

# Village of Carol Stream

## BOARD MEETING

### AGENDA

AUGUST 5, 2019

7:30 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

#### **A. ROLL CALL AND PLEDGE OF ALLEGIANCE:**

#### **B. MINUTES:**

1. Approval of Minutes of the July 15, 2019 Village Board Meeting.

#### **C. LISTENING POST:**

1. Swearing in Don Cummings as Police Commander.
2. Swearing in Kelly Lally as Police Sergeant.
3. Presentation of a check donation to Bill Rickert, Executive Director of Operation Support Our Troops-America.
4. Addresses from Audience (3 Minutes).

#### **D. PUBLIC HEARINGS:**

#### **E. SELECTION OF CONSENT AGENDA:**

***If you are here for an item, which is added to the consent agenda and approved, the Village Board has acted favorably on your request.***

#### **F. BOARD AND COMMISSION REPORTS:**

1. Plan Commission/Zoning Board of Appeals
  - a. #19-0008 – Triumph Construction Services/Dynamic MD – 250 North Schmale Road  
*Special Use Permit for Motor Vehicle Service*  
*Special Use Permit for Outdoor Activities and Operations – Parking of Trailers*  
**RECOMMEND APPROVAL WITH CONDITIONS 6-0**
  - b. #19-0011 – Warren Johnson Architects/Burger King – 840 W. Army Trail Road  
*Amendment to a Special Use for a Second Drive-Up Service Window*  
**RECOMMEND APPROVAL WITH CONDITIONS 6-0**  
*Sign Code Variation*  
**APPROVED 6-0**

# Village of Carol Stream

## BOARD MEETING

### AGENDA

AUGUST 5, 2019

7:30 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

- c. #19-0013 – LPC Carol Stream, LLC – 550 Center Avenue  
*Special Use Permit for Outdoor Activities and Operations – Parking of Trailers*  
*Termination of a Special Use Permit for a Recycling Center and Special Use Permit for an Annual Household Hazard Waste Collection Event*

**RECOMMEND APPROVAL WITH CONDITIONS 6-0**

#### **G. OLD BUSINESS:**

#### **H. STAFF REPORTS AND RECOMMENDATIONS:**

1. Award of Contract – 2019 Crackfilling Contract. *Staff recommends award of the 2019 Crackfilling contract to SKC Construction, Inc. at the bid unit prices submitted of \$76,050.00.*
2. Award of Contract – 2019 Pavement Marking Project. *Staff recommends award of the 2019 Pavement Marking Project to Superior Road Striping, Inc. at the bid unit prices totaling \$30,447.23 pursuant to the provisions of Section 5-8-14(L) of the Carol Stream Code of Ordinances.*

#### **I. ORDINANCES:**

1. Ordinance No. 2019-08-\_\_\_\_ Approving a Special Use Permit for Motor Vehicle Service and a Special Use Permit to allow for Outdoor Activities and Operations in the Form of the Storage of Trailers in the I Industrial District (Triumph Construction Services/Dynamic MD, 250 N. Schmale Road). *See F.1.a.*
2. Ordinance No. 2019-08-\_\_\_\_ Approving an Amendment to a Special Use Permit for a Drive-Up Service Window (Warren Johnson Architects, Inc./Burger King, 840 W. Army Trail Road). *See F.1.b.*
3. Ordinance No. 2019-08-\_\_\_\_ Terminating Special Use Permits for a Public Service and Utility Use and Outdoor Activities and Operations (Village of Carol Stream – 550 Center Avenue). *See F.1.c.*

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## BOARD MEETING

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4. Ordinance No. 2019-08-\_\_\_ Approving a Special Use Permit to allow for Outdoor Activities and Operations in the Form of the Storage of Trailers in the I Industrial District (LPC Carol Stream, LLC, 550 Center Avenue). *See F.1.c.*
5. Ordinance No. 2019-08-\_\_\_ Amending the Carol Stream Code of Ordinances to Regulate Tobacco Products and the Purchase and Possession of Tobacco Products, Alternative Nicotine Products and Electronic Cigarettes by a Person under 21 years of age. *This Ordinance amends current tobacco-related laws within the Village's Code to coincide with the new Illinois tobacco statutes.*

#### **J. RESOLUTIONS:**

#### **K. NEW BUSINESS:**

1. Raffle License Application and Sound Amplification Permit – American Cancer Society. *The American Cancer Society is asking for approval of a raffle license and sound amplification permit and the waiver of fees and manager's fidelity bond for their annual Relay for Life event on August 10, 2019 at the Ross Ferraro Town Center.*

#### **L. PAYMENT OF BILLS:**

1. Regular Bills: July 16, 2019 through August 5, 2019.
2. Addendum Warrants: July 16, 2019 through August 5, 2019.

#### **M. REPORT OF OFFICERS:**

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: *Revenue/Expenditure Statement and Balance Sheet, Month Ended June 30, 2019.*

*Village of Carol Stream*

**BOARD MEETING**

**AGENDA**

**AUGUST 5, 2019**

**7:30 P.M.**

*All matters on the Agenda may be discussed, amended and acted upon*

**N. EXECUTIVE SESSION:**

1. Collective Negotiating Matters.

**O. ADJOURNMENT:**

<b>LAST ORDINANCE</b>	<b>2019-07-24</b>	<b>LAST RESOLUTION</b>	<b>3102</b>
<b>NEXT ORDINANCE</b>	<b>2019-08-25</b>	<b>NEXT RESOLUTION</b>	<b>3103</b>

**REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES**  
**Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,**  
**Carol Stream, DuPage County, IL**

**July 15, 2019**

Mayor Saverino called the Regular Meeting of the Board of Trustees to order at 7:30 p.m. and directed Village Clerk Laura Czarnecki to call the roll.

Present: Mayor Frank Saverino, Sr., Trustees John Zalak, John LaRocca, Mary Frusolone and Matt McCarthy

Absent: Trustees Rick Gieser and Greg Schwarze

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey and Village Attorney Jim Rhodes

\*All persons physically present at meeting unless noted otherwise

**MINUTES:**

*Trustee McCarthy moved and Trustee Frusolone made the second to approve the Minutes of the July 1, 2019 Regular Meeting of the Village Board. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Abstain: 0*

*Absent 2 Trustees Gieser and Schwarze*

*The motion passed.*

**LISTENING POST:**

1. Resolution No. 3098 Honoring Matthew Rudelich upon his Retirement from the Village of Carol Stream Police Department.

*Trustee McCarthy moved and Trustee Frusolone made the second to approve Resolution No. 3098 Honoring Matthew Rudelich upon his Retirement from the Village of Carol Stream Police Department.*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

2. Resolution No. 3099 Honoring John Bucholz upon his 20<sup>th</sup> Anniversary of Employment with the Village of Carol Stream Police Department.

*Trustee Frusolone moved and Trustee Zalak made the second to approve Resolution No. 3099 Honoring John Bucholz upon his 20<sup>th</sup> Anniversary of Employment with the Village of Carol Stream Police Department.*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

3. Addresses from Audience (3 Minutes). *None.*

**PUBLIC HEARINGS:**

**CONSENT AGENDA:**

*Trustee LaRocca moved and Trustee McCarthy made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

*Trustee McCarthy moved and Trustee Frusolone made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

1. #18-0011 EcoLux Auto Spa – 120 S. Gary Avenue.
2. Relay for Life Carol Stream – Request for Approval of a Temporary Waiver to the Code of Ordinances to allow Temporary Promotional Signage and a Temporary Sign and Tent Permit Fee Waiver.
3. Personnel Policy Revisions – Information Technology Chapter 1M.
4. Ordinance No. 2019-07-22 Amending the Carol Stream Code of Ordinances, Chapter 15, “Miscellaneous Regulations”, to provide for an Administrative Adjudication System.
5. Ordinance No. 2019-07-23 Amending Chapter 8, Articles 5 and 6 of the Carol Stream Traffic Code – Traffic and Parking Schedules (Schedule IV – Turns and Schedule I Parking Prohibited; Signs Required).
6. Ordinance No. 2019-07-24 Amending Chapter 6, Article 14, Section 1, Subpart A of the Carol Stream Code of Ordinances to adopt the latest amendment to the DuPage County Countywide Stormwater and Flood Plain Ordinance, which includes new Flood Insurance Rate Maps and Flood Insurance Study, as well as text clarifications to Article IX “Site Runoff Conveyance, Storage & Field Tiles” and Article XI “Wetlands”.
7. Resolution No. 3100 Authorizing the Execution of a Contract between the Village of Carol Stream and John Fiotti as Administrative Adjudicator for Automated Traffic Law Enforcement (Red Light), Administrative Tow Hearings and Handicapped Violations.
8. Resolution No. 3101 Approving the Release of Certain Executive Session Minutes of the Mayor and Board of Trustees of the Village of Carol Stream.
9. Resolution No. 3102 Authorizing a Final Plat of Consolidation (Gary & North Avenue/EcoLux Auto Spa, 120 S. Gary Avenue) PIN# 02-32-301-005.
10. Sound Amplification Permit – Outreach Community Center.
11. Payment of Regular and Addendum Warrant of Bills from July 2, 2019 through July 15, 2019.

*Trustee LaRocca moved and Trustee Frusolone made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

*The following are brief descriptions of those items approved on the Consent Agenda for this meeting.*

**#18-0011 EcoLux Auto Spa – 120 S. Gary Avenue:**

*Final Plat of Consolidation*

**Recommend Approval 5-1**

*The Village Board concurred with Plan Commission’s recommendation.*

**Relay for Life Carol Stream-Request for Approval of a Temporary Waiver to the Code of Ordinances to allow Temporary Promotional Signage and a Temporary Sign and Tent Permit Fee Waiver:**

*The Village Board approved the waiver of the temporary sign and tent permit fees and temporary waiver of the Sign Code subject to conditions with regard to the Relay for Life.*

**Personnel Policy Revisions – Information Technology Chapter 1M:**

*The Village Board approved several updates to the Technology Use Policy.*

**Ordinance No. 2019-07-22 Amending the Carol Stream Code of Ordinances, Chapter 15, “Miscellaneous Regulations”, to Provide for an Administrative Adjudication System:**

*The Village Board approved amending the Carol Stream Code of Ordinances to allow for handicapped parking violations to be administratively adjudicated by the Village.*

**Ordinance No. 2019-07-23 Amending Chapter 8, Articles 5 and 6 of the Carol Stream Traffic Code – Traffic and Parking Schedules (Schedule IV – Turns and Schedule I Parking Prohibited; Signs Required):**

*The Village Board approved amending the Traffic Code to reflect no right turn onto Ute Lane from 8am to 9am and 2pm to 4:30pm on school days and a name change from Bonnie Lane to Gerzevske Lane.*

**Ordinance No. 2019-07-24 Amending Chapter 6, Article 14, Section 1, Subpart A of the Carol Stream Code of Ordinances to adopt the latest amendment to the DuPage County Countywide Stormwater and Flood Plain Ordinance, which includes new Flood Insurance Rate Maps and Flood Insurance Study, as well as text clarifications to Article IX “Site Runoff Conveyance, Storage & Field Tiles” and Article XI “Wetlands”:**

*The Village Board approved adopting the amended Ordinance in order to maintain the Village’s standing in the National Flood Insurance Program and maintain its status as a Full Waiver Community for issuing Stormwater Management Certifications for development within the corporate limits.*

**Resolution No. 3100 Authorizing the Execution of a Contract between the Village of Carol Stream and John Fiotti as Administrative Adjudicator for Automated Traffic Law Enforcement (Red Light), Administrative Tow Hearings and Handicapped Violations:**

*The Village Board approved a contract for Professional Services to serve as Administrative Adjudicator with the Law Offices of John L. Fiotti.*



**Resolution No. 3101 Approving the Release of Certain Executive Session Minutes of the Mayor and Board of Trustees of the Village of Carol Stream, Illinois:**

*The Village Board approved releasing certain designated executive session minutes for which there is no longer a need for confidentiality.*

**Resolution No. 3102 Authorizing a Final Plat of Consolidation (Gary & North Avenue/EcoLux Auto Spa, 120 S. Gary Avenue) PIN# 02-32-301-005:**

*The Village Board approved a final plat of consolidation for EcoLux Auto Spa, 120 S. Gary Avenue.*

**Sound Amplification Permit – Outreach Community Center:**

*The Village Board approved a sound amplification permit and waived the fee for their outdoor Community Barbeque in conjunction with the National Night Out Against Crime event on August 6, 2019.*

**Regular Bills and Addendum Warrant of Bills:**

*The Village Board approved payment of the Regular Bills dated July 15, 2019 in the amount of \$2,183,762.41. The Village Board approved the payment of Addendum Warrant of Bills from July 2, 2019 thru July 15, 2019 in the amount of \$659,560.79.*

**Report of Officers:**

*Trustee LaRocca congratulated Matthew Rudelich on his retirement and John Bucholz for his years of service.*

*Trustee Zalak congratulated Matthew Rudelich on his retirement and John Bucholz for his years of service. He expressed to please check on neighbors and loved ones during the current heat wave, especially the elderly. Trustee Zalak stated July is national ice cream month and urge all to eat ice cream!*

*Trustee Frusolone congratulated Matt Rudelich on his retirement and John “Bucky” Bucholz for his years of service. She stressed to please watch for heat symptoms. Culvers will be at the concert for the troops.*

*Trustee McCarthy congratulated Matt Rudelich on his retirement and John Bucholz for his years of service. He stated to please come to the Relay for Life on August 10. Kiyoko Czech from the American Cancer Society outlined the relay event and encouraged cancer survivors and caretakers to participate. Trustee McCarthy stated to Please Shop Carol Stream.*

*Village Clerk Czarniecki stated she is looking forward to seeing everyone at the concert for the troops. She also congratulated Matthew Rudelich on his retirement and John Bucholz for his years of service.*

*Village Attorney Rhodes congratulated Officer Rudelich on his retirement and Sgt. Bucholz for his years of service.*

*Village Manager Mellor stressed not to flush washable wipes and the like down the toilet as they become trapped in the lift station screens, clogging public and private sewer lines and may lead to backups in homes.*

*Mayor Saverino congratulated Matt Rudelich on his retirement and John Bucholz for his years of service. Vehicle sticker enforcement will begin this week. We will start enforcing handicapped violations through adjudication hearings along with red light and towing violations. Municipalities are working on procedures for adult use cannabis. Please keep Flood Brothers family in your thoughts and prayers after their grandmother passed away.*

*At 7:57 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees Zalak, LaRocca, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Gieser and Schwarze*

*The motion passed.*

FOR THE BOARD OF TRUSTEES

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Laura Czarnecki, Village Clerk

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
July 22, 2019.***

Tom Farace, Planning and Economic Development Manager, called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 7:00pm and requested a nomination for Acting Chairman. Commissioner Tucek motioned to nominate Commissioner Creighton, which was seconded by Commissioner Petella, and was unanimously approved.

The results of the roll call were:

Present: Commissioners Dave Creighton, Angelo Christopher, John Meneghini, Frank Petella, Charlie Tucek, Michael Battisto.

Absent: Chairman Frank Parisi.

Also Present: Tom Farace, Planning and Economic Development Manager; and Jane Lentino, Secretary, and a representative from County Court Reporters.

**MINUTES:**

Commissioner Meneghini moved and Commissioner Christopher seconded the motion to approve the minutes of the meeting held on June 24, 2019.

The results of the roll call vote were:

Ayes: 6 Commissioners Creighton, Christopher, Petella, Meneghini, Battisto, Tucek.

Nays: 0

Abstain: 0

Absent: 1 Chairman Parisi.

**PUBLIC HEARING:**

Acting Chairman Creighton asked for a motion to open the Public Hearing. Commissioner Battisto moved and Commissioner Petella seconded the motion.

The motion was passed by unanimous vote.

**Case #19-0008 – Triumph Construction Services/Dynamic MD – 250 North Schmale Road**  
A Special Use Permit for Motor Vehicle Service  
A Special Use Permit for Outdoor Activities and Operations – Parking of Trailers

Acting Chairman Creighton swore in Russell Scurto, 1013 Oakland Court, Barrington, IL, and Vasile Sorocean, 332 Castle Circle, Carol Stream, IL.

Mr. Scurto stated that the location is off of Schmale Road and they are requesting a Special Use for the storage of the trailers, and trucking maintenance and storage facility for Mr. Sorocean's fleet, Dynamic MD. He stated that it is in accordance with the surrounding area.

Mr. Scurto stated that the site is completely fenced on three sides with slatted fencing, and on the front will be decorative fencing, and that only decorative fencing will be seen when coming down Schmale Road.

Acting Chairman Creighton asked for questions from the audience.

Elizabeth Pruett, 77 East Pembroke Drive, Lake Forest, Illinois, read her notes objecting to the Special Use permit application for 250 North Schmale Road. She stated that Butler Products Corporation owns the building located at 565 Randy Road, which is directly behind and shares a lot line with a Special Use permit requester to the south.

Ms. Pruett read a letter which provided a list of factors which outlined their disapproval of the permit. She stated that the land used for a trailer parking lot will have a negative impact on adjacent property values. She stated that trailers with a height of twelve and a half to fourteen feet along a seven foot chain-link fence will be highly visible despite landscaping. She stated that the proposed lighting, exhaust pollution, and noise are a serious deterrent to adjacent tenant use

Ms. Pruett stated that the proposed development has an elevation of 798 versus Schmale Road at 793. She stated that engineering review and detention calculations have not been met, and that storm water detention and runoff issues affect adjoining properties.

Ms. Pruett stated that trucks entering and exiting on Schmale Road, which has a speed limit of 40 MPH, pose a traffic hazard.

Ms. Pruett stated that they would be available and happy to meet on the issues presented and recommended that the Plan Commission rejects the proposed application.

Acting Chairman Creighton asked Mr. Farace for the Staff Report.

Mr. Farace stated that the applicant is seeking two Special Use permits, one for motor vehicle service, and one for outdoor activities and operations in the form of parking of trailers for Dynamic MD, at the property located at 250 North Schmale Road, which is on the west side of Schmale and just south of Kehoe Boulevard. He stated that the property is a vacant lot at this time.

Mr. Farace stated that a building is being proposed on the south side of the property, and would be used for office space and service-based space for the applicants business. He stated that service work on trucks will be specifically for the business, and that there wouldn't be trucks coming from outside facilities to be serviced.

Mr. Farace stated that the building will be a precast concrete building and will be little over 11,000 square feet.

Mr. Farace stated that a truck service requires Special Use approval in the Industrial District, along with the truck/trailer storage. He stated that it is not an uncommon request for properties that are within the Industrial District, and that there are several properties that have requested Special Use approval for trailer storage.

Mr. Farace stated that trailer storage is proposed on the north and south sides of the property with smaller parking spaces proposed on the west side of the property, as indicated by the petitioner. He stated that the entire rear of the property will be fenced in by a 7-foot tall

slatted fence, and that there will be landscaping installed around the exterior of property consisting of a combination of evergreens, and deciduous trees and shrubs. He stated that there is a detention basin proposed in the frontage along Schmale Road that will have landscaping along the east side for screening purposes. He stated that there will be additional landscaping along the detention area on the north that wraps around the south side of the property for added screening.

Mr. Farace stated that, as indicated, there will be a decorative fence along the Schmale Road side of the property with a gate.

Mr. Farace stated that the entrance to the property is at least a hundred feet from the roadway, and that trucks will be able to fully enter into the property. He stated that trucks will not stick out onto Schmale Road, which would impact traffic.

Mr. Farace stated that Staff is supportive of both the Special Use permit request for the truck service and for the outdoor storage for the trailers given the proposed screening with the fencing and the landscaping, and is recommending approval with the conditions listed at the end of the Staff report.

Acting Chairman Creighton asked for questions from the Commission.

Commissioners Meneghini and Christopher had none.

Commissioner Petella asked if they were dealing with DuPage County Water Reclamation and if there was going to be a vault under the lot.

Mr. Farace stated that it would have to meet the County storm water ordinance and the retention basin is above ground. He stated that the Engineering Department has reviewed the preliminary stormwater plan and there will likely be some modifications, but that the project would not be moving forward to the Plan Commission if our Engineering Department didn't feel comfortable with it.

Mr. Farace stated that the Village, and definitely DuPage County, would not allow any type of drainage or stormwater runoff onto adjacent property. He stated that all of the stormwater needs to be collected and drain through the subject property.

Commissioner Tucek clarified that the subject property is currently vacant and asked about its prior use.

Mr. Farace stated that the subject property has always been vacant and there were no prior uses.

Commissioner Tucek asked Ms. Prueff about a point or code that has not been met, and asked Mr. Farace to address the concern.

Ms. Prueff stated that detention had not been met.

Mr. Farace stated that likely the proposed detention basin might have to be modified to be sure that the amount of capacity is being met for the property.

Mr. Scurto stated that the preliminary engineering plans do have storage under the lot to make up for anything that can't get into the pond, and that they will meet all city and county requirements.

Commissioner Tucek asked Ms. Prueff if that would address her concern.

Mr. Louis Hawley, 404 W Brampton Lane, Arlington Heights, IL, a consultant to Ms. Pruet, stated that if there is not sufficient detention that there is always the chance for runoff mechanically, which puts a lot of burden on then mechanical versus natural.

Mr. Scurto stated that there is no mechanical runoff, and that it is a standard stormwater runoff that goes into a storm sewer drain. He stated that the vaults underneath control the flow into the pond, so if it does start to fill up, it goes through a restrictor into the pond. He stated that it is designed for over a three hundred year flood.

Commissioner Battisto asked about the type of trucks or vehicles that will be exiting, and peak usage.

Mr. Sorocean stated that most of the trailers are not tall, that they are a flatbed freight trailer, which is 40 inches off of the ground. He stated that it is a small fleet, and that even if more units were added, there would still be less traffic as compared to other industrial facilities that receive product. He stated that product would not be shipped or received at this facility and that trucks will come just to park when not on the road.

Mr. Sorocean stated that their business model is over the road, and that trucks are all over the country and, if they are operating at full capacity, they will have about 40 units. He stated that they will probably have 10 to 15, with possibly a few more on the weekends.

Mr. Sorocean stated that they ship military freight and street sweepers that are built in Elgin, IL, all over the country. He stated that, at this time they rent parking in East Dundee, which is costly and not secured. He stated that they would like to have the ability to protect and ship the freight the way it was picked up.

Mr. Sorocean stated that the business model is not to cause any unsafe any traffic or inconvenience. He stated that it is to bring value to the community and be able to satisfy their customers.

Commissioner Battisto asked to clarify that there about 20 trucks in Mr. Sorocean's fleet.

Mr. Sorocean stated that the fleet has 20 trucks and that there are only five in Chicago at this time.

Commissioner Battisto asked if they come at all times of day or night.

Mr. Sorocean stated that they don't do local freight so a truck may be parked overnight and leave in the morning.

Acting Chairman Creighton asked if the flatbeds would be empty.

Mr. Sorocean stated that they may be empty, but there may be loaded trailers as well.

Acting Chairman Creighton asked Ms. Pruet to clarify the location of her property and what her business does.

Mr. Farace verified that Ms. Pruet's property was just to the south of the subject property.

Ms. Pruet stated that the property is vacant. She also showed the Commission a picture of another property with a slatted fence and landscaping that did not screen trailers very well.

Commissioner Tucek asked if the picture was a view from her property.

Ms. Pruett stated that it was not her property but was in the area, and that she felt it would be helpful to understand that landscaping would not detract the view of trailers from her building.

Ms. Pruett asked why, if there are only five trailers, are there 25 spaces, and that it is her understanding that the business will grow and this is what they will see.

Commissioner Meneghini asked Ms. Pruett what she thought her business would be.

Ms. Pruett stated that her property has an office with an area for loading and unloading that is not currently being used. She stated that they would like her building to look its best. She stated that for a tenant or potential buyer to see that there are going to be trucks parked out the door in which they come in will detract from the value of her property.

Commissioner Meneghini asked to clarify that Ms. Pruett's concern is aesthetics, fumes and noise,

Ms. Pruett stated yes, and the water issue.

Mr. Sorocean stated that the two properties south of the subject property are vacant. He stated that, once his business is moved in, there will be new jobs for people who will all shop in the area, pay taxes, and it will be productive for many years in the future.

Mr. Scurto stated that the trailers are flatbed trailers, not box trailers, and that they stay below the fence line. He stated that the only thing that might be above the fence line is the cab, or street sweeper that would be parked overnight and on the road the next day.

Commissioner Battisto asked that the Staff recommendations be read for the record.

Acting Chairman Creighton read the following recommendations:

1. That the Cover Letter (received May 24, 2019), and Supplemental Business Information (received May 31, 2019), shall be adopted as part of the governing ordinance for the Special Use Permits;
2. That the security gate shall always be kept closed except for when a vehicle is actively entering or exiting the storage lot;
3. That trucks shall not be allowed to back into the property from Schmale Road;
4. That only automobiles shall park in the front automobile parking lot along Schmale Road, and no trucks, trailers, or equipment shall be allowed to be parked or stored in said lot;
5. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis
6. That a Knox padlock shall be provided on the security gate, and the Carol Stream Fire Protection District and Village Police Department shall be provided keys to said padlock for access onto the property;
7. That trucks and trailers shall be parked in parking spaces only and not block access nor be parked in drive aisles;

8. That prior to the issuance of a building permit, the fence detail and note on the site plan shall be corrected to illustrate a seven foot height instead of a six foot height;
9. That the fencing shall be maintained in good condition so as to provide effective solid screening of the trailer storage area;
10. That Final Engineering review and detention calculations shall include the following:
  - a. It appears approximately 1 acre-ft of volume is shown when closer to 1.4 acre-ft is required.
  - b. The ordinance requires that all new impervious areas filter through the native vegetation. The parking area is still not handled.
  - c. There are concerns regarding the size and orientation of the basin with respect to plant survivability. Manufactured devices may be needed for volume control; and

That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations. Acting Chairman Creighton stated that those are the staff conditions that go along with the recommendation.

Acting Chairman Creighton asked for a motion to recommend approval for a Special Use Permit for motor vehicle service and a Special Use Permit for outdoor activities and operations. Commissioner Petella moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes:	6	Commissioners Christopher, Petella, Meneghini, Tucek, Battisto, Acting Chairman Creighton
Nays:	0	
Abstain:	0	
Absent:	1	Chairman Parisi.

This case will go before the Village Board of Trustees on Monday, August 5, 2019, at 7:30 PM for formal approval.

**Case #19-0011 – Warren Johnson Architects/Burger King – 840 W. Army Trail Road**  
Amendment to a Special Use for a Second Drive-Up Service Window  
Sign Code Variation

Acting Chairman Creighton swore in Tracy Willie, 19 N Greely Street, Palatine, IL

Ms. Willie stated that we are applying for an amendment to the existing Special Use for a second drive-through lane, as there is currently one. She stated that they are also requesting a sign code variation to allow an additional sign on a new canopy.

Acting Chairman Creighton asked for questions from the audience. There were none.

Acting Chairman Asked Mr. Farace for the Staff Report.



Mr. Farace stated that the petitioner is requesting an amendment to a Special Use permit for a second drive up service window at the Burger King at 840 West Army Trail, along with a sign code variation.

Mr. Farace stated that what is being proposed is substantial interior and exterior renovations to the Burger King on Army Trail Road, located in one of the out lots in Heritage Plaza, at the southeast corner of Army Trail and County Farm Road. He stated that a second drive-through lane is being proposed next to the existing drive-through lane. He stated that a few of the southernmost parking spaces will be removed to accommodate the second drive-through lane, citing that, typically, about 70% of customer sales come from the drive-thru lanes at fast food restaurants.

Mr. Farace stated that the existing drive-through lane will stay in its current configuration and the new menu board and ordering board will be installed in the southernmost section. He stated that the queueing will include space for an additional two to three vehicles. He stated that they're also going to do some renovations to the parking lot, including restriping and patching, and landscaping.

Mr. Farace stated that there will be major renovations to the building, such as the addition of new exterior material on the building to accommodate their new prototypical look, which will include new signage.

Mr. Farace stated that the petitioner is also requesting new signage which includes typical Burger King logos on three sides of the building and a canopy sign on top of one of the newer metal canopies on the west side of the building, above the main entrance, and referred to a picture of an existing location.

Mr. Farace stated that, according to the Village's sign code, canopy signage or awning signage is supposed to be on the face of the awning or the canopy, noting that the code is geared more towards traditional canopies or awnings that are fabric. He stated that this canopy is more contemporary in that it is metal and more modern in design. He also stated that it is thinner or smaller, and that if the words were on the face of the canopy they would not be legible, so they would be placed on top.

Mr. Farace stated that the KFC and the McDonald's on the east side of Schmale Road received similar variations a few years ago.

Mr. Farace stated that Staff is comfortable supporting the variation request, and that it is tastefully done. He stated that the letters are the same metal as the metal canopy and it doesn't take away from the new appearance of the building.

Mr. Farace stated that Staff is supportive of both the sign variation request and the amendment to the Special Use.

Acting Chairman Creighton asked for questions from the Commission. There were none.

Acting Chairman asked for a motion to recommend approval of the Special Use permit for a second drive-thru service window. Commissioner Petella moved and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Christopher, Petella, Meneghini, Tucek, Battisto, Acting Chairman Creighton

Nays: 0

Abstain: 0

Absent: 1 Chairman Parisi.

This case will go before the Village Board of Trustees on Monday, August 5, 2019, at 7:30 PM for formal approval.

Acting Chairman Creighton asked for a motion to approve the sign code variation. Commissioner Petella moved and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Christopher, Petella, Meneghini, Tucek, Battisto, Acting Chairman Creighton

Nays: 0

Abstain: 0

Absent: 1 Chairman Parisi.

The motion was unanimously approved.

**Case #19-0013 – LPC Carol Stream, IIL-550 Center Avenue**

A Special Use for Outdoor Activities and Operations-Parking of Trailers  
Termination of a Special Use for a Recycling Center and a Special Use Permit for an Annual Household Hazard Waste Collection Event

Acting Chairman Creighton swore in Aaron Martell, Logistics Property Company, 1 North Wacker, Chicago, IL, and Steve Shanholtzer, Manhard Consulting, 700 Springer Ave, Lombard, IL.

Mr. Martell stated that they have been the owners of the property located at 550 Center Avenue, for about 25 years. He stated that it used to be a waste management facility. He stated that they are seeking a Special Use permit for outdoor storage and operations and trailer parking that will go along with a 185,000 square-foot industrial distribution facility, or inventory building. Mr. Martell stated that they do not have a tenant at this time, and that they are trying to design the building with flexibility and with as much of the market in mind as possible.

Mr. Martell stated that the building will have tall, clear ceilings, maneuverability in the truck courts, and will have trailer parking. He gave the history of the building stating that it was a waste management facility and a spice company for storage. He stated that they are we hoping to attract one of the best tenants in the country. He stated that it's going to be about an 18 million dollar project that will bring in a best-in-class user.

Mr. Martell stated that the project will commence construction immediately, and that they have started demolition.

Mr. Martell stated that the trailer parking will be on the north side of the building, will have 47 parking spaces, and will be concrete paved, fenced in, and landscaped. He stated that it will be consistent with the Glen Ellyn Storage, who is the owner of the property across the street.

Acting Chairman Creighton asked for questions from the audience. There were none.

Acting Chairman Creighton asked Mr. Farace for the Staff Report.

Mr. Farace stated that the petitioner is seeking approval of a Special Use permit for the parking of trailers, along with Staff's request to terminate two previously approved Special Use permits for the recycling facility that was there previously.

Mr. Farace stated that what is being proposed is the demolition of the existing building, and a building of approximately 186,000 square foot speculative office/warehouse building will be constructed in its place. He stated that the building would be a nicely designed, precast concrete building. He stated that the site plan is nicely laid out with building centrally located, and access from both Fullerton Avenue, for the automobile traffic or the parking lot, and Center Avenue, which will have a separate curb cut to accommodate truck traffic. He stated that an office/warehouse use, depending on the business, would be a permitted use in the Industrial district.

Mr. Farace stated that a Special Use permit for a use is not what's being requested. He stated that the Special Use that is being requested is for the trailer parking area on the north side of the building, which is required for properties within the Industrial District.

Mr. Farace stated that Staff feels it makes sense to make the request at this point and, as with similar requests, a combination of fencing and landscape screening is what accompanies these types of requests.

Mr. Farace stated that the landscape plan does a good job of screening and providing appealing landscaping around the building and around the automobile parking area, along with some screening on Center Avenue, and around the modified and enhanced detention area on the west side of the property. He stated that the screening that is proposed at the northeast corner of the property will be a double row of evergreen trees. He stated that at the northeast corner of the property, near the truck docks, will be a seven foot tall, solid fence that will wrap around the northeast corner of the property.

Mr. Farace stated that one of Staff's conditions is that the type of fence will be decided on once a tenant moves into the building prior to occupancy, which Staff is comfortable with. He stated that Staff recommended another small section of fencing along the west side of a small section of evergreens, that is proposed just east of the docks, to match fencing that is proposed at the northeast corner of the property. He stated that there may have been a concern about the grading in this area, but the Engineering Department felt that something could be worked out so the entire area doesn't need fencing, and that it was listed as a condition of approval if the Planning Commission also so chooses.

Mr. Farace stated that Staff is highly supportive of the request and that it makes sense to get rid of the recycling center building and have a new office/warehouse building at this location.

Mr. Farace stated that Staff is hoping the Plan Commission is supportive of terminating the Special Use permit for the recycling center. He stated that when the property was annexed into the Village in 1989 or 1990, and rezoned, a Special Use permit was granted for the property to contain the recycling center. He stated that if the building is going to be demolished, it makes sense to remove that Special Use permit. He stated that in 1998, a Special Use permit was granted for outdoor activities and operations to hold an annual household hazardous waste event on the property, and Staff believes that Special Use permit should be terminated as well.

Mr. Farace stated that Staff is recommending of approval of both requests.

Acting Chairman Creighton asked for questions from the Commission. Commissioners Meneghini and Battisto had none.

Commissioner Petella asked what will be done to break up the monotony of the outside of the precast building.

Mr. Martell stated that there is an abundance of glass on the south elevation along Fullerton, which is not typical for a building this size. He stated that they are hoping for just one tenant, but if there were a third tenant, they would like them to benefit from having a nice store front entrance, which is in center of the south elevation.

Mr. Farace stated that there is articulation on all four sides of the building.

Commissioner Christopher stated the building could be set up for four tenants.

Mr. Martell stated that it's set up better for three.

Commissioner Christopher stated that the location of the fence doesn't make sense, and asked why it was not on the property line

Mr. Shanholtzer stated that fence is positioned where it is due to a public water main.

Commissioner Tucek asked to clarify the history of the building, and asked about the Special Use permit for a recycling center but not for food.

Mr. Farace stated that it was for food storage and not preparation.

Acting Commissioner Creighton asked Mr. Farace about the parking numbers, and if what was shown on the site plan will be adequate.

Mr. Farace stated that Staff was comfortable based on percentage of office space versus warehouse space.

Acting Commissioner Creighton asked for a motion to terminate the Special Use permits for a recycling center and for an annual household hazardous waste event. Commissioner Meneghini moved and Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes:	6	Commissioners Christopher, Petella, Meneghini, Tucek, Battisto, Acting Chairman Creighton
Nays:	0	
Abstain:	0	
Absent:	1	Chairman Parisi.

The motion was unanimously approved.

Acting Commissioner Creighton asked for a motion to approve the Special Use permit for outdoor activities and operations. Commissioner Meneghini moved and Commissioner Petella seconded the motion to approve with Staff conditions..

The results of the roll call vote were:

Ayes: 6 Commissioners Christopher, Petella, Meneghini, Tucek, Battisto, Acting Chairman Creighton

Nays: 0

Abstain: 0

Absent: 1 Chairman Parisi.

The motion was unanimously approved.

This case will go before the Village Board of Trustees on Monday, August 5, 2019, at 7:30 PM for formal approval.

Acting Chairman Creighton asked for a motion to close Public Hearing. Commissioner Meneghini moved and Commissioner Christopher seconded the motion.

The motion was passed by unanimous vote.

**PRESENTATION:**

**NEW BUSINESS:**

**OLD BUSINESS:**

**OTHER BUSINESS:**

Mr. Farace stated that there were no items scheduled for the Plan Commission meeting scheduled for, August 12, 2019.

Acting Chairman Creighton asked for a motion to cancel the Plan Commission meeting scheduled for August 12, 2019. Commissioner Christopher moved and Commissioner Battisto seconded the motion.

The motion passed by unanimous vote.

**ADJOURNMENT:**

At 7:57pm Commissioner Battisto moved and Commissioner Christopher seconded the motion to adjourn the meeting.

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Jane Lentino  
Community Development Secretary

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager *TF*

**THROUGH:** Donald T. Bastian, Community Development Director *DB*

**DATE:** July 23, 2019

**RE:** **Agenda Item for the Village Board Meeting of August 5, 2019**  
**PC/ZBA Case 19-0008, Triumph Construction Services/Dynamic MD – 250 N. Schmale Road, Special Use Permit for Motor Vehicle Service and Special Use Permit for Outdoor Activities and Operations for the Storage of Trailers**

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Russell Scurto III, with Triumph Construction Services, on behalf of Dynamic MD, requests approval of two Special Use Permits for the property at 250 N. Schmale Road; for the servicing of trucks, and for outdoor activities and operations in the form of truck and trailer storage. The applicant proposes to develop the vacant 3.2 acre lot for his trucking/freight carrier business, and proposes to construct an 11,610 square foot building on the south side of the property which will include office space and five service bays for truck repairs. Automobile parking is proposed to the east of the building, with truck/trailer storage proposed on the north, south, and west sides of the property. The property will be secured with seven-foot fencing. Said fencing will be decorative in nature along the east side of the property facing Schmale Road, where a gate is also proposed to secure the entrance to the trailer storage area, and fencing around the remainder of the property will be slatted chain link. Along with the fencing, landscaping is proposed to screen the property from the roadway and adjacent properties, and will also soften the appearance and provide stormwater filtration around the detention areas.

It should be noted that truck/trailer spaces will only be utilized by trucks associated with Dynamic MD, and will not be leased to outside businesses. In addition, the maintenance building will only provide service to trucks associated with Dynamic MD. In addition, all maintenance work will occur inside the maintenance building, and not within the storage lot. Likewise, only trailers and trucks shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment will not be allowed in the storage lot. The applicant's cover letter and supplemental business information includes these provisions among others, and these documents are attached as exhibits to the proposed Ordinance for the project. It should be noted that the property owner and property manager for the property at 565 Randy Road, which is the property directly south of the subject property, attended the July 22<sup>nd</sup> Plan Commission meeting, and voiced their opposition to the proposed requests. Attached to this memo is a letter from the 565 Randy Road property owner (Butler Products Corporation) stating her concerns with the proposal.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on July 19, 2019. At its meeting on July 22, 2019, by a vote of 6-0, the PC/ZBA recommended approval of the Special Use Permits, subject to the conditions in the July 22, 2019 staff report. If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permits for Motor Vehicle Service and Storage of Trailers for Triumph Construction Services/Dynamic MD subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

**ec:** Russ Scurto, Triumph Construction Services (via email)  
Vasile Sorocean, Dynamic MD (via email)

**BUTLER PRODUCTS CORPORATION  
1550 NORTHWEST HIGHWAY  
SUITE 108D  
PARK RIDGE, ILLINOIS 60068**

RECEIVED  
JUL 29 2019  
COMMUNITY DEVELOPMENT  
DEPT

July 22, 2019

Dear Planning Commission,

This letter is to state our objection to the special permit application for 250 N. Schmale Road. Butler Products Corporation owns the building located at 565 Randy Road which is directly behind and shares a lot line with the lot special permit proposer.

The following provides a list of factors which outline our disapproval of the permit:

**1) Negative Impact on Adjacent Property Values**

- The land use for a Trailer Parking Lot significantly affects the value of our property and those around us
- The size of Trailers with height of 12.5' to 14' along 7' chain link fence will be highly visible despite landscaping
- The proposed lighting, exhaust pollution and noise are a serious deterrent to adjacent tenant use

**2) Elevation Differential and Detention Issues**

- Proposed development has an elevation of 798 versus Randy Road 793
- Engineering review and detention calculations have not been met
- Storm water detention and run off issues affect adjoining properties

**3) Public Safety**

- Speed Limit of 40 mph along Schmale with trucks entering and exiting poses a hazard to traffic

We are available and happy to meet and further discuss the above at your request. We recommend that the Village of Carol Stream Plan Commission/Zoning Board rejects the proposed application. Thank you for your attention to this matter.

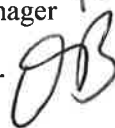
With Regards,

  
Elizabeth Butler Pruett

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager <sup>TK</sup>

**THROUGH:** Donald T. Bastian, Community Development Director 

**DATE:** July 23, 2019

**RE:** **Agenda Item for the Village Board Meeting of August 5, 2019**  
**PC/ZBA Case 19-0011, Warren Johnson Architects, Inc./Burger King – 840 W. Army Trail Road, Amendment to a Special Use Permit for a Second Drive-Up Service Window, Sign Code Variation**

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Tracy Willie, with Warren Johnson Architects, on behalf of Burger King, requests approval of an Amendment to a Special Use Permit for a Second Drive-Up Service Window for the existing restaurant at 840 W. Army Trail Road in Heritage Plaza. Burger King proposes interior and exterior modifications to the existing site and building, along with constructing a second drive-through lane on the south side of the property. Three parking spaces are proposed to be removed at the south end of the property and a second menu board and speaker for ordering will be constructed for drive-through customers. According to the applicant, over 70% of total sales from the subject restaurant comes from drive-through customers, and expanding the amount of vehicles/customers who can order in a timelier manner will increase product delivery and reduce the likelihood of vehicles stacking in the parking lot or into the shopping center drive aisle. Along with the proposed modifications and additional drive-through lane, landscaping will be added along the drive-through area and Army Trail frontage, and property maintenance issues will be addressed including parking lot and retaining wall repairs.

A variation is also requested to install a sign on top of a canopy on the west façade of the building, rather than on the face of the canopy as stipulated in the Village Sign Ordinance. The canopies proposed on the building are contemporary in design, constructed of metal and narrow in width. The metal lettering proposed on top of the west façade canopy, "Flame Grilling Since 1954," will not detract from the overall aesthetics of the building architecture and will blend with the metal materials of the canopy.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on July 19, 2019. At its meeting on July 22, 2019, by a vote of 6-0, the PC/ZBA recommended approval of the Special Use Amendment, subject to the conditions in the July 22, 2019 staff report. If the Village Board concurs with the PC/ZBA recommendation, they should approve the Amendment to a Special Use Permit for a Second Drive-Up Service Window for Warren Johnson Architects/Burger King subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.


The PC/ZBA has the authority to approve or deny Sign Code variation requests. However, the Sign Code grants the Village Board the opportunity to affirm or reverse the decision of the PC/ZBA within 21 days of the date that the request first appears before the Village Board. If the Village Board chooses to take action on the Sign Code Variation request, their decision is final. If the Board chooses not to take action within the 21-day period set forth in the Sign Code, the decision of the PC/ZBA is final.


ec: Tracy Willie, Burger King (via email)



*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager 

**THROUGH:** Donald T. Bastian, Community Development Director 

**DATE:** July 23, 2019

**RE:** **Agenda Item for the Village Board Meeting of August 5, 2019**  
**PC/ZBA Case 19-0013, LPC Carol Stream, LLC – 550 Center Avenue, Special Use Permit for Outdoor Activities and Operations for the Storage of Trailers, Termination of Special Use Permits**

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James Martell, with LPC Carol Stream, LLC, requests approval of a Special Use Permit for outdoor activities and operations in the form of trailer storage at 550 Center Avenue. LPC Carol Stream LLC proposes to demolish the vacant recycling center building at 550 Center Avenue, and construct an 186,000 square foot speculative office/warehouse building with 44 trailers to be stored on the north side of the property. The outdoor storage of trailers on the north side of the property requires Special Use approval. The proposed trailer parking spaces will be screened by a double row of evergreen trees that will be installed at the northeast corner of the property along Center Avenue, and will extend west along the north property line. In addition, the applicant proposes to install a seven-foot tall solid fence at the northeast corner of the property to provide additional screening of the trailer area. Staff also recommended that a section of seven-foot tall fencing be installed directly east and parallel to the easternmost drive-in door on the building (and west of proposed evergreen trees) to provide supplemental screening of the dock area, and the applicant has agreed to this recommendation. The applicant has also requested that the style of fencing be selected at the time that a business occupies the building.

The Village also recommends the termination of the previously approved Special Use Permits for the former DuPage County Recycling Center. In May 1990, the Village Board granted approval of Ordinance No. 90-05-40 which rezoned the subject property to I (Industrial) after it was annexed in to the Village, and granted a Special Use Permit for a public service and utility use (intermediate processing facility). In March 1998, the Village Board granted approval of Ordinance No. 98-03-19, which granted a Special Use Permit for outdoor activities and operations in the form of an annual household hazardous waste event to be held on the subject property. With the closing and pending demolition of the recycling center, and redevelopment of the subject property, staff recommends the termination of the previously approved Special Use Permits. It should be noted that the property owner (Ridge Carol Stream, who are also affiliated with LPC Carol Stream, LLC) has indicated to the Village that they have no objections to the Special Use terminations.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on July 19, 2019. At its meeting on July 22, 2019, by a vote of 6-0, the PC/ZBA recommended approval of the Special Use Permit, subject to the conditions in the July 22, 2019 staff report, along with the Special Use Permit Terminations. If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permit for the storage of trailers for LPC Carol Stream, LLC, subject to the conditions contained within the Ordinance, and Termination of Special Use Permits associated with Ordinance Nos. 90-05-40 and 98-03-19, and adopt the necessary Ordinances.

ec: James and Aaron Martell, LPC Carol Stream, LLC (via email)

*Village Of Carol Stream*  
Interdepartmental Memo

**TO:** Robert Mellor, Village Manager  
**FROM:** Adam Frederick, Civil Engineer II   
**DATE:** July 22, 2019  
**RE:** **Award of Contract - 2019 Crackfilling Contract**

On July 16, 2019 at 11:00 a.m. Engineering Staff opened bids for the referenced project. The following bids were read aloud:

SKC Construction, Inc., West Dundee, IL	\$ 76,050.00
Denler Inc., Mokena, IL	\$ 83,400.00
Engineer's Estimate	\$ 93,400.00

The low bid received was under the budget and the Engineer's Estimate of \$93,400.00 by \$17,350.00 (18%). This project is funded by the MFT Fund and the budget is \$123,000.00.

The low bidder has completed this project successfully for the Village several times in the past. Staff therefore recommends award of the contract to SKC Construction, Inc. at the bid unit prices submitted.


Attachments (Bid Tabs)

cc: William N. Cleveland, Acting Village Engineer  
Jon Batek, Finance Director  
Phil Modaff, Public Works Director

**Bid Tabulation  
2019 Crackfilling  
Bid Opened  
7/16/19**

Item #	ITEM	UNIT	QTY	Village of Carol Stream Engineering Dept.		SKC Construction, Inc. Des Plaines, IL 60118		Denler, Inc. Mokena, IL 60448	
				UNIT COST	AMOUNT	UNIT COST	AMOUNT	UNIT COST	AMOUNT
1	Fiber - Asphalt	LB	60,000	\$1.37	\$82,200.00	\$1.26	\$75,600.00	\$1.370	\$82,200.00
2	Fine Aggregate (FA-6)	TON	20	\$60.00	\$1,200.00	\$10.00	\$200.00	\$10.00	\$200.00
3	Traffic Control and Protection	LS	1	\$10,000.00	\$10,000.00	\$250.00	\$250.00	\$1,000.00	\$1,000.00
	Total Estimate Maintenance Cost				\$93,400.00		\$76,050.00		\$83,400.00

*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager  
FROM: Adam Frederick, Civil Engineer II   
DATE: July 22, 2019  
RE: 2019 Pavement Marking Project – Award of Contract

The Suburban Purchasing Cooperative Joint Purchasing Program (SPC) bids thermoplastic pavement markings for multiple agencies annually. Staff previously submitted approximate quantities to the SPC for inclusion in the joint bid. Superior Road Striping, Inc. was the low bidder with the following unit prices:

Thermoplastic Pavement Marking – Line 4”	\$0.52/FT
Thermoplastic Pavement Marking – Line 6”	\$0.76/FT
Thermoplastic Pavement Marking – Line 12”	\$1.52/FT
Thermoplastic Pavement Marking – Line 24”	\$3.78/FT
Thermoplastic Pavement Marking – Letters and Symbols	\$3.51/SQ FT
Marking Removal	\$0.41/SQ FT

With these bid unit prices, the total cost of the project is \$30,447.23. Staff recommends awarding a contract with regard to the 2019 Pavement Marking Project to Superior Road Striping, Inc. of Melrose Park, IL. at the bid unit prices pursuant to the provisions of Section 5-8-14(L) of the Carol Stream Code of Ordinances. Superior Road Striping, Inc. has completed this project successfully for the Village in the past. The amount budgeted for this project is \$40,000.00.

Attachment (Contract for Village Manager’s Signature)

Cc: William N. Cleveland, Acting Village Engineer  
Jon Batek, Finance Director  
Phil Modaff, Public Works Director

## INDEPENDENT CONTRACTOR'S AGREEMENT

**THIS AGREEMENT** entered into by and between Superior Road Striping, Inc. herein referred to as the "*First Party*"; and the **VILLAGE OF CAROL STREAM**, 500 North Gary Avenue, DuPage County, Illinois, hereinafter referred to as the "*Second Party*".

**WHEREAS**, "*First Party*" will be performing various work under contracts with the said "*Second Party*" entered into and to be entered into from time to time, which work will be performed on and/or off the premises of the "*Second Party*" and said "*First Party*" may have subcontractors or one or more employees engaged in the performance of said work:

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements herein contained, and other good and valuable consideration received and to be received, the "*First Party*" hereby agrees:

1. To comply with all laws, regulations and rules promulgated by any Federal, State, County, Village and/or other governmental unit or regulatory body now in effect or which may be in effect during the performance of the work to which reference is made above. Included within the scope of the laws, regulations and rules referred to in this paragraph but in no way to operate as a limitation, are all forms of traffic regulations, public utility and Intrastate and Interstate Commerce Commissions regulations, Workmen's Compensation Laws, Prevailing Wage Laws, the Social Security Act of the Federal Government and any of its titles, FEPC or FEOC statutory provisions and rules and regulations.
2. To protect, indemnify, hold and save harmless and defend the "*Second Party*" against any and all claims, costs causes, actions and expenses, including but not limited to attorney's fees incurred by reason of a lawsuit or claim for compensation arising in favor of any person, including the employees or officers or independent contractors or subcontractors of the first and second parties, on account of personal injuries or death, or damages to property occurring, growing out of, incident to, or resulting directly or indirectly from the performance by the "*First Party*" hereunder, whether such loss, damage, injury or liability is contributed to by the negligence of the "*Second Party*" whether latent or patent, or from other causes whatsoever, except that the "*First Party*" shall have no liability or damages or the costs incident thereto caused by the sole negligence of the "*Second Party*".
3. To keep in force, to the satisfaction of the "*Second Party*", at all times during the performance of the work referred to above, Commercial General Liability Insurance and Automobile Liability Insurance with Bodily Injury limits of not less than \$1,000,000 and Property Damage Insurance with limits of not less than \$1,000,000. The "*First Party*" agrees that at any time upon the demand of the "*Second Party*" proof of such insurance coverage as will be submitted to the "*Second Party*". There shall be no additional charge for said insurance to the "*Second Party*".
4. To furnish any affidavit or certificate, in connection with the work covered by this agreement as provided by law.
5. To indemnify "*Second Party*" for any loss it may sustain by theft or other cause from the acts or negligence of the employees of the "*First Party*" or of the subcontractors.

**IT IS MUTUALLY UNDERSTOOD AND AGREED** that the "First Party" shall have full control of the ways and means of performing the work referred to above and that the "First Party" or his/its employees, representative or subcontractors are in no sense employees of the "Second Party", it being specifically agreed that in respect to the "Second Party", the "First Party" bears the relationship of an independent contractor.

This agreement shall be in effect from the 5<sup>th</sup> day of August 2019 until the 30<sup>th</sup> day of April, 2020 inclusive.

**IN WITNESS WHEREOF, THE PARTIES** have executed this agreement this \_\_\_\_ day of 20\_\_.

**FIRST PARTY:**

CONTRACTOR Superior Road Striping Inc  
SIGNED \_\_\_\_\_  
BY: Joseph Yano  
TITLE: V.P.

**SECOND PARTY:**

*VILLAGE OF CAROL STREAM*  
SIGNED: \_\_\_\_\_  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

## INSURANCE

The Contractor shall provide and maintain in force, at no cost to the Village for the life of this contract, or any subsequent extension thereof, insurance coverage as follows:

TYPE	MINIMUM COVERAGE
A. Workmen's Compensation	Statutory State of Illinois
B. Comprehensive general and automobile liability and property damage. The Contractor shall defend, indemnify and save harmless the Owner, and all of their officers, agents, employees from all suits, actions or claims of any character brought for or on account of any injuries to or death or damages received by any person, persons or property resulting from the operations of the Contractor or any of its subcontracts, in prosecuting the work under this contract.	\$1,000,000 Combined Single Limit \$2,000,000 Aggregate Limit

**NOTE:** It is also required that the Contractor's insurer be subject to approval by the Village.

The Contractor will defend, indemnify and hold harmless the village of Carol Stream against any and all loss, damage, and expense for any injury to persons or damage to property arising out of, or in connection with, and for any loss or penalty resulting from the violation of any law or ordinance, by the Contractor, employees and/or subcontractors engaged by the Contractor. The Contractor shall defend, indemnify and save harmless and defend the Village of Carol Stream together with the officers, agents and employees of the Village, and each of them, from and against any and all claims, costs, expense and liability of every nature or kind, arising out of, or in any way connected with the operations of Contractor, its officers, agents, employees or any subcontractor under this agreement, specifically excepting those claims arising out of or contributed to by the negligence of the Village, its employees or agents.

Contractor agrees to provide certificates of insurance evidencing compliance with the insurance provisions of this contract.

Contractor agrees that in all insurance coverage's obtained in compliance with the indemnity provisions of this contract the Village shall be named as additional named insured's on the comprehensive general liability and automobile liability policies in an ISO approved policy form and that such certificate of insurance shall contain **no** provision limiting carrier's liability for failure to give insured parties at least 30 days written notice of cancellation of such policy.



## Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • LAURA CZARNECKI, CLERK • ROBERT MELLOR, MANAGER  
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899  
(630) 665-7050 • FAX (630) 665-1064  
www.carolstream.org

### RE: 2019 PAVEMENT MARKING PROJECT

The Contractor agrees to indemnify and hold harmless the Village of Carol Stream, its trustees, officers, officials and employees from any and all losses, claims, actions, costs, expenses, judgments, subrogations or other damages resulting from injury to any person (including injury resulting in death) or damage (including loss or destruction) to property of whatsoever nature of any person arising out of incident to the performance of work by the Contractor (including designated by the Contractor to perform work or services in, about, or attendant to, the work and services under the terms of this contract) at the project listed above. The Contractor shall not be held responsible for any losses, expenses, claims, subrogations, actions, costs, judgments or other damages, directly solely and proximately caused by the negligence of the Village.

Signature

V.P.

Title

Superior Road Striping Inc.

Company Name

7-22-19

Date



**2019**



**Joint Purchasing  
Program**



*DUPAGE  
MAYORS AND MANAGERS  
CONFERENCE*



*NORTHWEST MUNICIPAL  
CONFERENCE*



**WILL COUNTY  
GOVERNMENTAL LEAGUE**

## THERMOPLASTIC ROAD STRIPING

### **Product Information - Contract #158**

Thermoplastic Lane Markings are used on paved roadways to provide guidance and information to drivers and pedestrians.

### **Ordering Information**

Contact Superior Road Striping directly with any questions and to schedule work for your municipality.

The 3rd SPC Lane Marking contract extension runs from April 12, 2019 through April 11, 2020, with no price increases.

### **Superior Road Striping**

1980 N. Hawthorne Avenue  
Melrose Park, IL 60160

Contact: Joan Yario or Sandy DeHoyos

P:708-865-0718 F:708-865-0296

[thermopros@sbcglobal.net](mailto:thermopros@sbcglobal.net)

### **Pricing**

<u>Item Description</u>	<u>UOM</u>	<u>2019 Unit \$</u>
4" Line	LF	\$0.52
6" Line	LF	\$0.76
12" Line	LF	\$1.52
24" Line	LF	\$3.78
Letters & Symbols	SQ FT	\$3.51
Marking Removal	SQ FT	\$0.41

Note: All unit prices are per foot, except Letters & Symbols and Removal, which are priced per square foot.

This award is not in conjunction with the Illinois Department of Transportation, so participating communities may not utilize Motor Fuel Tax (MFT) funds. However, Superior Road Striping must comply with all IDOT rules and regulations, as well as prevailing wage and certified payroll.

**VILLAGE OF CAROL STREAM**  
**PAVEMENT MARKINGS - THERMOPLASTIC**  
**2019 ESTIMATED QUANTITIES**

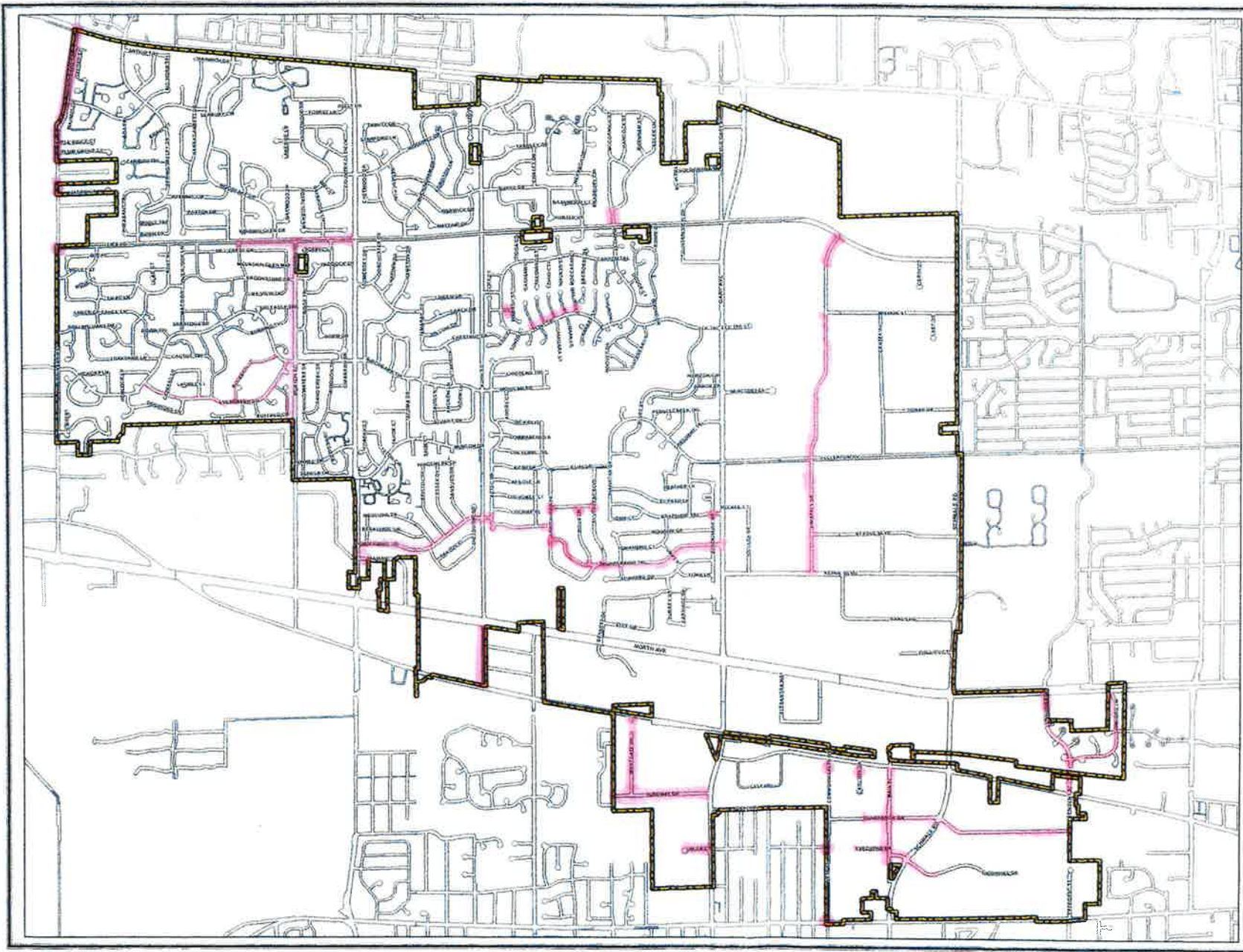
					Letter	
	4 Inch	6 Inch	12 Inch	24 Inch	Symbol	
<b>LOCATION</b>	L..F.	L..F.	L..F.	L..F.	SQ. FT.	Comments
Thermo Unit Price	\$ 0.52	\$ 0.76	\$ 1.52	\$ 3.78	\$ 3.51	Per FY 2019 SPC Contract #158
Fair Oaks Rd (Lies to Army Trail)	9711	848	36	111	146	All Mainline, <b>Do Not</b> do Side Street SB and Xwalks
Lies Rd (High Ridge Pass to County Farm)	5045	540	90	26	136	All
Morton Rd. (Lies to Village Limits)	7620	1296		141	73	All Including Side Street Markings
Vale Rd. @ County Farm				19		Stop Bar
Kuhn Road (North Ave to St. Charles Rd.)	1650	140	0	64	36	No Side Street SB's
Thunderbird Tr. (County Farm to Gary)	730	1700	430	550	68	All, Including Side Street Markings
Idaho (North of Lies)	300	255	133	22	42	All
Delaware Tr. (East of Flint Tr)		62		12		Stop Bar & Crosswalk
Papoose Ct.		62		12		Stop Bar & Crosswalk
Omaha Ct.		62		12		Stop Bar & Crosswalk
Niagara St. (N of Flint Tr.)		62		12		Stop Bar & Crosswalk
Napa St.		62		12		Stop Bar & Crosswalk
Malibu Ct.		62		12		Stop Bar & Crosswalk

Blackhawk & Arapahoe		90	75	30		Stop Bar & Crosswalks
Kimberly Drive/Lies Road	300	150		22	72	Double Yellow, L&S, Stop Bar (Some Done Resurf
Kimberly Dr. (Misson St. to Kehoe)	503	350		45	72	All Markings
Tubeway Drive/Gary Avenue	100			20		Stop Bar, Double Yellow
Westgate Drive	100	66	120	16		SB, Double Yellow, Mid Block Bike Xwalk
Della Court Markings	480	75		35	84	All Markings in the Cul De Sac
Commonwealth Drive at St. Charles				15		Stop Bar
Carlton Drive at St. Charles				15		Stop Bar
West St @ Geneva				15		Stop Bar
Della Ave @ West St.				13		Stop Bar
Gundersen Drive (Main Place to Schmale)	550	265		60	73	All Except County Crosswalk
Gundersen Drive East of Schmale	460			27	36	All Except County Crosswalk
Gundersen Drive Midblock Ped Xwalk.		70		27		Mid Block Xwalk.
Thornhill (West of Main Pl.)	300	100	25		37	All Markings
Thornhill Drive (Main Place to Schmale)	360	180		48	110	All Except County Crosswalk
Thornhill Drive East of Schmale	325	100		31	38	All Except County Crosswalk
Main Place (St. Charles to Thornhill)	1520	510	35	72	140	All Markings
Executive Drive at Main Place	300	150		23	75	All Markings
President St. (North Avenue to St. Charles Rd)	550	149	260	114		All Markings and Side St. Stop Bars
Concord Ln.				94		All Markings and Side St. Stop Bars

<b>EVERGREEN ELEMENTARY SCHOOL</b>						
Birchbark Trail/Morton Road		244		77		3 Ped Xwalk, 4 Stop Bars
Evergreen Drive/Birchbark Trail		58	60	13		1 School Xwalk, 1 Stop Bar
Evergreen Drive Bubble		66				1 Pedestrian Xwalk
Evergreen Drive/Buffalo Circle		112	108	13		2 School Xwalk, 1 Stop Bar
Evergreen Drive/Fox Court		112	54	13		1 School Xwalk, 1 Ped Xwalk, 1 SB
Evergreen Drive/Buffalo Circle			112	13		2 Ped Xwalk, 1 Stop Bar
Lightning Trail/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Buckskin Lane/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Burning Trail/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Cypress Lane/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Dogwood Lane/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Cypress Lane/Evergreen Drive		60		13		1 Ped Xwalk, 1 Stop Bar
Buckskin Lane Midblock Crosswalk		60				1 Pedestrian Xwalk
<b>CAROL STREAM SCHOOL</b>						
Cochise Court/Sioux Lane			66			School Xwalk
Cochise Court/Arrowhead Trail		60		13		1SB, 1Xwalk
Arrowhead Trail/Thunderbird Trail			60	13		1 School Xwalk, 1 SB
Thunderbird Trail/Arrowhead Trail		60		13		1SB, 1Xwalk
Thunderbird Trail/Sioux Lane			60	13		1 School Xwalk, 1 SB

Arrowhead Trail/Thunderbird Trail		60		13		1SB, 1Xwalk
<b>THERMO TOTAL</b>	<b>21193</b>	<b>7750</b>	<b>1688</b>	<b>1888</b>	<b>1092</b>	
<b>THERMO Cost</b>	<b>\$ 11,020.36</b>	<b>\$ 5,889.77</b>	<b>\$ 2,565.76</b>	<b>\$ 7,137.02</b>	<b>\$ 3,834.32</b>	<b>\$ 30,447.23</b>





*Village of Carol Stream*

**Village Boundary  
Map**

**LEGEND**

-  Right of Way
-  Village Boundary

2019  
*Pavement Markings*

1 inch = 2,000 feet



Prepared By:  
Department of Engineering Services  
July 21, 2014

ORDINANCE NO. 2019-\_\_\_\_-

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR MOTOR VEHICLE SERVICE AND A SPECIAL USE PERMIT TO ALLOW FOR OUTDOOR ACTIVITIES AND OPERATIONS IN THE FORM OF THE STORAGE OF TRAILERS IN THE I INDUSTRIAL DISTRICT (TRIUMPH CONSTRUCTION SERVICES/DYNAMIC MD, 250 N. SCHMALE ROAD)**

**WHEREAS**, Russell Scurto III, of Triumph Construction Services, on behalf of Dynamic MD, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for motor vehicle service, as provided in Section 16-10-2 (B)(12) of the Carol Stream Code of Ordinances; and a Special Use Permit to allow for outdoor activities and operations in the form of the storage of trailers in the I Industrial District, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances; on the property legally described in Section 2 herein and commonly known as 250 N. Schmale Road, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on July 22, 2019, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permits be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permits with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permits to allow for motor vehicle service and for the outdoor storage of trailers, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Permits:

1. Are deemed necessary for the public convenience at the location. *Dynamic MD is relocating and expanding its business onto a vacant Carol Stream property, which can be viewed as beneficial to the public.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *Since the storage lot is proposed to be screened with fencing and landscaping, and the driveway is long enough to allow a truck and trailer to not encroach into the roadway while entering the storage lot, this lot and outdoor activity should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Likewise, the truck repair service shall be conducted completely within the maintenance building.*



3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *Other properties within the Industrial District have received Special Use approval for outdoor activities and operations, and for repairing of vehicles, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.*
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding industrial properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding industrial properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements will be put in place for the proposed storage lot.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing is proposed to screen the property, and procedures will be put in place to assure that the storage lot and trailers within the lot are maintained and confined appropriately.*

**SECTION 2:**

The Special Use Permits, as set forth in the above recitals, are hereby approved and granted to Triumph Construction Services/Dynamic MD subject to the conditions set forth in Section 3, upon the real estate commonly known as 250 N. Schmale Road, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN NAGEL'S PLAT OF LOT 1, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 1965 AS DOCUMENT R65-36496 IN DUPAGE COUNTY, ILLINOIS

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Permits granted in Section 1 herein is subject to the following conditions:

1. That the Cover Letter (received May 24, 2019), and Supplemental Business Information (received May 31, 2019), shall be adopted as part of the governing ordinance for the Special Use Permits;

2. That the security gate shall always be kept closed except for when a vehicle is actively entering or exiting the storage lot;
3. That trucks shall not be allowed to back into the property from Schmale Road;
4. That only automobiles shall park in the front automobile parking lot along Schmale Road, and no trucks, trailers, or equipment shall be allowed to be parked or stored in said lot;
5. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
6. That a Knox padlock shall be provided on the security gate, and the Carol Stream Fire Protection District and Village Police Department shall be provided keys to said padlock for access onto the property;
7. That trucks and trailers shall be parked in parking spaces only and not block access nor be parked in drive aisles;
8. That prior to the issuance of a building permit, the fence detail and note on the site plan shall be corrected to illustrate a seven foot height instead of a six foot height;
9. That the fencing shall be maintained in good condition so as to provide effective solid screening of the trailer storage area;
10. That prior to the issuance of a building permit, final engineering including stormwater management plans, shall be required; and
11. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Special Use Permits are hereby approved and granted as set forth in the following plans and exhibits:

1. Cover Letter (Exhibit A, dated May 24, 2019, received by the Community Development Department May 24, 2019).
2. Supplemental Business Information (Exhibit B, received by the Community Development Department June 3, 2019).
3. Color Rendering (Exhibit C, received June 3, 2019), prepared by Harris Architects, Inc., 4801 W. Emerson Avenue, Palatine, Illinois, 60067.

4. Preliminary Site Geometry Plan (Exhibit D, dated May 31, 2019), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
5. Landscape Plan (Exhibit E, dated May 31, 2019), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
6. Architectural Site Plan (Exhibit F, dated July 10, 2019), prepared by Harris Architects, Inc., 4801 W. Emerson Avenue, Palatine, Illinois, 60067.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permits after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 5<sup>th</sup> DAY OF AUGUST, 2019.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr. Mayor

ATTEST:

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Laura Czarnecki, Village Clerk

I, Russell Scurto III, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permits. Triumph Construction Services further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

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Date

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Owner/Party In Interest



DYNAMIC MD

RECEIVED  
MAY 24 2019  
COMMUNITY DEVELOPMENT  
DEPT

Dynamic MD, LLC (Dynamic) is a trucking company and nationwide freight carrier specializing in step-deck trailers hauling heavier and oversized loads for both military and industrial uses. The company has been building its reputation on safety, discipline, innovation and progressive mentality on doing things differently than the average carriers. Our structure and reliability presented thus far have ensured our growth and ability to become one of the leading step-deck carriers in the transportation industry nationwide.

The business currently operates out of rented office space in Schaumburg and utilizes a shared gravel parking lot in East Dundee. Dynamic is owned by Vasile Sorocean who came to the United States from the Republic of Moldova. Vasile started his work history in the United States as union carpenter for a company in Colorado, working on several large projects locally and in Anchorage, Alaska before getting involved in the trucking industry. He started his trucking career at a different company first as a driver, then as an owner-operator, before starting Dynamic MD in 2013. The opportunity to experience and learn from both small business and union structured operations have helped Vasile to build a company that provides stability and reliability to its employees, contractors and business partners.

With its successful operations nearing 6 years of initiation date, Dynamic have come to a point where permanent location of operation and secured parking lot are necessary in order to meet our growing company and extended customer demands. Mr. Sorocean has been a home-owner and resident of Carol Stream since 2015 and would like to move his business in Carol Stream's industrial park. Furthermore, Mr Sorocean is looking to construct a new facility for his business with a 5-bay mechanic shop and a supervised, fenced-in, concrete parking lot. The property will allow Dynamic to consolidate all their business into one location, offer stalls for tractor/trailer parking and bring their fleet maintenance in-house. Besides day-to-day brokered out freight operations, Dynamic has several military contracts and a major contract to haul street sweepers for Elgin Sweeper. These are all high valued products that require secured storage. Due to the lack of secured parking at the current location in East Dundee and limited space, Dynamic can only take on loads that ship out and can be completed within the same day. Both the Government and Elgin Sweeper have committed to giving Dynamic additional runs if they had their own yard that had both lights and security. This would provide the customers the certainty that their loads would be safe and secure before being shipped out to their end users and it would allow Dynamic to reach the growth projections set for the upcoming 12 months.

Dynamic's business plan also involves a construction of a 5-bay mechanic shop as mentioned earlier. Dynamic is currently outsourcing the trailer maintenance and all other repair work. Having its own shop would additionally improve the operations and increase efficiency. Dynamic's shop is going to be used mainly for completing DOT required inspections and regular trailer maintenance, oil change, suspension and tire work. The facility will be utilized exclusively for maintenance and will exclude any and all toxic paint work and so forth. Units will be allowed to stay parked over night, if any finalization of shop work requires it or due to a needed reload, but will not allow sleepovers on the property. The property will not be utilized for storage of other products or for any type of hazardous materials, freight included.

**EXHIBIT A**



DYNAMIC MD

The front portion of the building will be exclusively used for office space and is planned out to meet the company's increasing needs for more room. Dynamic have already outgrown the currently rented out office and is in need of larger space to fulfill the steady growth projections. In addition, the distance between the current office in Schaumburg and parking lot in East Dundee is reflecting negatively on the operations causing loss in efficiency, time and finances. With the new building construction and parking lot in place, Dynamic have planned out to hire anywhere between 25 and 30 employees within 6 to 12 months of move-in date, with flat front office hours from 7am until 5pm and shop hours from 8am until 6pm, holidays excluded.

Mr Sorocean is dedicated to continue doing business the same as on day one: with integrity, respect and whole-hearted commitment. Dynamic's principals are based on understanding its customers and its drivers better than anyone else and will continue to employ the best people, because the best people want to work for us. Our uniqueness and vision to do things differently and with complete transparency and honesty, makes us stand out and sets us apart from other carriers in the industry and we believe that we are changing the industry for the better.

Signature: *Vasile Sorocean*

Date: 05/24/2019



DYNAMIC MD

RECEIVED  
JUN 03 2019  
COMMUNITY DEVELOPMENT  
DEPT

**Business Related Answers**

1.a. In the business operation statement, Dynamic MD indicated without sufficient elaboration that the property will offer stalls for tractor/trailer parking. Although, the indication itself could be interpreted in few ways, the intention was to explain Dynamic's necessity of secured, fenced-in parking lot and that the property will resolve the parking problem Dynamic is currently facing. Dynamic has no intention of leasing out spaces for trailer storage to other businesses. With that said, Dynamic will not be in need of the Additional Special Use Permit.

1.b. The maintenance building will be used to solely maintain Dynamic MD fleet. Outside businesses will not be allowed to bring their trucks to the property for maintenance.

1.c. The maintenance building will not be used for any body work and will not be engaging into any work that require major disassembly or service vehicles with major body damage.

1.d. All repair work will be done inside the maintenance facility. Outside work will not be allowed.

1.e. As mentioned in the statement, Dynamic will not be utilizing the property for storage of any other products, pieces of equipment, material, recreational or other vehicles etc. The property will be used to store only trucks/trailers associated with Dynamic MD.

1.g. Fuel tank is not necessary nor planned out for the business.

1.h. We have requested the dumpster enclosure to be located in the SW corner of the property.

1.i. Used tires will be collected by "Tire Management company" based out of Aurora, IL.

Old fluids will be kept in 55 Gallon steel drums and picked up by "Stericycle Environmental Solutions"

4. The dimensions of the property entrance are set to allow two trucks to enter and exit without issues, therefore backing into the property will not be allowed nor required under any circumstances.

6. The property will have a ground sign along Schmale Road.

Signature: *Vasile Soroccean*

**EXHIBIT B**



RECEIVED  
JUN 03 2019  
COMMUNITY DEVELOPMENT  
DEPT



EXHIBIT C



RECEIVED  
JUN 03 2019  
COMMUNITY DEVELOPMENT  
DEPT



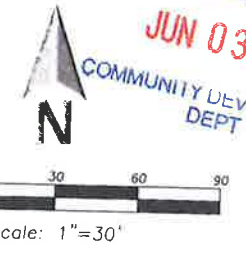
**ERIKSSON  
ENGINEERING  
ASSOCIATES, LTD.**

143 COMMERCE DRIVE, SUITE A  
GRAYSLAKE, ILLINOIS 60030  
TEL: (847) 223-4504  
FAX: (847) 223-4584  
E-MAIL: INFO@EEA-LTD.COM  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-00322C  
EXPIRES 04/30/2019

**DYNAMIC MD**  
2N250 SCHMALE ROAD  
CAROL STREAM, ILLINOIS

**GEOMETRY NOTES**

- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- All Pavement Striping Shall Be Per City Striping Standards. See Detail For Pavement Striping Standard. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2" Dia. 11 Gauge Steel, Embedded 42" Minimum into Ground.



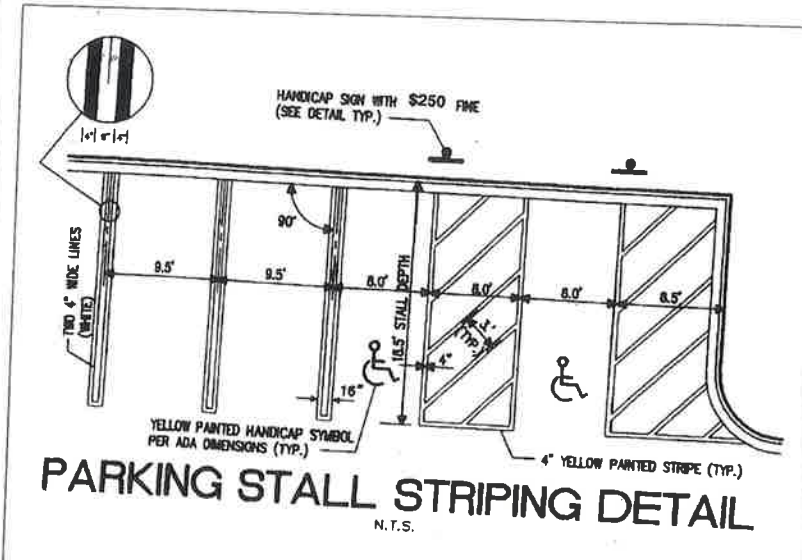
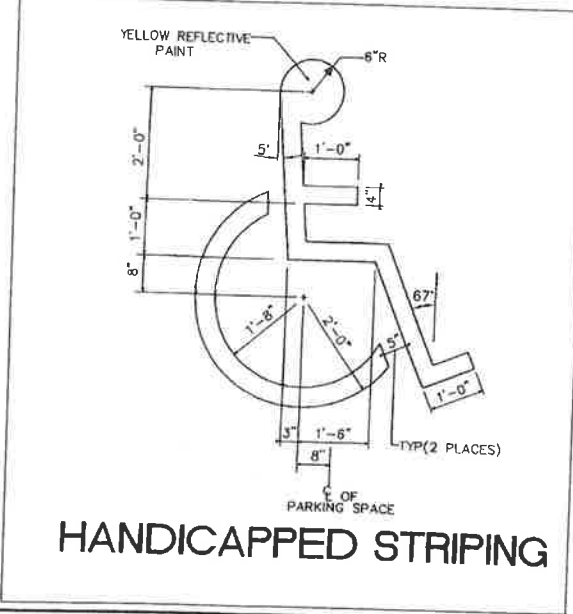
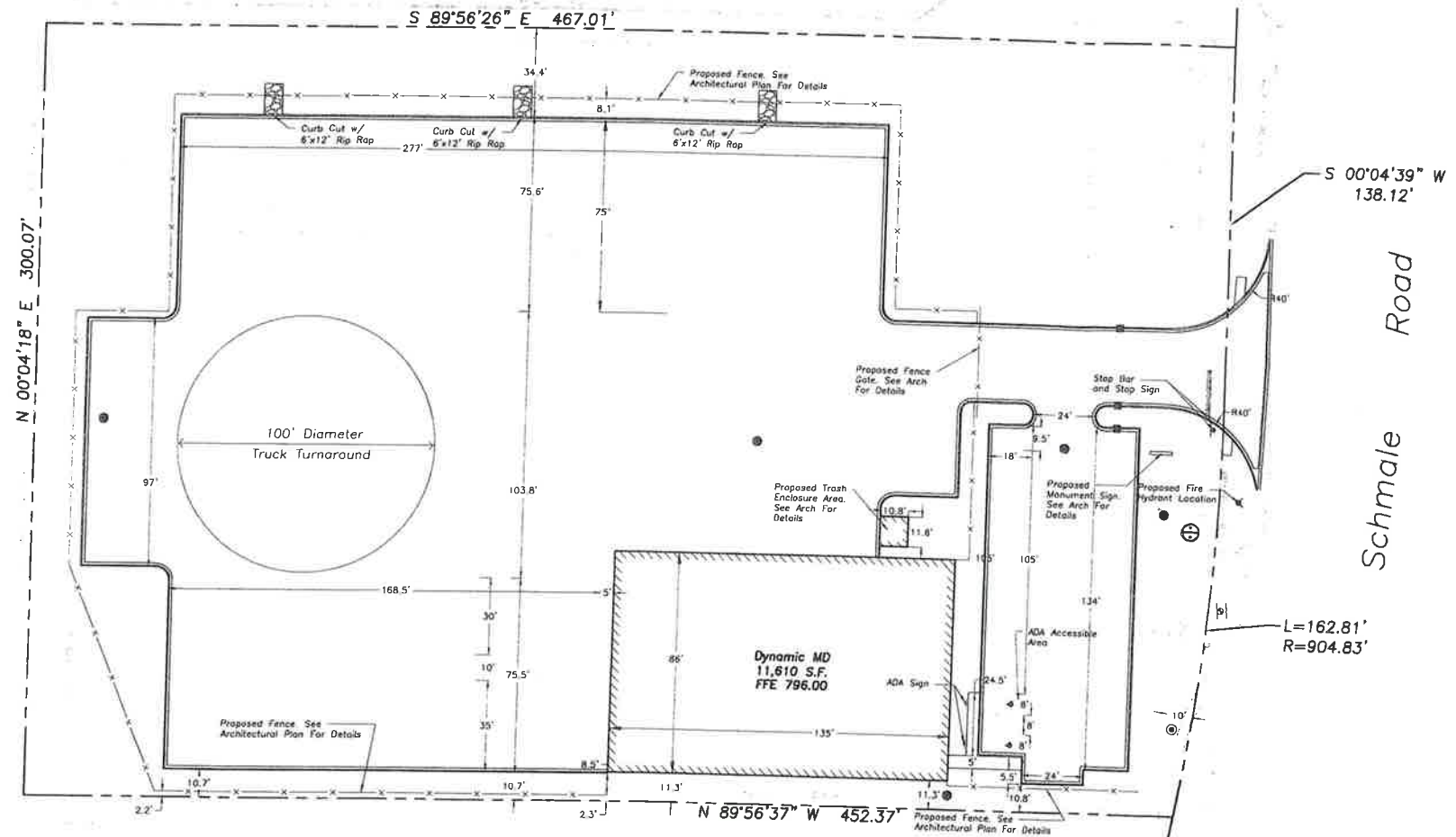
**LEGEND**

EXISTING	PROPOSED
Manhole	⊙
Catch Basin	⊙
Inlet	⊙
Area Drain	⊙
Clean Out	⊙
Flared End Section	⊙
Storm Sewer	—
Sanitary Sewer	—
Combined Sewer	—
Water Main	—
Gas Line	—
Overhead Wires	—
Electrical Cable (Buried)	—
Telephone Line	—
Fire Hydrant	⊙
Valve Vault	⊙
Buffalo Box	⊙
Downspout	⊙
Bulbhead	⊙
Gas Valve	⊙
Gas Meter	⊙
Electric Meter	⊙
ComEd Manhole	⊙
Hand Hole	⊙
Light Pole	⊙
Light Pole w/ Mast Arm	⊙
Utility Pole	⊙
Telephone Pedestal	⊙
Telephone Manhole	⊙
Sign	⊙
Fence	—
Accessible Parking Slot	⊙
Curb & Gutter	—
Depressed Curb	—
Curb Elevation	C 782.50
Gutter Elevation	G 782.00
Pavement Elevation	P 781.25
Sidewalk Elevation	S 782.10
Ground Elevation	GND 784.0
Top of Retaining Wall Elevation	T/R 785.20
Swale	—
Contour Line	—
Deciduous Tree	—
Coniferous Tree	—
Brushline	—
Tree Protection Fencing of Drop Line	—

**GENERAL NOTES**

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event that During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of These Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The Village of Carol Stream A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing these Drawings For Construction Purposes As a Convenience to The Owner, Architect, Surveyor, or Contractor. Prior to The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

**EXHIBIT D**



Reserved for Seal

No.	Date	Description
	05/31/19	Issued For City Review

© ERIKSSON ENGINEERING ASSOCIATES LTD. 2019		
Design By	Approved By	Date
CM	CK	04/09/2019

Sheet Title  
**PRELIMINARY  
SITE GEOMETRY  
PLAN**

Sheet No:  
**C200**

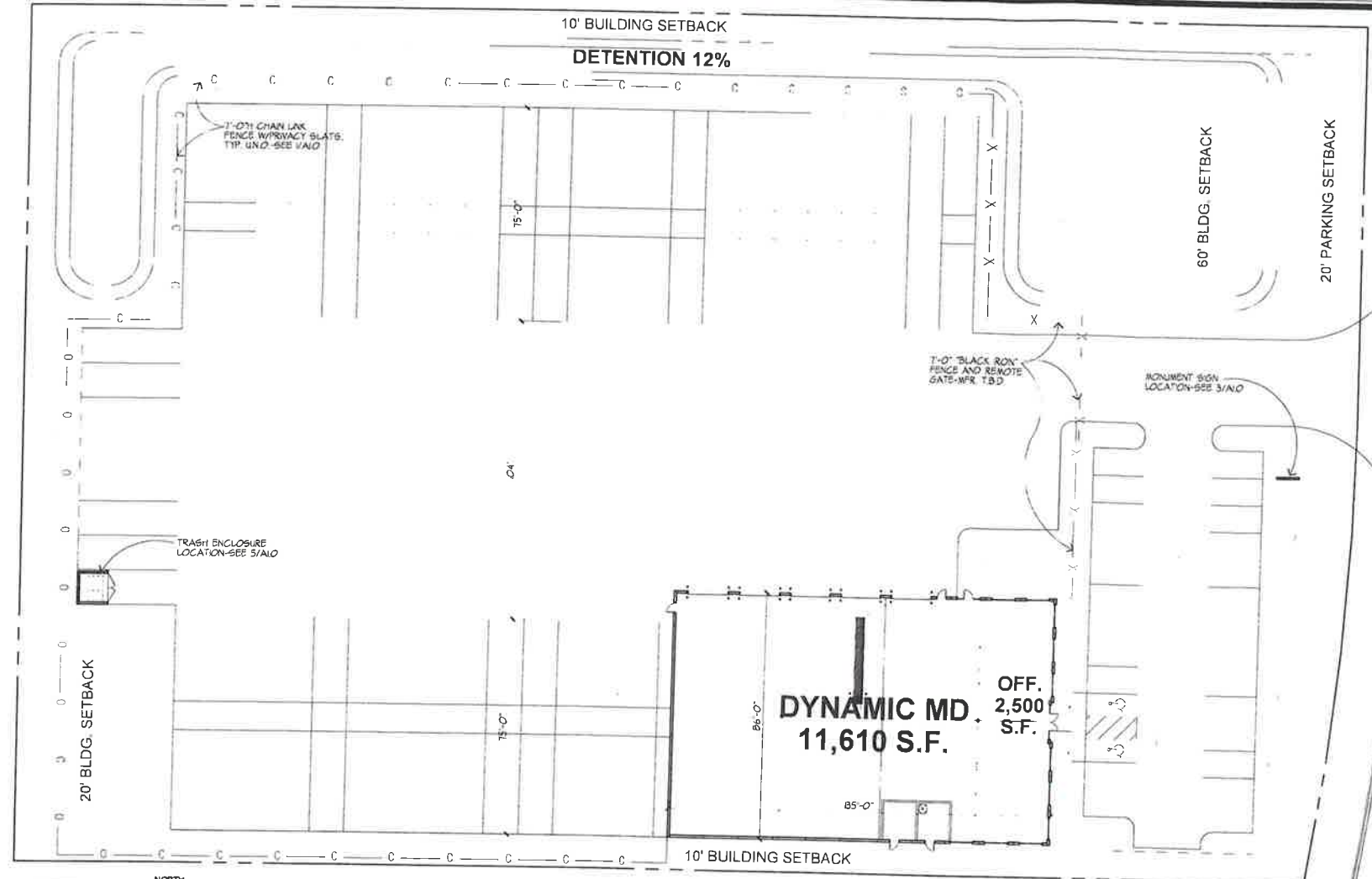
INDUSTRIAL BUILDING  
1/7 = 792.62

INDUSTRIAL BUILDING  
1/7 = 791.87









RECEIVED  
JUL 10 2019  
COMMUNITY DEVELOPMENT  
DEPT

SCHMALE ROAD

**CONSTRUCTION DATA**

BUILDING CODE	2018 INTERNATIONAL BUILDING CODE
	2014 ILLINOIS PLUMBING CODE
	2014 NEC NFPA70
	2012 INTERNATIONAL MECHANICAL CODE
	2012 INTERNATIONAL FIRE CODE
	2018 ILLINOIS ACCESSIBILITY CODE
	2018 ILLINOIS ENERGY CONSERVATION CODE
	2018 INTERNATIONAL FUEL GAS CODE
ZONING	H
CONSTRUCTION TYPE	TYPE 2B - LIMITED AREA MIXED USE/NON-SEPARATED
OCCUPANCY TYPE	B- BUSINESS USES F-1/1 MOD HAZ STORAGE & INDUSTR USE
HANDICAPPED PARKING	HANDICAPPED PARKING AND SIGNS PER OCTOBER, 2018 STATE OF ILLINOIS ACCESSIBILITY STANDARDS
FIRE PROTECTION	BUILDING TO BE EQUIPPED THROUGHOUT WITH AUTOMATIC FIRE SUPPRESSION SYSTEM DESIGNED PER NFPA 13 GENERAL CONTRACTOR SHALL PROVIDE SPRINKLER & ALARM PLANS

**SITE DATA**

SITE AREA (1/4 ACRES)	
BUILDING AREA	
OFFICE	2500 SF
TRUCK MAINTENANCE AREA	140 SF
BUILDING TOTAL	160 SF
PARKING	
OFFICE PARKING STALLS REQUIRED (1:250 SF)	0 STALLS
TRUCK/VEHICLE MAINTENANCE PARKING STALLS REQUIRED (1 PER SERVICE BAY)	0 STALLS
TOTAL PARKING STALLS REQUIRED	0 STALLS
CAR PARKING PROVIDED	27 STALLS
TRUCK/TRAILER PARKING PROVIDED	37 STALLS
TRACTOR PARKING PROVIDED	7 STALLS
TOTAL PARKING STALLS PROVIDED	71 STALLS
LOADING	
10 DRIVE-IN DOORS	

**LIST OF ABBREVIATIONS**

AB	Anchor Bolt	2	Column & Metal	33	Product Protect
AC	Access	3	Conc	34	Latex Flood
AD	Adhesive	4	Cast	35	Paint
AE	Access	5	Cast-in-place	36	Plaster
AF	Access	6	Cast-in-place	37	Plaster
AG	Access	7	Cast-in-place	38	Plaster
AH	Access	8	Cast-in-place	39	Plaster
AI	Access	9	Cast-in-place	40	Plaster
AJ	Access	10	Cast-in-place	41	Plaster
AK	Access	11	Cast-in-place	42	Plaster
AL	Access	12	Cast-in-place	43	Plaster
AM	Access	13	Cast-in-place	44	Plaster
AN	Access	14	Cast-in-place	45	Plaster
AO	Access	15	Cast-in-place	46	Plaster
AP	Access	16	Cast-in-place	47	Plaster
AQ	Access	17	Cast-in-place	48	Plaster
AR	Access	18	Cast-in-place	49	Plaster
AS	Access	19	Cast-in-place	50	Plaster
AT	Access	20	Cast-in-place	51	Plaster
AV	Access	21	Cast-in-place	52	Plaster
AW	Access	22	Cast-in-place	53	Plaster
AX	Access	23	Cast-in-place	54	Plaster
AY	Access	24	Cast-in-place	55	Plaster
AZ	Access	25	Cast-in-place	56	Plaster
BA	Access	26	Cast-in-place	57	Plaster
BB	Access	27	Cast-in-place	58	Plaster
BC	Access	28	Cast-in-place	59	Plaster
BD	Access	29	Cast-in-place	60	Plaster
BE	Access	30	Cast-in-place	61	Plaster
BF	Access	31	Cast-in-place	62	Plaster
BG	Access	32	Cast-in-place	63	Plaster
BH	Access	33	Cast-in-place	64	Plaster
BI	Access	34	Cast-in-place	65	Plaster
BJ	Access	35	Cast-in-place	66	Plaster
BK	Access	36	Cast-in-place	67	Plaster
BL	Access	37	Cast-in-place	68	Plaster
BM	Access	38	Cast-in-place	69	Plaster
BN	Access	39	Cast-in-place	70	Plaster
BO	Access	40	Cast-in-place	71	Plaster
BP	Access	41	Cast-in-place	72	Plaster
BQ	Access	42	Cast-in-place	73	Plaster
BR	Access	43	Cast-in-place	74	Plaster
BS	Access	44	Cast-in-place	75	Plaster
BT	Access	45	Cast-in-place	76	Plaster
BV	Access	46	Cast-in-place	77	Plaster
BW	Access	47	Cast-in-place	78	Plaster
BX	Access	48	Cast-in-place	79	Plaster
BY	Access	49	Cast-in-place	80	Plaster
BZ	Access	50	Cast-in-place	81	Plaster
CA	Access	51	Cast-in-place	82	Plaster
CB	Access	52	Cast-in-place	83	Plaster
CC	Access	53	Cast-in-place	84	Plaster
CD	Access	54	Cast-in-place	85	Plaster
CE	Access	55	Cast-in-place	86	Plaster
CF	Access	56	Cast-in-place	87	Plaster
CG	Access	57	Cast-in-place	88	Plaster
CH	Access	58	Cast-in-place	89	Plaster
CI	Access	59	Cast-in-place	90	Plaster
CJ	Access	60	Cast-in-place	91	Plaster
CK	Access	61	Cast-in-place	92	Plaster
CL	Access	62	Cast-in-place	93	Plaster
CM	Access	63	Cast-in-place	94	Plaster
CN	Access	64	Cast-in-place	95	Plaster
CO	Access	65	Cast-in-place	96	Plaster
CP	Access	66	Cast-in-place	97	Plaster
CQ	Access	67	Cast-in-place	98	Plaster
CR	Access	68	Cast-in-place	99	Plaster
CS	Access	69	Cast-in-place	100	Plaster
CT	Access	70	Cast-in-place	101	Plaster
CU	Access	71	Cast-in-place	102	Plaster
CV	Access	72	Cast-in-place	103	Plaster
CW	Access	73	Cast-in-place	104	Plaster
CX	Access	74	Cast-in-place	105	Plaster
CY	Access	75	Cast-in-place	106	Plaster
CZ	Access	76	Cast-in-place	107	Plaster
DA	Access	77	Cast-in-place	108	Plaster
DB	Access	78	Cast-in-place	109	Plaster
DC	Access	79	Cast-in-place	110	Plaster
DD	Access	80	Cast-in-place	111	Plaster
DE	Access	81	Cast-in-place	112	Plaster
DF	Access	82	Cast-in-place	113	Plaster
DG	Access	83	Cast-in-place	114	Plaster
DH	Access	84	Cast-in-place	115	Plaster
DI	Access	85	Cast-in-place	116	Plaster
DJ	Access	86	Cast-in-place	117	Plaster
DK	Access	87	Cast-in-place	118	Plaster
DL	Access	88	Cast-in-place	119	Plaster
DM	Access	89	Cast-in-place	120	Plaster
DN	Access	90	Cast-in-place	121	Plaster
DO	Access	91	Cast-in-place	122	Plaster
DP	Access	92	Cast-in-place	123	Plaster
DQ	Access	93	Cast-in-place	124	Plaster
DR	Access	94	Cast-in-place	125	Plaster
DS	Access	95	Cast-in-place	126	Plaster
DT	Access	96	Cast-in-place	127	Plaster
DU	Access	97	Cast-in-place	128	Plaster
DV	Access	98	Cast-in-place	129	Plaster
DW	Access	99	Cast-in-place	130	Plaster
DX	Access	100	Cast-in-place	131	Plaster
DY	Access	101	Cast-in-place	132	Plaster
DZ	Access	102	Cast-in-place	133	Plaster
EA	Access	103	Cast-in-place	134	Plaster
EB	Access	104	Cast-in-place	135	Plaster
EC	Access	105	Cast-in-place	136	Plaster
ED	Access	106	Cast-in-place	137	Plaster
EE	Access	107	Cast-in-place	138	Plaster
EF	Access	108	Cast-in-place	139	Plaster
EG	Access	109	Cast-in-place	140	Plaster
EH	Access	110	Cast-in-place	141	Plaster
EI	Access	111	Cast-in-place	142	Plaster
EJ	Access	112	Cast-in-place	143	Plaster
EK	Access	113	Cast-in-place	144	Plaster
EL	Access	114	Cast-in-place	145	Plaster
EM	Access	115	Cast-in-place	146	Plaster
EN	Access	116	Cast-in-place	147	Plaster
EO	Access	117	Cast-in-place	148	Plaster
EP	Access	118	Cast-in-place	149	Plaster
EQ	Access	119	Cast-in-place	150	Plaster
ER	Access	120	Cast-in-place	151	Plaster
ES	Access	121	Cast-in-place	152	Plaster
ET	Access	122	Cast-in-place	153	Plaster
EU	Access	123	Cast-in-place	154	Plaster
EV	Access	124	Cast-in-place	155	Plaster
EW	Access	125	Cast-in-place	156	Plaster
EX	Access	126	Cast-in-place	157	Plaster
EY	Access	127	Cast-in-place	158	Plaster
EZ	Access	128	Cast-in-place	159	Plaster
FA	Access	129	Cast-in-place	160	Plaster
FB	Access	130	Cast-in-place	161	Plaster
FC	Access	131	Cast-in-place	162	Plaster
FD	Access	132	Cast-in-place	163	Plaster
FE	Access	133	Cast-in-place	164	Plaster
FF	Access	134	Cast-in-place	165	Plaster
FG	Access	135	Cast-in-place	166	Plaster
FH	Access	136	Cast-in-place	167	Plaster
FI	Access	137	Cast-in-place	168	Plaster
FJ	Access	138	Cast-in-place	169	Plaster
FK	Access	139	Cast-in-place	170	Plaster
FL	Access	140	Cast-in-place	171	Plaster
FM	Access	141	Cast-in-place	172	Plaster
FN	Access	142	Cast-in-place	173	Plaster
FO	Access	143	Cast-in-place	174	Plaster
FP	Access	144	Cast-in-place	175	Plaster
FQ	Access	145	Cast-in-place	176	Plaster
FR	Access	146	Cast-in-place	177	Plaster
FS	Access	147	Cast-in-place	178	Plaster
FT	Access	148	Cast-in-place	179	Plaster
FU	Access	149	Cast-in-place	180	Plaster
FV	Access	150	Cast-in-place	181	Plaster
FW	Access	151	Cast-in-place	182	Plaster
FX	Access	152	Cast-in-place	183	Plaster
FY	Access	153	Cast-in-place	184	Plaster
FZ	Access	154	Cast-in-place	185	Plaster
GA	Access	155	Cast-in-place	186	Plaster
GB	Access	156	Cast-in-place	187	Plaster
GC	Access	157	Cast-in-place	188	Plaster
GD	Access	158	Cast-in-place	189	Plaster
GE	Access	159	Cast-in-place	190	Plaster
GF	Access	160	Cast-in-place	191	Plaster
GG	Access	161	Cast-in-place	192	Plaster
GH	Access	162	Cast-in-place	193	Plaster
GI	Access	163	Cast-in-place	194	Plaster
GJ	Access	164	Cast-in-place	195	Plaster
GK	Access	165	Cast-in-place	196	Plaster
GL	Access	166	Cast-in-place	197	Plaster
GM	Access	167	Cast-in-place	198	Plaster
GN	Access	168	Cast-in-place	199	Plaster
GO	Access	169	Cast-in-place	200	Plaster
GP	Access	170	Cast-in-place	201	Plaster
GQ	Access	171	Cast-in-place	202	Plaster
GR	Access	172	Cast-in-place	203	Plaster
GS	Access	173	Cast-in-place	204	Plaster
GT	Access	174	Cast-in-place	205	Plaster
GU	Access	175	Cast-in-place	206	Plaster
GV	Access	176	Cast-in-place	207	Plaster
GW	Access	177	Cast-in-place	208	Plaster
GX	Access	178	Cast-in-place	209	Plaster
GY	Access	179	Cast-in-place	210	Plaster
GZ	Access	180	Cast-in-place	211	Plaster
HA	Access	181	Cast-in-place	212	Plaster
HB	Access	182	Cast-in-place	213	Plaster
HC	Access	183	Cast-in-place	214	Plaster
HD	Access	184	Cast-in-place	215	Plaster
HE	Access	185	Cast-in-place	216	Plaster
HF	Access	186	Cast-in-place	217	Plaster
HG	Access	187	Cast-in-place	218	Plaster
HH	Access	188	Cast-in-place	219	Plaster
HI	Access	189	Cast-in-place	220	Plaster
HJ	Access	190	Cast-in-place	221	Plaster
HK	Access	191	Cast-in-place	222	Plaster
HL	Access	192	Cast-in-place	223	Plaster
HM	Access	193	Cast-in-place	224	Plaster
HN	Access	194	Cast-in-place	225	Plaster
HO	Access	195	Cast-in-place	226	Plaster
HP	Access	196	Cast-in-place	227	Plaster
HQ	Access	197	Cast-in-place	228	Plaster
HR	Access	198	Cast-in-place	229	Plaster
HS	Access	199	Cast-in-place	230	Plaster
HT	Access	200	Cast-in-place	231	Plaster
HU	Access	201	Cast-in-place	232	Plaster
HV	Access	202	Cast-in-place	233	Plaster
HW	Access	203	Cast-in-place	234	Plaster
HX					

**AN ORDINANCE APPROVING AN AMENDMENT TO A SPECIAL USE PERMIT FOR A DRIVE-UP SERVICE WINDOW (WARREN JOHNSON ARCHITECTS, INC./BURGER KING 840 W. ARMY TRAIL ROAD)**

**WHEREAS**, Tracy Willie, with Warren Johnson Architects, on behalf of Burger King, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for an Amendment to a Special Use Permit for a second drive-up service window, as provided in Sections 16-9-4 (C)(1) and 16-9-3 (C)(11) of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 840 W. Army Trail Road, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on July 22, 2019 following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Amendment to a Special Use Permit be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Amendment to a Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Amendment to a Special Use Permit, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Amendment to a Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *The addition of a second drive-through lane with a menu board for ordering will improve ordering time frequency for restaurant customers, which is geared toward the public convenience for Burger King's customers.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The second drive-up window service has been designed to operate in a manner that will not be impede traffic flow or endanger other motorists or pedestrians.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The modifications to the property and the restaurant building represents a significant investment and should not be injurious to the use or enjoyment of other property in the immediate vicinity, nor substantially diminish or impair property values within the neighborhood.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties in the immediate vicinity.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are already in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The proposal is expected to conform to all applicable codes and requirements.*

**SECTION 2:**

The Amendment to a Special Use Permit, as set forth in the above recitals, is hereby approved and granted to Warren Johnson Architects/Burger King subject to the conditions set forth in Section 3, upon the real estate commonly known as 840 W. Army Trail Road, Carol Stream, Illinois, and legally described as follows:

LOT 9 IN HERITAGE PLAZA PUD PHASE 2, BEING A RESUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1988 AS DOCUMENT NO. R88-135387, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Amendment to a Special Use Permit granted in Section 1 herein is subject to the following conditions:

1. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
2. That all rooftop mounted mechanical equipment shall be fully screened by the parapet wall, or with supplemental screening if said parapet wall is not tall enough to screen the equipment;
3. That parking spaces shall be striped in accordance with the Village's looped striping detail;
4. That the property maintenance issues, including the repair of the parking lot and retaining wall along the property frontage, shall be addressed as part of the building permit submittal for the project; however, if the renovation project does

not begin by October 31, 2019, these repairs must be completed by November 15, 2019.

5. That the applicant must obtain the required sign permits prior to the installation of any new signage; and
6. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Amendment to a Special Use Permit is hereby approved and granted as set forth in the following plans and exhibits:

1. Site Plan (Exhibit A, dated June 18, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.
2. Landscape Plan (Exhibit B, dated June 18, 2019), prepared by Terra Engineering, Ltd., 225 W. Ohio Street, Suite 400, Chicago, Illinois, 60654.
3. Landscape Details (Exhibit C, dated June 18, 2019), prepared by Terra Engineering, Ltd., 225 W. Ohio Street, Suite 400, Chicago, Illinois, 60654.
4. Existing Exterior Elevations (Exhibit D, dated April 29, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.
5. Proposed Exterior Elevations (Exhibit E, dated June 18, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.
6. Proposed Exterior Elevations (Exhibit F, dated June 18, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.
7. Color Elevations (Exhibit G, dated June 18, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.
8. Floor Plan (Exhibit H, dated April 29, 2019), prepared by Warren Johnson Architects, Inc., 19 N. Greeley Street, Palatine, Illinois, 60067.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 5<sup>th</sup> DAY OF AUGUST, 2019.

AYES:

NAYS:

ABSENT:

---

Frank Saverino, Sr. Mayor

ATTEST:

---

Laura Czarnecki, Village Clerk



I, Tracy Willie, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. Warren Johnson Architects further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

---

Date

---

Owner/Party In Interest





Burger King

ISSUE DATES / REVISIONS	
1	SPECIAL USE REVISIONS 8.16.19
NO	SPECIAL USE PROCESS 4.29.19
NO	DESCRIPTION DATE
0	EXISTING 1914
<small>© WARREN JOHNSON ARCHITECTS, INC. 2019. THESE DOCUMENTS ARE THE PROPERTY OF WARREN JOHNSON ARCHITECTS, INC. I MAY NOT BE REPRODUCED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE AUTHOR.</small>	
DRAWN BY:	T. ALLIE
CHECKED BY:	K. JOHNSON
DATE:	4.22.19
PROJECT No:	19014

BURGER KING  
STORE #6432  
840 ARMY TRAIL ROAD  
CAROL STREAM, IL 60188

SITE PLANS

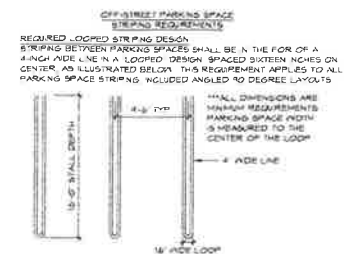
SHEET

**SP-1**

ONE OF THREE

RECEIVED  
JUN 21 2019  
COMMUNITY DEVELOPMENT  
DEPT

G.C. NOTE:  
ANY AND ALL EXISTING PARKING LOT 'POTHOLES' TO BE PATCHED PRIOR TO RE-SEAL AND RE-STRIP. SEE CIVIL DRAWINGS FOR MORE INFORMATION.



**A LOOPED STRIPING DESIGN DETAIL**  
SCALE 3/32" = 1'-0"

- KEYED NOTES**
- EXISTING LANDSCAPE/GRASS AREA
  - SCRAPE SAND PAINT EXISTING LOT LIGHT POLE 1 BASE REPAIR PAINT OR REPLACE BOLT COVER
  - NEW CURB SEE CIVIL DRAWINGS
  - EXISTING CONCRETE APRON AT TRASH ENCLOSURE G.C. TO PAINT 4" STRIPING 18" O.C. AT 45° (YELLOW REFLECTIVE) TO DISCOURAGE PARKING ON THE APRON
  - SCRAPE SAND PAINT EXISTING ROAD SIGN CABINET
  - NEW BLACK CONCRETE DRIVE-THRU LANE 4 REQUIRED DETECTOR LOOPS SEE DETAILS 1/5/SP3 4 5/5/SP3
  - NEW LOT STRIPING (TYP.) SEE DETAIL 4/5/SP3
  - EXISTING BIKE RACK TO REMAIN PAINT EXT-10
  - EXISTING FLAG POLE TO REMAIN OWNER TO PROVIDE AND INSTALL PROPERLY SIZED FLAG
  - EXISTING SIDEWALK TO REMAIN
  - PAINT EXISTING MASONRY TRASH ENCLOSURE TO MATCH NEW BUILDING COLORS
  - EXISTING CONCRETE RAMP WITH METAL HANDRAILS
  - SCRAPE SAND PAINT EXISTING FLAG POLE LIGHT
  - IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE GRADES OF THE CROSSWALK/ACCESSIBLE ROUTE MEET ADA COMPLIANCE THE RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48 (2%). G.C. TO CONTACT ARCHITECT IMMEDIATELY IF EXISTING CROSSWALK/ACCESSIBLE ROUTE IS NOT IN COMPLIANCE CROSSWALK/ACCESSIBLE ROUTE TO BE RE-STRIPED 4" PAINTED STRIPING 18" O.C. AT 45° (YELLOW REFLECTIVE) SEE CIVIL DRAWINGS FOR MORE INFORMATION.
  - REFACE EXISTING DIRECTIONAL SIGN SCRAPE SAND PAINT SIGN CABINET 4 POLE G.C. TO SUPPLY 4 INSTALL NEW SIGN FACES SIGN FACES TO BE ORDERED THRU ENTERA
  - NEW TRASH ENCLOSURE GATES AND POSTS SEE DETAIL 2/5/SP3
  - EXISTING PARKING SPACE TO BE RE-STRIPED SEE DETAIL THIS SHEET
  - EXISTING OIL STORAGE ENCLOSURE TO BE PAINTED TO MATCH NEW BUILDING COLORS

**PARKING COUNT**

PARKING SPACES:	43 (INCLUDING (2) ADA PARKING STALLS)
-----------------	---------------------------------------

**SITE LEGEND**

EXISTING CURB REPAIR DAMAGED SECTIONS AS NECESSARY	
NEW CURB SEE CIVIL DRAWINGS	
NEW CONCRETE SIDEWALK SEE CIVIL DRAWINGS	
NEW BLACK CONCRETE DRIVE-THRU LANE 4 REQUIRED DETECTOR LOOPS SEE DETAILS 1/5/SP3 4 5/5/SP3	

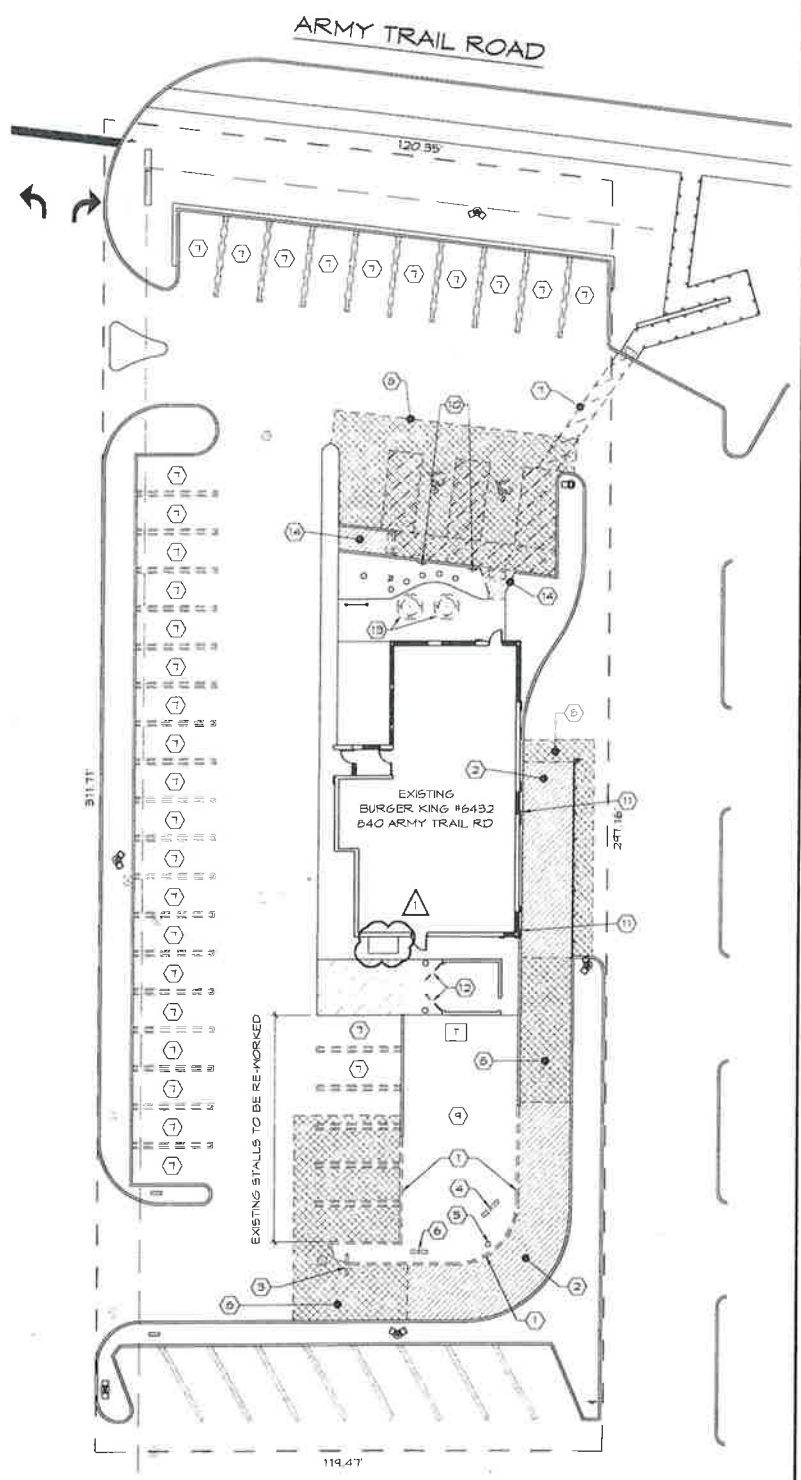
G.C. NOTE:  
G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED.  
G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.

G.C. NOTE:  
ALL FOOTINGS FROM ABANDONED SIGNAGE SHALL BE REMOVED 6" BELOW GRADE AND LANDSCAPED OVER.

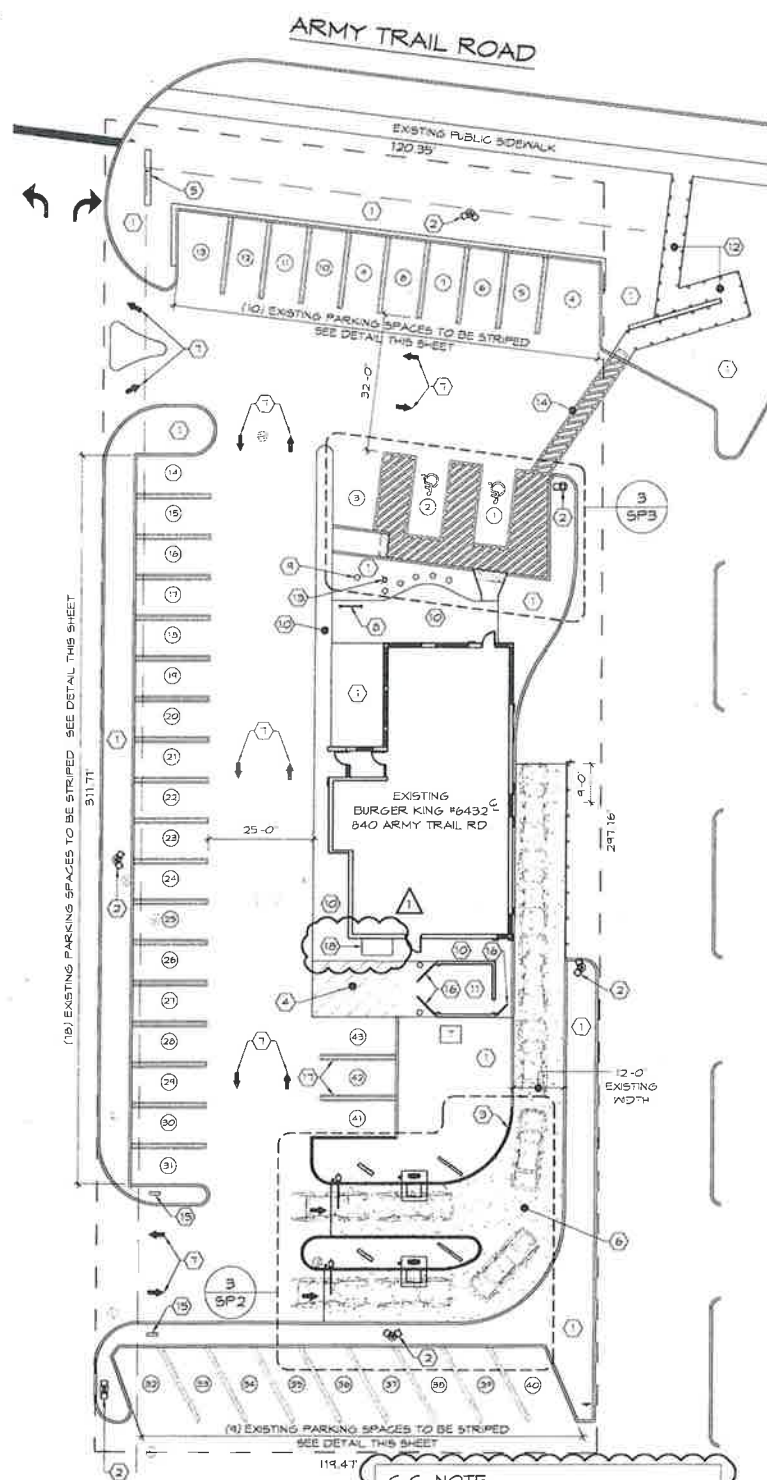
G.C. NOTE:  
AT THE ADA PARKING STALLS AND ACCESSIBLE AISLES, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE OF LESS THAN 2% SLOPE IN ALL DIRECTIONS. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE ASPHALT GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION SEE CIVIL DRAWINGS FOR MORE INFORMATION.

G.C. NOTE:  
AT THE ADA PATH OF EGRESS SIDEWALKS, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION SEE CIVIL DRAWINGS FOR MORE INFORMATION.

- KEYED NOTES**
- EXISTING SECTION OF CURB TO BE REMOVED (SHOWN DASHED) SEE CIVIL DRAWINGS
  - EXISTING DRIVE-THRU CONCRETE PADS TO BE REMOVED (SHOWN HATCHED) SEE CIVIL DRAWINGS
  - EXISTING CLEARANCE POST TO BE REMOVED
  - EXISTING MENU BOARD 4 FOUNDATION TO BE REMOVED
  - EXISTING ORDER SPEAKER 4 FOUNDATION TO BE REMOVED
  - EXISTING PRE-SELL BOARD 4 FOUNDATION TO BE REMOVED
  - EXISTING LOT STRIPING TO BE REMOVED (SHOWN DASHED)
  - EXISTING SECTION OF ASPHALT TO BE REMOVED (SHOWN HATCHED) SEE PROPOSED SITE PLAN 4 CIVIL DRAWINGS FOR MORE INFORMATION
  - EXISTING SECTION OF LANDSCAPE AREA TO BE RE-WORKED SEE LANDSCAPE AND CIVIL DRAWINGS
  - EXISTING ADA SIGNS TO BE REMOVED
  - EXISTING BOLLARD TO BE REMOVED
  - EXISTING TRASH ENCLOSURE GATES 4 POSTS TO BE REMOVED (WILL BE REPLACED)
  - EXISTING PATIO TABLES TO BE REMOVED
  - EXISTING ADA RAMP SECTION 4 DETECTABLE WARNING SURFACE TO BE REMOVED 4 REPLACED (SHOWN HATCHED) SEE CIVIL DRAWINGS



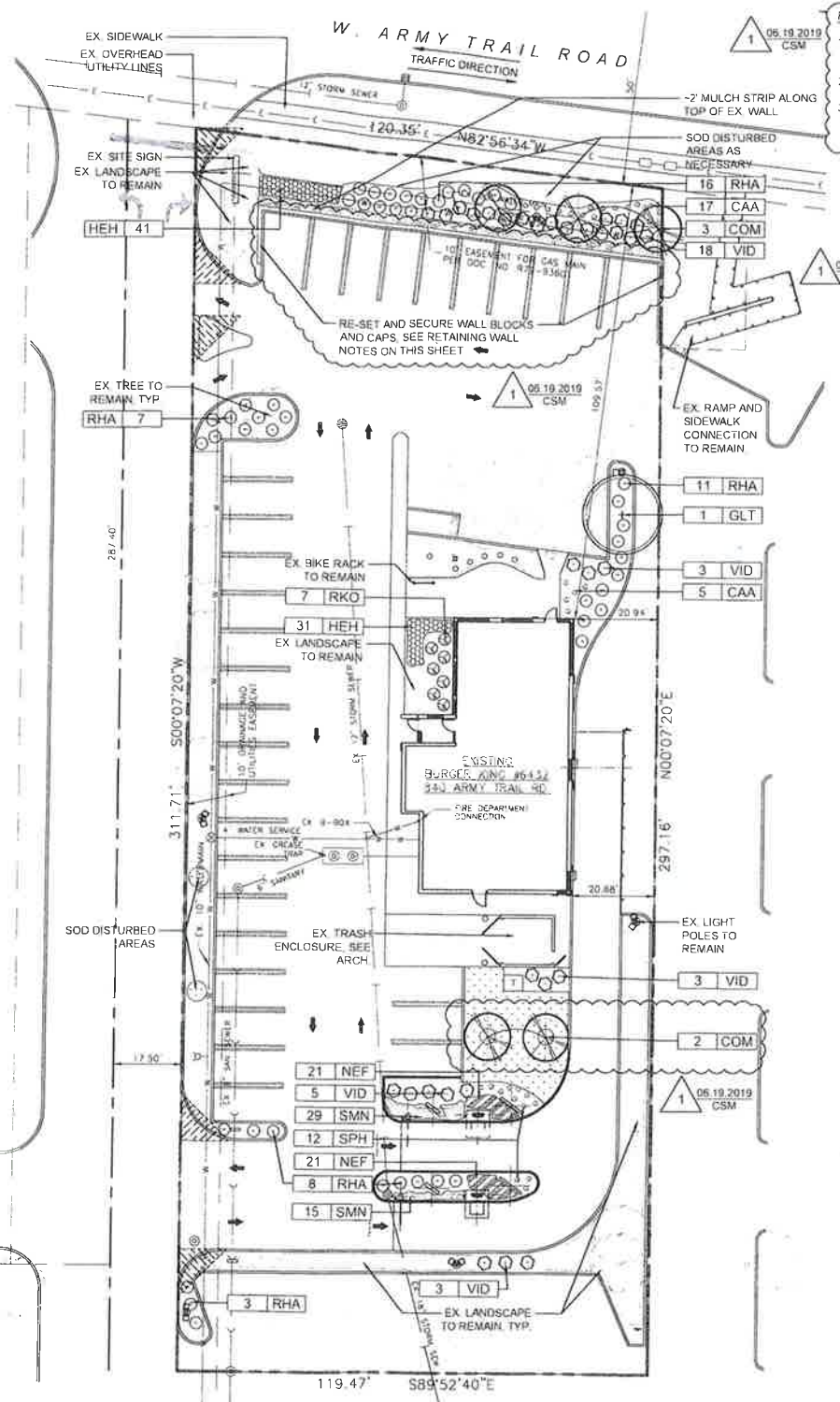
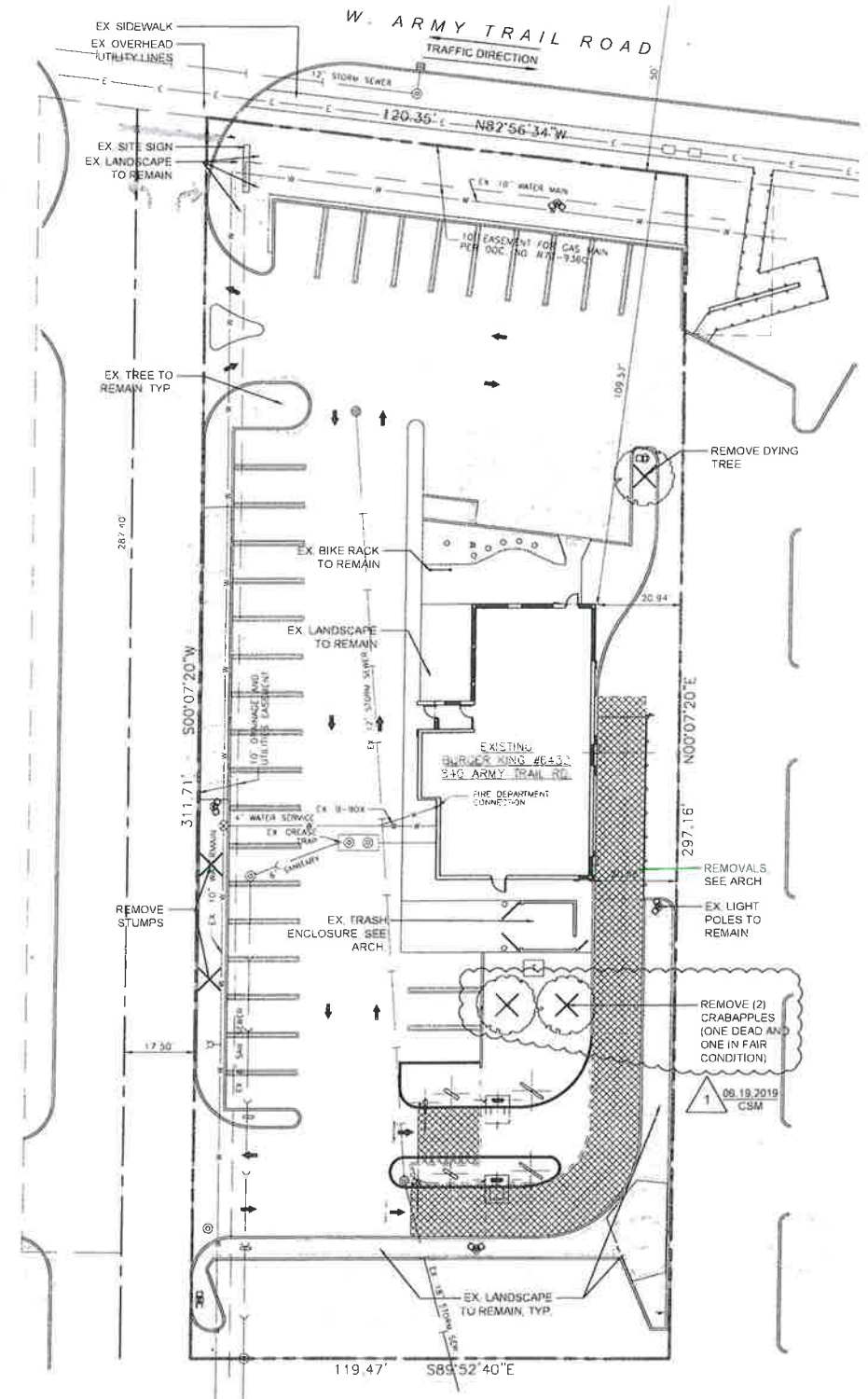
**DEMO SITE PLAN**  
SCALE 1" = 20'



**PROPOSED SITE PLAN**  
SCALE 1" = 20'

EXHIBIT A





**RETAINING WALL NOTES**

- CONTRACTOR SHALL REPLACE ANY CRACKED OR BROKEN RETAINING WALL BLOCKS ALONG THE NORTH PARKING STALLS WITH MATCHING BLOCKS.
- CONTRACTOR SHALL RE-LAY THE WALL BLOCKS AND CAPS TO PROVIDE CONTINUOUS COURSES.
- CONTRACTOR SHALL CHECK ALL WALL BLOCKS / CAPS AND PROVIDE WALL ADHESIVE TO SECURE ANY LOOSE BLOCKS / CAPS AS NECESSARY.

**Plant Schedule**  
Burger King #6432 - Carol Stream, IL

Qty	Key	Botanical name	Common name	Size	Notes
<b>TREES</b>					
1	GLT	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5' B&B	Central leader
5	COM	Cornus mas	Cornelian Cherry Dogwood	6' B&B	Clump
<b>SHRUBS</b>					
48	RHA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	#5 Cont	5' o.c.
7	RKO	Rosa Knockout	Knock Out Rose	#5 Cont	3.5' o.c.
29	VID	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	30' B&B	4' o.c.
<b>PERENNIALS</b>					
22	CAA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Grass	#1 Cont	3' o.c.
72	HEH	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Cont	18" o.c.
42	NEF	Nepeta racemosa 'Walker's Low'	Walkers Low Catmint	#1 Cont	18" o.c.
44	SMN	Salvia nemorosa 'May Night'	May Night Salvia	#1 Cont	18" o.c.
12	SPH	Sporobolus heterolepis 'Tara'	Prairie Dropseed Tara	#1 Cont	2.5' o.c.
78	SOD (S1)				
535	MULCH (S1)				3" depth in new planting areas, top dress existing areas to achieve 3" depth.

**Landscape Requirements - Carol Stream, IL**

Requirement	Proposed
<b>Parking Lot</b> Requirement: Parking lots over 10,000 SF require 10% must be landscaped.	Parking lots 22,975 SF x 10% = 2,298 SF of landscape required. Proposed: Parking lot landscape areas: 3,664 SF (-16%)
<b>Open Space</b> Requirement: 0.05 points per SF Open Space area 10,718 SF x 0.05 = 535.9 Points Required	Proposed: 427.5 Points Provided (include existing trees, shrubs and perennials) Point breakdown: 3 Shade, 4 ornamental (2 existing and 2 proposed), 8 large shrub, 49 small shrub and 655 SF of plant bed.
<b>Setback</b> Requirement: 0.35 points per SF of the 100' building setback Setback area 12,035 SF x 0.35 = 4,212.25 Points Required	Proposed: 427.5 Points Provided (include existing plantings at sign and outdoor seating area) Point breakdown: 2 Shade, 3 ornamental, 21 large shrub, 41 small shrub and 343 SF of plant bed.
<b>Buffer</b> Requirement: 1.5 points per SF for 15' buffer area along street Setback area 1805 SF x 1.5 = 2707.5 Points Required	Proposed: 274.5 Points Provided (include existing plantings at sign) Point breakdown: 3 ornamental, 18 large shrub, 16 small shrub and 343 SF of plant bed.
<b>Screens</b> Requirement: N/A for site	

**1 TREE PRESERVATION PLAN**  
SCALE: 1" = 20'-0"

**LEGEND:**

- PROPERTY LINE
  - BUILDING
  - EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED
  - TREE PROTECTION FENCE
  - ITEM TO BE REMOVED
  - EXISTING PLANTING TO BE REMOVED
  - SITE REMOVALS - SEE ARCH DEMO PLAN
- NOTES:**
- REFER TO L2.0 FOR EXISTING TREE PROTECTION DETAILS AND LANDSCAPE PLANTING DETAILS.

**2 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"

**LEGEND:**

- PROPERTY LINE
- BUILDING
- CONCRETE PAVEMENT AND BASE, REFER TO ARCH
- EXISTING LIGHTPOLE TO REMAIN
- EXISTING PLANTING TO REMAIN
- EXISTING TREE TO REMAIN
- SHADE TREE
- DECIDUOUS SHRUBS
- LAWN SOD
- PERENNIAL / GROUND COVER AREAS
- MULCH, 3" DEPTH
- 12" X 12" SIGHT TRIANGLE

**EXHIBIT B**

**RECEIVED**  
**JUN 21 2019**  
COMMUNITY DEVELOPMENT DEPT

**BURGER KING**

**ISSUE DATES / REVISIONS**

NO.	DESCRIPTION	DATE
1	SPECIAL USE REVISIONS	6.18.19
	SPECIAL USE PROCESS	4.29.19

BURGER KING  
STORE #6432  
840 ARMY TRAIL ROAD  
CAROL STREAM, IL 60188

LANDSCAPE PLAN

SHEET  
**L1.0**

LANDSCAPE CONTRACTOR  
**Landscape Concepts Management**  
www.landscapeconcepts.com

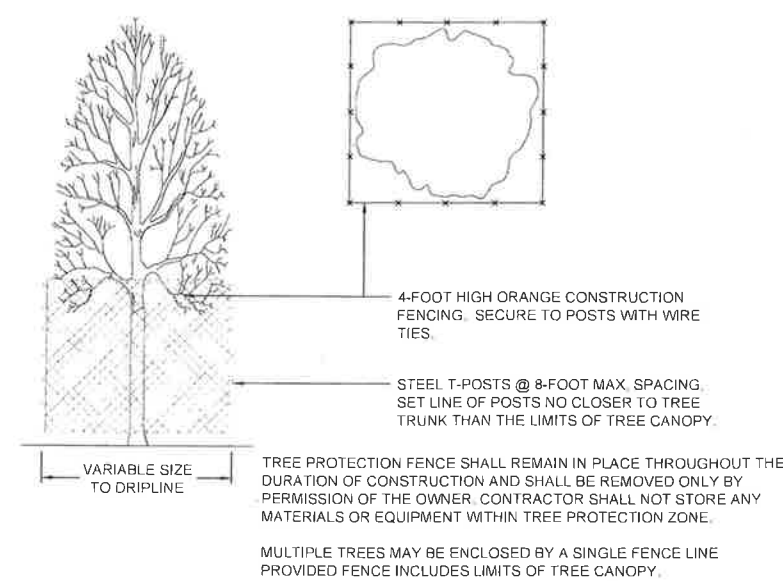
LANDSCAPE ARCHITECT  
**TERRA ENGINEERING LTD.**  
225 W Ohio Street, Suite 400 Chicago, IL 60654  
(773) 312-4670 (F) (312) 467-0220

Keven Graham FASLA, PLA  
TERRA Engineering Ltd.  
225 W. Ohio Street, Fourth Floor  
Chicago, Illinois 60610  
ph: 312.467.0123

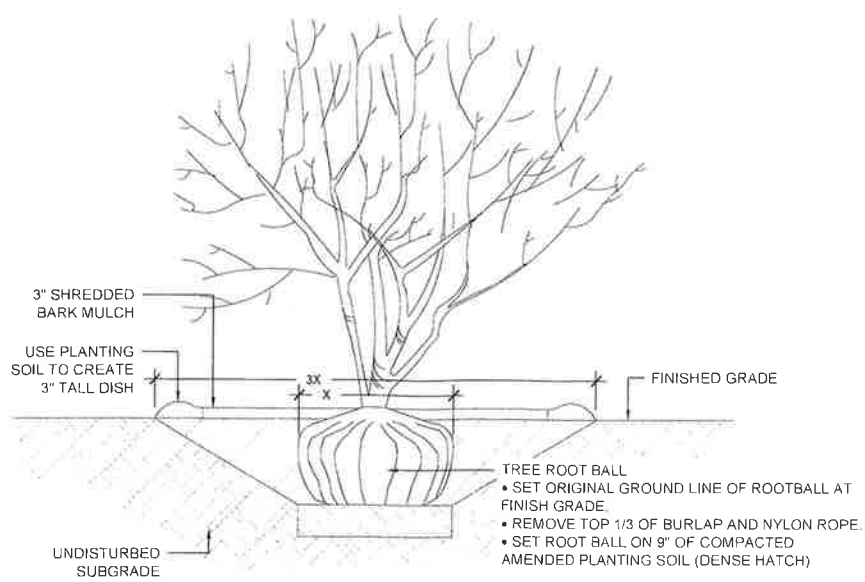




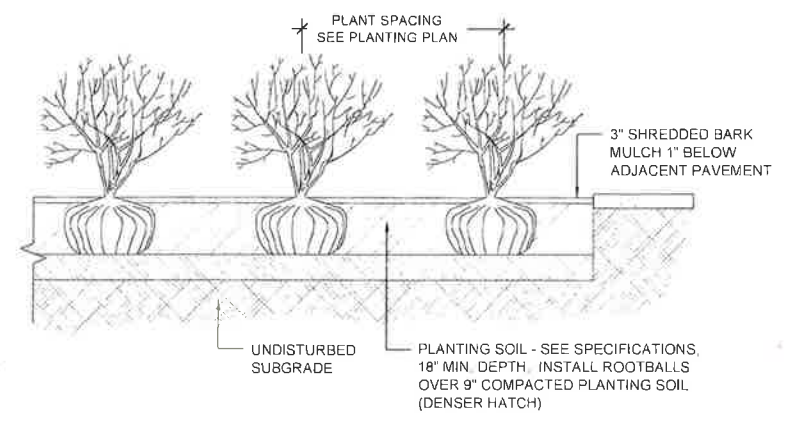
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JUN 21 2019  
COMMUNITY DEVELOPMENT  
DEPT



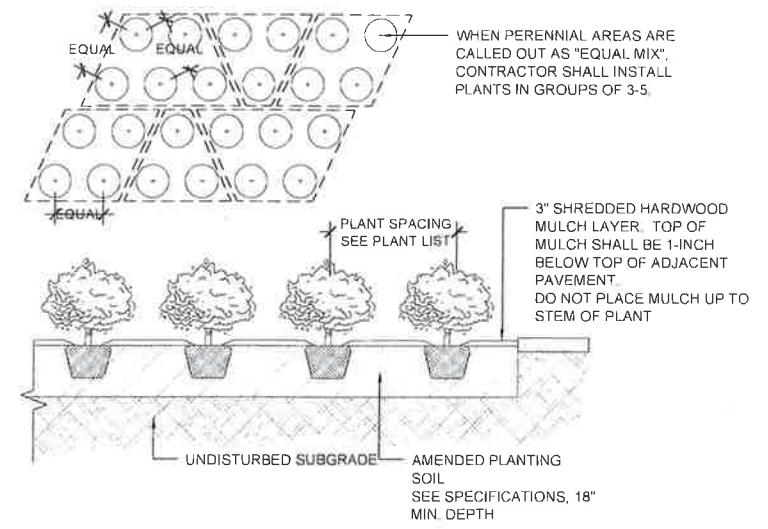
**1 TREE PROTECTION DETAIL**  
SCALE: NTS



**2 SHADE/ORNAMENTAL TREE PLANTING DETAIL**  
SCALE: NTS



**3 SHRUB PLANTING DETAIL**  
SCALE: NTS



**4 GROUNDCOVER / PERENNIAL PLANTING DETAIL**  
SCALE: NTS



**5 PLANT IMAGES**  
SCALE: NTS

LANDSCAPE CONTRACTOR	LANDSCAPE ARCHITECT:
<b>Landscape Concepts Management</b> www.landscapeconcepts.com	<b>TERRA ENGINEERING LTD.</b> 225 W. Ohio Street • Suite 400 • Chicago, IL 60654 Tel: 312-467-0123   Fax: 312-467-0220
<p>Keven Graham FASLA, PLA TERRA Engineering Ltd. 225 W. Ohio Street, Fourth Floor Chicago, Illinois 60610 ph: 312.467.0123</p> <p>#157-000150 exp. 8/31/19</p>	
<p>STATE OF ILLINOIS KEVEN GRAHAM 157-000150 LANDSCAPE ARCHITECT</p>	

ISSUE DATES / REVISIONS		
1	SPECIAL USE REVISIONS	6.18.19
	SPECIAL USE PROCESS	4.29.19
NO.	DESCRIPTION	DATE:

DRAWN BY:	CM
CHECKED BY:	KG
DATE:	4.22.19
PROJECT No:	19014

BURGER KING  
STORE #6432  
840 ARMY TRAIL ROAD  
CAROL STREAM, IL 60188

LANDSCAPE DETAILS

SHEET  
**L2.0**

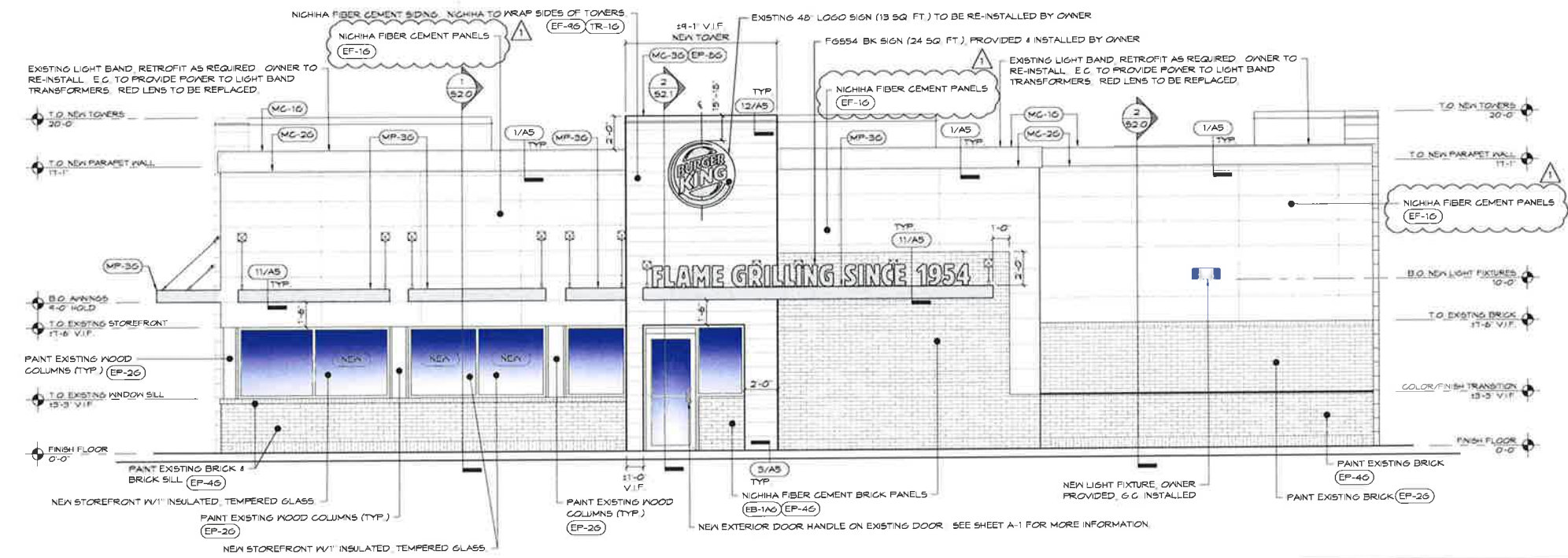
BURGER KING

EXHIBIT C

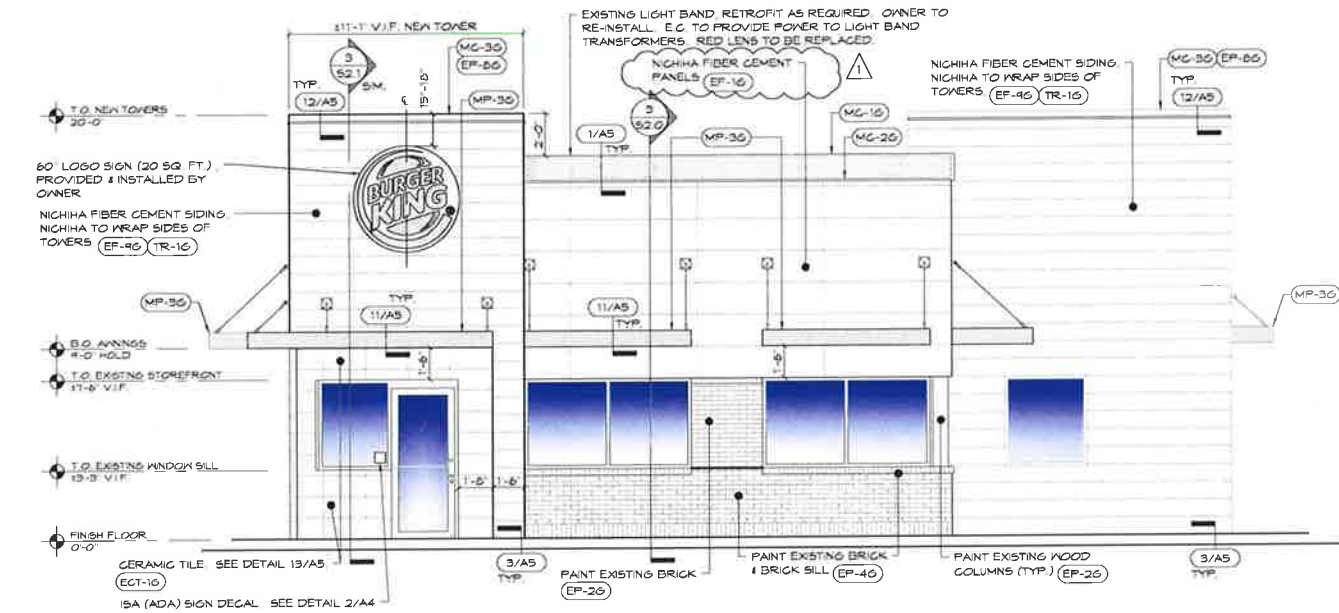








**1 PROPOSED WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 PROPOSED NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

**GENERAL CONTRACTOR NOTES**  
**RETROFITS WITH NICHHA ARCHITECTURAL WALL PANELS**  
 SINCE THE CONDITION OF THE FRAMING AND SHEATHING UNDER EXISTING E.I.F.S. OR STUCCO MAY NOT BE EASILY VERIFIED, AND DUE TO THE DIFFICULTY AND UNCERTAINTY OF ADDING FURRING (ANCHORED INTO THE FRAMING) OVER THE EXISTING SURFACE, THE E.I.F.S. OR STUCCO MUST BE REMOVED. THE SHEATHING AND/OR WRP (WEATHER RESISTIVE BARRIER) CAN THEN BE REPLACED IF NECESSARY, ENABLING EXTERIOR ENVELOPE WATERPROOFING BEST PRACTICES AND STANDARD NICHHA ARCHITECTURAL WALL PANEL INSTALLATION.



140" A.F.F.  
 ADA SYMBOL OF ACCESSIBILITY (ISA) DECAL TO BE LOCATED ON STOREFRONT GLASS ADJACENT TO ALL ACCESSIBLE DOORS.

**ISA SIGN DECAL DETAIL**  
 SCALE: N.T.S.

**GENERAL NOTES**

- G.C. TO INSURE ALL EXISTING ROOF DRAINS & SCUPPERS ARE CLEAR AND PROPERLY CONNECTED.
- LIGHTING IS OWNER SUPPLIED, G.C. INSTALLED. AWNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.G. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
- SEE SHEET A-5 FOR NEW EXTERIOR FINISH DETAILS.
- ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
- SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
- G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
- G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.

**EXHIBIT E**

**BURGER KING**

ISSUE DATES / REVISIONS	
1	SPECIAL USE REVISIONS 6.16.19
	SPECIAL USE PROCESS 4.29.19
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DRAWN BY:	T. MILLIE
CHECKED BY:	A. JOHNSON
DATE:	4.22.19
PROJECT NO:	19014

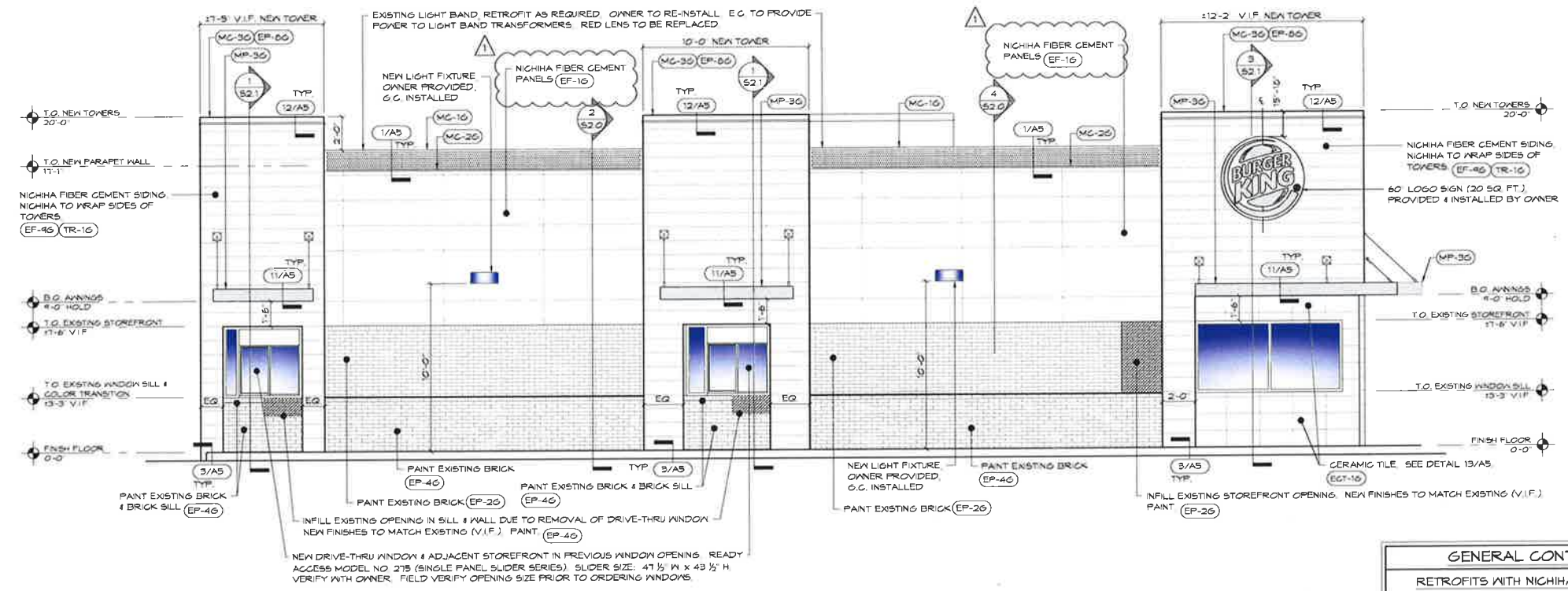
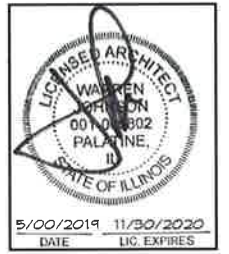
**BURGER KING STORE #6432**  
 840 ARMY TRAIL ROAD  
 CAROL STREAM, IL 60188

**PROPOSED EXTERIOR ELEVATIONS**

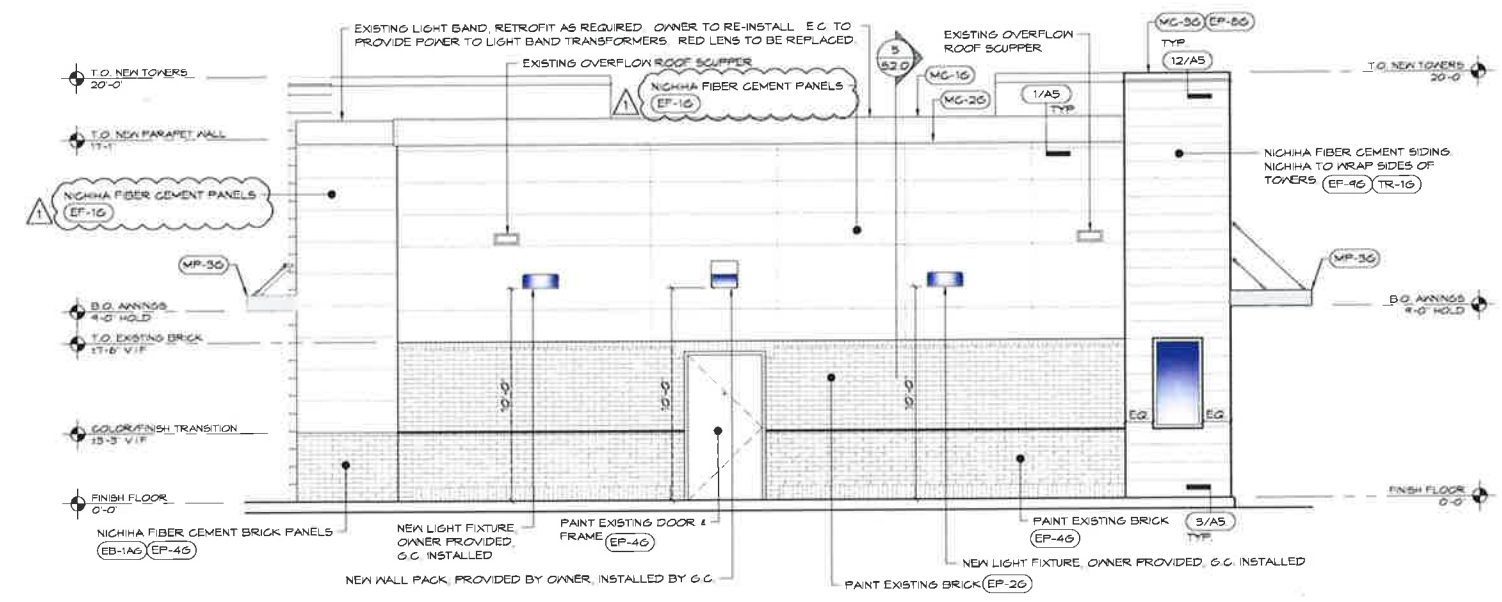
SHEET

A-4

FOUR OF TEN



**1 PROPOSED EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 PROPOSED SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

**GENERAL CONTRACTOR NOTES**  
**RETROFITS WITH NICHHA ARCHITECTURAL WALL PANELS**  
 SINCE THE CONDITION OF THE FRAMING AND SHEATHING UNDER EXISTING E.I.F.S. OR STUCCO MAY NOT BE EASILY VERIFIED, AND DUE TO THE DIFFICULTY AND UNCERTAINTY OF ADDING FURRING (ANCHORED INTO THE FRAMING) OVER THE EXISTING SURFACE, THE E.I.F.S. OR STUCCO MUST BE REMOVED. THE SHEATHING AND/OR WRP (WEATHER RESISTIVE BARRIER) CAN THEN BE REPLACED IF NECESSARY, ENABLING EXTERIOR ENVELOPE WATERPROOFING BEST PRACTICES AND STANDARD NICHHA ARCHITECTURAL WALL PANEL INSTALLATION.

- GENERAL NOTES**
- G.C. TO INSURE ALL EXISTING ROOF DRAINS & SCUPPER ARE CLEAR AND PROPERLY CONNECTED.
  - LIGHTING IS OWNER SUPPLIED, G.C. INSTALLED. ANNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. E.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
  - SEE SHEET A-5 FOR NEW EXTERIOR FINISH DETAILS.
  - ALL AWNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
  - SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER. G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
  - G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.

**BURGER KING**

ISSUE DATES / REVISIONS	
1	SPECIAL USE REVISIONS 6/10/19
2	SPECIAL USE PROCESS 4/28/18
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DRAWN BY:	T. WILLIE
CHECKED BY:	A. JOHNSON
DATE:	4.22.18
PROJECT NO.:	19014

**BURGER KING STORE #6432**  
 840 ARMY TRAIL ROAD  
 CAROL STREAM, IL 60188

**PROPOSED EXTERIOR ELEVATIONS**

SHEET

A-4.1

FIVE OF TEN

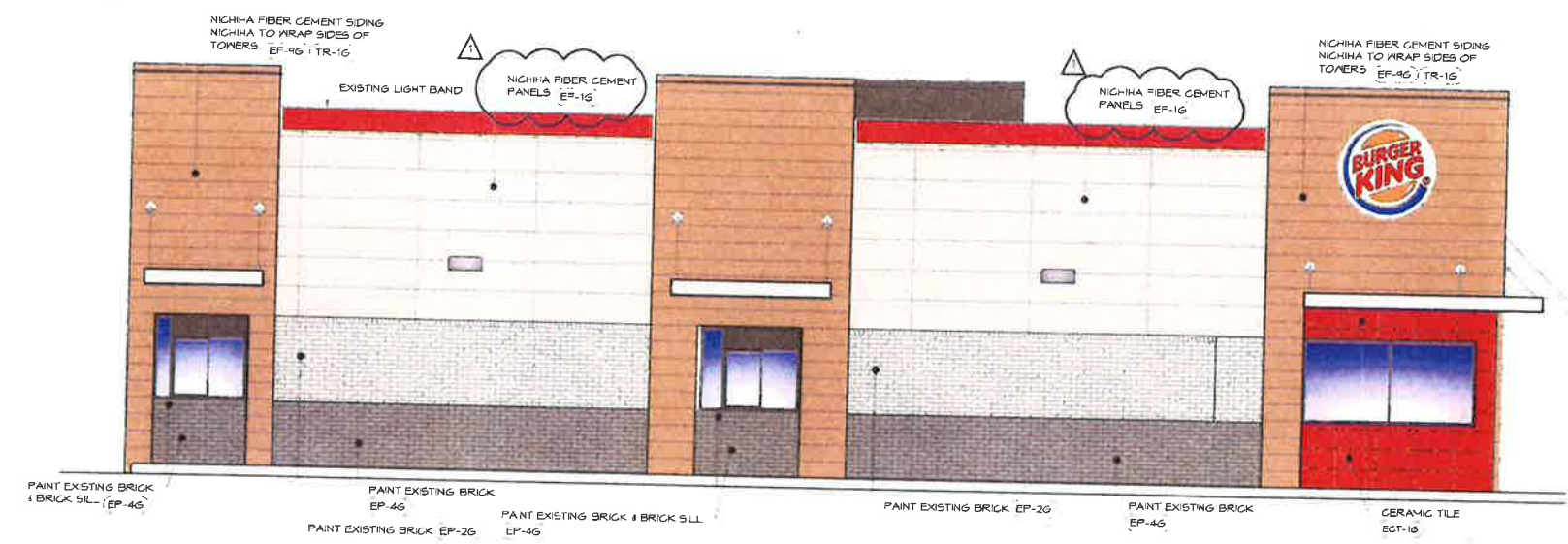
**EXHIBIT F**



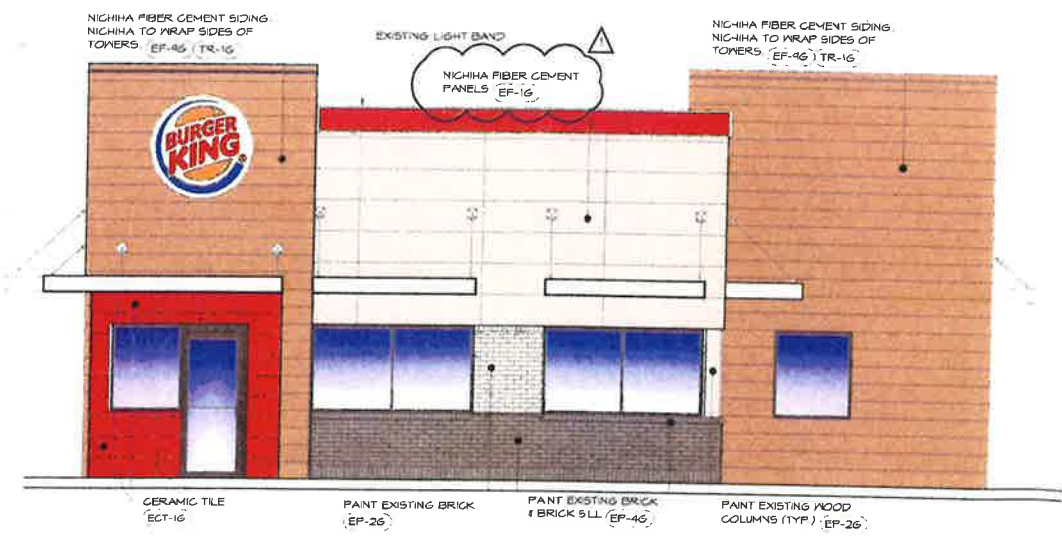
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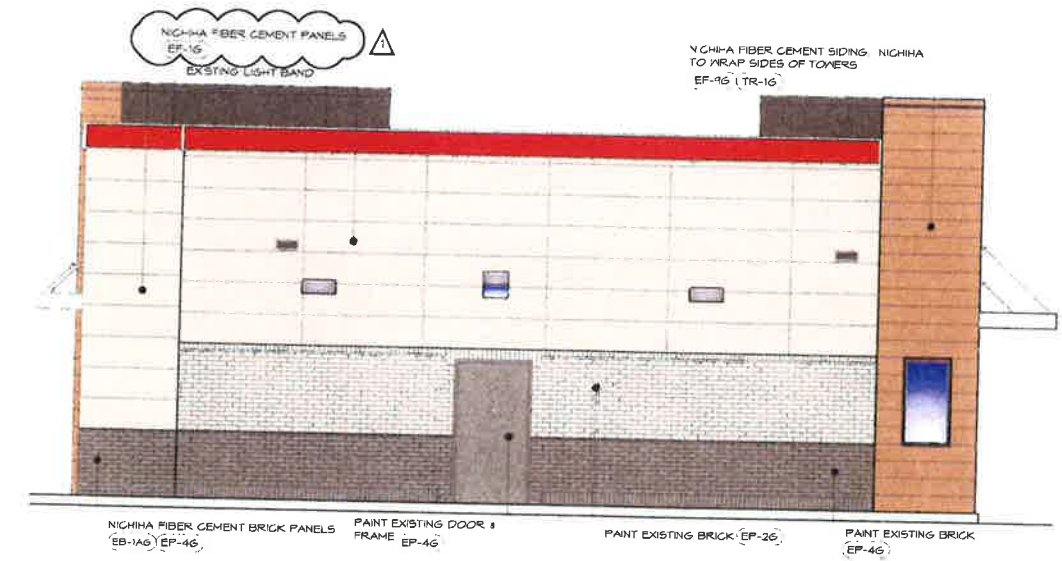
1 PROPOSED WEST ELEVATION (COLORED RENDERING)  
 SCALE 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION (COLORED RENDERING)  
 SCALE 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION (COLORED RENDERING)  
 SCALE 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION (COLORED RENDERING)  
 SCALE 1/4" = 1'-0"

**EXHIBIT G**

**BURGER KING**



BURGER KING  
 STORE #6432  
 840 ARMY TRAIL RD.  
 CAROL STREAM

SPECIAL USE REVISIONS  
 6.18.19



19 N. Greeley St. Palatine, IL 60067  
 T (847) 359-9616





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BURGER KING



ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE
1	SPECIAL USE PROCESS	4.24.19
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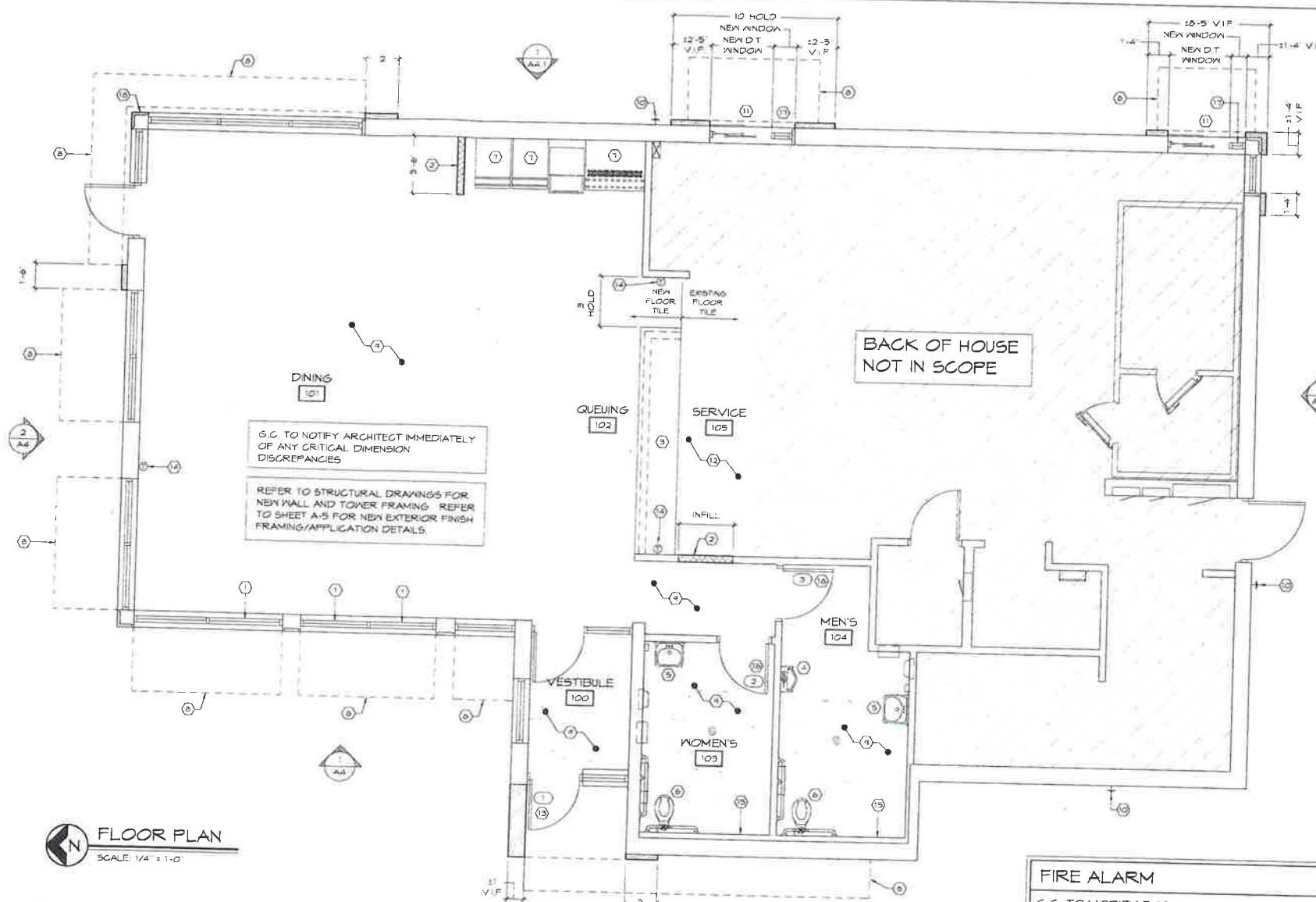
**BURGER KING**  
STORE #6432  
840 ARMY TRAIL ROAD  
CAROL STREAM, IL 60188

FLOOR PLAN AND DETAILS

SHEET

**A-1**

ONE OF NINE



G.C. TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CRITICAL DIMENSION DISCREPANCIES  
REFER TO STRUCTURAL DRAWINGS FOR NEW WALL AND TOWER FRAMING. REFER TO SHEET A-5 FOR NEW EXTERIOR FINISH FRAMING/APPLICATION DETAILS

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

- 1 NEW STOREFRONT WITH 1" INSULATED, TEMPERED GLASS. FIELD VERIFY OPENING SIZE PRIOR TO ORDERING STOREFRONT. NEW STOREFRONT TO REPLACE WINDOWS WITH BROKEN SEAL.
- 2 SUBSTRATE PANELS:  
KITCHEN - GREY - RESTROOMS  
5/8" USG DUROCK PANELS AT FINISH FLOOR TO 2'-0" A.F.F.  
5/8" WATER RESISTANT GYPSUM BOARD FROM 2'-0" A.F.F. TO 6" ABOVE FINISHED CEILING.  
PROVIDE ALTERNATE BID OF 5/8" USG FIBEROCK PANELS IN LIEU OF DUROCK.  
DINING ROOM - CORRIDOR  
5/8" TYPE USG SHEETROCK, X GYPSUM WALL BOARD  
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED W/CORONADO AIR ASSIST TIF (Z-122KD) OR EQUAL
- 3 NEW SERVICE COUNTER. SEE DECOR SHEETS
- 4 PROVIDE AND INSTALL NEW URINAL. SEE SHEET P-1. PROVIDE ADDITIONAL BLOCKING IN WALL BEHIND URINAL FOR SUPPORT OF WATER LINES (TYP.)
- 5 PROVIDE AND INSTALL NEW LAVATORY, WRAP ALL EXPOSED PIPE. SEE SHEET P-1. PROVIDE ADDITIONAL BLOCKING IN WALL BEHIND LAVATORY FOR SUPPORT OF WATER LINES (TYP.)
- 6 PROVIDE AND INSTALL NEW WATER CLOSET. SEE SHEET P-1. PROVIDE ADDITIONAL BLOCKING IN WALL BEHIND WATER CLOSET FOR SUPPORT OF WATER LINES (TYP.)
- 7 EXISTING SELF-SERVE BEVERAGE STATION CABINETS WITH STAINLESS STEEL TOP TO REMAIN. NEW DOORS ON EXISTING BEVERAGE STATION CABINETS BY OWNER. SEE ID DRAWINGS FOR MORE INFORMATION. HEIGHT OF SELF-SERVE BEVERAGE STATION CABINETS IS 34" A.F.F.
- 8 LINE OF NEW CLOSED AWNING ABOVE. OWNER SUPPLIED & INSTALLED. SEE DETAIL 11/A-5. ALL AWNING DIMENSIONS ARE TO BE FIELD VERIFIED BY MANUFACTURER PRIOR TO FABRICATION.
- 9 PROVIDE NEW FLOOR AND BASE TILE. SEE DECOR DRAWINGS.
- 10 EXISTING HOSE BIB TO REMAIN.
- 11 NEW DRIVE THRU WINDOW. READY ACCESS MODEL NO. 275 (SINGLE PANEL SLIDER SERIES - SLIDER SIZE: 41 1/2" W X 43 1/2" H). VERIFY WITH OWNER. FIELD VERIFY OPENING SIZE PRIOR TO ORDERING WINDOW. SILL HEIGHT TO MATCH EXISTING.
- 12 EXISTING KITCHEN FLOOR TILE AND BASE TO REMAIN. PATCH/REPAIR/REPLACE FLOOR AND BASE TILE AS REQUIRED PER NEW CONSTRUCTION.
- 13 NEW EXTERIOR DOOR HANDLE ON EXISTING DOOR. SEE SHEET A-7.
- 14 G.C. TO VERIFY WITH OWNER IF EXISTING THERMOSTATS ARE TO BE REPLACED WITH NEW PROGRAMMABLE THERMOSTATS. G.C. TO PROVIDE LOCKABLE COVER/GUARD AT ALL EXISTING OR NEW THERMOSTATS. G.C. TO VERIFY NEW THERMOSTAT SPEC WITH OWNER PRIOR TO ORDERING & INSTALLATION.
- 15 G.C. TO PROVIDE & INSTALL BATT R-19 INSULATION IN EXTERIOR RESTROOM WALLS. G.C. TO PROVIDE & INSTALL PIPE WRAPPING ON ALL WATER LINES IN EXTERIOR WALLS.
- 16 NEW DOOR AND FRAME. SEE SHEET A-7.
- 17 NEW STOREFRONT WITH 1" INSULATED, TEMPERED GLASS. FIELD VERIFY OPENING SIZE PRIOR TO ORDERING STOREFRONT.
- 18 G.C. TO FURR-OUT EXISTING WOOD COLUMN AS REQUIRED FOR NEW TILE FINISHES.

**EXHIBIT H**

**WALL TYPE LEGEND**

	EXISTING EXTERIOR / INTERIOR WALL TO REMAIN FINISH AS SCHEDULED
	NEW FRAMING FOR TOWER TYVEK BUILDING WRAP 3' EXTERIOR GRADE PLYWOOD REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFO NEW TOWER LEG TO EXTEND 4" PAST EXISTING ADJACENT WALL SURFACE. FURR-OUT AS REQD. TO ACHIEVE 4" BUMP OUT 3' EXTERIOR GRADE PLYWOOD FINISH AS SCHEDULED
	NEW INTERIOR WALL 4" OR 6" MTL. STUD FRAMING @ 16" O.C. (PER PLAN) 3' SUBSTRATE (AS SCHEDULED) FINISH AS SCHEDULED
	NEW EXTERIOR WALL FOR TOWER LEG TYVEK BUILDING WRAP 3' EXTERIOR GRADE PLYWOOD REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFO NEW TOWER LEG TO BE FLUSH WITH EXISTING ADJACENT WALL CONSTRUCTION 3' EXTERIOR GRADE PLYWOOD FINISH AS SCHEDULED

**FIRE ALARM**  
G.C. TO MODIFY EXISTING ALARM SYSTEM. FIRE ALARM MUST MEET ALL FIRE AND BUILDING CODES. FIRE ALARM WORK REQUIRES SEPARATE SUBMITTAL TO THE FIRE PREVENTION BUREAU AND THIS WORK IS NOT PART OF THIS SUBMITTAL.

**GENERAL CONTRACTOR NOTE:**  
G.C. DUST BARRIER NOTE  
G.C. TO BUILD A DUST BARRIER PRIOR TO THE START OF CONSTRUCTION, SEPARATING THE KITCHEN AREAS FROM THE CONSTRUCTION AREAS. IF A SECONDARY EXIT DOES NOT EXIST, G.C. TO PROVIDE A STUD & PLYWOOD DUST BARRIER WALL WITH A DOOR FOR ACCESS OUT OF THE KITCHEN. THIS WALL NEEDS TO PROVIDE A COMPLETE DUST BARRIER. A PLASTIC BARRIER IS NOT ACCEPTABLE.

**GENERAL NOTES**

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- C. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- D. ON DAY (1) OF CONSTRUCTION & UPON COMPLETION OF CONSTRUCTION, G.C. TO SET ALL DRAIN LINES, CAMERA AND IDENTIFY ANY UNDERGROUND ISSUES & PROVIDE CHANGE ORDER FOR REPAIRS.
- E. IF STOREFRONT DOORS ARE TO REMAIN, G.C. IS RESPONSIBLE TO THEIR CONDITION DURING THE REMODEL PROCESS.

**RESPONSIBILITY CHART**

**OWNER SUPPLIED & G.C. INSTALLED:**

- DECOR PACKAGE (G.C. TO USE SEATING CONCEPTS FOR INSTALL.)
- LIGHT FIXTURES (INTERIOR, EXTERIOR, SITE)
- EXTERIOR CLEARANCE POST

**OWNER SUPPLIED & OWNER INSTALLED:**

- EXTERIOR LIGHT BAND (E.G. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS)
- EXTERIOR SIGNAGE (EXCEPT CLEARANCE POST)
- EXTERIOR AWNINGS
- TVs (G.C. TO PROVIDE POWER)



ORDINANCE NO. 2019-\_\_ -\_\_

**AN ORDINANCE TERMINATING SPECIAL USE PERMITS FOR A PUBLIC SERVICE AND UTILITY USE AND OUTDOOR ACTIVITIES AND OPERATIONS (VILLAGE OF CAROL STREAM - 550 CENTER AVENUE)**

**WHEREAS**, on May 22, 1990, the President and Board of Trustees of the Village of Carol Stream passed and approved Ordinance 90-05-40, which granted a Special Use Permit for a public service and utility use to allow for the operation of an intermediate processing (recycling) facility on the parcel of property legally described in Section 1 herein, having a common address of 550 Center Avenue, Carol Stream, Illinois; and

**WHEREAS**, on March 16, 1998, the President and Board of Trustees of the Village of Carol Stream passed and approved Ordinance 98-03-19, which granted a Special Use Permit for outdoor activities and operations to allow for an annual household hazardous waste event to be held on the parcel of property legally described in Section 1 herein, having a common address of 550 Center Avenue, Carol Stream, Illinois; and

**WHEREAS**, in accordance with Section 16-15-8(H) of the Carol Stream Code of Ordinances, a Special Use Permit granted by the Board of Trustees shall be subject to termination in the event that following the issuance of occupancy permits, abandonment or other failure to utilize the property for the purposes permitted by the Special Use occurs for a period of two months out of any consecutive six month period; and

**WHEREAS**, in accordance with the procedure set forth in Section 16-15-8(H)(2) of the Carol Stream Code of Ordinances, at a regular meeting on July 22, 2019, the Combined Plan Commission/Zoning Board of Appeals conducted a public hearing to determine whether the conditions under which a Special Use Permit may be subject to termination exist, with public notice of the hearing having been given by newspaper publication and having been sent to the legal owner of record by certified mail, return receipt requested; and

**WHEREAS**, at their July 22, 2019, meeting, the Combined Plan Commission/Zoning Board of Appeals found that the conditions under which Special Use Permits may be subject to termination by the Board of Trustees do exist in this particular case; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the termination of the Special Use Permits for a public service and utility use and for outdoor activities and operations in the form of an annual household hazardous waste event with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:** The Mayor and Board of Trustees of the Village, after examining the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the termination of the Special Use Permits:

- (1) That the vacated facility/property has not been utilized for the purposes permitted by both previously approved Special Use Permits for a period of two months out of a consecutive six-month period. As such, conditions that allow for the termination of both Special Use Permits do exist in this particular case.
- (2) That given the fact that the existing vacant building will be demolished and the subject property will be redeveloped with an office/warehouse building which will bolster the Village's industrial park, it is believed that neither of the previously approved Special Use Permits should remain in existence or would be suitable for the new building.

**SECTION 2:** The Special Use Permits granted through Ordinances 90-05-40 and 98-03-19, to the property legally described below and commonly known as 550 Center Avenue, are hereby terminated.

**LEGAL DESCRIPTION:**

LOT 1 IN IPF NO. 1 SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 13, 1990 AS DOCUMENT NO. R90-169544, IN DUPAGE COUNTY, ILLINOIS.

**SECTION 3:** This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form.

PASSED AND APPROVED THIS 5<sup>th</sup> DAY OF AUGUST, 2019.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr., Mayor

ATTEST:

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Laura Czarnecki, Village Clerk

ORDINANCE NO. 2019-\_\_-\_\_

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW FOR OUTDOOR ACTIVITIES AND OPERATIONS IN THE FORM OF THE STORAGE OF TRAILERS IN THE I INDUSTRIAL DISTRICT (LPC CAROL STREAM, LLC, 550 CENTER AVENUE)**

**WHEREAS**, James Martell, of LPC Carol Stream, LLC, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit to allow for outdoor activities and operations in the form of the storage of trailers in the I Industrial District, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances; on the property legally described in Section 2 herein and commonly known as 550 Center Avenue, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on July 22, 2019, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permit be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permit to allow for the outdoor storage of trailers, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *The speculative office/warehouse building is deemed more attractive to potential users if trailer storage is an allowable option for the property, and the applicant has provided suitable screening for the proposed trailer storage.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *Since the outdoor storage is proposed to be properly screened, this outdoor activity should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially

diminish and impair property values within the neighborhood. *Other properties within the Industrial District have received Special Use approval for outdoor storage of trailers, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding industrial properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding industrial properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements will be put in place for the proposed storage lot.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing is proposed to screen the property, and procedures will be put in place to assure that the storage lot and trailers within the lot are maintained and confined appropriately.*

**SECTION 2:**

The Special Use Permit, as set forth in the above recitals, is hereby approved and granted to LPC Carol Stream, LLC subject to the conditions set forth in Section 3, upon the real estate commonly known as 550 Center Avenue, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN IPF NO. 1 SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 13, 1990 AS DOCUMENT NO. R90-169544, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Permit granted in Section 1 herein is subject to the following conditions:

1. That an additional section of fencing shall be installed directly east and parallel to the easternmost drive-in door dock area near the northeast corner of the building, and west of the proposed evergreen trees, and shall match the

fencing proposed at the northeast corner of the property in terms of height, style, and material;

2. That all plans shall be updated to illustrate the location of the proposed seven foot tall fence, and match the location at the northeast corner of the property to screen the trailer parking, as depicted on the landscape plan, and also include fencing near the northeast corner of the building as outlined in Condition #1;
3. That the seven foot tall fence near the northeast corner of the building and at the northeast corner of the property shall be a solid fence, shall be installed prior to issuance of a certificate of occupancy and prior to any trailers being stored on the property, and shall require a building permit prior to installation;
4. That only automobiles shall park in the south automobile parking lot, and no trucks, trailers, or equipment shall be allowed to be parked or stored in said lot;
5. That the north parking lot shall be utilized for the parking/storage of licensed and operable trucks and trailers only, and shall not be utilized for the storage of recreational vehicles, equipment, or materials;
6. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
7. That the entire parking lot shall be striped in accordance with the Village's looped parking stall striping requirements; and
8. That the site must be maintained and any future businesses must be operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Special Use Permit is hereby approved and granted as set forth in the following plans and exhibits:

1. Site Dimensional and Paving Plan (Exhibit A, dated April 12, 2019), prepared by Manhard Consulting, 700 Springer Drive, Lombard, Illinois, 60148.
2. Landscape Cover Sheet (Exhibit B, dated July 8, 2019), prepared by Manhard Consulting, 700 Springer Drive, Lombard, Illinois, 60148.
3. Landscape Plan (Exhibit B-2, dated July 8, 2019), prepared by Manhard Consulting, 700 Springer Drive, Lombard, Illinois, 60148.

4. Building Elevations (Exhibit C, dated May 6, 2019), prepared by Harris Architects, Inc., 4801 W. Emerson Avenue, Palatine, Illinois, 60067.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 5<sup>th</sup> DAY OF AUGUST, 2019.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr. Mayor

ATTEST:

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Laura Czarnecki, Village Clerk

I, James Martell, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permits. LPC Carol Stream, LLC further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

\_\_\_\_\_

Date

\_\_\_\_\_

Owner/Party In Interest



RECEIVED  
MAY 31 2019  
COMMUNITY DEVELOPMENT  
DEPT



- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
  2. ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
  3. ALL CURB RADI SHALL BE 4.5' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
  4. THE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
  5. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. BUILDING DIMENSIONS SHOWN SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT OF BUILDING.
  6. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANGRIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
  7. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
  8. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
  9. PROVIDE DEPRESSED CURB AND RAMP AT ALL HANDICAP ACCESSIBLE SIDEWALK AND PATH LOCATIONS PER FEDERAL AND STATE STANDARDS.
  10. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.

**PAVEMENT LEGEND**

	<b>STANDARD DUTY DUCTILECRETE PAVEMENT</b> 4.5" DUCTILECRETE PAVEMENT 6" COMPACTED AGGREGATE BASE COURSE, TYPE B (REINFORCING AS RECOMMENDED BY DUCTILECRETE)
	<b>HEAVY DUTY DUCTILECRETE PAVEMENT</b> 6" DUCTILECRETE PAVEMENT 6" COMPACTED AGGREGATE BASE COURSE, TYPE B (REINFORCING AS RECOMMENDED BY DUCTILECRETE)
	<b>CONCRETE PAVEMENT</b> 8" CONCRETE SLAB WITH 6"x6" #6 MESH 6" COMPACTED AGGREGATE BASE COURSE, TYPE B
	<b>CONCRETE SIDEWALK</b> 5" PORTLAND CEMENT CONCRETE PAVEMENT 5" MIN. CA-6 COMPACTED AGGREGATE BASE, TYPE B

**SITE DATA**

SITE AREA	11.79 ACRES
PARKING PROVIDED	121 SPACES
HANDICAP PROVIDED	6 SPACES
TRUCK PARKING PROVIDED	47 SPACES

- PAVEMENT MARKING LEGEND**
- (A) 24" WHITE STOP BAR
  - (B) 4" YELLOW LINE
  - (C) 4" YELLOW DIAGONAL AT 45° SPACED 2' O.C.
  - (D) LETTERS AND SYMBOLS PAVEMENT MARKINGS

- SIGN LEGEND**
- (1) R1-1 STOP SIGN
  - (2) R7-B HANDICAP PARKING SIGN

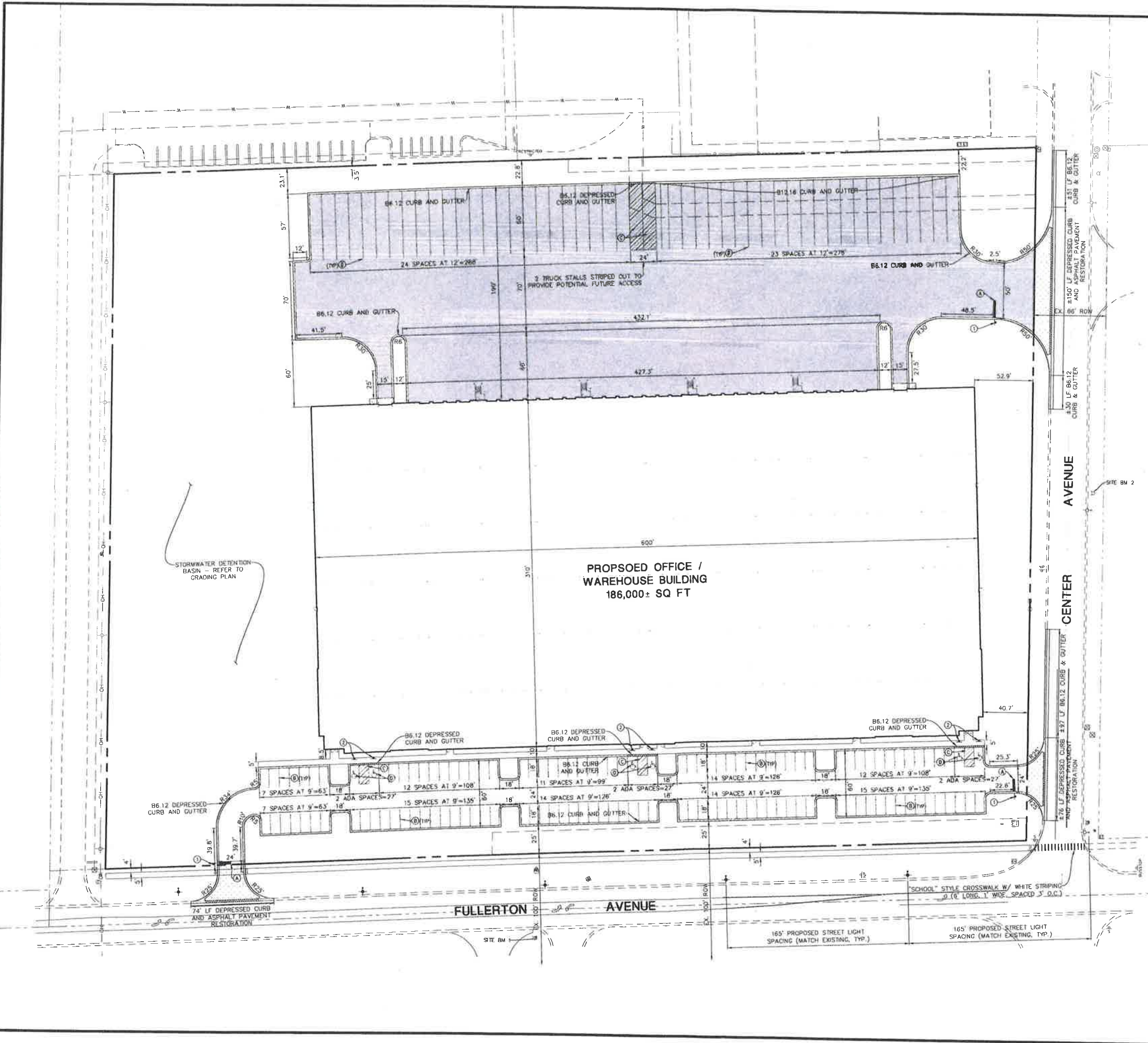


EXHIBIT A

**Manhard CONSULTING**  
100 Spring St., Lombard, IL 60148 PH: 630.681.8900 FAX: 630.681.8888 manhard.com  
Civil Engineers, Surveyors, Water & Waste Water Engineers  
Construction Managers | Environmental Scientists | Landscape Architects | Planners

550 CENTER AVENUE  
VILLAGE OF CAROL STREAM, ILLINOIS  
SITE DIMENSIONAL AND PAVING PLAN

PROJ. NO. 11-18-0001  
PROJ. ASSOC. HCM  
DRAWN BY HCM  
DATE 08-12-19  
SCALE 1"=40'  
SHEET  
**4 OF 13**  
LOP-CS101

PENDING APPROVAL - NOT FOR CONSTRUCTION



# Carol Stream Requirements:

## Point System per Ordinance:

- Shade Trees = 225 points per tree
- Ornamental Tree = 250 points per tree
- Evergreen Tree = 275 points per tree
- Shrubs 4'-12' = 70 points per shrub
- Shrubs up to 3' = 35 points per shrub

## Open Space Requirements -

All other areas that are not pavement or building areas - 0.05 per square foot  
 122,778 sq. ft. of open space x 0.05 = 6,139 points

On Plan: 33 - Shade Trees x 225 = 7,425 points

## Front Yard Setback and Parking Lot Screening -

Note: 5' width landscape screening required between parking lot and street side area

Front Yard Setback Requirements - 14,640 sq. ft.  
 14,640 x 0.35 = 5,124 points

5' wide Parking Lot Screening Requirements - 3,360 sq. ft.  
 3,360 x 2.0 = 6,720 points

Total Required Points = **11,844 points**

On Plan: 12 - Shade Trees x 225 = 2,700 points  
 9 - Evergreen Trees x 275 = 2,475 points  
 53 - 4'-12' Ht. Shrubs x 70 = 3,710 points  
 86 - 3' Ht. Shrubs x 35 = 3,010 points  
 Total Points on Plan **11,895 points**

## Side Yard Setback and Parking Lot Screening -

Note: 5' width landscape screening required between parking lot and street side area

Side Yard Setback Requirements - 19,000 sq. ft.  
 19,000 x 0.35 = 6,650 points

5' wide Parking Lot Screening Requirements - 600 sq. ft.  
 600 x 2.0 = 1,200 points

Total Required Points = **7,850 points**

On Plan: 9 - Shade Trees x 225 = 2,025 points  
 9 - Evergreen Trees x 275 = 2,475 points  
 35 - 4'-12' Shrubs x 70 = 2,450 points  
 27 - 3' Ht. Shrubs x 35 = 945 points  
 Total Points on Plan **7,895 points**

Internal Landscape Parking Lot Areas - 0.5 per square foot  
 2,426 x 0.5 = 1,213 points

On Plan: 6 Shade Trees x 225 = 1,350 points

Note: A minimum 10% of the internal parking lot area should be devoted to landscaping.

Note: 120 square feet of landscape planting islands are needed at the ends of parking bays and one island per 20 parking bays.

## Manhard Consulting Standard Seed Mix Provided by Cardno or Equal Slope Stabilization Seed Mix

Note: Double installation rates shown below  
 Application Rate (including cover crop)

59.50 PLS Lbs/AC

Botanical Name	Common Name	Ounces/Acre (PLS)
<b>Permanent Grasses:</b>		
<i>Andropogon gerardii</i>	Big Bluestem	48.00
<i>Bouteloua curtipendula</i>	Side-Oats Grama	16.00
<i>Carex spp.</i>	Prairie Sedge Mix	4.00
<i>Elymus canadensis</i>	Canada Wild Rye	32.00
<i>Elymus virginicus</i>	Virginia Wild Rye	24.00
<i>Panicum virgatum</i>	Switch Grass	12.00
<i>Schizachyrium scoparium</i>	Little Bluestem	32.00
<i>Sorghastrum nutans</i>	Indian Grass	32.00
<b>Total</b>		<b>200.00</b>

Forbs:	Common Name	Ounces/Acre (PLS)
None	None	-
<b>Total</b>		<b>-</b>

Temporary Cover:	Common Name	Ounces/Acre (PLS)
<i>Avena sativa</i>	Common Oat	512.00
<i>Lolium multiflorum</i>	Annual Rye	240.00
<b>Total</b>		<b>752.00</b>

- Notes:  
 1) For best results install Myco Seed Treat inoculum to above seed mix at 4 oz per 100 lbs of seed, or equal  
 2) Install proper erosion control (blanket or heavy hydro-mulching) immediately after installation

## Manhard Consulting Standard Seed Mix Storm Basin & Floodplain Seed Mix Provided by Cardno or Equal

Note: Double installation rates shown below  
 Application Rate (including cover crop)

32.81 PLS Lbs/AC

Botanical Name	Common Name	Ounces/Acre (PLS)
<b>Permanent Grasses:</b>		
<i>Bolboschoenus fluviatilis</i>	River Bulrush	0.25
<i>Carex cristatella</i>	Crested Oval Sedge	2.00
<i>Carex lunda</i>	Bottlebrush Sedge	3.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Elymus virginicus</i>	Virginia Wild Rye	13.50
<i>Glyceria striata</i>	Fowl Manna Grass	1.25
<i>Juncus effusus</i>	Common Rush	2.00
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush	3.00
<i>Scirpus atrovirens</i>	Dark Green Rush	2.00
<i>Scirpus cyperinus</i>	Wool Grass	1.00
<b>Total</b>		<b>37.00</b>

Forbs:	Common Name	Ounces/Acre (PLS)
<i>Alisma spp.</i>	Water Plantain (Various Mix)	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens spp.</i>	Bidens (Various Mix)	2.00
<i>Helianthus autumnale</i>	Sneezeweed	2.00
<i>Iris virginica</i>	Blue Flag	4.00
<i>Lycopus americanus</i>	Common Water Horehound	0.25
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Oligoneuron riddellii</i>	Riddell's Goldenrod	0.50
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Polygonum spp.</i>	Pinkweed (Various Mix)	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00
<i>Senna hebecarpa</i>	Wild Senna	1.00
<i>Symphotrichum novae-angliae</i>	New England Aster	1.50
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
<b>Total</b>		<b>28.00</b>

Temporary Cover:	Common Name	Ounces/Acre (PLS)
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
<b>Total</b>		<b>460.00</b>

- Notes:  
 1) For best results install Myco Seed Treat inoculum to above seed mix at 4 oz per 100 lbs of seed, or equal  
 2) Install proper erosion control (blanket or heavy hydro-mulching) immediately after installation

PLANT SCHEDULE					
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ACE-EME	5	<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Maple	2.5' Cal	B&B
BET-RIV	8	<i>Betula nigra</i>	River Birch	2.5' Cal	B&B
GEL-OCC	4	<i>Celtis occidentalis</i>	Common Hackberry	2.5' Cal	B&B
GIN-AUT	4	<i>Ginkgo biloba</i> 'Autumn Gold' TM	Maidenhair Tree	2.5' Cal	B&B
GLE-SKY	4	<i>Gleditsia inacanthos</i> 'Skyline'	Skyline Honey Locust	2.5' Cal	B&B
LIR-TUL	5	<i>Liriodendron tulipifera</i>	Tulip Tree	2.5' Cal	B&B
QUE-BIC	14	<i>Quercus bicolor</i>	Swamp White Oak	2.5' Cal	B&B
QUE-RUB	7	<i>Quercus rubra</i>	Red Oak	2.5' Cal	B&B
TAX-DIS	14	<i>Taxodium distichum</i>	Bald Cypress	2.5' Cal	B&B
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PIC-ABI	19	<i>Picea abies</i>	Norway Spruce	6' Ht	B&B
PIC-BLA	17	<i>Picea glauca densata</i>	Black Hills Spruce	6' Ht	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ARD-ARB	19	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry	3' Ht	
CEP-SUA	52	<i>Cephalanthus occidentalis</i> 'Sugar Shack'	Buttonbush	2.5' Ht	
COR-ISA	11	<i>Cornus sericea</i> 'Isanti'	Isanti Redosier Dogwood	3' Ht	
COT-TOM	87	<i>Cotoneaster aciculatus</i> 'Tom Thumb'	Tom Thumb Cranberry Cotoneaster	2.5' Ht	
FOR-ARN	37	<i>Forsythia x intermedia</i> 'Arnold's Dwarf'	Dwarf Forsythia	2.5' Ht	
SPI-SPI	33	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Japanese Spirea	2.5' Ht	
SYR-MIS	19	<i>Syringa palula</i> 'Miss Kim'	Miss Kim Lilac	3' Ht	
TAX-DEN	29	<i>Taxus x media</i> 'Densaforma'	Dense Yew	2.5' Ht	
VB-DEN	39	<i>Viburnum dentatum</i> 'Arrowwood'	Arrowwood Viburnum	3' Ht	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CAL-KAR	24	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	2.5' Ht	
PEN-HAM	20	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Dwarf Fountain Grass	2' Ht	

## Seed Mix Legend



Storm Basin & Floodplain Seed Mix



Slope Stabilization Seed Mix

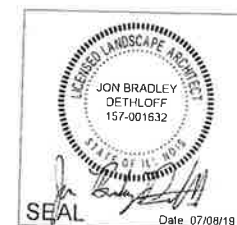


EXHIBIT B-1

RECEIVED  
 JUL 08 2019  
 COMMUNITY DEVELOPMENT DEPT

**Manhard CONSULTING**  
 200 Sprague Drive, Lenexa, KS 66150  
 781-785-8800  
 Dan Engstrom, P.E., LEED AP, PLS, FLS, FLS, FLS, FLS  
 Dan Engstrom, P.E., LEED AP, PLS, FLS, FLS, FLS, FLS  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

189,100 S.F. OFFICE/WAREHOUSE BUILDING  
 550 CENTER AVENUE, CAROL STREAM, ILLINOIS  
 LANDSCAPE COVER SHEET

PROJECT: BOM  
 PROFESSIONAL: PA  
 DRAWN BY: JBD  
 DATE: 04/12/19  
 SCALE: NOT TO SCALE  
 SHEET  
**L1** OF **L4**  
 LOP.CS101

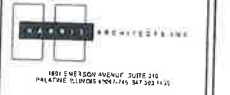
PRELIMINARY PLANS - Not for Construction







RECEIVED  
MAY 31 2019  
COMMUNITY DEVELOPMENT  
DEPT

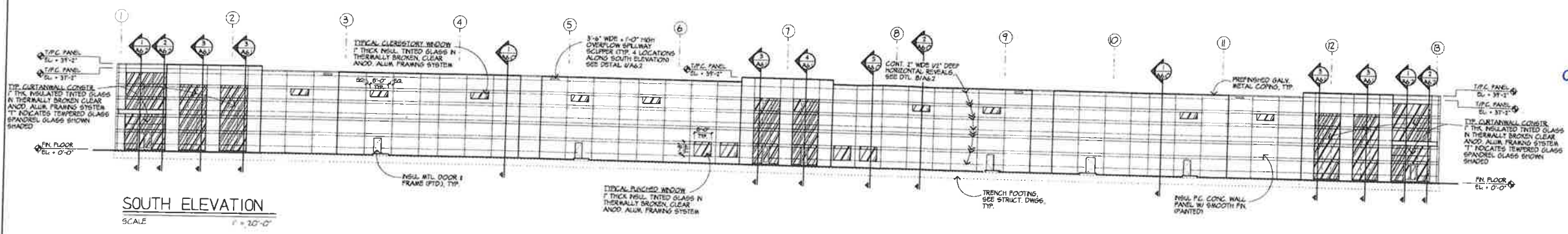


Date	Description
05-08-2019	ISSUED FOR BUILDING PERMIT

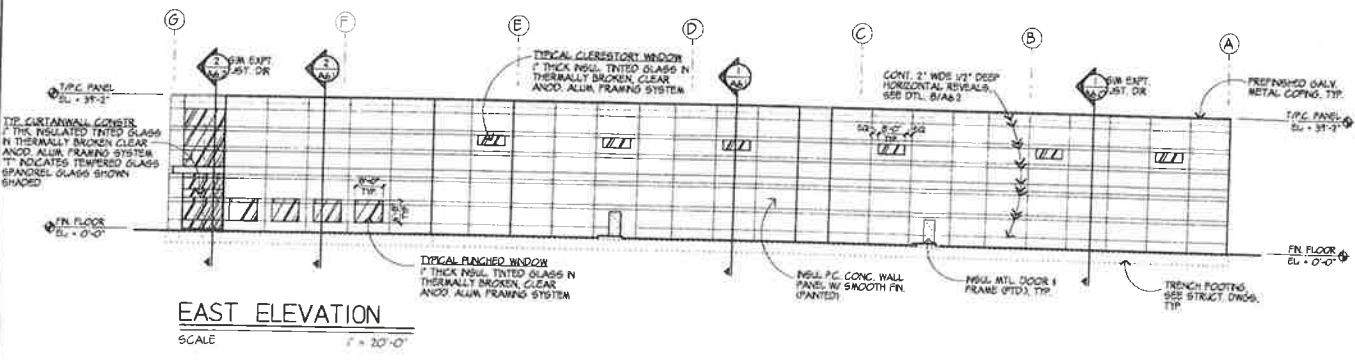
NEW OFFICE / WAREHOUSE FOR:  
**SPEC BUILDING - A**  
CAROL STREAM, ILLINOIS

PROJECT NUMBER	218121
DATABASE	218121_BLDG.DB
DRAWN BY	NAE
CHECKED BY	

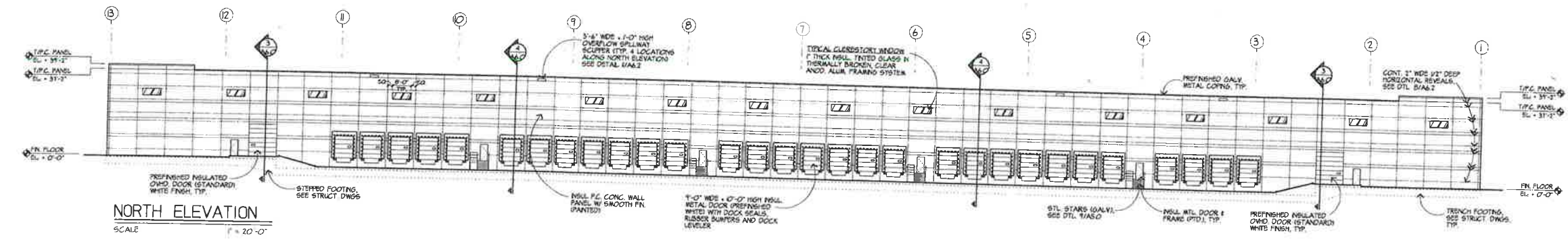
A2.0



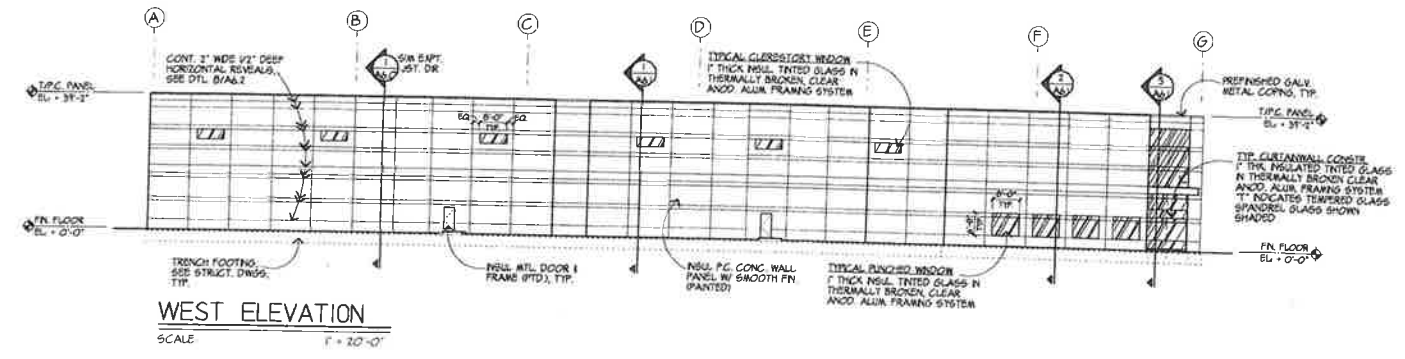
**SOUTH ELEVATION**  
SCALE 1/4" = 10'-0"



**EAST ELEVATION**  
SCALE 1/4" = 20'-0"



**NORTH ELEVATION**  
SCALE 1/4" = 20'-0"



**WEST ELEVATION**  
SCALE 1/4" = 20'-0"

EXHIBIT C



## Carol Stream Police Department

### Intradepartmental Memo

**TO:** The Carol Stream Village Board

**Via:** Village Manager Bob Mellor

**FROM:** Chief Edward Sailer  
Sergeant Don Cummings

**DATE:** 07/18/2019

**RE:** Proposed Tobacco Ordinance Amendment

The purpose of this memorandum is to amend current tobacco-related laws within the Village's Code of Ordinance to coincide with the new Illinois tobacco statutes.

On July 1st, 2019, HB0345, which was passed in the Illinois General Assembly earlier this year, went into effect. HB0345, which is commonly referred to as Tobacco 21, has altered the Prevention of Tobacco Use by Minors and Sale Distribution of Tobacco Acts. The following is a brief list of law changes that were recently implemented.

- The legal definitions of "Tobacco Products," "Electronic Cigarettes," and "Alternative Nicotine Products" have changed.
- The legal age to purchase tobacco products, electronic cigarettes, and alternative nicotine products went from 18 to 21 years old.
- No longer is it illegal to possess tobacco products, electronic cigarettes, and alternative nicotine products if you are under 21 years of age.

The current Carol Stream tobacco-related ordinances differ from the new State statute in two-ways. First, the Village's ordinance reflects the previous legal tobacco purchase age of 18 years old throughout the document. Secondly, possessing tobacco by those under the age of 18 remains illegal. The proposed ordinance amendment will address the first difference by updating the document to reflect the new legal age of 21. In addition, the amendment will also keep the offense of "possession," while correcting the age to those under 21 years old.

The Village of Carol Stream has the ability to implement laws to assist in regulating behavior that may adversely impact the health, safety, and welfare of the community we serve. The current State statute,

which I have extensively reviewed, indicates that tobacco usage is a Public Health Crisis that should not be marred by enforcement action. However, as a Department, we have consistently demonstrated that public safety and the accountability of enforcement should not be mutually exclusive. For these reasons, it is suggested that the section, which outlaws possession of tobacco by those under the legal age (21), remain within the Code of Ordinance.

For your consideration, I have attached to this memorandum an ordinance amendment to Chapter 10, Article 9 and Chapter 14, Article 2, Section 31. In addition to the previously mentioned changes, the corrected document contains new definitions for "Tobacco Products," "Electronic Cigarettes," "Nicotine," "Vending Machine," and "Alternative Nicotine Products" that mirror the current Illinois statute. Also, the "approximate age to examine identification" has been changed from 27 years old to 30 years old as to match the new statute language.

I have left the remainder of the ordinance intact since the majority of the verbiage meets current state standards. If there are any additional revisions you would like added to the submitted amendment based on your interpretations, please let me know.

Also for your consideration, it should be noted that the Villages of Woodridge and Wood Dale have enacted similar Village Ordinances where the current legal age of 21 has been applied, and possession of tobacco by those under the legal age remain illegal. The municipalities of Hanover Park, South Elgin, Bartlett, Schaumburg, Elgin, and Aurora are working on similar amendments.

As always, I will make myself available for any questions you may have on the matter.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE CAROL STREAM CODE OF ORDINANCES TO REGULATE TOBACCO PRODUCTS AND THE PURCHASE AND POSSESSION OF TOBACCO PRODUCTS, ALTERNATIVE NICOTINE PRODUCTS AND ELECTRONIC CIGARETTES BY A PERSON UNDER 21 YEARS OF AGE**

**WHEREAS**, consumption of tobacco products under the age of 21 poses an immediate threat to the public health, safety and welfare, in that it results in further tobacco use amongst persons under 21 years of age; and

**WHEREAS**, it has been determined by the Surgeon General of the United States that the use of tobacco is hazardous to human health; and

**WHEREAS**, the National Institute On Drug Abuse found that cigarette smoking precedes and may be predictive of adolescent illicit drug use; and

**WHEREAS**, on April 7, 2019, Illinois Governor J.B. Pritzker signed legislation raising the legal age to purchase tobacco products, inclusive of alternative nicotine products, in the State of Illinois from eighteen (18) to twenty-one (21); and

**WHEREAS**, the Village of Carol Stream is a home rule unit under subsection (a) of Section 6 of Article VII of the Illinois Constitution of 1970; and

**WHEREAS**, as provided in said Section, a home rule unit may exercise any power and perform any function pertaining to its government and affairs for the protection of the public health, safety, morals and welfare; and

**WHEREAS**, the Mayor and Board of Trustees finds that the sale, purchase, and possession of tobacco products by persons under 21 years of age is harmful to the health, safety and welfare of the Village and that it is in the best interests of the Village to adopt this ordinance.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:**

**SECTION 1:** The above referenced recitals are hereby incorporated into this Ordinance by reference.

**SECTION 2:** The Carol Stream Code of Ordinances, Chapter 10, "Business Licensing and Regulation", Article 9, "Tobacco Products", Sections 10-9-1, 10-9-3, 10-9-4, 10-9-6, and 10-9-7 are hereby amended to read as follows:

**§10-9-1 DEFINITIONS.**

For the purpose of this article, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

A. "Alternative Nicotine Products" means a product or device not consisting of or containing tobacco that provides for the ingestion into the body of nicotine, whether by chewing, smoking, absorbing, dissolving, inhaling, snorting, sniffing, or by any other means. "Alternative nicotine products"

does not include cigarette, tobacco product, electronic cigarette, or any product approved by the United States Food and Drug Administration for sale as a tobacco cessation product, as a tobacco dependence product, or for other medical purposes, and is being marketed and sold solely for that approved purpose.

B. "Electronic Cigarette" means any device that employs a battery or other mechanism to heat a solution or substance to produce a vapor or aerosol intended for inhalation; any cartridge or container of a solution or substance intended to be used with or in the device or to refill the device; or any solution or substance, whether or not it contains nicotine intended for use in the device. "Electronic cigarette" includes, but is not limited to, any electronic nicotine delivery system, electronic cigar, electronic cigarillo, electronic pipe, electronic hookah, vape pen, or similar product or device, and any components or parts that can be used to build the product or device. "Electronic cigarette" does not include cigarette, tobacco product, alternative nicotine product, or any product approved by the United States Food and Drug Administration for sale as a tobacco cessation product, as a tobacco dependence product, or for other medical purposes, and is being marketed and sold solely for that approved purpose, or any therapeutic product approved for use under the Illinois Compassionate Use of Medical Cannabis Pilot Program Act .

C. "Nicotine" means any form of the chemical nicotine, including any salt or complex, regardless of whether the chemical is naturally or synthetically derived.

D. "Tobacco Product" means any product containing or made from tobacco that is intended for human consumption, whether smoked, heated, chewed, absorbed, dissolved, inhaled, snorted, sniffed, or ingested by any other means, including, but not limited to, cigarettes, cigars, little cigars, chewing tobacco, pipe tobacco, snuff, snus, and any other smokeless tobacco product which contains tobacco that is finely cut, ground, powdered, or leaf and intended to be placed in the oral cavity. "Tobacco Product" includes any component, part, or accessory of a tobacco product, whether or not sold separately. "Tobacco Product" does not include electronic cigarette, alternative nicotine product, or any product approved by the United States Food and Drug Administration for sale as a tobacco cessation product, as a tobacco dependence product, or for other medical purposes, and is being marketed and sold solely for that approved purpose

E. "Vending Machine" means any mechanical, electric or electronic, self-service device which, upon insertion of money, tokens, credit card, debit card, or any other form of payment, dispenses tobacco products.

### **§10-9-3 PROHIBITED SALES; DELIVERY SIGNS**

A. It shall be unlawful for any person, including any licensee, to sell, offer for sale, give away or deliver tobacco products, electronic cigarettes or alternative nicotine products, coupons for tobacco products, electronic cigarettes or alternative nicotine products, or to provide tobacco product samples or free promotional items relating to tobacco products, electronic cigarettes or alternative nicotine products, to any person under the age of 21 years.

B. The sale of tobacco products, electronic cigarettes or alternative nicotine products unpackaged shall be prohibited.

C. It shall be unlawful to display tobacco products, electronic cigarettes or alternative nicotine products together with counter displays of candy or other similar products.

D. Signs informing the public of the age restriction provided for herein shall be posted by every licensee and on every display of tobacco products, electronic cigarette or alternative nicotine products for sale.

1. Each such sign shall be plainly visible and shall state:

"THE SALE OF TOBACCO PRODUCTS, ELECTRONIC CIGARETTES AND ALTERNATIVE NICOTINE PRODUCTS TO PERSONS UNDER 21 YEARS OF AGE IS PROHIBITED BY LAW."



2. The text of such signs shall be in red letters on a white background; such letters to be at least five-eighths inch high. The sign will be provided by the village free of charge.

#### **§10-9-4 MINIMUM AGE TO SELL TOBACCO PRODUCTS**

It shall be unlawful for any licensee and/or any officer, associate member, representative, agent or employee of such licenses to engage, employ or permit, suffer or allow any person under 16 years of age to sell tobacco products, electronic cigarette or alternative nicotine products or to offer tobacco products, electronic cigarette or alternative nicotine products for sale. This section shall not apply to a family-owned business which can prove that the sales clerk is a son or daughter of the owner.

#### **§10-9-6 LICENSE LIMITED TO PLACE OF BUSINESS**

- A. Any license issued shall specify the specific location to which the license shall refer and the license shall only be valid at that location.
- B. Notwithstanding the foregoing, a vendor whose services include the delivery of tobacco, electronic cigarettes, alternative nicotine products, and other consumer products to customers at the customer's address pursuant to telephonically or electronically transmitted orders, may deliver tobacco products, electronic cigarettes and alternative nicotine products to the customer's address, provided however, that the vendor's delivery employee shall determine that the person receiving the delivery of the tobacco products, electronic cigarette or alternative nicotine products is not under the age of 21 years. Such determination shall be made by:
  1. Examining from any person that appears to be under 30 years of age a government issued photographic identification that establishes the person receiving delivery is at least 21 years of age; or
  2. For sales made through the Internet or other remote sales methods, performing age verification through an independent, third-party age verification services that compares information available from public records to the personal information entered by the person during the ordering process, that establishes the person is 21 years of age or older.

#### **§10-9-7 VENDING MACHINES; LOCKING DEVICES**

A. It shall be unlawful for any licensee to sell or offer for sale, give away, deliver or to keep with the intention of selling, giving away or delivering tobacco products, electronic cigarette or alternative nicotine products by use of a vending machine, unless such vending machine is equipped with a manual, electric or electronic locking device controlled by the licensee so as to prevent its operation by persons under the age of 21 years. The locking device shall be activated and operational at all times.

B. All vending machines with tobacco products, electronic cigarette or alternative nicotine products shall be placed in an area within which the licensee's personnel have a clear view and access and where the machines can only be activated where the person selling the tobacco products, electronic cigarette or alternative nicotine products has determined by a visual inspection and where necessary through identification that the person purchasing the tobacco products, electronic cigarette or alternative nicotine products is not under the age of 21.

C. Any premises where access by persons under the age of 21 years is prohibited and where vending machines are strictly for the use of employees of business located at such premises, shall be exempt from the requirements of division (A) and (B) of this section.

D. It shall be unlawful for any licensee to have or permit on its premises any vending machine, which sells both non-tobacco products and tobacco products or alternative tobacco products.

**SECTION 3:** The Carol Stream Code of Ordinances, Chapter 14, “General Offenses Regulation”, Article 2, “Offenses Against Person,” will hereby amend Section 31, “Purchase and Possession of Tobacco Products, Alternative Nicotine Products, Electronic Cigarettes and Vapes by a Minor Prohibited”, so the Section shall read as follows:

**§14-2-31 PURCHASE AND POSSESSION OF TOBACCO PRODUCTS, ALTERNATIVE NICOTINE PRODUCTS AND ELECTRONIC CIGARETTES BY A PERSON UNDER 21 YEARS OF AGE PROHIBITED**

A. It shall be unlawful for any person under the age of 21 year to possess, purchase or attempt to purchase or use any tobacco products, alternative nicotine products or electronic cigarettes, or to misrepresent his or her identity or age, or to use any false or altered identification for the purpose or purchasing or attempting to purchase any tobacco products, alternative nicotine products or electronic cigarettes.

B. The terms, “Tobacco Products,” “Alternative Nicotine Products” and “Electronic Cigarettes” shall have the same meanings as defined in Chapter 10, Article 9, §10-9-1 of the Carol Stream Code of Ordinance.

C. Any person who violated division (A) of this section shall be punished by a fine of not less than \$100, nor more than \$750.

D. Any police officer observing a violation of this section may, as an alternative to arresting the offender, issue a “hang-on ticket” as provided in Chapter 15, Article 4 of this Code of Ordinances pursuant to the which the person cited may pay the sum of \$100 within the time stated on the ticket as a compromise or settlement to avoid the prosecution of an ordinance violation in the Circuit Court.

**SECTION 4:** Those sections, paragraphs and provisions of Chapter 10 and Chapter 14 of the Carol Stream Code of Ordinances which are not expressly amended or repealed by this Ordinance are hereby re-enacted, and it is expressly declared to be the intention of this Ordinance not to repeal or amend any portion of the Carol Stream Code of Ordinances other than those expressly amended or repealed in Section 1 of this Ordinance.

**SECTION 5:** The invalidity of any section or provision of this Ordinance hereby passed and approved shall not invalidate other sections or provisions thereof.

**SECTION 6:** This Ordinance shall be in full force and effect from and after its passage and approval by law.

PASSED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2019

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Laura Czarnecki, Village Clerk

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager  
**FROM:** Sandy Belongia, Interdepartmental Aide *SB*  
**DATE:** July 16, 2019  
**RE:** American Cancer Society  
Raffle License Application and Sound Amplification Application

The American Cancer Society is sponsoring their annual Relay for Life Event at the Ross Ferraro Town Center on Saturday, August 10, 2019 from 3:00 pm – 11:00 pm in which a raffle drawing will be held to raise funds to support Carol Stream cancer patients. Raffle tickets will be \$1.00 each or 6 for \$5.00 or 13 for \$10.00 or 28 for \$20.00. They have also submitted an Amplification Permit application for the same time frame.

Applicant is requesting a waiver of the Application Fee's and the Manager's Fidelity Bond as indicated in the attached letter. The raffle license application, amplification permit application and required documentation are on file in the Village Clerk's office for your review.

Please place this item on the agenda for review and approval by the Village Board of Trustees at their upcoming Monday, August 5, 2019 Board meeting.

Thank you.

Attachment



1/8/19

To the Village of Carol Stream,

This letter is to request a waiver of fees for all permits and licenses for the following events:

- Bags For a Cure Tournament – February 18-March 13, 2019
- Relay For Life of Carol Stream – Saturday, August 10, 2019

Both of these events are fundraising events for the American Cancer Society North Central Region.

Our IRS 501(c)(3) tax EIN number is 13-1788491.

Our National office is the American Cancer Society, 250 Williams Street NW, Suite 400, Atlanta, GA 30303.

If you have any questions, please feel free to call us at 630-932-1151.

Thank you for your continued support of the American Cancer Society.

Sincerely,

A handwritten signature in black ink that reads "Kiyoko Czech". The signature is fluid and cursive, with a long horizontal line extending to the right.

Kiyoko Czech  
Community Development Manager

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05, 2019**

**AGENDA ITEM**  
L-1 8/5/19

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>ACCURATE OFFICE SUPPLY CO</b>					
OFFICE SUPPLIES	154.90	01662600-53314	OFFICE SUPPLIES	485339	
	<u>154.90</u>				
<b>AMERICAN LEGAL PUBLISHING CORP</b>					
CODE SUPPLEMENT #2	1,839.46	01520000-52253	CONSULTANT	0129406	
JULY 2019 CODE	611.82	01520000-52253	CONSULTANT	0129594	
	<u>2,451.28</u>				
<b>APPLIED CONCEPTS INC</b>					
RADARS FOR #691 #629	2,499.00	01662700-53350	SMALL EQUIPMENT EXPENSE	351244	
	<u>2,499.00</u>				
<b>ARAMARK UNIFORM &amp; CAREER APPAREL GROUP INC</b>					
FIRST AID SUPPLIES	62.05	01590000-53317	OPERATING SUPPLIES	ORD4-001985	
	<u>62.05</u>				
<b>B &amp; F CONSTRUCTION CODE SERVICES, INC</b>					
1205 N GARY-FIRE ALARM 19-5791-FIRE	200.00	01643700-52253	CONSULTANT	51701	
333 S SCHMALE-SPRINKER	625.00	01643700-52253	CONSULTANT	51642	
850 W ARMY TRAIL-FIRE ALARM 19-5811-FIRE	200.00	01643700-52253	CONSULTANT	51706	
	<u>1,025.00</u>				
<b>BAXTER &amp; WOODMAN INC</b>					
DESIGN WRC DE-WATERING ENG SVCS PO.3738	6,800.00	04101100-54480	CONSTRUCTION	0207318	20200044
	<u>6,800.00</u>				
<b>BEARY LANDSCAPING</b>					
FY20 PLANT BED MAINTENANCE	8,325.00	01670400-52272	PROPERTY MAINTENANCE	137756	20200008
MOWING SERVICES	10,299.57	01670400-52272	PROPERTY MAINTENANCE	137755	20200039
	<u>18,624.57</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05,2019**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>BRIAN CLUEVER</b>					
IACP DRE-CLUEVER PER DIEM 8/9-8/13/19	248.00	01662300-52223	TRAINING	IACP 2019-CLUEVER	
	<u>248.00</u>				
<b>C S FIRE PROTECTION DISTRICT</b>					
PERMITS JUNE 2019	1,000.00	01-24416	DEPOSIT-FIRE DISTRICT PERMIT	PERMITS JUN 2019	
	<u>1,000.00</u>				
<b>CB&amp;I LLC</b>					
DOCUMENT SEARCH FEE	400.00	04200100-52253	CONSULTANT	238010-26	
	<u>400.00</u>				
<b>CHICAGO METROPOLITAN AGENCY FOR PLANNING</b>					
FY 2020 LOCAL CONTRIBUTION	1,510.69	01520000-52234	DUES & SUBSCRIPTIONS	FY2020-037	
	<u>1,510.69</u>				
<b>CHRISTOPHER B BURKE ENGR LTD</b>					
120 S GARY-PROF. SVC 5/16-6/29/19 PO.462-414	5,019.00	01620600-52253	CONSULTANT	0152066	
PROFESSIONAL SVCS 5/26-6/29/19 PO.462-414	14,183.50	01620600-52253	CONSULTANT	152065	
	<u>19,202.50</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05,2019**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>COMED</b>					
1015 W LIES RD-TOWER #4 6/17-7/17/19	31.28	04201600-53210	ELECTRICITY	2514004009 07/17/19	
1025 LIES RD-LITE R-25 6/17-7/17/19	54.22	01670300-53213	STREET LIGHT ELECTRICITY	6213120002 07/17/19	
106 GOLDENHILL ST-AERATOR 6/21/19-7/23/19	138.82	01670600-53210	ELECTRICITY	2127117053 07/23/19	
1128 EVERYGREEN TRL 6/19-7/19/19	62.66	04101500-53210	ELECTRICITY	0291093117 07/19/19	
1350 TALL OAKS DR 6/18-7/18/19	47.60	04101500-53210	ELECTRICITY	2073133107 07/18/19	
1415 MAPLE RIDGE CT PUMP 6/19-7/19/19	216.48	01670600-53210	ELECTRICITY	5838596003 07/19/19	
192 YUMA LN 6/18-7/18/19	32.77	01670300-53213	STREET LIGHT ELECTRICITY	0501137042 07/18/19	
333 FULLERTON, WELL 3 6/17-7/17/19	641.37	04201600-53210	ELECTRICITY	0300009027 07/18/19	
391 ILLINI DR 6/18-7/18/19	77.62	01670600-53210	ELECTRICITY	4430145023 07/18/19	
401 TOMAHAWK 6/18-7/18/19	52.87	01670300-53213	STREET LIGHT ELECTRICITY	0723076266 07/18/19	
633 THUNDERBIRD 6/18-7/18/19	84.90	01670300-53213	STREET LIGHT ELECTRICITY	0455095075 07/18/19	
KUHN RD CAMERA-RT 64 6/18-7/18/19	36.83	01662300-52298	ATLE SERVICE FEE	4202129060 07/18/19	
LIES RT23/MORTON SW 6/26/19-7/26/19	212.59	01670300-53213	STREET LIGHT ELECTRICITY	0815164035 07/26/19	
VARIOUS LOCATIONS 6/17-7/22/19	256.72	01670300-53213	STREET LIGHT ELECTRICITY	5853045025 07/22/19	
	<b>1,946.73</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05,2019**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>CONSTELLATION NEW ENERGY</b>					
1 N END THORNHILL 6/17/19-7/17/19	93.41	01670300-53213	STREET LIGHT ELECTRICITY	7280332-6 07/18/19	
100 DELLA CT 6/7-7/9/19	8.56	01670300-53213	STREET LIGHT ELECTRICITY	7280332-2 07/10/19	
1345 GEORGETOWN DR 6/19/19-7/20/19	19.56	01670300-53213	STREET LIGHT ELECTRICITY	7280332-7 07/23/19	
301 ANTELOPE 6/18/19-7/18/19	55.06	01670300-53213	STREET LIGHT ELECTRICITY	7280332-11 07/19/19	
391 FLINT 6/18/19-7/18/19	46.45	01670300-53213	STREET LIGHT ELECTRICITY	7280332-12 07/19/19	
403 SIOUX 6/18/19-7/18/19	17.67	01670300-53213	STREET LIGHT ELECTRICITY	7280332-3 07/19/19	
451 SILVERLEAF-LIGHTS 6/18/19-7/18/19	36.12	01670300-53213	STREET LIGHT ELECTRICITY	7280332-1 07/19/19	
491 CHEYENNE 6/18-7/18/19	17.46	01670300-53213	STREET LIGHT ELECTRICITY	7280332-9 07/19/19	
500 N GARY-CONTROLLER 6/18/19-7/18/19	104.53	01670300-53213	STREET LIGHT ELECTRICITY	7280332-5 07/19/19	
506 CHEROKEE CT 6/18-7/18/19	39.88	01670300-53213	STREET LIGHT ELECTRICITY	7280332-4 07/19/19	
512 CAYNON TRL 6/18-7/18/19	15.63	01670300-53213	STREET LIGHT ELECTRICITY	7280332-8 07/19/19	
594 NEZ PERCE LN 6/18-7/18/19	18.26	01670300-53213	STREET LIGHT ELECTRICITY	7280332-14 07/19/19	
796 PAWNEE 6/18-7/18/19	48.37	01670300-53213	STREET LIGHT ELECTRICITY	7280332-15 07/19/19	
880 PAPOOSE CT 6/18/19-7/18/19	73.06	01670300-53213	STREET LIGHT ELECTRICITY	7280322-13 07/19/19	
990 DEARBORN 6/18/19-7/18/19	50.70	01670300-53213	STREET LIGHT ELECTRICITY	7280332-10 07/19/19	
	<b>644.72</b>				
<b>CORE &amp; MAIN LP</b>					
2" FLAGE PACK	105.00	04201400-53333	NEW METERS	K897009	
2" METER CHAMBER PO.3706	-146.00	04201400-53333	NEW METERS	K882604	
2" METER CHAMGER PO.3706	1,236.00	04201400-53333	NEW METERS	K862983	
B-BOX PARTS	401.59	04201600-53317	OPERATING SUPPLIES	K777327	
BELL CLAMP FOR ENGINE LEAK	1,707.28	04201600-53317	OPERATING SUPPLIES	K863385	
PARTS FOR R2 SENSUS METER	122.60	04201400-53333	NEW METERS	K872932	
SUPPLIES	394.00	04201600-53317	OPERATING SUPPLIES	K844217	
	<b>3,820.47</b>				
<b>COVERALL NORTH AMERICA INC</b>					
JANITORIAL SVCS	86.00	01670100-52276	JANITORIAL SERVICES	1010642005	20200003
	<b>86.00</b>				



**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05,2019**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>DANIEL STAFIEJ</b>					
IACP DRE-STAFIEJ PER DIEM 8/9-8/13/19	248.00	01662300-52223	TRAINING	IACP 2019-STAFIEJ	
	<b>248.00</b>				
<b>DUPAGE CO SENIOR POLICE MNGMNT ASSN</b>					
2020 DUES-CUMMINGS	125.00	01660100-52234	DUES & SUBSCRIPTIONS	2020 DUES	
	<b>125.00</b>				
<b>DUPAGE COUNTY DIVISION OF TRANSPORTATION</b>					
VEHICLE CRASH COSTS	366.00	01670300-53344	STREET SIGNS	MAINT GARAGE	
	<b>366.00</b>				
<b>DUPAGE COUNTY RECORDER</b>					
RECORDING WEED LIENS 6/28/19	23.00	01520000-52233	RECORDING FEES	40047345	
	<b>23.00</b>				
<b>DUPAGE RIVER SALT CREEK WRKGRP</b>					
AGENCY MEMBERSHIP DUES 3/1/19-2/29/20	15,149.00	01620600-52272	PROPERTY MAINTENANCE	153	20200045
AGENCY MEMBERSHIP DUES 3/1/19-2/29/20	89,115.00	04100100-52234	DUES & SUBSCRIPTIONS	153	20200045
	<b>104,264.00</b>				
<b>DYNEGY ENERGY SERVICES, LLC</b>					
124 GERZEVSKE LN 6/17-7/16/19 ACCT.3054113	2,030.65	04201600-53210	ELECTRICITY	275664019071-2	
124 GERZEVSKE-PW FACILITY 5/16-6/16/19	2,044.80	04201600-53210	ELECTRICITY	275664019061-3	
1348 CHARGER CT 5/16-6/16/19	367.40	04101500-53210	ELECTRICITY	275664019061-2	
1348 CHARGER CT 6/17-7/16/19 ACCT.2496057C	265.46	04101500-53210	ELECTRICITY	275664019071-1	
191 TUBEWAY DR 6/7-7/8/19 ACCT.0111013079	328.55	04101500-53210	ELECTRICITY	275664019071-4	
200 TUBEWAY-LIFT STATIONS 5/8-6/6/19	652.65	04101500-53210	ELECTRICITY	275664019061-1	
300 KUHN RD 6/18-7/17/19 ACCT.3963097040	2,594.01	04201600-53210	ELECTRICITY	275664019071-3	
300 KUHN RD-WEST SIDE PASS 5/17-6/17/19	2,669.15	04201600-53210	ELECTRICITY	275664019061-4	
	<b>10,952.67</b>				

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<b>EARTH INC</b>					
HAULING 6/28/19	40.00	01670500-52265	HAULING	21356	
	<u>40.00</u>				
<b>ENGINEERING RESOURCE ASSOCIATES INC</b>					
PROFESSIONAL SVCS-FLOOD BROTHERS THRU 6/	662.20	01620600-52253	CONSULTANT	18120800.05	
PROFESSIOINAL SVCS-470 E NORTH AVE THRU 6/	820.40	01620600-52253	CONSULTANT	18100500.04	
	<u>1,482.60</u>				
<b>FEDEX</b>					
PRIORITY POSTAGE 07/18/19	37.87	04201400-52229	POSTAGE	6-622-90683	
	<u>37.87</u>				
<b>FLOLO CORPORATION</b>					
SERVICE CALL FOR PUMP REPAIR 7/2/19	290.00	04201600-52244	MAINTENANCE & REPAIR	098867	
	<u>290.00</u>				
<b>FLOOD BROTHERS DISPOSAL</b>					
YW 18163501-4000,18162501-3000, 18168501-	4,400.00	01-14120	YARD WASTE STICKERS	4470955	
	<u>4,400.00</u>				
<b>GOVTEMPSUSA LLC</b>					
ACCOUNTS CLERK-A RETSKE 7/7, 7/14/19	1,120.00	04103100-52253	CONSULTANT	2825823	
ACCOUNTS CLERK-A RETSKE 7/7, 7/14/19	1,120.00	04203100-52253	CONSULTANT	2825823	
AMR ASSISTANCE-M SCHULTZ 7/7, 7/14/19	2,089.71	04201400-52253	CONSULTANT	2825824	20200001
LIBRARY TECH-J FIREK 7/7, 7/14/19	3,460.80	01652800-52253	CONSULTANT	2825821	
OFFICE MANAGER-D KALKE 7/7, 7/14/19	2,463.36	01590000-52253	CONSULTANT	2825820	
PROPERTY INSPECTOR-E HERZOG 7/7, 7/14/19	1,225.00	01642100-52253	CONSULTANT	2825822	
	<u>11,478.87</u>				
<b>HAYES MECHANICAL</b>					
REPLACED EXHAUST FAN MOTOR	1,124.36	01670400-52244	MAINTENANCE & REPAIR	437953	
	<u>1,124.36</u>				

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<b>HBK WATER METER SERVICE INC</b>					
LARGE METER TESTING 07/12/19	1,500.00	04201400-52282	METER MAINTENANCE	190392	20200040
LARGE METER TESTING 6/25-6/26/19	2,445.00	04201400-52282	METER MAINTENANCE	190374	20200040
LARGE METER TESTING 7/9-7/12/19, 7/15/19 (P	8,035.00	04201400-52282	METER MAINTENANCE	190386	20200040
	<b>11,980.00</b>				
<b>HUFF &amp; HUFF INC</b>					
CHLORIDE TOXICITY REPORT DUES	1,000.00	01670600-52253	CONSULTANT	0778087	
	<b>1,000.00</b>				
<b>INTEGRITY ENVIRONMENTAL SERVICES, INC</b>					
CONSULT SERVICES-FUEL STORAGE PAY #13 PO.3	1,190.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 19-07036		20200019
CONSULT SERVICES-FUEL STORAGE PO.3682	570.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 19-07016		20200019
FUEL PROJECT-IEPA	380.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 19-07004		20200023
FUEL PROJECT-IEPA	570.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 19-07008		20200023
	<b>2,710.00</b>				
<b>ITRON INC</b>					
ITRON MAIN-QTR END 10/31/19	1,034.61	04103100-52255	SOFTWARE MAINTENANCE	525898	
ITRON MAIN-QTR END 10/31/19	1,034.61	04203100-52255	SOFTWARE MAINTENANCE	525898	
	<b>2,069.22</b>				
<b>JULIE INC</b>					
2019 ANNUAL ASSESSMENT	392.35	01670600-52272	PROPERTY MAINTENANCE	2019-0381 06/30/19	
2019 ANNUAL ASSESSMENT	392.35	01670300-52272	PROPERTY MAINTENANCE	2019-0381 06/30/19	
2019 ANNUAL ASSESSMENT	392.35	04201600-52272	PROPERTY MAINTENANCE	2019-0381 06/30/19	
2019 ANNUAL ASSESSMENT	392.41	04101500-52272	PROPERTY MAINTENANCE	2019-0381 06/30/19	
	<b>1,569.46</b>				
<b>JET BRITE CAR WASH INC</b>					
CAR WASH 6/1-6/30/19	234.00	01662700-52244	MAINTENANCE & REPAIR	3682	
	<b>234.00</b>				

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<b>JOHN L FIOTI</b>					
LOCAL PROSECUTION JULY 2019	262.50	01570000-52238	LEGAL FEES	CS 130	
LOCAL PROSECUTION JULY 2019	612.50	01662300-52310	ATLE LEGAL ADJUDICATION	CS 130	
	<b>875.00</b>				
<b>KLEIN, THORPE &amp; JENKINS, LTD</b>					
GENERAL COUNSEL JUNE 2019	21.50	22490000-52238	LEGAL FEES	203882	
GENERAL COUNSEL JUNE 2019	86.00	11740000-52238	LEGAL FEES	203882	
GENERAL COUNSEL JUNE 2019	645.00	04100100-52238	LEGAL FEES	203882	
GENERAL COUNSEL JUNE 2019	9,096.50	01570000-52238	LEGAL FEES	203882	
	<b>9,849.00</b>				
<b>KONICA MINOLTA BUSINESS SOLUTIONS</b>					
MAINTENANCE BIZHUB 283 QTR END 5/5/19	92.49	01610100-52226	OFFICE EQUIPMENT MAINTENAN	9005671412	
	<b>92.49</b>				
<b>MAILFINANCE</b>					
POSTAGE METER-QTR END 11/4/19	575.22	01610100-52226	OFFICE EQUIPMENT MAINTENAN	07810128	
	<b>575.22</b>				
<b>MARK E RADABAUGH</b>					
BOARD MTG TAPING/EDITING 7/15/19	100.00	01590000-52253	CONSULTANT	19-0127	
	<b>100.00</b>				
<b>MARVIN O GONZALEZ</b>					
PD VEHICLE DETAILING/WASH	140.00	01620100-53317	OPERATING SUPPLIES	8495 366	
PD VEHICLE DETAILING/WASH	1,330.00	01662700-52244	MAINTENANCE & REPAIR	8495 366	
PD VEHICLE DETAILING/WASH	1,360.00	01662700-52244	MAINTENANCE & REPAIR	8495 367	
	<b>2,830.00</b>				
<b>MELROSE PYROTECHNICS</b>					
JULY 4TH 2019 FIREWORKS DISPLAY PO-4601807	14,000.00	01750000-52291	MISC EVENTS/ACTIVITIES	22131	
	<b>14,000.00</b>				

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<b>MENDEL PLUMBING &amp; HEATING INC</b>					
EMERGENCY VALVE REPLACEMENT 07/15/19	2,673.50	04201600-52244	MAINTENANCE & REPAIR	338580	20200043
	<u>2,673.50</u>				
<b>MULTISYSTEM MANAGEMENT COMPANY</b>					
JANITORIAL JUNE 2019	3,950.00	01680000-52276	JANITORIAL SERVICES	2015	
	<u>3,950.00</u>				
<b>MUNICIPAL CLERKS OF DUPAGE CO</b>					
DUPAGE CLERKS DUES 6/1/19-5/31/19	20.00	01520000-52234	DUES & SUBSCRIPTIONS	MDCD 2019-CZARNECKI	
	<u>20.00</u>				
<b>NATALIA WAJDOWICZ</b>					
IACP DRE-WAJDOWICZ PER DIEM 8/9-8/13/19	248.00	01662300-52223	TRAINING	IACP 2019-WAJDOWICZ	
	<u>248.00</u>				
<b>NICOLAS BACIDORE</b>					
IACP DRE-BACIDORE PER DIEM 8/9-8/13/19	248.00	01662300-52223	TRAINING	IACP 2019-BACIDORE	
	<u>248.00</u>				
<b>NICOR</b>					
124 GERZEVSKE LN #4 6/19-7/19/19	34.88	04201600-53230	NATURAL GAS	13811210007 07/19/19	
1348 CHARGER CT 6/20/19-7/22/19	109.24	04101500-53230	NATURAL GAS	86606011178 07/22/19	
200 TUBEWY DR 6/18-7/18/19	36.10	04101500-53230	NATURAL GAS	14309470202 07/18/19	
	<u>180.22</u>				
<b>NOTARY PUBLIC ASSOCIATION OF IL</b>					
NOTARY 2019 -SUE NORTHRUP	54.00	01610100-52234	DUES & SUBSCRIPTIONS	NOTARY 2019-NORTHRUP	
NOTARY 2019-HILDA GUZMAN	54.00	01662600-52234	DUES & SUBSCRIPTIONS	NOTARY 2019-GUZMAN	
NOTARY 2019-MARYELLEN BACH	54.00	01610100-52234	DUES & SUBSCRIPTIONS	NOTARY 2019-BACH	
NOTARY 2019-SUE DOMINGUEZ	54.00	01610100-52234	DUES & SUBSCRIPTIONS	NOTARY 2019-DOMINGUE	
	<u>216.00</u>				

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<b>OPERATION SUPPORT OUR TROOPS</b>					
2019 CONCERT SERIES-OPERATION SUPPORT OU	871.00	01-24227	SUPPORT OUR TROOPS RAFFLE	2019 CONTRIBUTION	
	<u>871.00</u>				
<b>OZINGA READY MIX CONCRETE INC</b>					
ADA RAMPS	480.00	01670500-53317	OPERATING SUPPLIES	1289673	
	<u>480.00</u>				
<b>PAUL E REPMANN JR</b>					
CONCERT SERIES 2019-MEMBERS ONLY 8/8/19	1,100.00	01750000-52288	CONCERT SERIES	MEMBERS ONLY 2019	
	<u>1,100.00</u>				
<b>PLATINUM POOLCARE AQUATECH LTD</b>					
FOUNTAIN CLEANING JUNE 2019	1,861.40	01680000-52219	TC MAINTENANCE	95561	20200029
	<u>1,861.40</u>				
<b>PLOTE CONSTRUCTION INC</b>					
FLEXIBLE PAVEMENT PROGRAM PO-462591	-33,347.76	06-21112	RETAINAGE - PLOTE	190200.02 PO-462591	
FLEXIBLE PAVEMENT PROGRAM PO-462591	333,477.56	06320000-54470	STREET RESURFACING	190200.02 PO-462591	
	<u>300,129.80</u>				

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<b>REFUNDS MISC</b>					
PARTIAL-REFUND OF TOW FEE	475.00	01000000-45321	TOWING FEE	CSPC1923359-REED	
REFUND-OVERPAY STAMP/WATER	2.70	01000000-47407	MISCELLANEOUS REVENUE	35 HARRINGTON AVE	
REFUND-SMA DEPOSIT	4,300.00	01-24321	STORMWATER REVIEW FEE SECUR	120 S GARY AVE	
REFUND-STICKER 07229 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 07229	
REFUND-STICKER 12961 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 12961	
REFUND-STICKER 19, NO LONGER OWNS VEHICL	50.00	01000000-42303	VEHICLE LICENSES	STICKER 19	
REFUND-STICKER 25764 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 25764	
REFUND-STICKER 25765 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 25765	
REFUND-STICKER 7573 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 7573	
REFUND-TICKET 241899 241900 DOUBLE PAYME	105.00	01000000-45402	ORDINANCE FORFEITS	TICKET 241899 241900	
REFUND-TICKET 242101 DOUBLE PAYMENT	30.00	01000000-45402	ORDINANCE FORFEITS	TICKET 242101	
REFUND-TICKET PAID ONLINE, PAYABLE TO DUPA	378.00	01000000-45402	ORDINANCE FORFEITS	CS000726	
REFUND-V/S 23906 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 23906	
REFUND-V/S 26474 SENIOR DISCOUNT	40.00	01000000-42303	VEHICLE LICENSES	STICKER 26474	
	<b>5,620.70</b>				
<b>REFUNDS PRESERVATION BONDS</b>					
REFUND-1133 SANDHURST 19-5000-DRVW	300.00	01-24302	ESCROW - GRADING	1133 SANDHURST	
REFUND-AS BUILT RECEIPT# 135112	5,000.00	01-24302	ESCROW - GRADING	1246 CENTRAL PARK	
REFUND-DRIVEWAY BOND 19-0634-DRVW	300.00	01-24302	ESCROW - GRADING	525 YARDLEY	
REFUND-DRIVEWAY BOND 19-5759-DRVW	300.00	01-24302	ESCROW - GRADING	363 THUNDERBIRD TRL	
REFUND-PATIO BOND 19-0418-PATI	200.00	01-24302	ESCROW - GRADING	643 DAVID LN	
REFUND-PATIO BOND 19-0639-PATI	200.00	01-24302	ESCROW - GRADING	1145 EDINGTON LN	
REFUND-PATIO BOND 19-5717-PATI	200.00	01-24302	ESCROW - GRADING	403 BRISTOL	
REFUND-PATIO/WALK BOND 19-5852-PATI	200.00	01-24302	ESCROW - GRADING	1135 SANDHURST	
REFUND-SIDEWALK BOND 19-5774-SDWK	200.00	01-24302	ESCROW - GRADING	1125 EDINGTON LN	
	<b>6,900.00</b>				



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<b>REFUNDS TAX STAMPS</b>					
REFUND-398 STONEWOOD CIR, STAMP 30755	1,200.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 30755	
REFUND-STAMP 30575, 844 KANSAS STREET	840.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 30575	
REFUND-STAMP 30655, 345 ALABAMA TRL	930.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 30655	
REFUND-STAMP 30670, 1037 CLIFF VIEW LN	831.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 30670	
REFUND-STAMP 30728 678 KINGSBRIDGE DR	600.00	01000000-41208	REAL ESTATE TRANSFER TAX	STAMP 30728	
	<u>4,401.00</u>				
<b>REFUNDS W&amp;S FINALS</b>					
	0.01	04-12110	ACCOUNT RECEIV WATER & SEWER	72662	
	5.67	04-12110	ACCOUNT RECEIV WATER & SEWER	72668	
	7.06	04-12110	ACCOUNT RECEIV WATER & SEWER	72664	
	8.64	04-12110	ACCOUNT RECEIV WATER & SEWER	72672	
	8.96	04-12110	ACCOUNT RECEIV WATER & SEWER	72665	
	13.24	04-12110	ACCOUNT RECEIV WATER & SEWER	72660	
	27.19	04-12110	ACCOUNT RECEIV WATER & SEWER	72670	
	33.02	04-12110	ACCOUNT RECEIV WATER & SEWER	72662	
	42.49	04-12110	ACCOUNT RECEIV WATER & SEWER	72669	
	48.07	04-12110	ACCOUNT RECEIV WATER & SEWER	72663	
	56.38	04-12110	ACCOUNT RECEIV WATER & SEWER	72659	
	60.42	04-12110	ACCOUNT RECEIV WATER & SEWER	72666	
	103.38	04-12110	ACCOUNT RECEIV WATER & SEWER	72671	
	117.76	04-12110	ACCOUNT RECEIV WATER & SEWER	72661	
	119.70	04-12110	ACCOUNT RECEIV WATER & SEWER	72667	
	<u>651.99</u>				
<b>ROBERT TURNHOLT</b>					
IACP DRE-TURNHOLT PER DIEM 8/9-8/13/19	248.00	01662300-52223	TRAINING	IACP 2019-TURNHOLT	
	<u>248.00</u>				

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<b>RUSH TRUCK CENTERS</b>					
JL CONDENSOR	318.80	01696200-53354	PARTS PURCHASED	3015915745	
JL FILTER	67.33	01696200-53354	PARTS PURCHASED	3015618089	
	<b>386.13</b>				
<b>STEVEN EVANS</b>					
UNIFORMS-S EVANS BOOTS	88.00	04200100-53324	UNIFORMS	07536Z/E	
	<b>88.00</b>				
<b>SUZANNE KAISER</b>					
CODA K-9 BOARDING 6/1/19-6/7/19	90.00	01664700-52315	CANINE SERVICES	BOARDING 2019-CODA	
	<b>90.00</b>				
<b>THE BOARD OF TRUSTEES OF THE UNIV OF ILL</b>					
BLOOD TESTING	400.00	01662300-53317	OPERATING SUPPLIES	H0452	
LAB FEES DUI TECH FUNDS	1,050.00	01662300-53317	OPERATING SUPPLIES	H0504	
	<b>1,450.00</b>				
<b>THEODORE POLYGRAPH SERVICE</b>					
POLICE ASSESSMENT JONES 7/9/19	175.00	01510000-52228	PERSONNEL HIRING	6681	
	<b>175.00</b>				
<b>THIRD MILLENIUM ASSOCIATES INCORPORATED</b>					
VS FULFILLMENT SERVICES 4/29/19-07/10/19 (P	3,000.32	01610100-52229	POSTAGE	23663 PO-461648	
VS FULFILLMENT SERVICES 4/29/19-07/10/19 (P	6,625.06	01610100-52255	SOFTWARE MAINTENANCE	23663 PO-461648	
	<b>9,625.38</b>				
<b>TIM'S AUTO BODY</b>					
BODY DAMAGE REPAIR TO #685	808.74	01662700-52244	MAINTENANCE & REPAIR	REPAIR 685	
	<b>808.74</b>				
<b>TKB ASSOCIATES INC</b>					
NEW SCANNER FOR PW	2,845.00	01652800-54412	OTHER EQUIPMENT	13573	20200042
	<b>2,845.00</b>				

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<b>TRANSYSTEMS CORPORATION</b>					
LIES RD LAFO PO.462-584	7,265.55	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	INV-0003468881	
	<u>7,265.55</u>				
<b>U S POSTMASTER</b>					
PERMIT #44 RENEWAL	235.00	01610100-52229	POSTAGE	PRMT #44 2019/20	
S/O NOTICE POSTAGE JULY 2019	53.25	04103100-52229	POSTAGE	1529 7/11/19	
S/O NOTICE POSTAGE JULY 2019	53.25	04203100-52229	POSTAGE	1529 7/11/19	
	<u>341.50</u>				
<b>VERIZON WIRELESS</b>					
CELL PHONES 6/14/19-7/13/19	20.94	01642100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	30.34	01620100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	36.01	01662700-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	38.01	01652800-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	56.62	01610100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	56.62	01640100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	56.62	01642100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	56.62	01690100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	59.03	01662700-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	60.62	01662700-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	94.63	01600000-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	113.24	01643700-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	113.24	01680000-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	180.18	01590000-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	273.02	04100100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	378.01	01620100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	436.30	01652800-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	479.35	04200100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	531.77	01670100-52230	TELEPHONE	9834096320 07/13/19	
CELL PHONES 6/14/19-7/13/19	3,396.61	01662700-52230	TELEPHONE	9834096320 07/13/19	
	<u>6,467.78</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on AUGUST 05,2019**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>WEST SIDE TRACTOR SALES</b>					
JL WINDSHIELD	603.65	01696200-53354	PARTS PURCHASED	N82052	
	<b>603.65</b>				
<b>WEX BANK</b>					
FUEL 06/30/19	-190.46	01000000-47407	MISCELLANEOUS REVENUE	60036697 06/30/19	
FUEL 06/30/19	42.16	01680000-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	69.04	01696200-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	75.93	01643700-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	81.75	04200100-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	164.60	01622200-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	246.91	01620100-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	254.19	01642100-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	327.36	01670100-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	327.36	01670300-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	409.21	01670600-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	409.21	01670700-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	454.18	01664700-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	491.05	01670500-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	567.73	01662400-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	572.26	04201400-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	695.65	01670400-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	845.53	04101500-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	981.02	04201600-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	1,021.91	01660100-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	1,432.22	01670200-53313	AUTO GAS & OIL	60036697 06/30/19	
FUEL 06/30/19	9,310.78	01662700-53313	AUTO GAS & OIL	60036697 06/30/19	
	<b>18,589.59</b>				
<b>GRAND TOTAL</b>	<b>\$621,728.60</b>				

**The preceding list of bills payable totaling \$621,728.60 was reviewed and approved for payment.**

**Approved by:**

Robert Mellor  
Robert Mellor – Village Manager

**Date:** 8/2/19

**Authorized by:**

\_\_\_\_\_  
Frank Saverino Sr – Mayor

\_\_\_\_\_  
Laura Czarniecki- Village Clerk

**ADDENDUM WARRANTS**  
**July 16, 2019 Thru August 5, 2019**

Fund	Check #	Vendor	Description	Amount
General	A C H	Wheaton Bank & Trust	Payroll July 26, 2019 thru July 26, 2019 MAP RETRO	6,051.21
General	A C H	Wheaton Bank & Trust	Payroll July 15, 2019 thru July 28, 2019	553,464.77
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll July 15, 2019 thru July 28, 2019	60,980.36
				<u><u>620,496.34</u></u>

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2019

By: \_\_\_\_\_  
 Frank Saverino Sr - Mayor

\_\_\_\_\_  
 Laura Czarnecki - Village Clerk

Village of Carol Stream  
General Fund Budget Summary  
For the Month Ended June 30, 2019

MONTH

YTD

BUDGET

REVENUES

	Last Year	Current Year	Monthly Variance	
	Jun	Jun	\$	%
Sales Tax	\$ 818,552	\$ 613,693	(204,859)	-25%
Home Rule Sales Tax	454,383	409,504	(44,879)	-10%
State Income Tax	251,603	249,041	(2,562)	-1%
Utility Tax - Electricity	136,234	134,407	(1,826)	-1%
Telecommunications Tax	89,066	73,755	(15,311)	-17%
Fines (Court, Ord., ATLE, Towing)	106,898	125,618	18,720	18%
Natural Gas Use Tax	47,046	38,959	(8,087)	-17%
Other Taxes (Use, Hotel, PPRT Real Estate, Alcohol)	297,286	301,879	4,593	2%
Licenses (Vehicle, Liquor, etc.)	9,009	530,416	521,408	5788%
Cable Franchise Fees	-	-	-	0%
Building Permits	36,766	35,002	(1,764)	-5%
Fees for Services	136,877	65,110	(71,767)	-52%
Interest Income	13,475	21,084	7,609	56%
All Other / Miscellaneous	76,516	212,137	135,621	177%
<b>Revenue Totals</b>	<b>2,473,711</b>	<b>2,810,605</b>	<b>336,894</b>	<b>14%</b>

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Sales Tax	\$ 1,275,354	\$ 1,113,961	(161,394)	-13%
Home Rule Sales Tax	705,239	773,943	68,704	10%
State Income Tax	796,243	1,046,493	250,250	31%
Utility Tax - Electricity	275,848	268,883	(6,965)	-3%
Telecommunications Tax	167,813	142,219	(25,594)	-15%
Fines (Court, Ord., ATLE, Towing)	239,523	266,602	27,079	11%
Natural Gas Use Tax	120,418	97,596	(22,822)	-19%
Other Taxes (Use, Hotel, PPRT Real Estate, Alcohol)	516,257	530,778	14,521	3%
Licenses (Vehicle, Liquor, etc.)	395,408	930,379	534,972	135%
Cable Franchise Fees	115,750	112,510	(3,240)	-3%
Building Permits	81,801	130,800	48,999	60%
Fees for Services	218,162	140,041	(78,120)	-36%
Interest Income	22,624	43,342	20,718	92%
All Other / Miscellaneous	188,274	295,716	107,442	57%
<b>Revenue Totals</b>	<b>5,118,712</b>	<b>5,893,262</b>	<b>774,550</b>	<b>15%</b>

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Sales Tax	\$ 6,935,000	\$ 1,063,816	\$ 1,113,961	50,145	5%
Home Rule Sales Tax	5,150,000	790,000	773,943	(16,057)	-2%
State Income Tax	3,960,000	971,589	1,046,493	74,904	8%
Utility Tax - Electricity	1,880,000	267,737	268,883	1,146	0%
Telecommunications Tax	877,000	146,167	142,219	(3,948)	-3%
Fines (Court, Ord., ATLE, Towing)	1,468,000	247,443	266,602	19,159	8%
Natural Gas Use Tax	620,000	95,000	97,596	2,596	3%
Other Taxes (Use, Hotel, PPRT Real Estate, Alcohol)	3,527,000	536,080	530,778	(5,302)	-1%
Licenses (Vehicle, Liquor, etc.)	898,000	676,073	930,379	254,306	38%
Cable Franchise Fees	535,000	89,167	112,510	23,343	26%
Building Permits	662,500	126,500	130,800	4,300	3%
Fees for Services	797,500	168,133	140,041	(28,092)	-17%
Interest Income	210,000	35,000	43,342	8,342	24%
All Other / Miscellaneous	955,000	153,500	295,716	142,216	93%
<b>Revenue Totals</b>	<b>28,475,000</b>	<b>5,366,205</b>	<b>5,893,262</b>	<b>527,057</b>	<b>10%</b>

EXPENDITURES

Fire & Police Commission	2,026	175	(1,851)	-91%
Village Board & Clerk	38,431	6,173	(32,258)	-84%
Plan Commission & ZBA	180	180	-	0%
Emergency Services	-	-	-	0%
Legal Services	(3,246)	13,083	16,328	-503%
Village Clerk	3,582	(2,132)	(5,714)	-160%
Administration	55,537	52,070	(3,468)	-6%
Employee Relations	33,755	32,073	(1,682)	-5%
Financial Management	69,397	49,585	(19,812)	-29%
Engineering Services	129,613	169,207	39,593	31%
Community Development	89,010	70,840	(18,171)	-20%
Information Technology	84,783	107,878	23,095	27%
Police	1,121,890	1,220,515	98,625	9%
Public Works	235,796	269,180	33,384	14%
Municipal Building	64,720	38,675	(26,045)	-40%
Municipal Garage	(17,396)	829	18,225	-105%
Transfers and Agreements	174,350	-	(174,350)	-100%
Town Center	11,800	11,237	(563)	-5%
<b>Expenditure Totals</b>	<b>2,094,229</b>	<b>2,039,567</b>	<b>(54,662)</b>	<b>-3%</b>

Fire & Police Commission	18,775	700	(18,075)	-96%
Village Board & Clerk	40,739	50,159	9,420	23%
Plan Commission & ZBA	504	180	(324)	-64%
Emergency Services	-	-	-	0%
Legal Services	36,151	35,996	(154)	0%
Village Clerk	6,944	-	(6,944)	-100%
Administration	127,682	112,311	(15,370)	-12%
Employee Relations	63,744	65,118	1,375	2%
Financial Management	138,823	116,172	(22,652)	-16%
Engineering Services	240,738	290,919	50,181	21%
Community Development	163,387	177,915	14,528	9%
Information Technology	201,685	205,175	3,491	2%
Police	2,612,072	2,597,118	(14,954)	-1%
Public Works	508,618	499,720	(8,899)	-2%
Municipal Building	116,837	73,470	(43,367)	-37%
Municipal Garage	(29,561)	(10,740)	18,821	-64%
Transfers and Agreements	174,350	-	(174,350)	-100%
Town Center	11,800	11,237	(563)	-5%
<b>Expenditure Totals</b>	<b>4,433,288</b>	<b>4,225,451</b>	<b>(207,836)</b>	<b>-5%</b>

Fire & Police Commission	36,311	6,052	700	(5,352)	-88%
Village Board & Clerk	151,123	25,187	50,159	24,972	99%
Plan Commission & ZBA	5,400	900	180	(720)	-80%
Emergency Services	158,000	-	-	-	0%
Legal Services	273,500	45,583	35,996	(9,587)	-21%
Village Clerk	-	-	-	-	0%
Administration	865,717	144,286	112,311	(31,975)	-22%
Employee Relations	451,994	75,332	65,118	(10,214)	-14%
Financial Management	720,036	120,006	116,172	(3,834)	-3%
Engineering Services	1,388,189	231,365	290,919	59,555	26%
Community Development	1,031,122	171,854	177,915	6,062	4%
Information Technology	1,508,202	251,367	205,175	(46,192)	-18%
Police	16,809,037	2,801,506	2,597,118	(204,388)	-7%
Public Works	3,991,715	665,286	499,720	(165,566)	-25%
Municipal Building	474,059	79,010	73,470	(5,540)	-7%
Municipal Garage	-	-	(10,740)	(10,740)	100%
Transfers and Agreements	566,700	170,000	-	(170,000)	-100%
Town Center	43,895	25,000	11,237	(13,763)	-55%
<b>Expenditure Totals</b>	<b>28,475,000</b>	<b>4,812,734</b>	<b>4,225,451</b>	<b>(587,283)</b>	<b>-12%</b>

Net Increase / (Decrease)

<b>379,481</b>	<b>771,038</b>	<b>391,556</b>		
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<b>685,424</b>	<b>1,667,811</b>	<b>982,386</b>		
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<b>-</b>	<b>553,471</b>	<b>1,667,811</b>	<b>1,114,340</b>	
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Village of Carol Stream  
**Water and Sewer Fund Budget Summary**  
 For the Month Ended June 30, 2019

	MONTH			YTD			BUDGET				
	Last Year	Current Year	Monthly Variance	Last Year	Current Year	YTD Variance	Annual	YTD	YTD	Variance	
	Jun	Jun	\$ %	YTD	YTD	\$ %	Budget	Budget	Actual	\$ %	
<b>REVENUES</b>											
Water Billings	\$ 824,220	\$ 771,870	(\$2,350) -6%	\$ 1,404,540	\$ 1,426,363	21,823 2%	\$ 8,816,000	\$ 1,471,667	\$ 1,426,363	(\$45,304) -3%	
Sewer Billings	358,847	353,481	(5,366) -1%	599,771	642,327	42,556 7%	4,053,000	676,573	642,327	(\$34,246) -5%	
Penalties/Admin Fees	13,379	15,769	2,389 18%	25,325	27,374	2,049 8%	176,000	29,333	27,374	(1,960) -7%	
Connection/Expansion Fees	-	-	- 0%	18,997	26,049	7,052 37%	28,000	4,667	26,049	21,383 458%	
Interest Income	15,743	21,449	5,705 36%	27,917	42,314	14,397 52%	225,000	37,500	42,314	4,814 13%	
Rental Income	9,784	12,635	2,851 29%	24,450	22,779	(1,671) -7%	152,000	25,333	22,779	(2,554) -10%	
All Other / Miscellaneous	57,652	56,151	(1,500) -3%	63,163	65,447	2,284 4%	110,000	9,000	65,447	56,447 627%	
<b>Revenue Totals</b>	<b>1,279,625</b>	<b>1,231,355</b>	<b>(48,270) -4%</b>	<b>2,164,163</b>	<b>2,252,653</b>	<b>88,489 4%</b>	<b>13,560,000</b>	<b>2,254,073</b>	<b>2,252,653</b>	<b>(1,420) 0%</b>	

	MONTH			YTD			BUDGET			
	Last Year	Current Year	Monthly Variance	Last Year	Current Year	YTD Variance	Annual	YTD	YTD	Variance
	Jun	Jun	\$ %	YTD	YTD	\$ %	Budget	Budget	Actual	\$ %
<b>EXPENDITURES</b>										
Salaries & Benefits	111,524	146,286	34,761 31%	224,729	268,685	43,956 20%	1,670,102	278,350	268,685	(9,665) -3%
Purchase of Water	511,941	429,286	(82,655) -16%	1,042,763	926,092	(116,671) -11%	6,024,000	1,092,739	926,092	(166,647) -15%
WRC Operating Contract	143,819	-	(143,819) -100%	484,907	146,962	(337,944) -70%	1,894,000	315,667	146,962	(168,704) -53%
Maintenance & Operating	115,289	320,852	205,563 178%	315,159	427,223	112,064 36%	2,594,612	432,435	427,223	(5,212) -1%
LEPA Loan P&I	-	-	- 0%	-	-	- 0%	428,650	-	-	- 0%
DWC Loan P&I	-	-	- 0%	-	-	- 0%	55,910	-	-	- 0%
Capital Outlay	-	23,232	23,232 100%	33,468	39,025	5,557 17%	3,503,000	65,000	39,025	(25,975) -40%
<b>Expenditure Totals</b>	<b>882,573</b>	<b>919,656</b>	<b>37,083 4%</b>	<b>2,101,027</b>	<b>1,807,988</b>	<b>(293,039) -14%</b>	<b>16,170,274</b>	<b>2,184,191</b>	<b>1,807,988</b>	<b>(376,203) -17%</b>
<b>Net Increase / (Decrease)</b>	<b>397,051</b>	<b>311,698</b>	<b>(85,353)</b>	<b>63,137</b>	<b>444,665</b>	<b>381,529</b>	<b>(2,610,274)</b>	<b>69,882</b>	<b>444,665</b>	<b>374,783</b>

Village of Carol Stream  
Capital Budget Summary

For the Month Ended June 30, 2019

	MONTH			YTD			BUDGET*		
	Last Year	Current Year	Monthly Variance	Last Year	Current Year	YTD Variance	Annual Budget	YTD Actual	% of Total
	Jun	Jun	\$ %	YTD	YTD	\$ %			
<b>CAPITAL PROJECTS FUND</b>									
<b>REVENUES</b>									
Local Motor Fuel Tax	\$ -	\$ 81,010	\$ 81,010 100%	\$ -	\$ 152,726	\$ 152,726 100%	\$ 950,000	\$ 152,726	16%
Capital Grants	5,104	-	(5,104) -100%	5,104	-	(5,104) -100%	503,000	-	0%
Interest Income	22,350	14,303	(8,046) -36%	45,893	29,182	(16,710) -36%	180,000	29,182	16%
All Other / Miscellaneous	-	-	- 0%	-	-	- 0%	320,000	-	0%
<b>Revenue Totals</b>	<b>27,454</b>	<b>95,314</b>	<b>67,860 247%</b>	<b>50,996</b>	<b>181,908</b>	<b>232,904 457%</b>	<b>1,953,000</b>	<b>181,908</b>	<b>9%</b>
<b>EXPENDITURES</b>									
Roadway Improvements	142,663	26,841	(115,822) -81%	175,877	85,811	(90,066) -51%	2,400,000	85,811	4%
Facility Improvements	1,198,205	8,109	(1,190,096) -99%	2,762,849	42,578	(2,720,271) -98%	150,000	42,578	28%
Stormwater Improvements	-	5,703	5,703 100%	-	5,903	5,903 100%	904,000	5,903	1%
Miscellaneous	-	3,000	3,000 100%	126	5,312	5,186 4115%	1,000	5,312	531%
<b>Expenditure Totals</b>	<b>1,340,868</b>	<b>43,653</b>	<b>(1,297,216) -97%</b>	<b>2,938,852</b>	<b>139,603</b>	<b>(2,799,248) -95%</b>	<b>3,455,000</b>	<b>139,603</b>	<b>4%</b>
<b>Net Increase / (Decrease)</b>	<b>(1,313,415)</b>	<b>51,661</b>	<b>1,365,076 -104%</b>	<b>(2,887,855)</b>	<b>42,305</b>	<b>3,032,153 -105%</b>	<b>(1,502,000)</b>	<b>42,305</b>	<b>-3%</b>
<b>MFT FUND</b>									
<b>REVENUES</b>									
Motor Fuel Tax Allotments	\$ 83,693	\$ 80,554	\$(3,139) -4%	\$ 174,602	\$ 168,452	\$(6,150) -4%	\$ 1,010,000	\$ 168,452	17%
Interest Income	1,031	8,263	7,232 701%	1,915	16,672	14,758 771%	50,000	16,672	33%
<b>Revenue Totals</b>	<b>84,724</b>	<b>88,816</b>	<b>4,092 5%</b>	<b>176,516</b>	<b>185,124</b>	<b>8,608 5%</b>	<b>1,060,000</b>	<b>\$ 185,124</b>	<b>17%</b>
<b>EXPENDITURES</b>									
Street Resurfacing - Capital Crack Filling	-	-	- 0%	-	-	- 0%	2,200,000	-	0%
Expenditure Totals	-	-	- 0%	-	-	- 0%	123,000	-	0%
<b>Net Increase / (Decrease)</b>	<b>84,724</b>	<b>88,816</b>	<b>4,092 5%</b>	<b>176,516</b>	<b>185,124</b>	<b>8,608 5%</b>	<b>(1,263,000)</b>	<b>185,124</b>	<b>-15%</b>

\* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream  
**TIF Fund Budget Summary**  
 For the Month Ended June 30, 2019

MONTH				YTD			BUDGET				
Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual Budget	YTD Budget	YTD Actual	Variance
Jun	Jun	\$	%	YTD	YTD	\$	%	Budget	Budget		\$

REVENUES													
TIF Property Taxes	\$ 158,391	\$ 169,510	\$ 11,119	7%	\$ 158,391	\$ 169,510	\$ 11,119	7%	\$ 326,000	\$ 163,000	\$ 169,510	\$ 6,510	4%
Sales Taxes	32,114	-	(32,114)	-100%	32,114	-	(32,114)	-100%	95,700	32,500	-	(32,500)	-100%
Interest Income	379	674	294	78%	718	1,374	656	91%	6,600	1,066	1,374	308	29%
Village Contribution	17,136	-	(17,136)	-100%	17,136	-	(17,136)	-100%	18,200	18,200	-	(18,200)	-100%
<b>Revenue Totals</b>	<b>208,020</b>	<b>170,183</b>	<b>(37,836)</b>	<b>-18%</b>	<b>208,358</b>	<b>170,884</b>	<b>(37,475)</b>	<b>-18%</b>	<b>446,500</b>	<b>214,766</b>	<b>170,884</b>	<b>(43,882)</b>	<b>-20%</b>

EXPENDITURES													
Legal Fees	1,857	-	(1,857)	-100%	2,361	473	(1,888)	-80%	3,000	500	473	(27)	-5%
Consulting Fees	-	-	-	0%	-	-	-	0%	-	-	-	-	0%
Other Expenses	111,327	100,357	(10,970)	-10%	111,327	100,357	(10,970)	-10%	215,000	107,500	100,357	(7,143)	-7%
<b>Expenditure Totals</b>	<b>113,184</b>	<b>100,357</b>	<b>(12,827)</b>	<b>-11%</b>	<b>113,688</b>	<b>100,830</b>	<b>(12,858)</b>	<b>-11%</b>	<b>218,000</b>	<b>108,000</b>	<b>100,830</b>	<b>(7,170)</b>	<b>-7%</b>
<b>Net Increase / (Decrease)</b>	<b>94,836</b>	<b>69,827</b>	<b>(25,009)</b>		<b>94,670</b>	<b>70,054</b>	<b>(24,616)</b>		<b>228,500</b>	<b>106,766</b>	<b>70,054</b>	<b>(36,712)</b>	

Village of Carol Stream  
**Police Pension Fund Budget Summary**  
 For the Month Ended June 30, 2019

	MONTH			YTD			BUDGET				
	Last Year Jun	Current Year Jun	Monthly Variance \$ %	Last Year YTD	Current Year YTD	YTD Variance \$ %	Annual Budget	YTD Budget	YTD Actual	Variance \$ %	
<b>REVENUES</b>											
Investment Income	\$ 701,393	\$ (1,046,102)	(1,747,495) -249%	\$ 701,597	\$ (1,045,810)	(1,747,407) -249%	\$ 3,360,000	\$ 560,000	\$ (1,045,810)	(1,605,810) -287%	
Employee Contributions	46,145	80,446	34,301 74%	93,102	132,143	39,041 42%	680,000	113,332	132,143	18,811 17%	
Village Contribution	202,915	218,792	15,877 8%	405,830	437,584	31,754 8%	2,625,502	437,584	437,584	- 0%	
Other Revenues	-	-	- 0%	-	-	- 0%	-	-	-	- 0%	
<b>Revenue Totals</b>	<b>950,453</b>	<b>(746,865)</b>	<b>(1,697,317) -179%</b>	<b>1,200,529</b>	<b>(476,083)</b>	<b>(1,676,612) -140%</b>	<b>6,665,502</b>	<b>1,110,916</b>	<b>(476,083)</b>	<b>(1,586,999) -143%</b>	
<b>EXPENDITURES</b>											
Investment and Admin Fees	13,471	15,072	1,601 12%	15,324	23,160	7,836 51%	171,500	28,583	23,160	(5,424) -19%	
Participant Benefit Payments	241,580	264,173	22,593 9%	482,208	520,030	37,822 8%	3,501,000	521,000	520,030	(970) 0%	
<b>Expenditure Totals</b>	<b>255,051</b>	<b>279,246</b>	<b>24,194 9%</b>	<b>497,533</b>	<b>543,190</b>	<b>45,657 9%</b>	<b>3,672,500</b>	<b>549,583</b>	<b>543,190</b>	<b>(6,394) -1%</b>	
<b>Net Increase / (Decrease)</b>	<b>695,401</b>	<b>(1,026,110)</b>	<b>(1,721,511)</b>	<b>702,997</b>	<b>(1,019,272)</b>	<b>(1,722,269)</b>	<b>2,993,002</b>	<b>561,333</b>	<b>(1,019,272)</b>	<b>(1,580,605)</b>	

Village of Carol Stream  
**Schedule of Cash and Investment Balances**  
 June 30, 2019

FUND	2019			TOTAL CASH & INVESTMENTS	LAST YEAR 6/30/2018
	CASH	LGIPs*	Investments**		
GENERAL FUND	\$ 2,544,525.31	\$ 10,045,128.43	\$ -	\$ 12,589,653.74	\$ 9,270,092.85
WATER & SEWER FUND	554,940.06	10,480,825.78	987,425.01	12,023,190.85	11,615,638.71
CAPITAL PROJECTS FUND	319,426.92	7,194,749.47	-	7,514,176.39	14,469,934.53
MFT FUND	-	4,174,549.91	-	4,174,549.91	3,178,741.12
NORTH/SCHMALE TIF FUND	364,051.95	339,095.45	-	703,147.40	516,981.08
POLICE PENSION FUND	292,503.93	141,557.35	48,592,328.69	49,026,389.97	47,339,946.15
<b>TOTAL</b>	<b>\$ 4,075,448.17</b>	<b>\$ 32,375,906.39</b>	<b>\$ 49,579,753.70</b>	<b>\$ 86,031,108.26</b>	<b>\$ 86,391,334.44</b>

\* Local Government Investment Pools (LGIP) include the Illinois Funds and IMET.

\*\* Detailed investment schedule on following page (excludes Police Pension investments under separate management).

Village of Carol Stream  
 Schedule of Investments Certificates of Deposit  
 June 30, 2019

<u>FDIC #</u>	<u>Coupon</u>	<u>Financial Institution</u>	<u>State</u>	<u>Purchase Date</u>	<u>Maturity Date</u>	<u># Days</u>	<u>Total Cost</u>	<u>Net Yield</u>	<u>Face/Par</u>
<b>04 - Water and Sewer</b>									
29147	3.100%	Northeast Community Bank	NY	12/17/2018	12/17/2019	365	\$ 200,000.00	2.780%	\$ 205,560.11
33823	3.050%	Capital Community Bank	UT	12/17/2018	12/17/2019	365	200,000.00	2.752%	205,504.00
22398	2.850%	Modern Bank, National Association	NY	12/17/2018	9/13/2019	270	103,125.01	2.600%	105,108.40
24045	3.000%	Pacific Western Bank	CA	1/16/2019	3/11/2020	420	242,100.00	2.731%	249,713.74
57993	2.910%	Servisfirst Bank	FL	1/16/2019	3/11/2020	420	242,200.00	2.707%	249,723.68
<b>Subtotal</b>							<b>\$ 987,425.01</b>		
<b>Total</b>							<b>\$ 987,425.01</b>		