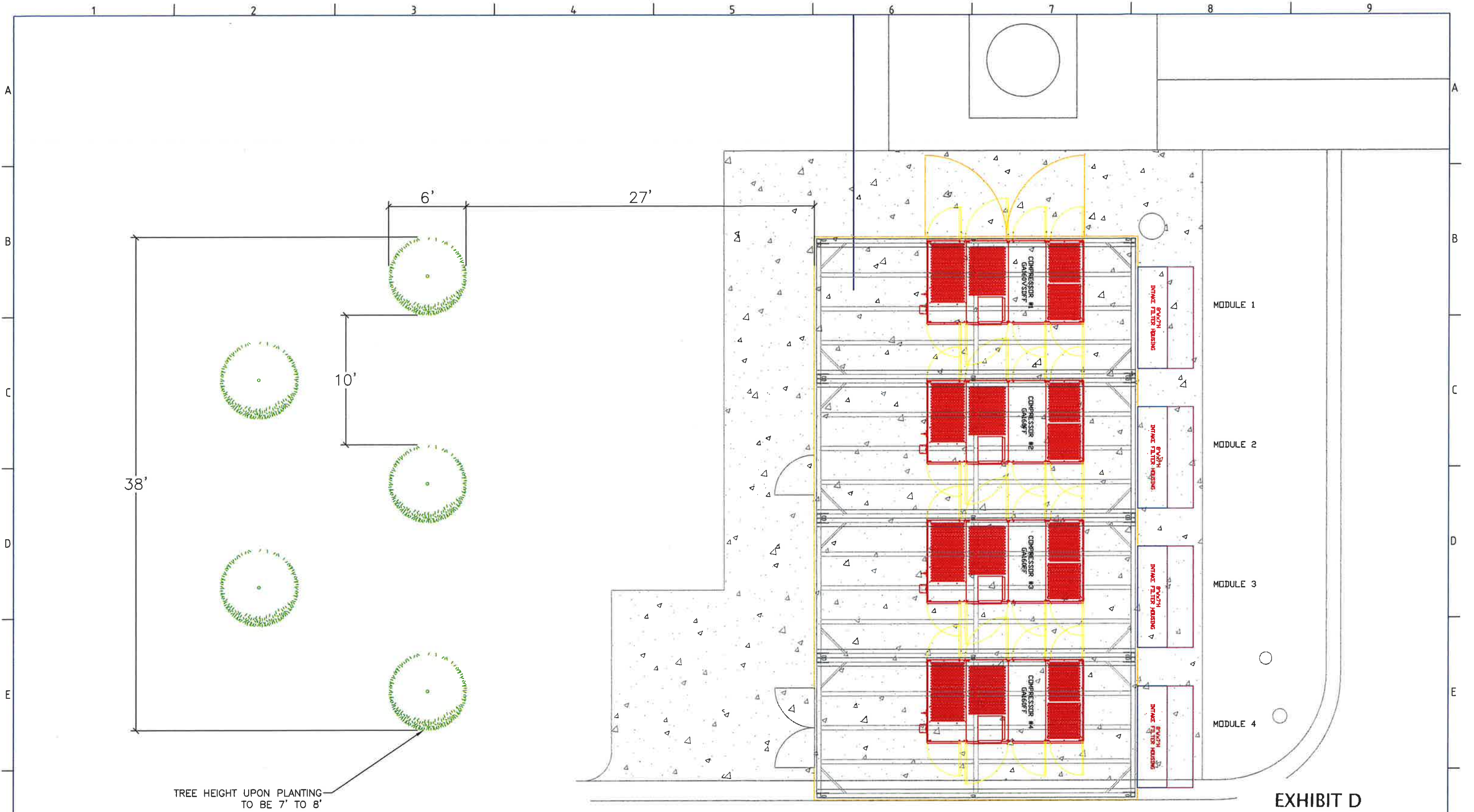
Rev	Date	Description
A1	5-18-18	PRODUCTION RELEASE

AIR TECHNOLOGIES
 Compressed Air Systems
 LISTEN. COMMIT. DELIVER.
 400 Wright Drive Middletown, Ohio 45044

Date	5-18-18		
Designed by	JDS		
Checked by			
Approved by	File name	Drawing Number	Revision
		45	A

NTA PRECISION AXLE

SW MODULE W/TREES



TREE HEIGHT UPON PLANTING TO BE 7' TO 8'

EXHIBIT D

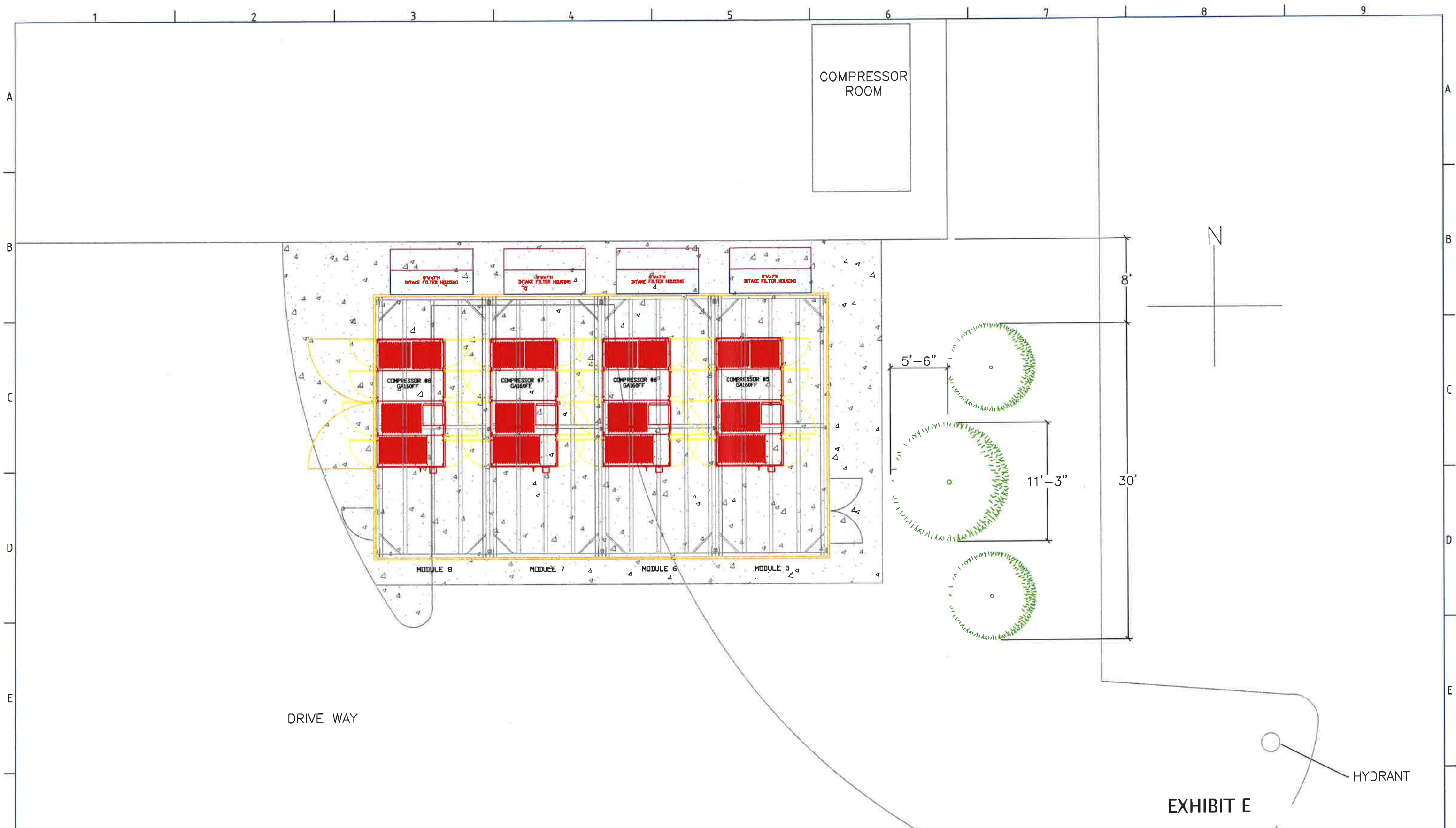
PRELIMINARY

CONFIDENTIAL

Rev	Date	Description
A	7-5-18	INITIAL SUBMITTAL

AIR TECHNOLOGIES
 Compressed Air Systems
 LISTEN. COMMIT. DELIVER.
 400 Wright Drive Middletown, Ohio 45044

Date	7-5-18	NTA PRECISION AXLE		
Designed by	JDS	SW - SITE ARRANGEMENT W/TREES		
Checked by		File name	Drawing Number	Revision
Approved by	X		46	A



PRELIMINARY

CONFIDENTIAL

Rev	Date	Description
A	7-5-18	INITIAL SUBMITTAL


AIR TECHNOLOGIES
 Compressed Air Systems
 LISTEN. COMMIT. DELIVER.
 400 Wright Drive, Middletown, Ohio 45044

Date 7-5-18	NTA PRECISION AXLE		
Designed by JDS	SE - SITE ARRANGEMENT W/TREES		
Checked by	File name X	Drawing Number 47	Revision A

EXHIBIT E

HYDRANT

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Adam Frederick, Civil Engineer II 
DATE: July 27, 2018
RE: 440 Mission Street – Devanco Foods
Stormwater Management & Conveyance Easement

The Village of Carol Stream has received a plat granting us an easement for the purposes of conveying and managing stormwater. This easement gives the Village very broad rights to construct, repair, operate and maintain storm sewer system and stormwater management facilities on private property. This easement is a requirement of the DuPage County Countywide Stormwater & Flood Plain Ordinance and must be granted to the Village. Therefore, staff recommends accepting this grant of easement for stormwater management and conveyance.

Cc: James Knudsen, Director of Engineering Services
Bill Cleveland, Assistant Village Engineer

Attachments:
Exhibit A – Legal Description of Parcel
Plat of Easement

RESOLUTION NO.

**A RESOLUTION ACCEPTING A GRANT OF STORM WATER MANAGEMENT
AND CONVEYANCE EASEMENT
(440 MISSION STREET - DEVANCO FOODS)**

BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Approval is hereby given accepting a Grant of Storm Water Management and Conveyance Easement for 440 Mission Street (Devanco Foods), PIN No: 02-28-104-018. This easement gives the Village easement rights to construct, repair, operate and maintain storm sewer system and storm water management facilities as required by the DuPage County Countywide Stormwater & Flood Plain Ordinance. The Plat of Stormwater Management Conveyance and Easement is attached to this Resolution as Exhibit "A".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 6th DAY OF AUGUST, 2018.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Laura Czarnecki, Village Clerk

Exhibit A

ADDRESS: 440 Mission Street, Carol Stream, IL 60188

PIN: 02-28-104-018

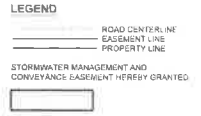
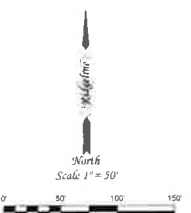
PARCEL 1:

OVER PORTIONS OF LOT 1 IN KARP'S CAROL STREAM REALTY CO'S RESUBDIVISION, OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, THE NORTHEAST QUARTER OF SECTION 29, AND THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED NOVEMBER 14, 1995 AS DOCUMENT R95-160692, IN DUPAGE COUNTY, ILLINOIS.

PLAT OF EASEMENT

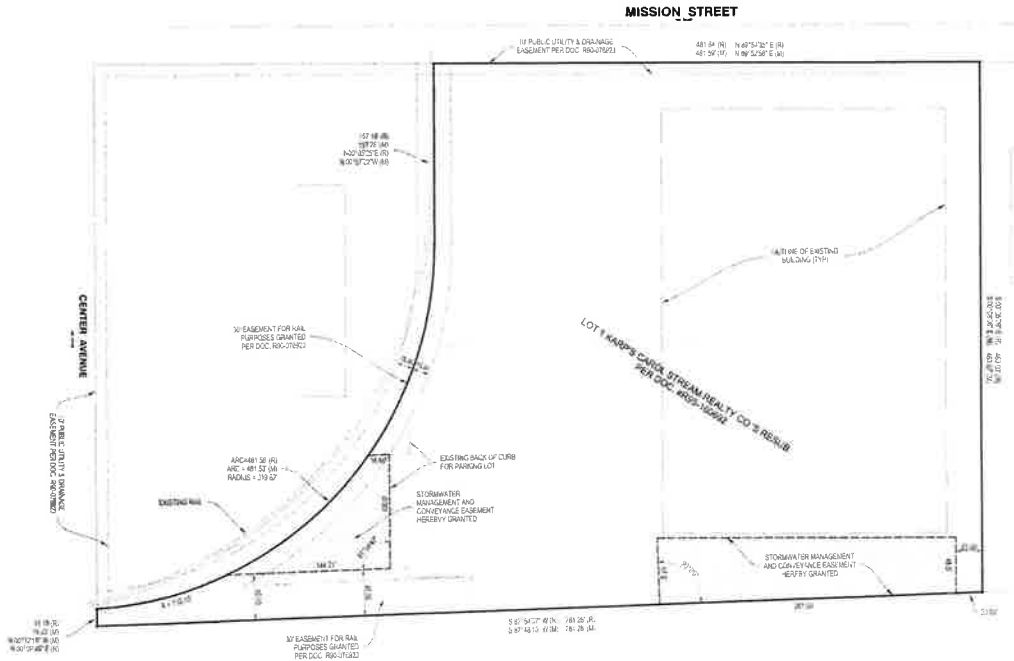
OVER PORTIONS OF OF LOT 1 IN KARP'S CAROL STREAM REALTY CO'S RESUBDIVISION, OF PART OF THE SOUTHEAST QUARTER OF SECTION 20, THE NORTHEAST QUARTER OF SECTION 29, AND THE NORTHWEST QUARTERS OF SECTION 39, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED NOVEMBER 14, 1895 AS DOCUMENT R95-160692, IN DUPAGE COUNTY, ILLINOIS.

PARCEL NUMBER
02-28-104-018



ABBREVIATIONS

- (R) = RECORD VALUE
- (M) = MEASURED VALUE
- (C) = CALCULATED VALUE
- (D) = DEED VALUE
- DDC = DOCUMENT
- PIN = PARCEL IDENTIFICATION NUMBER



STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM OVER ALL OF THE AREAS INDICATED AS 'STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT' OR 'S M C E' FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT GRADE, REGRADE, CLEAN, REPAIR, INSPECT, OPERATE AND OTHERWISE MAINTAIN IN AN UNOBTSTRUCTED CONDITION A SYSTEM OF STORM DRAINS, MANHOLES, INLETS, OVERLAND DRAINAGE SWALES AND A STORMWATER MANAGEMENT BASIN FOR THE CONVEYANCE AND TEMPORARY STORAGE OF STORMWATER RUNOFF TRIBUTARY THERETO TOGETHER WITH THE RIGHT OF ACCESS OVER, UPON AND THROUGH SAID EASEMENT FOR THE NECESSARY INDIVIDUALS AND EQUIPMENT TO PERFORM SAID FUNCTIONS. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, BUSHES, VEGETATION AND OBSTACLES WITHIN SAID EASEMENT AREA THAT CAN REASONABLY BE SHOWN TO OBSTRUCT OR OTHERWISE HINDER THE OPERATION OF SAID EASEMENT AREA FOR THE USES AND PURPOSES HEREIN SET FORTH. NO BUILDINGS, SHEDS, SWIMMING POOLS OR OBJECTS AND EQUIPMENT SUBJECT TO DAMAGE DUE TO PERIODIC FLOODING SHALL BE PLACED ON SAID EASEMENT AND NO EARTH FILL OR EXTRANEIOUS MATERIALS SHALL BE DEPOSITED OR EXTENSIVE REGRADING WORK UNDERTAKING THAT WOULD HINDER OR OBSTRUCT THE CONVEYANCE OF STORM DRAINAGE OR DISPLACE ANY STORMWATER STORAGE VOLUME POTENTIALLY AVAILABLE DURING TIMES OF PEAK RUNOFF. SAID EASEMENT AREAS MAY BE USED, HOWEVER, FOR PAVED AREAS, LAWNS, TREES, PLANTS, LAWNS AND OTHER LANDSCAPING IMPROVEMENTS AND FOR OTHER USES AND PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID EASEMENT USES AND RIGHTS.

OWNERSHIP AND MAINTENANCE RESPONSIBILITIES REMAIN WITH THE PROPERTY OWNER. THE VILLAGE OF CAROL STREAM WILL EXECUTE THE RIGHTS OF THIS EASEMENT ONLY IN THE EVENT THAT THE PROPERTY OWNER FAILS TO DO SO WITHIN A REASONABLE TIME PERIOD, AS DETERMINED BY THE VILLAGE. IN SUCH AN EVENT THE PROPERTY OWNER MUST PAY ALL COSTS INCURRED BY THE VILLAGE.

VILLAGE CLERK
STATE OF ILLINOIS
COUNTY OF DUPAGE

I, _____, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE EASEMENT PLAT WAS PRESENTED TO AND BY RESOLUTION, _____, DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS, THIS _____ DAY OF _____, 2018.

VILLAGE CLERK

MAYOR

VILLAGE ENGINEER'S CERTIFICATE

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE EASEMENT PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS SUBDIVISION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 20____.

VILLAGE ENGINEER

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D. 20____, AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE

THIS IS TO STATE THAT I, GEORGE H. SKULAVIK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 036-00260, HAVE PREPARED THIS EASEMENT PLAT FROM SURVEY MEASUREMENTS AND RECORD DOCUMENTS. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

GIVEN UNDER OUR HAND AND SEAL THIS _____ DAY OF _____, A.D. 2018, AT MONTGOMERY, ILLINOIS.

RIDGELINE CONSULTANTS LLC

GEORGE H. SKULAVIK, PLS #035-002580
MY LICENSE EXPIRES 11/30/2019
ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-004756

2016-0257

Ridgeline
CONSULTANTS LLC

**PLAT OF EASEMENT FOR
DEVANCO FOODS**
400 MISSION STREET
CAROL STREAM, ILLINOIS

SCALE
1" = 50'

RESOLUTION NO. _____

**A RESOLUTION DECLARING SURPLUS PROPERTY
OWNED BY THE VILLAGE OF CAROL STREAM**

WHEREAS, in the opinion of the corporate authorities of the Village of Carol Stream, Illinois, it is no longer necessary or useful, or for the best interests of the Village of Carol Stream to retain ownership of the personal property described in "Exhibit A"; and

WHEREAS, the described personal property has been determined by the corporate authorities of the Village of Carol Stream to have negligible value to the Village; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Carol Stream to dispose of the surplus property.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWER, as follows:

SECTION 1: That the Mayor and Board of Trustees of the Village of Carol Stream find that the personal property described in Exhibit "A", now owned by the Village of Carol Stream, is no longer useful and authorize its disposal per the attached memorandum dated July 31, 2018.

SECTION 2: This resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED AND APPROVED THIS 6th DAY OF AUGUST, 2018.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Laura Czarnecki, Village Clerk

EXHIBIT "A"

Village of Carol Stream Interdepartmental Memo

TO: Joseph Breinig, Village Manager
FROM: Philip J. Modaff, Director of Public Works
DATE: July 31, 2018
RE: Surplus Declaration

The Department has identified the equipment below to be declared surplus. These items are past their useful life and are considered obsolete for the Department's purposes. These items may still hold some value, and will be offered for sale via public auction or scrapped.

Snap-On Toolbox Drawers- Quantity 4

The Department replaced the drawers for this toolbox with taller versions to better accommodate the tools in stock. The older drawers will be auctioned as they no longer serve a purpose for our operations.

Van Ladder-Rack- Quantity 1

The Department recently purchased a used van which came with a ladder rack. Staff does not have a use for this piece of equipment, so it will be sold at auction.

Staff recommends that these items be declared surplus by the Mayor and Board of Trustees and that the Public Works Director be authorized to dispose of them as indicated above.

Village of Carol Stream

Interdepartmental Memo

To: Joseph E. Breinig, Village Manager
From: Ann Delort - Secretary 
Date: July 16, 2018
Re: Carol Stream Park District
Fall 5K Stars & Stripes Shuffle

Amplification Permit Request

The Carol Stream Park District is hosting a Fall 5K Stars & Stripes Shuffle at Armstrong Park on Sunday, September 30, 2018 from 9:00 am – 11:00 am. They are requesting a waiver of the amplification fee. A copy of the waiver request is attached for your review.

Please place this on the agenda for Monday, August 6, 2018 Board Meeting for the Board's review and consideration.

Thank you.

Enclosure



Board of Commissioners
Brian Sokolowski - President
John Jaszka – Vice President
Dan Bird
Brenda Gramann
Jacqueline Jeffery
Tim Powers

Executive Director
Jim Reuter

July 11, 2018

Village of Carol Stream,

Please waive the \$25 sound application permit fee for our 5k event benefitting the Memorial Park renovation at Armstrong Park on September 30, at 9am.

Thank you!


Sincerely,

Julianne

Julianne Murray
Health and Fitness Manager
910 N. Gary Ave., Carol Stream, IL 60188
Phone: 630-784-6136 Fax: 630-682-3290
Email: julim@csparks.org



Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Rose Armstrong, Secretary 
DATE: July 26, 2018
RE: Raffle License Application
Humanitarian Service Project (HSP)

The Humanitarian Service Project (HSP) is sponsoring a Bowling Fundraiser to benefit Strike Against Hunger to be held at Fox Bowl in Wheaton on Thursday, October 4, 2018 and has submitted a raffle application. Raffle tickets will be sold from August 27, 2018 – October 4, 2018 for \$5.00 each in Carol Stream.

They have requested a waiver of both the License Fee and Manager's Fidelity Bond as indicated in the attached letter request. The raffle license application and required documentation is on file in the Village Clerk's office for your review.

Please place this item on the agenda for review and approval by the Village Board of Trustees at their Monday, August 6, 2018 Board meeting.

Thank you.

Attachment



Humanitarian Service Project

Serving Humanity Since 1979

465 Randy Road - Carol Stream, IL 60188

630 221-8340 / FAX 630 221-8371

hsp@humanitarianservice.org

www.humanitarianservice.org

Please note email and web address: hsp@hsp.agency www.hsp.agency

July 25, 2018

Village of Carol Stream
505 E North Avenue
Carol Stream, IL 60188

To Whom it May Concern,

We at Humanitarian Service Project are requesting a waiver of the fee associated with the raffle license application for our event "Strike Against Hunger." As required by the application, the members of our organization have unanimously agreed to request this waiver. Please advise if any there is other information or documentation you wish for us to provide at this time. Thank you.

Yours in love and service,

Floyd Kettering

CFO/Co-Founder/Chairman

FK:mm

Village of Carol Stream
Interdepartmental Memo

DATE: August 1, 2018
TO: Mayor Saverino Sr. & the Board of Trustees
FROM: Tia J. Messino, Management Analyst
RE: Proposal for 2018 Summer Carnival at the Ross Ferraro the Town Center

Since 2004, Alpine Amusement Co. (Naperville) has been licensed to provide carnival/amusement programming at the Ross Ferraro Town Center as part of 'Summer in the Center' events. Alpine Amusement Co. is proposing to host a 4-Day summer carnival scheduled for Friday, August 31st – Monday, September 3rd. The terms detailed in the proposed carnival agreement are consistent with those from prior years and are highlighted below:

Revenue Sharing Thresholds:	25% (\$1-\$50,000) 30% (\$50,001 +)
Concession Booth Fee:	\$125/booth @ 8 – 10 booths
\$25 Unlimited Ride Wristbands:	Saturday & Sunday 1- 5 pm
\$20 Unlimited Ride Wristbands:	Monday 1 – 5:00 pm (Last Blast)
FREE Special Needs Carnival:	Saturday 11:00 am – 1:00 pm
Compliance w/ Carnival Code:	Chapter 10 Article 2: Amusements

The schedule for the proposed carnival is as follows:

Monday, August 28th:	Arrival & Set Up
Friday, August 31st:	<u>Day 1:</u> 6 – 10 pm
Saturday, September 1st:	<u>Day 2:</u> 1 – 10 pm
Sunday, September 2nd:	<u>Day 3:</u> 1 – 10 pm
Monday, September 3rd:	<u>Day 4:</u> 1 – 5 pm

Last year's stand-alone carnival operated successfully with targeted support for traffic management and patron security by Police volunteers. Revenue from both booth concession fees and ride ticket sales generated from the carnival is programmed into the General Corporate Fund. The net revenue share to the Village from 2017 carnival proceeds was \$11,431.

If approved, the 2018 carnival will operate from the Town Center's paved parking area. The attached contract document tasks the carnival staff for all event-related waste collection, recycling and litter pick up. Because of the successful working relationship with Alpine Amusement Co. over the past 14 years as well as the popularity of the carnival, I recommend entering into a contract for carnival services from August 31st – September 3rd per the terms detailed in the attached agreement.

Please include the proposed carnival contract on the upcoming August 6th regular meeting for consideration and feedback by the Village Board of Trustees.

ALPINE AMUSEMENT CO. INC.

2648 Wild Timothy Road, Naperville IL 60564

Phone: 630-922-3188

Fax: 630-922-0589

This agreement made this 25th day of July 25th, 2018 by and between Alpine Amusement Co., Inc., Party of the First Part and The Village of Carol Stream, Party of the Second Part. Second Part agrees to furnish a location for the erection and operation of a combination of rides, shows and concessions known as Alpine Amusement Co., Inc. Party of the Second Part also agrees to furnish and pay for any Village tax, permits or licenses that may be required for operation, and for all water, lot and street privileges necessary for operating, conducting, and placing of all attractions and concessions (the location must be mutually agreeable and acceptable to both parties).

Party of the First Part further agrees to furnish all electrical connections, sufficient electrical generators and electric current with distribution necessary for the power and illumination of all rides, shows and concessions for operating hours and to be supplied until all attractions are dismantled at the close of the engagement. Party of the First Part also agrees to furnish Uniformed Ride Attendants, Foreman on Festival grounds at all times, All ticket boxes and coupons for ride admittance and \$1,000,000 public liability and property damage certificate of insurance for each incident. (Alpine Amusement Co. is not liable for your employees and volunteers), unless caused by our own negligence. Said Certificate of Insurance shall be sent to the Village at least (2) weeks prior to the engagement. The Village of Carol Stream, its Officers, and Employees shall be named as an insured on said policy. Said policy shall be on an ISO approved form and shall not include any limitations of liability for failure to notify the Village of the cancellation of said policy. Party of the First Part has the right of first refusal for the next year or the next year Party of the Second Part runs the festival in the event a year or more is skipped between running the festival.

Party of the Second Part also agrees to have location, portable toilet facilities available Monday before event. If streets are used for location of said attractions, Party of the Second Part agrees to have them closed to traffic and parking no later than 12:01 A.M. Monday before event.

IN CONSIDERATION OF THE ABOVE, Party of the First Part agrees to furnish, present and operate rides, concessions, and attractions and a parking attendant at The Ross Ferraro Town Center for a period of 4 days, starting August 31, 2018 and ending Sept 3, 2018 for an event to be known as 2018 Summer in the Center. To pay the Second Part the sum of \$125 for each food or concession or game booth operated on the grounds during the engagement. Any concession or booth closed or unable to operate shall pay pro rata for actual days operated. To pay the Party of the Second Part (25% from \$0-\$50,000 and 30% from \$50,001 and over) the gross receipts from monies derived from the sale of admission tickets at any attractions and rides after usual Government Taxes, Midway Insurance and State and City sales tax and amusement tax, if applicable, are deducted.

The settlement of the concessions and booths, and the percentage on the attractions and rides shall be made on the closing of the engagement. This agreement is fully assignable by Alpine Amusement Co., Inc. only upon concurrence by the Village of Carol Stream.

2018 Summer in the Center is responsible for the following services:

- *The handling for all festival advertising and promotion
- *Sufficient police protection and security
- *Trash receptacles for midway clean-up operation
- *Parking area for semi-trailers, trucks and trailers at an approved Village parking lot, (no trailers or trucks will be allowed to park on site unless they are an integral part of the carnival ride).
- *24 hour access to portable toilets, starting Monday morning.

REMARKS:

No employee travel trailers will be on site at festival nor will employees be housed on site.

The Special Needs Carnival will be 11-1pm on Saturday

UNLIMITED RIDE SPECIAL \$25.00/PERSON- SATURDAY, SUNDAY 1-5 PM,

LAST BLAST Monday 1-5pm, \$20/person

Hours of event will be: Friday 6PM-Close, Saturday and Sunday 1PM-10PM and Monday 1-5 PM weather permitting.

IT IS FURTHER UNDERSTOOD AND AGREED:

Party of the First Part assumes no liability for any accident that might be caused by streets or other locations being left open to local traffic or parking during erection, dismantling, or operation of equipment or to trespassers while equipment is not in operation. Party of the Second Part agrees to indemnify and hold harmless the Party of the First Part for any defects relating to the condition of the grounds. Party of the First Part agrees to indemnify and hold harmless, Party of the Second Part against any and all injuries or claims for damages as a result of said carnival, amusement and /or concessions operated by Alpine Amusements or its subcontractors or agents.

It is understood and agreed that there shall be no other riding devices, shows, attractions, or concessions (including confections to be known as popcorn, cotton candy, funnel cakes, corn dogs, sno cones, nachos, coke and other soft drinks at this event other than those furnished by Alpine Amusement Co., Inc. except those furnished by the Party of the Second Part or food vendors operating under agreement by the Village (and those agreed upon, prior to the event).

The attached addendum "A" is hereby incorporated as part of this agreement.

That there is no other contract or promise expressed or implied, written or verbal. That should any other or additional agreement become necessary, the same shall be void unless reduced to writing and signed by the parties hereto.

That this agreement in part or entirety is subject to strikes, suspension of electric service, failure of transportation facilities, Government decrees, fire, floods, wrecks, tornadoes, war, riots, public demonstrations, or other good and sufficient reasons beyond the control of either party hereto. Both parties agree to work together to make this event a success.

IN WITNESS WHEREOF, we set our hands and seals in good faith this 25th day of July, 2018

VILLAGE OF CAROL STREAM

ALPINE AMUSEMENT CO., INC.

By: _____
Party of the Second Part

By: _____
Party of the First Part

Void if not returned by August 15, 2018.

ADDENDUM "A"

All costs and expenses of supplying the amusements are the sole responsibility of Alpine Amusement Co., Inc.

Alpine Amusement Co., Inc. agrees that the Village shall have the right to have a representative present in any ticket booth at any time during the event if Alpine Amusement Co., Inc. supplies the staff. Alpine Amusement Co., Inc. also agrees that the Village shall have the right to have a representative examine any and all books, records of ride ticket sales from the Village of Carol Stream Summer in the Center festival and to make copies. Alpine Amusement Co., Inc. agrees that it will retain any and all ticket stubs and/or unsold tickets. Alpine Amusement Co., Inc. agrees that the Village shall have the right to examine said ride tickets and/or stubs and, at the Village's option and cost, conduct an independent audit of all ride ticket sales generated from the event.

Both the Village of Carol Stream and Alpine Amusement Co., Inc will determine the layout of the rides and concession booths. Alpine Amusement Co., Inc. must comply with all reasonable directives of the Village of Carol Stream.

Alpine Amusement Co., Inc. agrees to work with the Village to provide a "No-Charge" disability/physically challenged program to take place on Saturday, September 1st, 2018 from 11:00 am -1:00 p.m.

Ride selections will be based on available space and selection between the Village of Carol Stream and Alpine Amusement Co., Inc. Layout of the rides and concession booths will be determined when the snow subsides and access to the grounds is available. Appropriate measurements and walk through is required by Alpine Amusement Co., Inc. to provide accurate ride selection.

Alpine Amusement Co., Inc. agrees to comply with Village Ordinance No. 2002-06-35, regulating carnivals.

Alpine Amusement Co., Inc. shall furnish the appropriate number of uniformed ride attendants and a ride foreman on the festival grounds at all times when festival is operating.


Alpine Amusement Co., Inc. shall obtain all required 2018 State of Illinois ride inspection permits and DuPage County Health Department Food Concession permits, which shall be posted in a conspicuous location for public viewing at the ticket sales booth.

Amusement and concession prices will generally be as follows (prices subject to change):

Amusement/Concession	Price
Children Rides	\$3.75
Intermediate Rides	\$5.00
Adult Rides	\$5.00
Slide Ride	\$2.50
Pop/Lemonade	\$2.00-\$5.00
Cotton Candy	\$2.00-\$7.00
Corn Dogs	\$4.00-\$6.00
Funnel Cake	\$6.00
Rope Liquorish	\$1.00
Popcorn	\$2.00-\$4.00
Games (Regulation Basketball, Cat Rack, Balloon, Machine Gun, Grab Bag, etc.)	\$3.00-\$5.00
Spectacular Rides	\$6.25

Alpine Amusement Co., Inc. ticket and concession prices shall not exceed those prices charged at its other events in 2018.

Village of Carol Stream
Interdepartmental Memo

TO: Joseph E. Breinig, Village Manager
FROM: Rose Armstrong, Secretary
DATE: August 1, 2018 
RE: Raffle License Application
Windsor Park

Windsor Park is sponsoring their Annual Benevolent Gala to benefit the Windsor Park Benevolent Care Fund. The benefit will be held at the Windsor Park Campus on Sunday, October 14, 2018.

Raffle tickets will be sold from October 1 – 14, 2018 for 1 for \$5.00; 3 for \$10.00 and 10 for \$20.00.

They have requested a waiver of both the License Fee and Manager's Fidelity Bond as indicated in the attached letter request. The raffle license application and required documentation is on file in the Village Clerk's office for your review.

Please place this item on the agenda for review and approval by the Village Board of Trustees at their Monday, August 6, 2018 Board meeting.

Thank you.

Attachment



WINDSOR PARK

A Covenant Retirement Community

124 Windsor Park Drive • Carol Stream, Illinois 60188

August 1, 2018

Rose Armstrong
Administration
Village of Carol Stream
505 E. North Avenue
Carol Stream, IL 60188

Dear Ms. Armstrong,

As you know, I am the raffle manager for the upcoming Windsor Park Annual Benevolent Care Gala to be held on our Carol Stream campus on Sunday October 14th.

I am writing to request a waiver of the fees associated with our raffle application for the Gala.

The raffle is a new feature of the Gala, which is our major annual charitable event in support of our Benevolent Care Fund, which assists residents who outlive their financial resources – despite careful planning – so they don't have to move out of the home they have come to know and love. This enables Windsor Park to provide peace of mind for our residents and their loved ones as they progress through the years.

Every dollar given, and every dollar saved, helps make the Gala a success. So we hope the Village will be able to waive the fee for our raffle.

Thanks in advance,

Kathy Cornell

Director of Development

Windsor Park

124 Windsor Park Drive, Carol Stream, IL 60188

Desk: 630-510-5572

Email: kcornell@covenantretirement.org

Website: www.covenantretirement.org

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on August 6, 2018**

AGENDA ITEM
2-1 8/6/18

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
ACCESS ONE					
BK UP OTS SRV JULY	660.18	01652800-52230	TELEPHONE	3567015	
	660.18				
ACCURATE OFFICE SUPPLY CO					
FINANCE CASHIER TONER	173.45	01612900-53317	OPERATING SUPPLIES	450027	
	173.45				
ACTION ELECTRIC ENTERPRISES INC					
WIRING	600.00	01670400-52244	MAINTENANCE & REPAIR	9621	
	600.00				
ALEXIAN BROTHERS AMBULATORY GROUP					
2 POST OFFR PHYSICALS & RANDOM DOT DRG SC	739.00	01600000-52225	EMPLOYMENT PHYSICALS	655728	
	739.00				
APPLIED ECOLOGICAL SERVICES INC					
MTC SRV'S MULT POLLINATOR SITE	1,000.00	01670400-52272	PROPERTY MAINTENANCE	49343	20190001
	1,000.00				
B & F CONSTRUCTION CODE SERVICES, INC					
BLDG PLAN REVIEW (1271 N COUNTY FARM RD)	2,177.84	01643700-52253	CONSULTANT	49691	
BLDG PLAN RVW 546 S SCHMALE (DAVITA)	1,584.00	01643700-52253	CONSULTANT	49778	
BLDG PLN RVW 775 EAST DR	3,358.48	01643700-52253	CONSULTANT	49758	
PLUMBING INSP'S JUNE	1,084.00	01643700-52253	CONSULTANT	10211	
SPRINKLER RVW 870 ARMY TRL (BUCKY'S)	494.34	01643700-52253	CONSULTANT	49781	
	8,698.66				
BAXTER & WOODMAN INC					
NPDES SRV FRM 6/16 - 7/14	360.00	04101100-52253	CONSULTANT	0200392	
REVIEW TANK LEAK REPORT	2,474.98	04201600-52253	CONSULTANT	0200393	
	2,834.98				

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<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
BEACH BUM BAND					
JOHNNY RUSSLER & BEACH BUM AUGUST 9TH	1,200.00	01750000-52288	CONCERT SERIES	AUGUST 9TH CONCERT	
	<u>1,200.00</u>				
BLOOMINGDALE TOWNSHIP					
MOSQUITO ABATEMENT SRV'S JULY	8,552.50	01670100-52269	MOSQUITO ABATEMENT	10302	
MOSQUITO ABATEMENT SRVS JUNE	8,552.50	01670100-52269	MOSQUITO ABATEMENT	10202	
	<u>17,105.00</u>				
BRIAN CLUEVER					
IACP CONF PR DIEM 8/11 -8/16	223.00	01662300-52223	TRAINING	IACP CONF PR DIEM	
	<u>223.00</u>				
CANON SOLUTIONS AMERICA					
PRINTER MTC 6/25 -9/24 2018	2,989.48	01652800-52226	OFFICE EQUIPMENT MAINTENANCE	026388835	
	<u>2,989.48</u>				
CH2MHILL OMI					
OPERATING CONTRACT-SEPT	143,818.92	04101100-52262	WRC CONTRACT	67698	20190009
	<u>143,818.92</u>				
CITY ELECTRIC SUPPLY					
197 LED ST LIGHTS	26,190.14	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	GUR/074395	
SHORT CAPS FOR LED PROJ	800.00	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	GUR/074584	
	<u>26,990.14</u>				
COMCAST CABLE					
SERV THRU JUL 14, 2018	4,443.91	01652800-52230	TELEPHONE	67556935 7/15/18	
	<u>4,443.91</u>				

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COMED					
1015 LIES RD TOWER #4	45.26	04201600-53210	ELECTRICITY	2514004009 7/17/18	
1015 W LIES RD TOWER #4	39.40	04201600-53210	ELECTRICITY	2514004009 6/15/18	
1025 LIES RD -CONTROLLER	221.49	01670300-53213	STREET LIGHT ELECTRICITY	6213120002 7/17/18	
1025 LIES RD- CONTROLLER	240.59	01670300-53213	STREET LIGHT ELECTRICITY	6213120002 6/15/18	
106 GOLDENHILL	133.17	01670600-53210	ELECTRICITY	2127117053 07/23/18	
1128 EVERGREEN LIFT STATION	88.85	04101500-53210	ELECTRICITY	0291093117 7/19/18	
1350 TALL OAKS, STATION	67.05	04101500-53210	ELECTRICITY	2073133107 7/18/18	
1415 MAPLE RIDGE	208.32	01670600-53210	ELECTRICITY	5838596003 7/19/18	
1415 MAPLE RIDGE	249.60	01670600-53210	ELECTRICITY	5838596003 6/19/18	
192 YUMA LN	33.47	01670300-53213	STREET LIGHT ELECTRICITY	0501137042 7/18/18	
333 FULLERTON , WELL #3	152.90	04201600-53210	ELECTRICITY	0300009027 7/18/18	
391 ILLINI DR	142.63	01670600-53210	ELECTRICITY	4430145023 7/18/18	
401 TOMAHAWK	51.89	01670300-53213	STREET LIGHT ELECTRICITY	0723076266 07/18/18	
500 N GARY AVE	3,484.60	11740000-55490	VILLAGE HALL RENOVATION	0795333005 7/23/18	
633 THUNDERBIRD	89.53	01670300-53213	STREET LIGHT ELECTRICITY	0455095075 7/18/18	
850 LONGMEADOW	143.25	01670600-53210	ELECTRICITY	1865134015 7/18/18	
879 DORCHESTER	140.98	01670600-53210	ELECTRICITY	0803155026 7/18/18	
KUHN RD CAMERA	42.13	01662300-52298	ATLE SERVICE FEE	4202129060 7/18/18	
MASTER ACCT - 5025	459.92	01670300-53213	STREET LIGHT ELECTRICITY	5853045025 7/20/18	
SW- MORTON & LIES	197.81	01670300-53213	STREET LIGHT ELECTRICITY	0815164035 7/26/18	
	6,232.84				
COMLABS					
BK UP COMM FOR EOC 6/2018 -5/2019	3,756.00	01652800-52230	TELEPHONE	12463	
	3,756.00				

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CONSTELLATION NEW ENERGY					
1 N END THORNHILL	103.52	01670300-53213	STREET LIGHT ELECTRICITY	12630290201 7/19/18	
100 DELLA CT	13.82	01670300-53213	STREET LIGHT ELECTRICITY	12574427201 7/11/18	
1345 GEORGETOWN CONTROLLER	18.97	01670300-53213	STREET LIGHT ELECTRICITY	12645531101 7/20/18	
301 ANTELOPE	61.45	01670300-53213	STREET LIGHT ELECTRICITY	12638113701 7/19/18	
391 FLINT	52.54	01670300-53213	STREET LIGHT ELECTRICITY	12638132601 7/19/18	
403 SIOUX	17.24	01670300-53213	STREET LIGHT ELECTRICITY	12638123301 7/19/18	
451 SILVERLEAF BLVD	38.08	01670300-53213	STREET LIGHT ELECTRICITY	12638100801 7/19/18	
491 CHEYENNE	17.07	01670300-53213	STREET LIGHT ELECTRICITY	12638150801 7/19/18	
500 N GARY -CONTROLLER	202.77	01670300-53213	STREET LIGHT ELECTRICITY	12638151301 7/19/18	
506 CHEROKEE	41.52	01670300-53213	STREET LIGHT ELECTRICITY	12638136801 7/19/18	
512 CANYON TRL	15.98	01670300-53213	STREET LIGHT ELECTRICITY	12638116701 7/19/18	
594 NEZ PERCE CT	59.70	01670300-53213	STREET LIGHT ELECTRICITY	12638116201 7/19/18	
796 PAWNEE	47.73	01670300-53213	STREET LIGHT ELECTRICITY	12638133401 7/19/18	
880 PAPOOSE CT	77.07	01670300-53213	STREET LIGHT ELECTRICITY	1268114001 7/19/18	
990 DEARBORN	56.57	01670300-53213	STREET LIGHT ELECTRICITY	12638139801 7/19/18	
	824.03				
CORNERSTONE PARTNERS HORTICULTURAL SRVCS.CO					
SOD RESTORATION	3,860.79	04201600-52244	MAINTENANCE & REPAIR	CP15040	
	3,860.79				
COSTCO WHOLESALE					
FOOD FOR VOLUNTEERS- RAPID DEPLOYMNET TI	48.56	01662700-52223	TRAINING	RAPID DEPLOY TRNG	
SNACKS FOR THE VLG HL VENDING MACH	37.87	01590000-53380	VENDING MACHINE SUPPLIES	VENDING MACH	
	86.43				
DANIEL STAFEIJ					
IACP CONF 8/11- 8/16 PER DIEM	223.00	01662300-52223	TRAINING	PR DIEM CONF IACP	
	223.00				

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DUPAGE COUNTY					
RECORDING OF NOTARY SHANA GALTO	10.00	01662600-52234	DUES & SUBSCRIPTIONS	SHANA GALTO	
	10.00				
DUPAGE WATER COMMISSION					
PRINC/INTEREST DWC LOAN	7,847.00	04200100-56491	LOAN INTEREST	12214	
PRINC/INTEREST DWC LOAN	49,043.74	04200100-56490	LOAN PRINCIPAL	12214	
WATER PURCH - JUNE	574,161.38	04201600-52283	DUPAGE CTY WATER COMMISSION	12218	
	631,052.12				
DYNAMIC INDUSTRIAL SERVICES INC					
TC ARCH MTC	5,230.00	01680000-52219	TC MAINTENANCE	1082	
	5,230.00				
DYNEGY ENERGY SERVICES, LLC					
124 GERZEVSKE, EAST SIDE PASS	1,928.94	04201600-53210	ELECTRICITY	275664018071/2	
200 TUBEWAY, LIFT STATIONS	455.36	04101500-53210	ELECTRICITY	275664018071/4	
300 KUHN RD WEST SIDE PASS	2,703.79	04201600-53210	ELECTRICITY	275664018071/1	
348 CHARGER CT	475.42	04101500-53210	ELECTRICITY	275664018071/3	
	5,563.51				
EARTH INC					
RIP KEYS	57.60	01670600-53317	OPERATING SUPPLIES	20261	
	57.60				
ENFORCEMENT VIDEO, LLC					
WATCH GRD CAMERA SYSTEM AND HRDWR	10,740.00	01662700-53350	SMALL EQUIPMENT EXPENSE	4REINV0007602	
	10,740.00				
ENGINEERING RESOURCE ASSOCIATES INC					
ENGINEERING SERV'S THRU 6/29/18	610.99	11740000-55488	STORMWATER UTILITIES	180620.01	20190022
	610.99				

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GOVTEMPSUSA LLC					
ACCOUNTS CLERK W/E 7/1 & 7/8	1,344.00	04103100-52253	CONSULTANT	2568823	
ACCOUNTS CLERK W/E 7/1 & 7/8	1,344.00	04203100-52253	CONSULTANT	2568823	
ACCOUNTS CLERK W/E 7/15 & 7/22	1,360.80	04103100-52253	CONSULTANT	2579169	
ACCOUNTS CLERK W/E 7/15 & 7/22	1,360.80	04203100-52253	CONSULTANT	2579169	
LIBRARY TECH CONTR W/E 7/01 & 7/08	3,360.00	01652800-52253	CONSULTANT	2568821	
LIBRARY TECH W/E 7/15 & 7/22	3,360.00	01652800-52253	CONSULTANT	2579168	
OFFICE MGR W/E 7/1 & 7/8	3,003.20	01590000-52253	CONSULTANT	2568820	
OFFICE MGR W/E 7/15 & 7/22	3,003.20	01590000-52253	CONSULTANT	2579167	
PROPERTY INSP W/E 7/1 & 7/8	1,400.00	01642100-52253	CONSULTANT	2568822	
R BURGER W/E 7/15	709.24	01612900-52253	CONSULTANT	2579166	
	20,245.24				
H & H ELECTRIC COMPANY					
EMERGENCY STR LIGHT REPR SRV	3,588.43	01670300-52271	STREET LIGHT MAINTENANCE	31165	20190014
	3,588.43				
HAYES MECHANICAL					
AC REPAIR	307.00	01670400-52244	MAINTENANCE & REPAIR	415867	
MECHANICS GARAGE AC REPAIR	1,453.16	01670400-52244	MAINTENANCE & REPAIR	416153	
	1,760.16				
I R M A					
JUNE DEDUCTIBLE	1,026.73	01590000-52215	INSURANCE DEDUCTIBLES	16886	
	1,026.73				
ILLINOIS ASSN OF CODE ENFORCEMENT					
REGIS -MILSCHEWSKI 9/12/18	45.00	01642100-52222	MEETINGS	SEPT 12TH REGIS	
	45.00				
ILLINOIS STATE POLICE					
LIVSCAN FEES REPLENISH	1,000.00	01660100-53317	OPERATING SUPPLIES	ILL13340S JUN/2018	
	1,000.00				

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INFRASTRUCTURE MANAGEMENT SERVICES					
ASSET EXT & DATABASE DEV SIGNS & SUPPORT	4,355.00	01622200-52253	CONSULTANT	10518-2	
ASSET EXT & DATABASE DEV- SIGNS & SUPPORTS	1,000.00	01622200-52253	CONSULTANT	10518-3	
	5,355.00				
JULIE INC					
JULIE LOCATES	387.20	01670600-52272	PROPERTY MAINTENANCE	2018-0376	
JULIE LOCATES	387.21	01670300-52272	PROPERTY MAINTENANCE	2018-0376	
JULIE LOCATES	387.21	04201600-52272	PROPERTY MAINTENANCE	2018-0376	
JULIE LOCATES	387.21	04101500-52272	PROPERTY MAINTENANCE	2018-0376	
	1,548.83				
JASON EAGAN					
IACP CONF 8/11 -8/16 PR DIEM	223.00	01662300-52223	TRAINING	PR DIEM CONF	
	223.00				
JET BRITE CAR WASH INC					
CAR WASHES FOR JUNE	231.00	01662700-52244	MAINTENANCE & REPAIR	071518	
MARCH CAR WASHES	210.00	01662700-52244	MAINTENANCE & REPAIR	MAR/2018 WASHES	
	441.00				
JOHN L FIOTI					
LOCAL PROSECUTION JULY	250.00	01570000-52238	LEGAL FEES	C S 118	
LOCAL PROSECUTION JULY	250.00	01662300-52310	ATLE LEGAL ADJUDICATION	C S 118	
	500.00				
KLEIN, THORPE & JENKINS, LTD					
LEGAL SRV'S 6/2018	63.00	01510000-52238	LEGAL FEES	196788 7/9/18	
LEGAL SRV'S 6/2018	84.00	11740000-55490	VILLAGE HALL RENOVATION	196788 7/9/18	
LEGAL SRV'S 6/2018	7,055.83	01570000-52238	LEGAL FEES	196788 7/9/18	
	7,202.83				

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LIGHTNING PREDICTION SERVICES LLC					
SRV CALL 7/31/18 TC	125.00	01670300-52271	STREET LIGHT MAINTENANCE	201831	
	<u>125.00</u>				
MARK E RADABAUGH					
CS BOARD MTG TAPING/EDITING 7/16/18	100.00	01590000-52253	CONSULTANT	18-0094	
	<u>100.00</u>				
MELROSE PYROTECHNICS					
2018 FIREWORKS	13,000.00	01750000-52291	MISC EVENTS/ACTIVITIES	21164	
	<u>13,000.00</u>				
MICHAEL ZOCHERT					
TRNG EMP 7/29- 8/17 PER DIEM	693.00	01660100-52223	TRAINING	PER DIEM EMP CLS	
	<u>693.00</u>				
MIDWEST METER INC					
AMR RPLMNT PROGRAM	20,113.00	04201400-53333	NEW METERS	0102540-IN	20190019
AMR RPLMNT PROGRAM	56,352.00	04201400-53333	NEW METERS	0102789-IN	20190019
	<u>76,465.00</u>				
MITCHELL REPAIR INFORMATION COMPANY					
ANNL SOFTWARE RENEWAL	4,080.00	01696200-52255	SOFTWARE MAINTENANCE	21825047	
	<u>4,080.00</u>				
MSDSOONLINE INC					
SRV FOR ONLINE SAFETY DATA 8/2018-8/2019	3,399.00	01652800-52255	SOFTWARE MAINTENANCE	184046	
	<u>3,399.00</u>				
MTI CONSTRUCTION SERVICES, LLC					
CAROL STREAM MUNICIPAL CTR	914.56	11-21342	RETAINAGE MTI CONSTRUCTION	18-041	
CAROL STREAM MUNICIPAL CTR	594,435.96	11740000-55490	VILLAGE HALL RENOVATION	18-041	
	<u>595,350.52</u>				

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MUNICIPAL CLERKS OF DUPAGE CO					
6/2018- 5/2019 MEMBERSHIP RNWL CZARNECKI	20.00	01580000-52234	DUES & SUBSCRIPTIONS	LAURA CZARNECKI	
	20.00				
MUNICIPAL GIS PARTNERS INC					
MGP GIS SERV'S JULY	11,928.31	01652800-52257	GIS SYSTEM	4124	
	11,928.31				
NICOR					
CHARGER CT	93.53	04101500-53230	NATURAL GAS	86606011178 7/20/18	
TUBEWAY DR	28.57	04101500-53230	NATURAL GAS	14309470202 7/18/18	
WELL #4	27.97	04201600-53230	NATURAL GAS	13811210007 7/19/18	
	150.07				
NOTARY PUBLIC ASSOCIATION OF IL					
NEW NOTARY REGISTRATION	88.00	01662600-52234	DUES & SUBSCRIPTIONS	NICOLE S COLLUM	
	88.00				
OPERATION SUPPORT OUR TROOPS					
CONCERT RAFFLE & DONATIONS	2,000.00	01-24227	SUPPORT OUR TROOPS RAFFLE	7/18/18 CONCERT	
	2,000.00				
PADDOCK PUBLICATIONS INC					
BID NOTICE - MUDJACKING	97.75	01580000-52240	PUBLIC NOTICES/INFORMATION	T4505447	
	97.75				
PAHCS II					
POST OFFER PHYSICAL- OFFICER	454.45	01510000-52228	PERSONNEL HIRING	222211	
POST OFFER PHYSICAL- REC CLERK	105.93	01600000-52225	EMPLOYMENT PHYSICALS	222454	
POST OFFER STRESS TEST- OFFICER	396.90	01510000-52228	PERSONNEL HIRING	222318	
	957.28				

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PUSH WELLNESS SOLUTIONS INC					
WELLNESS INCENTIVES - AUGUST	2,278.00	01600000-52340	WELLNESS PROGRAM	161226	
	2,278.00				
REFUNDS MISC					
ADM & PUBLIC SAFTEY TOW REIMB	475.00	01000000-45321	TOWING FEE	CS18022507	
CANCELLED APPL FEES	4,300.00	01000000-44318	PUBLIC HEARING FEES	175 MERCEDES	
DUPL PYMNT ONLINE TICKET 219313 REFUND	20.00	01000000-45402	ORDINANCE FORFEITS	TICKET 219313	
DUPL PYMNT TICKET 239314 REFUND	60.00	01000000-45402	ORDINANCE FORFEITS	TICKET 239314	
	4,855.00				
REFUNDS PRESERVATION BONDS					
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	1330 LANCE LN	
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	455 HUNTER	
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	516 CHEROKEE CT	
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	521 PARKSIDE	
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	707 STUART	
DRIVEWAY BOND REFUND	300.00	01-24302	ESCROW - GRADING	840 BURNING TRL	
PATIO BOND REFUND	200.00	01-24302	ESCROW - GRADING	1060 PHEASANT	
PATIO BOND REFUND	200.00	01-24302	ESCROW - GRADING	1127 BRADBURY	
PATIO BOND REFUND	200.00	01-24302	ESCROW - GRADING	213 ARAPAHOE(1)	
PATIO BOND REFUND	200.00	01-24302	ESCROW - GRADING	530 FLINT	
PATIO BOND REFUND	200.00	01-24302	ESCROW - GRADING	610 APPALOOSA	
	2,800.00				
REFUNDS TAX STAMPS					
TAX STAMP #29731 REFUND	1,260.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 29731	
TAX STAMP 29766 REFUND	726.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 29766	
TAX STAMP 29790 REFUND	810.00	01000000-41208	REAL ESTATE TRANSFER TAX	TAX STP 29790	
	2,796.00				

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ROBERT TURNHOLT					
IACP CONF 8/11- 8/16 PER DIEM	223.00	01662300-52223	TRAINING	PR DIEM IACP CONF	
	223.00				
RUSH TRUCK CENTERS					
	266.29	01696200-53354	PARTS PURCHASED	3011288670	
JL BATTERY	304.50	01696200-53354	PARTS PURCHASED	3011273603	
JL BOLT	2.73	01696200-53354	PARTS PURCHASED	3011392499	
JL CKP SENSOR	96.49	01696200-53354	PARTS PURCHASED	3011357153	
JL CLUTCH	103.58	01696200-53354	PARTS PURCHASED	3011217156	
JL COVER	30.38	01696200-53354	PARTS PURCHASED	3011406763	
JL FUEL FILTER	12.99	01696200-53354	PARTS PURCHASED	3011343393	
	816.96				
SCHROEDER ASPHALT SERVICES					
FLEXIBLE PAVEMENT PROJ	-74,411.68	11-21446	RETAINAGE SCHROEDER	2018-202	20190018
FLEXIBLE PAVEMENT PROJ	744,116.68	11740000-55486	ROADWAY CAPITAL IMPROVEMEN	2018-202	20190018
	669,705.00				
SCORPIO CONSTRUCTION CORP.					
EMERGENCY SEWER REPAIR 1233 CRYSTALL SHR	10,110.00	04101500-52244	MAINTENANCE & REPAIR	711-18	
	10,110.00				
SERVICE COMPONENTS INC					
STROBE LIGHTS	128.97	04201600-54415	VEHICLES	92038	
STROBE LIGHTS	180.00	04201600-54415	VEHICLES	92082	
	308.97				
SERVICE EXPRESS INC					
HARDWARE WARRANTY 5/1/18-4/30/19	2,796.00	01652800-52226	OFFICE EQUIPMENT MAINTENANC	249554	
	2,796.00				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on August 6, 2018**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
SIKICH LLP					
AUDIT FEES- FY18	500.00	01520000-52237	AUDIT FEES	350060	
	<u>500.00</u>				
SMITH SECKMAN REID INC					
MUNICIPAL CTR RENOV SRV THRU 6/29/18	1,716.17	11740000-55490	VILLAGE HALL RENOVATION	253644	
	<u>1,716.17</u>				
SOS TECHNOLOGIES					
AED RPLMNT BATTERY	90.00	01600000-53350	SMALL EQUIPMENT EXPENSE	149591	
	<u>90.00</u>				
STEPHEN A LASER ASSOCIATES P C					
4 POLICE CANDIDATE ASSESSMENTS	2,400.00	01510000-52228	PERSONNEL HIRING	2006480	
	<u>2,400.00</u>				
TELCOM INNOVATIONS GROUP LLC					
CALLER ID CONFIG	70.00	01652800-52230	TELEPHONE	A52029	
INITIAL MAILBOX FORWARDING	105.00	01652800-52230	TELEPHONE	A52014	
TELEPHONE CONFIGURATION ASSISSTANCE	280.00	01652800-52253	CONSULTANT	A52053	
	<u>455.00</u>				
TIM'S AUTO BODY					
BODY SHOP REPAIR #626	1,712.85	01662700-52244	MAINTENANCE & REPAIR	4452	
BODY SHOP REPAIR #643	812.40	01662700-52244	MAINTENANCE & REPAIR	4447	
	<u>2,525.25</u>				
TM PRODUCTION SERVICES					
CONCERT AUG 9TH SOUND	500.00	01750000-52288	CONCERT SERIES	AUGUST 9TH SOUND	
	<u>500.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on August 6, 2018**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
U S POSTMASTER					
PERMIT 44 RENEWAL	225.00	01610100-52229	POSTAGE	PRMT #44 2018/19	
S/O NOTICE POSTAGE JULY 2018	47.23	04203100-52229	POSTAGE	1529 7/11/18	
S/O NOTICE POSTAGE JULY 2018	47.24	04103100-52229	POSTAGE	1529 7/11/18	
POSTAGE 7/31/18 WATER BILLS	2,149.59	04103100-52229	POSTAGE	1529 8/1/18	
POSTAGE 7/31/18 WATER BILLS	2,149.59	04203100-52229	POSTAGE	1529 8/1/18	
	4,618.65				
UIC ANALYTICAL FORENSIC TESTING LABORATORY					
LAB CASE # 2018-037	175.00	01662700-53317	OPERATING SUPPLIES	H0201	
LAB CASE #'S 2018/070,071,072,73,095,096	750.00	01662700-53317	OPERATING SUPPLIES	H0215	
LAB CASE #'S 182/183/184/185/189/190/191/19	1,075.00	01662700-53317	OPERATING SUPPLIES	H0282	
LAB CASE #'S 2018-118/119/120/121/176/179/1	1,150.00	01662700-53317	OPERATING SUPPLIES	H0249	
LAB CASE #'S 2018/162/163/164/165/166/167	975.00	01662700-53317	OPERATING SUPPLIES	H0269	
LAB CASE#'S 2018/224,225,226,227,228,229,23C	725.00	01662700-53317	OPERATING SUPPLIES	H305	
	4,850.00				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on August 6, 2018**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
VERIZON WIRELESS					
SERV FRM JUN 14- JUL 13, 2018	-200.00	01652800-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	38.01	01652800-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	38.01	01662700-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	40.01	01670100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	55.80	01610100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	55.80	01640100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	55.80	01690100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	76.40	01642100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	76.40	01680000-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	93.81	01600000-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	96.83	01652800-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	111.60	01643700-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	114.61	04200100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	177.84	01590000-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	270.02	04100100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	381.91	01620100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	419.25	04200100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	436.26	01652800-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	486.93	01670100-52230	TELEPHONE	9810933283	
SERV FRM JUN 14- JUL 13, 2018	3,279.19	01662700-52230	TELEPHONE	9810933283	
	6,104.48				
VILLAGE OF CAROL STREAM					
500 N GARY VLG HALL	10.05	01680000-53220	WATER	1377408/20876	
960 GARY AVE	135.98	01680000-53220	WATER	1377410/20878	
960 N GARY AVE FOUNTAIN	536.42	01680000-53220	WATER	1377409/20877	
960 N GARY DRINK FTN GZBO	0.29	01680000-53220	WATER	1377710/21204	
	682.74				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on August 6, 2018**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
WILLIAMS ASSOCIATES ARCHITECTS, LTD					
CS VILLAGE HALL & PD RENOV JUNE	23,434.43	11740000-55490	VILLAGE HALL RENOVATION	0018565	
	<u>23,434.43</u>				
ZEUS BATTERY PRODUCT					
BATTERIES	67.92	01670300-53317	OPERATING SUPPLIES	00236705	
	<u>67.92</u>				
GRAND TOTAL	<u><u>\$2,375,747.75</u></u>				

ADDENDUM WARRANTS
July 17, 2018 Thru August 6, 2018

Fund	Check #	Vendor	Description	Amount
General	A C H	Wheaton Bank & Trust	Payroll July 2, 2018 thru July 15, 2018	602,231.77
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll July 2, 2018 thru July 15, 2018	47,628.78
General	A C H	Wheaton Bank & Trust	Payroll July 16, 2018 thru July 29, 2018	552,957.56
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll July 16, 2018 thru July 29, 2018	52,794.47
				<u>1,255,612.58</u>

Approved this _____ day of _____, 2018

By: _____
Frank Saverino Sr - Mayor

Laura Czarnecki - Village Clerk

The preceding list of bills payable totaling \$2,375,747.75 was reviewed and approved for payment.

Approved by:



Joseph Breinig – Village Manager

Date: 8/3/18

Authorized by:

Frank Saverino Sr – Mayor

Laura Czarnecki- Village Clerk

**Village of Carol Stream
General Fund Budget Summary
For the Month Ended June 30, 2018**

	MONTH				YTD				BUDGET					
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance		
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%	
REVENUES														
Sales Tax	\$ 668,883	\$ 818,552	149,669	22%	\$ 1,237,912	\$ 1,275,354	37,442	3%	\$ 7,418,000	\$ 1,183,539	\$ 1,275,354	91,815	8%	
Home Rule Sales Tax	404,485	454,383	49,899	12%	737,271	705,239	(32,032)	-4%	5,367,000	851,129	705,239	(145,890)	-17%	
State Income Tax	275,259	251,603	(23,656)	-9%	807,504	796,243	(11,261)	-1%	3,575,000	762,462	796,243	33,781	4%	
Utility Tax - Electricity	133,716	136,234	2,518	2%	266,642	275,848	9,206	3%	1,870,000	267,737	275,848	8,111	3%	
Telecommunications Tax	96,651	89,066	(7,585)	-8%	187,938	167,813	(20,125)	-11%	974,000	162,334	167,813	5,479	3%	
Fines (Court, Ord., ATLE, Towing)	103,311	106,898	3,587	3%	202,883	239,523	36,640	18%	1,356,000	229,403	239,523	10,120	4%	
Natural Gas Use Tax	36,748	47,046	10,299	28%	85,136	120,418	35,282	41%	570,000	83,446	120,418	36,972	44%	
Other Taxes (Use, Hotel, PPRT														
Real Estate, Road & Bridge)	409,185	297,286	(111,899)	-27%	581,885	516,257	(65,628)	-11%	2,881,500	564,583	516,257	(48,326)	-9%	
Licenses (Vehicle, Liquor, etc.)	307,387	9,009	(298,379)	-97%	564,248	395,408	(168,841)	-30%	586,700	382,517	395,408	12,891	3%	
Cable Franchise Fees	-	-	-	0%	166,702	115,750	(50,952)	-31%	661,000	110,167	115,750	5,583	5%	
Building Permits	52,256	36,766	(15,490)	-30%	107,934	81,801	(26,133)	-24%	548,800	110,000	81,801	(28,199)	-26%	
Fees for Services	54,657	136,877	82,220	150%	103,719	218,162	114,443	110%	742,000	153,383	218,162	64,778	42%	
Interest Income	5,012	13,475	8,463	169%	9,796	22,624	12,829	131%	140,000	23,333	22,624	(709)	-3%	
All Other / Miscellaneous	65,339	76,516	11,177	17%	134,667	188,274	53,606	40%	970,000	151,833	188,274	36,440	24%	
Revenue Totals	2,612,888	2,473,711	(139,177)	-5%	5,194,236	5,118,712	(75,524)	-1%	27,660,000	5,035,866	5,118,712	82,846	2%	
EXPENDITURES														
Fire & Police Commission	2,450	2,026	(424)	-17%	2,792	18,775	15,983	572%	19,510	3,252	18,775	15,523	477%	
Legislative Board	37,471	38,431	961	3%	40,865	40,739	(126)	0%	122,155	20,359	40,739	20,380	100%	
Plan Commission & ZBA	491	180	(311)	-63%	1,042	504	(539)	-52%	5,900	983	504	(480)	-49%	
Emergency Services	-	-	-	0%	-	-	-	0%	29,070	4,845	-	(4,845)	-100%	
Legal Services	10,885	(3,246)	(14,131)	-130%	41,000	36,151	(4,849)	-12%	274,000	45,667	36,151	(9,516)	-21%	
Village Clerk	2,962	3,582	620	21%	5,322	6,944	1,622	30%	37,784	6,297	6,944	647	10%	
Administration	60,223	55,537	(4,686)	-8%	140,773	127,682	(13,091)	-9%	866,979	144,497	127,682	(16,815)	-12%	
Employee Relations	30,063	33,755	3,691	12%	66,188	63,744	(2,444)	-4%	431,713	71,952	63,744	(8,208)	-11%	
Financial Management	65,617	69,397	3,780	6%	162,953	138,823	(24,130)	-15%	945,852	157,642	138,823	(18,819)	-12%	
Engineering Services	110,562	129,613	19,051	17%	231,491	240,738	9,247	4%	1,355,703	225,951	240,738	14,788	7%	
Community Development	111,421	89,010	(22,410)	-20%	202,269	163,387	(38,882)	-19%	983,016	163,836	163,387	(449)	0%	
Information Technology	83,242	84,783	1,541	2%	174,352	201,685	27,333	16%	1,361,782	226,964	201,685	(25,279)	-11%	
Police	1,076,362	1,121,890	45,528	4%	2,294,863	2,612,072	317,209	14%	15,736,097	2,622,683	2,612,072	(10,611)	0%	
Public Works	266,327	235,796	(30,531)	-11%	560,194	508,618	(51,576)	-9%	3,607,679	601,280	508,618	(92,661)	-15%	
Municipal Building	119,657	64,720	(54,937)	-46%	389,072	116,837	(272,235)	-70%	681,910	113,652	116,837	3,185	3%	
Municipal Garage	(4,383)	(17,396)	(13,013)	297%	(10,843)	(29,561)	(18,718)	173%	-	-	(29,561)	(29,561)	100%	
Transfers and Agreements	235,916	174,350	(61,565)	-26%	235,916	174,350	(61,565)	-26%	1,157,600	217,600	174,350	(43,250)	-20%	
Town Center	8,500	11,800	3,300	39%	8,500	11,800	3,300	39%	43,250	25,000	11,800	(13,200)	-53%	
Expenditure Totals	2,217,766	2,094,229	(123,537)	-6%	4,546,749	4,433,288	(113,461)	-2%	27,660,000	4,652,458	4,433,288	(219,171)	-5%	
Net Increase / (Decrease)	395,122	379,481	(15,640)		647,487	685,424	37,937		-	383,408	685,424	302,016		

Village of Carol Stream
Water and Sewer Fund Budget Summary
For the Month Ended June 30, 2018

MONTH

YTD

BUDGET

REVENUES

	Last Year	Current Year	Monthly Variance	
	Jun	Jun	\$	%
Water Billings	\$ 662,055	\$ 824,220	162,165	24%
Sewer Billings	279,726	358,847	79,120	28%
Penalties/Admin Fees	13,433	13,379	(54)	0%
Connection/Expansion Fees	2,068	-	(2,068)	-100%
Interest Income	8,246	15,743	7,498	91%
Rental Income	11,839	9,784	(2,055)	-17%
All Other / Miscellaneous	367,727	57,652	(310,076)	-84%
Revenue Totals	1,345,095	1,279,625	(65,471)	-5%

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Water Billings	\$ 1,214,801	\$ 1,404,540	189,739	16%
Sewer Billings	501,283	599,771	98,488	20%
Penalties/Admin Fees	27,075	25,325	(1,750)	-6%
Connection/Expansion Fees	2,068	18,997	16,929	818%
Interest Income	15,925	27,917	11,992	75%
Rental Income	23,679	24,450	771	3%
All Other / Miscellaneous	369,823	63,163	(306,661)	-83%
Revenue Totals	2,154,655	2,164,163	9,509	0%

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Water Billings	\$ 8,525,000	\$ 1,439,846	\$ 1,404,540	(35,305)	-2%
Sewer Billings	3,720,000	620,985	599,771	(21,213)	-3%
Penalties/Admin Fees	175,000	29,167	25,325	(3,842)	-13%
Connection/Expansion Fees	27,000	4,500	18,997	14,497	322%
Interest Income	180,000	24,500	27,917	3,417	14%
Rental Income	159,000	26,500	24,450	(2,050)	-8%
All Other / Miscellaneous	94,000	6,167	63,163	56,996	924%
Revenue Totals	12,880,000	2,151,664	2,164,163	12,500	1%

EXPENDITURES

	Last Year	Current Year	Monthly Variance	
	Jun	Jun	\$	%
Salaries & Benefits	103,727	111,524	7,798	8%
Purchase of Water	462,662	511,941	49,279	11%
WRC Operating Contract	154,056	143,819	(10,237)	-7%
Maintenance & Operating	100,777	115,289	14,511	14%
IEPA Loan P&I	-	-	-	0%
DWC Loan P&I	-	-	-	0%
Capital Outlay	8,413	-	(8,413)	-100%
Expenditure Totals	829,635	882,573	52,938	6%
Net Increase / (Decrease)	515,460	397,051	(118,409)	

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Salaries & Benefits	206,786	224,729	17,943	9%
Purchase of Water	938,429	1,042,763	104,334	11%
WRC Operating Contract	435,132	484,907	49,774	11%
Maintenance & Operating	365,161	315,159	(50,002)	-14%
IEPA Loan P&I	-	-	-	0%
DWC Loan P&I	-	-	-	0%
Capital Outlay	8,413	33,468	25,056	298%
Expenditure Totals	1,953,921	2,101,027	147,106	8%
Net Increase / (Decrease)	200,734	63,137	(137,597)	

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Salaries & Benefits	1,501,462	250,244	224,729	(25,514)	-10%
Purchase of Water	6,325,000	1,147,339	1,042,763	(104,576)	-9%
WRC Operating Contract	1,854,690	309,115	484,907	175,792	57%
Maintenance & Operating	2,458,561	409,760	315,159	(94,601)	-23%
IEPA Loan P&I	428,650	-	-	-	0%
DWC Loan P&I	56,891	-	-	-	0%
Capital Outlay	3,857,500	-	33,468	33,468	100%
Expenditure Totals	16,482,754	2,116,458	2,101,027	(15,431)	-1%
Net Increase / (Decrease)	(3,602,754)	35,205	63,137	27,931	

Village of Carol Stream
Capital Budget Summary
For the Month Ended June 30, 2018

	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
CAPITAL PROJECTS FUND											
REVENUES											
Local Motor Fuel Tax	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ 780,000	\$ -	0%
Capital Grants	-	5,104	5,104	100%	-	5,104	5,104	100%	481,000	5,104	1%
Interest Income	18,610	22,350	3,739	20%	36,115	45,893	9,778	27%	225,000	45,893	20%
All Other / Miscellaneous	-	-	-	0%	-	-	-	0%	379,000	-	0%
Revenue Totals	18,610	27,454	8,843	48%	36,115	50,996	14,882	41%	1,865,000	50,996	3%
EXPENDITURES											
Roadway Improvements	127,578	142,663	15,085	12%	245,215	175,877	(69,338)	-28%	4,157,000	175,877	4%
Facility Improvements	507,438	1,198,205	690,767	136%	564,158	2,762,849	2,198,691	390%	5,385,000	2,762,849	51%
Stormwater Improvements	5,918	-	(5,918)	-100%	38,973	-	(38,973)	-100%	931,000	-	0%
Miscellaneous	-	-	-	0%	567	126	(441)	-78%	5,000	126	3%
Expenditure Totals	640,934	1,340,868	699,934	109%	848,912	2,938,852	2,089,939	246%	10,478,000	2,938,852	28%
Net Increase / (Decrease)	(622,324)	(1,313,415)	(691,091)	111%	(812,798)	(2,887,855)	(2,075,057)	255%	(8,613,000)	(2,887,855)	34%

MFT FUND

REVENUES											
Motor Fuel Tax Allotments	\$ 88,155	\$ 83,693	(4,462)	-5%	\$ 175,101	\$ 174,602	(499)	0%	\$ 1,020,000	\$ 174,602	17%
Interest Income	3,804	1,031	(2,773)	-73%	7,324	1,915	(5,410)	-74%	72,000	1,915	3%
Revenue Totals	91,959	84,724	(7,235)	-8%	182,425	176,516	(5,909)	-3%	1,092,000	\$ 176,516	16%
EXPENDITURES											
Street Resurfacing - Capital	-	-	-	0%	-	-	-	0%	-	-	0%
Crack Filling	-	-	-	0%	-	-	-	0%	119,000	-	0%
Expenditure Totals	-	-	-	0%	-	-	-	0%	119,000	-	0%
Net Increase / (Decrease)	91,959	84,724	(7,235)	-8%	182,425	176,516	(5,909)	-3%	973,000	176,516	18%

* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream
TIF Fund Budget Summary
 For the Month Ended June 30, 2018

NORTH/SCHMALE TIF	MONTH				YTD				BUDGET				
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance	
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%
REVENUES													
TIF Property Taxes	\$ 152,468	\$ 158,391	\$ 5,923	4%	\$ 152,468	\$ 158,391	\$ 5,923	4%	\$ 336,000	\$ 168,000	\$ 158,391	\$ (9,609)	-6%
Sales Taxes	28,305	32,114	3,809		28,305	32,114	3,809	13%	90,000	30,000	32,114	2,114	7%
Interest Income	107	379	273	255%	195	718	523	268%	6,400	1,066	718	(348)	-33%
Village Contribution	15,520	17,136	1,616	10%	15,520	17,136	1,616	10%	17,600	17,600	17,136	(464)	-3%
Revenue Totals	196,399	208,020	11,621	6%	196,487	208,358	11,871	6%	450,000	216,666	208,358	(8,308)	-4%
EXPENDITURES													
Legal Fees	-	1,857	1,857	100%	-	2,361	2,361	100%	3,000	500	2,361	1,861	372%
Consulting Fees	-	-	-	0%	-	-	-	0%	-	-	-	-	0%
Other Expenses	107,371	111,327	3,956		107,371	111,327	3,956	4%	225,000	112,500	111,327	(1,173)	-1%
Expenditure Totals	107,371	113,184	5,813	5%	107,371	113,688	6,317	6%	228,000	113,000	113,688	688	1%
Net Increase / (Decrease)	89,028	94,836	5,808		89,116	94,670	5,554		222,000	103,666	94,670	(8,996)	

Village of Carol Stream
Police Pension Fund Budget Summary
For the Month Ended June 30, 2018

POLICE PENSION FUND	MONTH				YTD				BUDGET					
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance		
	Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%	
REVENUES														
Investment Income	\$ 483,015	\$ 701,393	218,377	45%	\$ 483,778	\$ 701,597	217,819	45%	\$ 3,360,000	\$ 560,000	\$ 701,597	141,597	25%	
Employee Contributions	45,762	46,145	383	1%	92,062	93,102	1,040	1%	645,022	107,504	93,102	(14,402)	-13%	
Village Contribution	172,729	202,915	30,186	17%	345,459	405,830	60,372	17%	2,434,978	405,830	405,830	0	0%	
Other Revenues	-	-	-	0%	-	-	-	0%	-	-	-	-	0%	
Revenue Totals	701,506	950,453	248,946	35%	921,299	1,200,529	279,231	30%	6,440,000	1,073,333	1,200,529	127,196	12%	
EXPENDITURES														
Investment and Admin Fees	478	13,471	12,993	2719%	15,081	15,324	243	2%	175,500	29,250	15,324	(13,926)	-48%	
Participant Benefit Payments	221,802	241,580	19,778	9%	443,604	482,208	38,604	9%	2,951,000	490,000	482,208	(7,792)	-2%	
Expenditure Totals	222,280	255,051	32,771	15%	458,685	497,533	38,848	8%	3,126,500	519,250	497,533	(21,717)	-4%	
Net Increase / (Decrease)	479,226	695,401	216,175		462,614	702,997	240,383		3,313,500	554,083	702,997	148,914		

Village of Carol Stream
Schedule of Cash and Investment Balances
 June 30, 2018

FUND	CASH	LGIPs*	Investments**	TOTAL CASH & INVESTMENTS	LAST YEAR 6/30/2017
GENERAL FUND	\$ 2,083,742.23	\$ 6,188,800.43	\$ 997,550.19	\$ 9,270,092.85	\$ 8,389,989.01
WATER & SEWER FUND	68,075.02	8,053,113.02	3,494,450.67	11,615,638.71	12,342,129.68
CAPITAL PROJECTS FUND	33,041.10	14,436,893.43	-	14,469,934.53	26,017,994.97
MFT FUND	-	689,851.04	2,488,890.08	3,178,741.12	5,323,486.97
NORTH/SCHMALE TIF FUND	251,777.71	265,203.37	-	516,981.08	315,399.24
POLICE PENSION FUND	<u>241,425.30</u>	<u>138,379.90</u>	<u>46,960,140.95</u>	<u>47,339,946.15</u>	<u>44,698,432.14</u>
TOTAL	<u>\$ 2,678,061.36</u>	<u>\$ 29,772,241.19</u>	<u>\$ 53,941,031.89</u>	<u>\$ 86,391,334.44</u>	<u>\$ 97,087,432.01</u>

* Local Government Investment Pools (LGIP) include the Illinois Funds and IMET.

** Detailed investment schedule on following page (excludes Police Pension investments under separate management).

Village of Carol Stream
Schedule of Investments
As of June 30, 2018

<u>CUSIP</u>	<u>Purchase Date</u>	<u>Type</u>	<u>Par Value</u>	<u>Price</u>	<u>(Premium)/ Discount</u>	<u>Book Value</u>	<u>Purchased Interest</u>	<u>Cash Settlement Amount</u>	<u>Coupon Dates</u>	<u>Coupon Rate</u>	<u>YTM</u>	<u>Maturity Date</u>
						##-11501	##-12150					
01 - General Fund												
912796NV7	3/21/2018	Treasury Bill	\$ 500,000.00	0.991156000	\$ 4,422.00	\$ 495,578.00	-	\$ 495,578.00	N/A	N/A	1.85%	9/13/2018
912828A75	3/21/2018	Treasury Note	<u>504,000.00</u>	0.995976562	2,027.81	<u>501,972.19</u>	1,670.72	503,642.91	Jun/Dec	1.500%	2.02%	12/31/2018
Subtotal			\$ 1,004,000.00			\$ 997,550.19						
04 - Water and Sewer												
912828N22	4/18/2018	Treasury Note	\$ 500,000.00	0.995429688	\$ 2,285.16	\$ 497,714.84	\$ 2,129.12	\$ 499,843.96	Jun/Dec	1.250%	1.95%	12/15/2018
912828N63	4/18/2018	Treasury Note	501,000.00	0.993554688	3,229.10	497,770.90	1,447.99	499,218.89	Jan/Jul	1.125%	2.00%	1/15/2019
912828P53	4/18/2018	Treasury Note	504,000.00	0.989453125	5,315.62	498,684.38	647.40	499,331.78	Feb/Aug	0.750%	2.04%	2/15/2019
912828P95	4/18/2018	Treasury Note	1,031,000.00	0.990507813	9,786.45	1,021,213.55	952.55	1,022,166.10	Mar/Sep	1.000%	2.06%	3/15/2019
313384EK1	4/18/2018	FHLB Discount	1,000,000.00	0.979067000	20,933.00	<u>979,067.00</u>	-	979,067.00	N/A	N/A	2.12%	4/15/2019
Subtotal						\$ 3,494,450.67						
06 - Motor Fuel Tax Fund												
912828Q52	4/6/2018	Treasury Note	\$ 2,519,000.00	0.988047	\$ 30,109.92	\$ 2,488,890.08	10,657.31	2,499,547.39	Apr/Oct	0.875%	2.07%	4/15/2019