

# Village of Carol Stream

## BOARD MEETING AGENDA SEPTEMBER 21, 2020 6:00 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

### **A. ROLL CALL AND PLEDGE OF ALLEGIANCE:**

### **B. MINUTES:**

1. Approval of Minutes of the September 8, 2020 Village Board Meeting.

### **C. LISTENING POST:**

1. Presentation – Alliance Against Intoxicated Motorists.
2. Addresses from Audience (3 Minutes).

### **D. PUBLIC HEARINGS:**

### **E. SELECTION OF CONSENT AGENDA:**

***If you are here for an item, which is added to the consent agenda and approved, the Village Board has acted favorably on your request.***

### **F. BOARD AND COMMISSION REPORTS:**

1. Plan Commission/Zoning Board of Appeals
  - a. #20-0015 – Hultgren Funeral Home – 565 Randy Road  
*Zoning Code Text Amendment  
Special Use for a Funeral Parlor and Crematory  
Zoning Code Variations*  
**RECOMMEND APPROVAL WITH CONDITIONS 4-2**
  - b. #20-0020 – Tom’s Transportation, Inc. – 445-449 Randy Road  
*Special Use for Motor Vehicle Service  
Special Use for Outdoor Activities and Operations*  
**RECOMMEND APPROVAL 5-0 WITH 1 MEMBER ABSTAINING**
  - c. #20-0021 – Covenant Living Communities and Services/Windsor Park –  
124 Windsor Park Drive  
*An Amendment to a Special Use for a Total Senior Life Care Facility*  
**RECOMMEND APPROVAL 6-0**  
*North Avenue Corridor Review for Parking Lot Addition*  
**APPROVED 6-0**

# Village of Carol Stream

## BOARD MEETING

### AGENDA

SEPTEMBER 21, 2020

6:00 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

#### **G. OLD BUSINESS:**

#### **H. STAFF REPORTS AND RECOMMENDATIONS:**

1. 2020 Asphalt Surface Treatment Project (Rejuvenator) – Final Payment and Acceptance. *Staff recommends approval of final payment to American Road Maintenance in the amount of \$153,090.19 and acceptance of the 2020 Asphalt Surface Treatment Project.*
2. 2020 Asphalt Restorative Sealer – Request to Waive Bids and Award Contract. *Staff recommends the 2020 Asphalt Restorative Sealer Project be awarded to CAM, LLC of Sugar Grove at the bid unit price of \$29,118, pursuant to the provisions of Section 5-8-3(B) and Section 5-8-14(C) of the Carol Stream Code of Ordinances.*
3. Kehoe Boulevard Streambank Stabilization-Section I Project – Award of Contract. *Staff recommends awarding the Kehoe Boulevard Streambank Stabilization-Section I Project to V3 Construction Group at a total cost of \$266,000.00.*
4. 2020 Pavement Patching Contract – Award of Contract. *Staff recommends awarding the 2020 Pavement Patching Contract to Brothers Asphalt Paving, Inc. at the bid unit price submitted of \$39,870.00.*
5. Motion to Reject all Bids for the WRC De-Watering System Replacement Project. *Staff recommends rejecting all bids for the WRC De-Watering System Replacement Project and amend the specifications to reduce project cost without significantly impacting the scope and to re-bid the project later this fiscal year for construction in the coming fiscal year.*

#### **I. ORDINANCES:**

1. Ordinance No. 2020-09-\_\_\_\_\_ Amending the Carol Stream Code of Ordinances with Respect to the Regulation and Licensing of Video Gaming within the Village. *This ordinance amends the Carol Stream Code of Ordinances with respect to video gaming by decreasing the license fee for the Class V liquor license from \$1,000 to \$500 per terminal and imposing a license fee of \$500 per terminal for a video gaming terminal operator. The decrease in the license fee for a Class V license will assist the Village's license holders in dealing with the ongoing business impacts of the pandemic.*

# Village of Carol Stream

## BOARD MEETING

### AGENDA

SEPTEMBER 21, 2020

6:00 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

2. Ordinance No. 2020-09-\_\_\_\_ Amending Chapter 16 of the Municipal Code of the Village of Carol Stream (Zoning Code-Funeral Parlors and Crematories as Special Uses in the Industrial District). *See F.1.a.*
3. Ordinance No. 2020-09-\_\_\_\_ Approving a Special Use Permit for a Funeral Parlor and Crematory in the Industrial District, and Zoning Code Variations (Hultgren Funeral Home, 565 Randy Road). *See F.1.a.*
4. Ordinance No. 2020-09-\_\_\_\_ Approving a Special Use Permit for Motor Vehicle Service and a Special Use Permit to allow for Outdoor Activities and Operations in the form of the Storage of Trucks and Trailers (Tom's Transportation, Inc., 445-449 Randy Road). *See F.1.b.*
5. Ordinance No. 2020-09-\_\_\_\_ Approving an Amendment to a Special Use Permit for a Total Senior Life Care Facility (Covenant Living at Windsor Park – 124 Windsor Park Drive). *See F.1.c.*

#### **J. RESOLUTIONS:**

1. Resolution No. \_\_\_\_ Accepting a Plat of Grant of Public Sanitary Sewer Easement for 550 Kehoe Boulevard. *Staff recommends accepting the Grant of Easement for public sanitary sewer purposes located on 550 Kehoe Boulevard.*
2. Resolution No. \_\_\_\_ Declaring Surplus Property Owned by the Village of Carol Stream. *Staff recommends designated Public Works' equipment be declared surplus and authorize their disposal via public auction.*
3. Resolution No. \_\_\_\_ Amending Resolution No. 3133 Adopting the 2020-21 Employee Compensation Plan for the Village of Carol Stream. *Staff recommends elimination of the Secretary position and creation of the Planning & Permitting Assistant position and that the pay range be identical to the Secretary position.*

#### **K. NEW BUSINESS:**

*Village of Carol Stream*

**BOARD MEETING  
AGENDA  
SEPTEMBER 21, 2020  
6:00 P.M.**

*All matters on the Agenda may be discussed, amended and acted upon*

**L. PAYMENT OF BILLS:**

1. Regular Bills: September 9, 2020 through September 21, 2020.
2. Addendum Warrants: September 9, 2020 through September 21, 2020.

**M. REPORT OF OFFICERS:**

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: *Revenue/Expenditure Statements and Balance Sheet for the Month Ended August 31, 2020.*

**N. EXECUTIVE SESSION:**

**O. ADJOURNMENT:**

<b>LAST ORDINANCE</b>	<b>2020-08-28</b>	<b>LAST RESOLUTION</b>	<b>3153</b>
<b>NEXT ORDINANCE</b>	<b>2020-09-29</b>	<b>NEXT RESOLUTION</b>	<b>3154</b>

**REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES**  
**Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,**  
**Carol Stream, DuPage County, IL**

**September 8, 2020**

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 6:00 p.m. and directed Assistant to Village Manager Tia Messino to call the roll.

Present: Mayor Frank Saverino, Sr., Trustees John LaRocca, Rick Gieser, Mary Frusolone and Matt McCarthy

Absent: Trustees John Zalak and Greg Schwarze

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey and Village Attorney Jim Rhodes

**MINUTES:**

*Trustee McCarthy moved and Trustee Frusolone made the second to approve the Minutes of the August 17, 2020 Village Board Meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees LaRocca, Gieser, Frusolone and McCarthy*

*Abstain: 0*

*Absent: 2 Trustees Zalak and Schwarze*

*The motion passed.*

**LISTENING POST:**

1. Addresses from Audience (3 Minutes).

*The following citizens were present at the Board Meeting and expressed their concerns:*

*Mike Bianchi – County Farm Road and Army Trail Road by Rocco Vino's strip mall entrance, bushes creating a site distance issue by stop sign.*

*Assistant to Village Manager read aloud the statements, which were received, electronically from the audience:*

*Janet Leslie – Traeger smokers and fire pits.*

*Shannon Leslie – Ordinance for wood pellet smokers and fire pits.*

**PUBLIC HEARINGS:**

**CONSENT AGENDA:**

*Trustee Gieser moved and Trustee Frusolone made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees LaRocca, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Zalak and Schwarze*

*The motion passed.*

*Trustee LaRocca moved and Trustee McCarthy made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees LaRocca, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Zalak and Schwarze*

*The motion passed.*

1. Award of Phase III Contract (Construction Engineering) for the Schmale/St. Charles/Geneva Watermain Replacement.
2. Award of Contract for the 2020 Drainage Improvements Project and Clearwater Court Rear Yard Drainage Improvements.
3. Vacant Lots on Surrey Drive.
4. Approval to Purchase Two (2) Replacement Police Vehicles.
5. Appointment to the Board of Fire and Police Commissioners.
6. Raffle License Application – Windsor Park Benevolent Care Fund.
7. Payment of Regular Bills from August 18, 2020 through September 8, 2020.
8. Payment of Addendum Warrant of Bills from August 18, 2020 through September 8, 2020.

*Trustee McCarthy moved and Trustee Gieser made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees LaRocca, Gieser, Frusolone and McCarthy*

*Nays: 0*

Absent: 2 Trustees Zalak and Schwarze

*The motion passed.*

*The following are brief descriptions of those items approved on the Consent Agenda for this meeting.*

**Award of Phase III Contract (Construction Engineering) for the Schmale/St. Charles/Geneva Watermain Replacement:**

*The Village Board awarded a contract to Thomas Engineering Group in the amount of \$208,627.22 for the Schmale Road/St. Charles Road/Geneva Road Watermain Replacement Project.*

**Award of Contract for the 2020 Drainage Improvements Project and Clearwater Court Rear Yard Drainage Improvements:**

*The Village Board approved a contract for the 2020 Drainage Improvements Project and Clearwater Court Rear Yard Drainage Improvements with Copenhaver Construction, Inc. of Gilbert's Illinois at the bid unit prices submitted.*

**Vacant Lots on Surrey Drive:**

*The Village Board approved modifying the existing listing to extend the termination date to August 29, 2021 with Rick Fisher of RE/MAX Action.*

**Approval to Purchase Two (2) Replacement Police Vehicles:**

*The Village Board approved purchasing two 2020 Dodge Durango police vehicles from Thomas Dodge under the Southwest Conference of Mayors Cooperative joint bid for a total cost of \$61,866.00.*

**Appointment to the Board of Fire and Police Commissioners:**

*The Village Board appointed Dan Hoffman to the Board of Fire and Police Commissioners for a term expiring April 30, 2023.*

**Raffle License Application – Windsor Park Benevolent Care Fund:**

*The Village Board approved a raffle license and waiver of the fee and manager's fidelity bond for their Annual Benevolent Gala on September 27, 2020.*

**Regular Bills and Addendum Warrant of Bills:**

*The Village Board approved payment of the Regular Bills dated September 8, 2020 in the amount of \$960,547.68. The Village Board approved the payment of Addendum Warrant of Bills from August 18, 2020 thru September 8, 2020 in the amount of \$625,652.00.*

**Report of Officers:**

*Trustee LaRocca thanked Dan Hoffman for continuing to give back to the community. He stated the November election is coming up and be sure to get out and vote. Trustee LaRocca urged residents to do their homework and pick your best candidate.*

*Trustee Gieser congratulated Dan Hoffman for volunteering on the Board of Fire and Police Commission. He also stated the annual Halloween decorating contest is underway and residents can participate by nominating homes through October 23 at 5:00 p.m. at [decoratingcontest@carolstream.org](mailto:decoratingcontest@carolstream.org). Trustee Gieser also wished his parents a happy 50<sup>th</sup> wedding anniversary.*

*Trustee Frusolone thanked Dan Hoffman for stepping up and volunteering on the Board of Fire and Police Commission. She stated the Carol Stream Police Department is registering residents for their CERT class, which starts October 8 through December 10 at the Fire Station on Kuhn Road and is a worthwhile program to be a part of. Trustee Frusolone urged residents to please be aware of kids playing outside and drive carefully. Trustee Frusolone stated she is having a medical procedure and will take a brief leave of absence and will not be responsive to emails during recovery. She is hoping to be back for the October Board meeting.*

*Trustee McCarthy stated that Dan Hoffman is a fantastic fit for the Board of Fire and Police Commission and congratulated him. He urged residents to check storm drains and do not blow grass and leaves in the street. Trustee McCarthy congratulated his wife on their 28<sup>th</sup> wedding anniversary. Please Shop Carol Stream.*

*Assistant to Village Manager Messino stated the Village is in the final stretch of the 2020 census and explained why the census matters.*

*Village Attorney Rhodes welcomed Dan Hoffman to the Board of Fire and Police Commission, gave best wishes to Trustee Frusolone and congratulated Trustee McCarthy.*

*Village Manager Mellor stated we are fortunate to have two Board of Fire and Police Commissioners who are former police officers and congratulated Dan Hoffman to the Fire and Police Commission. He highlighted activities, which includes Public Works installing LED streetlights and Police Department handing out 65 backpacks at the outreach community center with a thank you to Officer Cadle for coordinating these efforts. Village Manager Mellor stressed residents living in the Legends Subdivision, Autumn Ridge Apartments, Greenway Apartments and St. Charles Square Apartments to complete their census.*

*Mayor Saverino thanked Dan Hoffman for volunteering on the Board of Fire and Police Commission.*



*At 6:26 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:*

*Ayes: 4 Trustees LaRocca, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Absent: 2 Trustees Zalak and Schwarze*

*The motion passed.*

FOR THE BOARD OF TRUSTEES

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Frank Saverino, Sr., Mayor

ATTEST:

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Sherry Craig, Deputy Village Clerk

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager *TF*

**THROUGH:** Donald T. Bastian, Community Development Director *DB*

**DATE:** September 16, 2020

**RE:** **Agenda Item for the Village Board Meeting of September 21, 2020**  
**PC/ZBA Case 20-0015, Hultgren Funeral Home – 565 Randy Road, Zoning Text Amendment to add Funeral Home and Crematory as Special Uses in the Industrial District, Special Use Permit for a Funeral Parlor and Crematory, and Zoning Code Variations**

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Tim Hultgren with Hultgren Funeral Home requests approval of Zoning Code Text Amendments and a Special Use Permit for a Funeral Parlor and Crematory in the Industrial District, and Zoning Code Variations associated with a front drive aisle for the property at 565 Randy Road. Hultgren Funeral Home, located in Wheaton, proposes to establish a funeral parlor and crematory at the subject property. The applicant proposes both a main chapel for services inside the building, along with a cremation chapel, and cremation equipment to be installed in the rear garage. In review of this request, staff has considered the purpose and intent of the Industrial District, the characteristics of Industrial District properties in the Village, and the characteristics of funeral parlors and crematories in general. Staff conducted research on funeral parlors and crematories in other communities, and visited a crematory in Skokie that utilizes similar equipment to observe a cremation and its potential impacts on surrounding properties and businesses. Based on said research and site visits, staff supports the text amendments and special use requests given the negligible impacts of the proposed use on surrounding properties.

The petitioner proposes site modifications to increase parking and provide safer circulation and access to the site. Modifications include expanding parking in the rear of the property, reducing the steep pitch of the front driveway, and expanding the width of the front drive aisle. The front drive aisle is currently 18 feet wide, and the Zoning Code requires a 24-foot width for a drive aisle for two-way traffic. The applicant intends to widen the drive aisle to 20 feet, but the drive aisle will still remain nonconforming by approximately four feet. Staff supports the variation given the applicant's attempt to improve a nonconformity on the property to the best of their ability given limited space. The petitioner agrees to work with the Police Department on traffic control for funeral processions from the property, to move traffic quickly and safely on Randy and Schmale Roads. The Police Department also assists with traffic control for processions at the Brust Funeral Home on Gary Avenue.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on September 11, 2020. At its meeting on September 14, 2020, by a vote of 4-2, the PC/ZBA recommended approval of the Zoning Code Text Amendments, Special Use Permit, and Zoning Code Variations subject to the conditions in the September 14, 2020 staff report. If the Village Board concurs with the PC/ZBA recommendation, they should approve the Zoning Code Text Amendment, Special Use Permit, and Zoning Code Variations for Hultgren Funeral Home, subject to the conditions contained within the Ordinances, and adopt the necessary Ordinances.

ec: Tim Hultgren and John Westra (via email)

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager

**THROUGH:** Donald T. Bastian, Community Development Director

**DATE:** September 16, 2020

**RE:** **Agenda Item for the Village Board Meeting of September 21, 2020**  
**PC/ZBA Case 20-0020, Tom's Transportation, Inc. – 445-449 Randy Road, Special Use Permit for Motor Vehicle Service, Special Use Permit to Allow for Outdoor Activities and Operations – Storage of Trucks and Trailers**

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Tom Gorski with Tom's Transportation, Inc., requests approval of two Special Use Permits; one for motor vehicle service, and another for outdoor activities and operations in the form of truck and trailer storage at 445-449 Randy Road. Tom's Transportation, a trucking company with 15 trucks in its fleet, proposes to relocate its business to the subject property for truck storage and service needs. The applicant proposes to demolish the north portion of the westernmost building (445 Randy) for additional parking and maneuvering space for trucks on the property, with the remainder of the 445 Randy building utilized for office space and repair space. Additional repair work will be conducted in the easternmost building (449 Randy).

A portion of a gravel area directly north of the 449 Randy building will be paved and used for parking of larger trucks on the property. For additional screening purposes, a solid wood fence is proposed along the east side of the truck parking area to shield trucks from visibility along Randy Road. Truck and trailer parking spaces are proposed along the north and west property lines, and automobile parking spaces are proposed west of the 445 Randy building and west of the 449 Randy building. In addition, landscaped islands are proposed at the ends of newly created parking rows.


The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on September 11, 2020. At its meeting on September 14, 2020, by a vote of 5-0 with one member abstaining, the PC/ZBA recommended approval of the Special Use Permits subject to the conditions in the September 14, 2020 staff report.


If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permit for Motor Vehicle Service and the Special Use Permit for outdoor activities and operations, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

ec: Tom Gorski, Tom's Transportation, Inc. (via email)  
Michaelene Burke, Rosanova & Whitaker Ltd. (via email)

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager 

**THROUGH:** Donald T. Bastian, Community Development Director 

**DATE:** September 16, 2020

**RE:** **Agenda Item for the Village Board Meeting of September 21, 2020**  
**PC/ZBA Case 20-0021, Covenant Living at Windsor Park – 124 Windsor Park Drive,**  
**Amendment to a Special Use Permit for a Total Senior Life Care Facility and North**  
**Avenue Corridor Review**

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Randy Gross with Covenant Living Communities and Services requests approval of a Special Use Permit for a Total Senior Life Care Facility and North Avenue Corridor (NAC) Review for a building addition and parking lot modifications at the Windsor Park continuing care retirement community. The proposed project consists of a two-story, 36 unit building addition of approximately 52,344 square feet on the south portion of the site. The proposed addition will include assisted living units, with dining, activity, and physical therapy amenities. The proposed addition will connect to the existing “110” building on the campus, and match the existing buildings on the campus from an architectural and building materials perspective with brick and stone veneer, asphalt shingle roofing, and matching trim and detailing.

An existing entrance canopy will be removed on the south end of the “110” building, and will be replaced with a new entrance canopy on the south end of the proposed addition, along with a reconfigured parking area to the south and east of the buildings. A parking lot expansion is also proposed in existing green space on the north side of the campus, to accommodate additional parking for employees, residents, and guests. NAC Review is required for the parking lot addition on the north side of the campus. The proposed parking lot addition will be constructed with permeable pavers to aid in stormwater management for the campus, has been designed to flow as effectively as possible with the adjacent parking fields, and will meet green space requirements per the Zoning Code. Staff is generally supportive of the proposed layout, but recommends that the layout be modified to reduce the width of drive aisle at the northwest corner of the parking field to better align with the drive aisle directly west. This may require the loss of a couple of parking spaces and increase of landscaped islands, and will be reviewed more thoroughly during the permit phase of the project.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on September 11, 2020. At its meeting on September 14, 2020, by a vote of 6-0, the PC/ZBA recommended approval of the Special Use Amendment subject to the conditions in the September 14, 2020 staff report. The PC/ZBA also approved the NAC Review by a vote of 6-0. If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Amendment for Covenant Living at Windsor Park, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance. No Village Board action is necessary regarding the North Avenue Corridor Review.

ec: Randy Gross, Covenant Living Communities and Services (via email)

*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager  
FROM: William N. Cleveland, Village Engineer   
DATE: September 11, 2020  
RE: 2020 Asphalt Surface Treatment Project (Rejuvenator) – Final Payment and Acceptance


In May of this year the Village Board awarded the referenced project to American Road Maintenance (formerly Midwest Tar Sealer) in the amount of \$330,000.00.

The final contract was \$325,429.50, which was \$4,570.50 (1.4%) under the contract. A total of 295,845 square yards of pavement was treated.

Staff therefore recommends approval of final payment to American Road Maintenance in the amount of \$153,090.19 and acceptance of the 2020 Asphalt Surface Treatment Project.

Cc: Jon Batek, Finance Director  
Phil Modaff, Director of Public Works  
Adam Frederick, Assistant Village Engineer

*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager  
FROM: William N. Cleveland, Village Engineer   
DATE: September 17, 2020  
RE: Request to Waive Bids and to Award Contract – 2020 Asphalt Restorative Sealer

During the recession of 2008, the Village began reducing the size of its asphalt overlay program, known as the “Flexible Pavement Project”. This created a larger backlog of pavements that are in an advanced state of deterioration. Some of these problems have been addressed by increasing the size of our pavement patching projects, and restoring funding to the Flexible Pavement Project.

Currently, we have an Asphalt Rejuvenator product that is used for pavements in good condition less than 10 years old. The product used is known as “GSB-88” and is not appropriate for older pavements. In order to keep these older pavements serviceable until they can be resurfaced with new asphalt, we have proposed use of a restorative sealer known as “CRF” designed to fill the gap between early preventative maintenance and total asphalt replacement.

CRF is a proprietary product that is unable to be competitively bid. Staff therefore investigated and negotiated a proposal based on similar sized contracts in our area. This year we are proposing to apply restorative sealer to about 21,100 SY of streets that were paved about 12 years ago, and may need some patching and crackfilling, but are still serviceable.

The negotiated price is \$1.38 per SY (\$0.09 more than last year) for 21,100 SY and a cost of \$29,118. This maintenance procedure was budgeted at \$590,000 for all restorative, patching and rejuvenation projects in the pavement maintenance portion of the Capital Improvements Program budget. The total for rejuvenation and restorative projects is about \$355,000.00 with the remaining \$235,000 allocated towards the pavement-patching project.

Engineering staff recommends that the 2020 Asphalt Restorative Sealer Project be awarded to CAM, LLC of Sugar Grove at the bid unit prices for \$29,118, pursuant to the provisions of Section 5-8-3(B) and section 5-8-14 (C) of the Carol Stream Code of Ordinances.

Cc: Jon Batek, Finance Director  
Phil Modaff, Director of Public Works  
Adam Frederick, Assistant Village Engineer

Attachment

# Corrective Asphalt Materials

Mailing Address:  
300 Daniel Boone Trail  
South Roxana, IL 62087  
Phone: 618-254-3855  
Fax: 618-254-2200

Locations:  
300 Daniel Boone Trail, South Roxana, IL 62087  
43W630 Wheeler Road, Sugar Grove, IL 60554

September 10, 2020

Bill Cleveland  
Village of Carol Stream  
Office: (630)-868-2260  
Email: [bcleveland@carolstream.org](mailto:bcleveland@carolstream.org)

Hello Bill,

Corrective Asphalt Materials, LLC, (CAM) thanks you for the opportunity to assist The Village of Carol Stream with their road preservation program. Please accept the following as our formal proposal to apply CRF Maltene Based Restorative Seal to selected asphalt pavement.

- **Apply CRF to approximately 21,100 SY of selected asphalt pavement**
- **CAM's responsibilities:**
  - **Furnish and apply CRF**
  - **Resident Notification**
  - **Furnish and apply all lime screenings**
  - **All traffic control signs related to project**
  - **Handle any complaints or issues that may arise from application**
  - **Post Street sweeping**
- **Unit Price: \$1.38 / SY**
- **Total Price \$29,118.00**

**Areas to be treated include:** 16,800 SY on Fullerton Ave. and 4300 SY on Doris Ave.

**Mike Sumrall, Operations Manager will be contacting you to schedule the project.**  
Info: [mike@cammidwest.com](mailto:mike@cammidwest.com), Cell: 630-465-4142

### Billing Information (please fill out upon acceptance)

Name : \_\_\_\_\_ Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Again, thank you for the opportunity. We look forward to providing our professional services.

Sincerely,

Rachel Lang  
Business Development  
Corrective Asphalt Materials, LLC

Mike Sumrall  
Operations Manager  
Corrective Asphalt Materials, LLC

APPROVED BY:

\_\_\_\_\_  
Sign

\_\_\_\_\_  
Date

Village of Carol Stream  
Interdepartmental Memo

AGENDA ITEM  
H-3 9/21/20

TO: Robert Mellor, Village Manager  
FROM: William N. Cleveland, Engineer Services Director *WNC*  
Gregory R. Ulreich, Stormwater Administrator *GRU*  
DATE: September 17, 2020  
RE: Kehoe Boulevard Streambank Stabilization – Section I Project  
Award of a Construction Contract to V3 Construction Group.

The roadside swale along the south side of Kehoe Boulevard between Gary Avenue and Gerzevske Lane is a continuation of the creek that runs westward parallel to Thunderbird Trail from Gary Avenue to Seminole Lane, where it then joins with Klein Creek. The upper end of the creek starts just east of Schmale Road in the Glendale Lakes Business Park and drains approximately 1 square mile by the time it reaches DuPage County's Gary-Kehoe Reservoir. The majority of this swale was constructed in 1968 with the Carol Stream Industrial Park.



Figure 1 - Work Limits of Section I

Staff has divided the stretch between Gary Avenue and Gerzevske Lane into two sections. The west section is 600 feet long (Section I; see Figure 1) and was chosen both because it is in the worst condition and also because the railroad spur formed a practical project boundary. Since the east Section II is longer (1,500 feet) and not in a critical condition, staff will be able to monitor the near-term effectiveness of Section I and apply any lessons-learned towards the future design and construction of Section II.

Due to the time of year that this project was advertised, three separate due dates were defined in the contract:

Substantial Completion	November 25, 2021
Planting Perennial Plants	June 15, 2021
Final Acceptance of Native Vegetation	January 31, 2024



Figure 2 - Section I; Looking West

Staff has been coordinating with the adjacent property owner, AJ Antunes (180 Kehoe Blvd), throughout the design process and will continue to do so during construction. This includes coordinating with their contractor for outstanding work to be completed as part of their permit for the building expansion, as well as any other on-going improvements to their property that have the potential to create a scheduling conflict.



Engineering Services issued the Invitation for Bids on August 27<sup>th</sup> and Addendum No. 001 on September 14<sup>th</sup>, where staff gave permission to Bidders to propose an alternative to the pre-qualified product from Redi-Rock International, LLC for the retaining wall system. The pre-qualified product is a large, precast concrete block that is highly suitable to construction within a limited work area, has low maintenance, and excellent long-term durability. The public opening of bids occurred on September 16<sup>th</sup> at 11:00 a.m. in the Village's Board Room and the following bid prices were read aloud:

FIRM	ADDRESS	TOTAL PRICE	% OF ESTIMATE	ALTERNATIVE TOTAL PRICE	% OF ESTIMATE
V3 Construction Group	Woodridge, IL	\$ 266,000.00	66%	\$ 248,500	62%
Martam Construction	Elgin, IL	\$ 295,190.00	73%	N/A	---
Copenhaver Construction, Inc.	Gilberts, IL	\$ 304,900.00	76%	N/A	---
Semperfi	Yorkville, IL	\$ 365,270.00	91%	NONE PROVIDED	---
<b>Village of Carol Stream - Engineer's Estimate</b>		<b>\$ 403,000.00</b>	<b>100%</b>		
Earthwerks Construction, Inc.	Batavia, IL	\$ 490,000.00	122%	N/A	---

The lowest, responsive bidder is V3 Construction Group (V3). Of the five Bidders, only V3 and Semperfi proposed an alternative retaining wall product, and only V3 offered the Village a deduction and the option to choose. Semperfi also offered the Village a choice, but they did not include a deduction in their price. Although V3's proposed alternative, ReCon Retaining Walls, appears to be equivalent, staff is recommending that the award be made on the proposed price based on the Village's pre-qualified product. After award, staff will review with our consultant and if determined to be equivalent, will enter into negotiations with V3 for a change order equal to their proposed deduction of \$17,500 (7%) and then present to the Village Board for its approval in accordance with § 5-8-3(D).

The FY20/21 Capital Improvement Program budgeted \$415,000 for construction, which included \$85,000 in funding from the DuPage County Water Quality Improvement Program (WQIP) grant awarded and accepted by the Village Board per Resolution No. 3134. However, based on V3's proposed price and the fact that Native Vegetation Monitoring and Management is not reimbursable per the terms and conditions, the grant funding is expected to be around \$63,000, or 25% of the contract price for reimbursable items. In addition, staff will utilize \$35,957.50 in fee-in-lieu payments collected from private developments that were permitted to forgo post-construction best management practices in accordance with the DuPage County Countywide Stormwater and Flood Plain Ordinance. As shown in Table 1, the final cost to the Village is estimated to be only \$149,542.50.

Table 1 - Estimated Final Cost to the Village

Award Price	\$266,000.00
Potential Deduct (Alternative Product)	-\$17,500.00
WQIP Grant Reimbursement	-\$63,000.00
PCBMP Fee-In-Lieu	-\$35,957.50
<b>Final Cost to Village</b>	<b>\$149,542.50</b>

From a review of the references provided, the firm's reputation within the industry, and staff's past experience working with the firm, staff have concluded that V3 Construction Group is a responsible bidder. Therefore, staff recommends awarding the contract to V3 Construction Group at the total lump sum price of \$266,000.00.

cc: Phil Modaff, Public Works Director (via email)  
Jon Batek, Finance Director (via email)

Attachments:

1. Bid Tab Results
2. Bid Proposal, dated 09/16/2020.



**PUBLIC BID OPENING RESULTS**  
**SEPTEMBER 16, 2020 @ 11:00 AM**  
**KEHOE BOULEVARD STREAMBANK STABILIZATION - SECTION I**

ITEM NO	ITEM	UNIT	QTY	Engineer's Estimate Village of Carol Stream		V3 Woodridge, IL		Martam Construction Elgin, IL		Copenhaver Construction Gilberts, IL		Semperfi Yorkville, IL		Earthwerks Batavia, IL	
				UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1	Mobilization	LS	1	\$ -	\$ -	\$ 17,600.00	\$ 17,600.00	\$ 17,150.00	\$ 17,150.00	\$ 18,000.00	\$ 18,000.00	\$ 20,000.00	\$ 20,000.00	\$ 10,000.00	\$ 10,000.00
2	Temporary Erosion Control	LS	1	\$ -	\$ -	\$ 8,400.00	\$ 8,400.00	\$ 10,630.00	\$ 10,630.00	\$ 3,500.00	\$ 3,500.00	\$ 3,000.00	\$ 3,000.00	\$ 4,000.00	\$ 4,000.00
3	Work Zone Traffic Control and Protection	LS	1	\$ -	\$ -	\$ 8,100.00	\$ 8,100.00	\$ 2,760.00	\$ 2,760.00	\$ 8,000.00	\$ 8,000.00	\$ 15,000.00	\$ 15,000.00	\$ 6,000.00	\$ 6,000.00
4	Exploratory Excavation and Root Pruning	LS	1	\$ -	\$ -	\$ 3,700.00	\$ 3,700.00	\$ 2,400.00	\$ 2,400.00	\$ 1,200.00	\$ 1,200.00	\$ 4,600.00	\$ 4,600.00	\$ 3,000.00	\$ 3,000.00
5	In-Stream Work Plan	LS	1	\$ -	\$ -	\$ 5,300.00	\$ 5,300.00	\$ 13,300.00	\$ 13,300.00	\$ 35,000.00	\$ 35,000.00	\$ 27,000.00	\$ 27,000.00	\$ 30,000.00	\$ 30,000.00
5	Demolition	LS	1	\$ -	\$ -	\$ 10,300.00	\$ 10,300.00	\$ 19,400.00	\$ 19,400.00	\$ 5,200.00	\$ 5,200.00	\$ 11,800.00	\$ 11,800.00	\$ 12,000.00	\$ 12,000.00
6	Grading and Permanent Stabilization	LS	1	\$ -	\$ -	\$ 99,600.00	\$ 99,600.00	\$ 76,200.00	\$ 76,200.00	\$ 111,000.00	\$ 111,000.00	\$ 115,000.00	\$ 115,000.00	\$ 200,000.00	\$ 200,000.00
7	Restoration - Seeding and Planting	LS	1	\$ -	\$ -	\$ 21,500.00	\$ 21,500.00	\$ 71,100.00	\$ 71,100.00	\$ 14,000.00	\$ 14,000.00	\$ 62,300.00	\$ 62,300.00	\$ 100,000.00	\$ 100,000.00
8	Precast Modular Retaining Wall	LS	1	\$ -	\$ -	\$ 59,300.00	\$ 76,800.00	\$ 53,200.00	\$ 53,200.00	\$ 88,000.00	\$ 88,000.00	\$ 82,900.00	\$ 82,900.00	\$ 80,000.00	\$ 80,000.00
	Includes Proposed Alternative Product? (Deduct?)			N	\$ -	Y	\$ (17,500.00)	N	\$ -	N	\$ -	Y	\$ -	N	\$ -
<b>NATIVE LANDSCAPING MONITORING AND MANAGEMENT</b>															
9	Monitoring and Management - Year 1 (2021)	LS	1	\$ -	\$ -	\$ 4,900.00	\$ 4,900.00	\$ 11,650.00	\$ 11,650.00	\$ 7,500.00	\$ 7,500.00	\$ 7,890.00	\$ 7,890.00	\$ 15,000.00	\$ 15,000.00
10	Monitoring and Management - Year 2 (2022)	LS	1	\$ -	\$ -	\$ 4,900.00	\$ 4,900.00	\$ 8,700.00	\$ 8,700.00	\$ 7,000.00	\$ 7,000.00	\$ 7,890.00	\$ 7,890.00	\$ 15,000.00	\$ 15,000.00
11	Monitoring and Management - Year 3 (2023)	LS	1	\$ -	\$ -	\$ 4,900.00	\$ 4,900.00	\$ 8,700.00	\$ 8,700.00	\$ 6,500.00	\$ 6,500.00	\$ 7,890.00	\$ 7,890.00	\$ 15,000.00	\$ 15,000.00
<b>TOTAL PROPOSAL PRICE</b>				\$	<b>403,000.00</b>	\$	<b>266,000.00</b>	\$	<b>295,190.00</b>	\$	<b>304,900.00</b>	\$	<b>365,270.00</b>	\$	<b>490,000.00</b>
<b>TOTAL PROPOSAL PRICE (AS READ)</b>						\$	248,500.00	\$	295,190.00	\$	304,900.00	\$	365,270.00	\$	490,000.00
<b>DIFFERENCE</b>						\$	17,500.00	\$	-	\$	-	\$	-	\$	-



Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • ROBERT MELLOR, MANAGER  
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899  
(630) 665-7050 • FAX (630) 665-1064  
[www.carolstream.org](http://www.carolstream.org)

**INVITATION FOR BIDS**

**KEHOE BOULEVARD  
STREAMBANK STABILIZATION  
SECTION I**

**SOLICITATION ISSUED DATE:** August 27, 2020  
**ISSUING DEPARTMENT:** Engineering Services  
**PROJECT MANAGERS:** Gregory R. Ulreich, P.E.

**ADDENDUM NO.**  
001

September 14, 2020

**IV. SCHEDULE OF PRICES**

No.	Items	Unit	Qty	Unit Price	Total
	MOBILIZATION	LS	1	\$ 17,600.00	\$ 17,600.00
	TEMPORARY SOIL EROSION & SEDIMENT CONTROL	LS	1	\$ 8,400.00	\$ 8,400.00
	WORK ZONE TRAFFIC CONTROL AND PROTECTION	LS	1	\$ 8,100.00	\$ 8,100.00
	EXPLORATORY EXCAVATION AND ROOT PRUNING	LS	1	\$ 3,700.00	\$ 3,700.00
	IN-STREAM WORK PLAN	LS	1	\$ 5,300.00	\$ 5,300.00
	DEMOLITION	LS	1	\$ 10,300.00	\$ 10,300.00
	GRADING AND PERMANENT STABILIZATION	LS	1	\$ 99,600.00	\$ 99,600.00
	RESTORATION – SEEDING AND PLANTING	LS	1	\$ 21,500.00	\$ 21,500.00
	PRECAST MODULAR RETAINING WALL	LS	1	\$ 59,300.00	\$ 59,300.00
<b>NATIVE LANDSCAPING MONITORING AND MANAGEMENT</b>					
	MONITORING AND MANAGEMENT – YEAR 1 (2021)	LS	1	\$ 4,900.00	\$ 4,900.00
	MONITORING AND MANAGEMENT – YEAR 2 (2022)	LS	1	\$ 4,900.00	\$ 4,900.00
	MONITORING AND MANAGEMENT – YEAR 3 (2023)	LS	1	\$ 4,900.00	\$ 4,900.00
<b>TOTAL BID PRICE</b>					<b>248,500.00</b>

PRICED USING RECON WALL SYSTEM, ADD \$17,500.00 FOR REDI ROCK WALL SYSTEM

**IX. BIDDER'S PROPOSAL FORM**

(PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION)

<b>Firm or Corporate Name</b>	V3 CONSTRUCTION GROUP, LTD.
<b>Main Business Address</b>	7325 JANES AVENUE
<b>City, State, Zip Code</b>	WOODRIDGE, ILLNOIS 60517
<b>Telephone Number</b>	(630) 724-9200
<b>Email Address</b>	tfooster@v3co.com
<b>Bidder's Contact Person</b>	TOM FOSTER

The undersigned certifies that they are:

<del>The Owner / Sole Proprietor</del>	<del>A Member of the Partnership</del>	<b>An Officer of the Corporation</b>	<del>A Member of the Joint Venture</del>
--	--	--	--

Herein after called the Bidder and that the members of the Partnership or Officers of the Corporation are as follows:

(PLEASE TYPE OR PRINT THE FOLLOWING INFORMATION)

MICHAEL FAMIGLIETTI, P.E.  
(President or Partner)

PATRICK KENNEDY, P.E.  
(Vice-President of Partner)

THOMAS A. FOSTER  
(Secretary of Partner)

ROBIN PETROELJE  
(Treasurer or Partner)

Further, the undersigned declares that the only person or parties interested in this bid as principals are those named herein; that this bid is made without collusion with any other person, firm or corporation; that they have fully examined the proposed forms of agreement and the contract specifications for the above designated purchase, all of which are on file at the Department of Engineering Services, Carol Stream, Illinois, and all other documents referred to or mentioned in the contract documents, specifications and attached exhibits, including

Addenda No.   1   thru   1   issued thereto;

Further, the undersigned proposes and agrees, if this bid is accepted, to provide all necessary machinery, tools, apparatus and other means of construction, including transportation services necessary to furnish all the materials and equipment specified or referred to in the contract documents in the manner and time therein prescribed.

**VILLAGE OF CAROL STREAM**

Further, the undersigned certifies and warrants that they are duly authorized to execute this certification / affidavit on behalf of the Bidder and in accordance with the Partnership Agreement or by-laws of the Corporation, and the laws of the State of Illinois and that this Certification is binding upon the Bidder and is true and accurate.

Further, the undersigned certifies that they have examined and carefully prepared this bid and has checked the same in detail before submitting this bid, and that the statements contained herein are true and correct.

If a Corporation, the undersigned further certifies that the recitals and resolutions attached hereto and made a part hereof were properly adopted by the Board of Directors of the Corporation at a meeting of said Board of Directors duly called and held and have not been repealed, nor modified and that the same remain in full force and effect. (Bidder may be requested to provide a copy of the corporate resolution granting the individual executing the contract documents authority to do so.)

Further, the Bidder certifies that they have provided equipment, supplies or services comparable to the items specified in this contract to the parties listed in the reference section below and authorizes the Village to verify references of business and credit at its option.

<b>Bid Submittal Checklist *</b>	
	SCHEDULE OF PRICES
	BIDDER'S PROPOSAL FORM (this form)
	GOVERNMENTAL CONTRACT COMPLIANCE CERTIFICATIONS
	REFERENCES
	BID DEPOSIT FORM
*Fully-executed versions of all checklist items above must be provided in order for the Bidder to be considered responsive.	


\_\_\_\_\_  
 MICHAEL FAMIGLIETTI, P.E.  
 (Printed Name)

\_\_\_\_\_  
 PRESIDENT  
 (Printed Title)

\_\_\_\_\_  
  
 (Signature)

\_\_\_\_\_  
 Corporate Seal

Subscribed and Sworn to before me this 15 day of September, 2020  
 State of: Illinois County of: DuPage

\_\_\_\_\_  
  
 (Notary Public)

\_\_\_\_\_  
August 30, 2022  
 (Commission Expiration Date)



**X. GOVERNMENTAL CONTRACT COMPLIANCE CERTIFICATIONS**

I, MICHAEL FAMIGLIETTI, P.E. (name), certify that I am employed as  
the PRESIDENT (title) of  
V3 CONSTRUCTION GROUP, LTD. (company), a

contractor/subcontractor for the work described in the Agreement to which this certificate is attached, and I hereby certify that I am authorized to make this certificate and that I have personal knowledge of the matters certified to herein, and that following certifications are true and correct:

1. Certification under 720 ILCS 5/33E-11

The Company is not barred from contracting with any unit of state or local government as a result of a violation of either Section 33E-3 or 33E-4 of Article 33E of the Illinois Criminal Code of 1961 or any similar offense of any State of the United States which contains the same elements as the Illinois offenses of bid-rigging or bid rotating.

2. Payments to Illinois Department of Revenue

The Company is not delinquent in payment of any taxes to Illinois Department of Revenue – 65 ILCS 5/11-42.1

3. Substance Abuse Prevention on Public Works

The Company has in place a written program which meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act (Public Act 95-0635), and will provide a copy thereof to the Village of Carol Stream prior to commencement of the work on the Project.

4. Illinois Public Works Employment Discrimination Act

The Contract shall be performed in compliance with all requirements of the Illinois Public Works Employment Discrimination Act, 775 ILCS 10/0.01

5. Certified Payroll – Prevailing Wage Act - 820 ILCS 130/5

The Company shall pay not less than the prevailing hourly rate of wages, and the generally prevailing rate of hourly wages for legal holiday and overtime work, as determined by the Illinois Department of Labor and the Village of Carol Stream to all laborers, workers, and mechanics performing work under this Contract. All bonds provided by the Company under the terms of this contract shall include such provisions as will guarantee the faithful performance of the Company's obligations under this clause and under the Prevailing Wage Act, 820 ILCS 130/1 et. seq. Should the Department of Labor revise any prevailing rate of hourly wages, such revised rate shall be applicable to this Contract; however, in no event shall

the increase in any prevailing rate of hourly wages be a basis for a change order or other claim for an increase in the Contract Sum. The Company and each of its subcontractors participating on the Project shall make and keep those records required under Section 5 of the Prevailing Wage Act. The Company and any of its subcontractors shall submit a monthly certified payroll statement to verify the payment of prevailing wages as required under the Prevailing Wage Act.

6. Non-Discrimination: EEOC

The Company is an "equal opportunity employer" as defined by Section 2002(e) of Chapter 21, Title 42, U.S. Code Annotated and Executive Orders #11246 and #11375 (42 U.S.C., Section 2002(e)); Executive Order No. 11246, 30 F.R. 12319 (1965); Executive Order No. 11375, 32 F.R. 14303 (1967) which are incorporated herein by reference. The Equal Opportunity Clause, Section 6.1 of the Rules and Regulations of the Department of Human Rights of the State of Illinois is a material part of any contract awarded on the basis of this proposal. The Company shall not discriminate on the basis of race, color, sex, national origin, religion, ancestry, age, marital status, physical or mental handicap or unfavorable discharge for military service.

7. Human Rights Act

The Company shall perform the Contract in compliance with all requirements of the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq., and that the Company and its subcontractors shall not engage in any prohibited form of discrimination in employment as defined in the Act. The Company shall maintain, and require that its subcontractors maintain, policies of equal employment opportunity which shall prohibit discrimination against any employee or applicant for employment on the basis of race, religion, color, sex, national origin, ancestry, citizenship status, age, marital status, physical or mental disability unrelated to the individual's ability to perform the essential functions of the job, association with a person with a disability, or unfavorable discharge from military service. The Company and all subcontractors shall place appropriate statements identifying their companies as equal opportunity employers in all advertisements for workers to be employed in work to be performed under this contract.

8. Sexual Harassment Policy

Pursuant to Section 2-105 (A)(4) of the Illinois Human Rights Act, the Company and each subcontractor has adopted and maintains written sexual harassment policies that shall include, at a minimum, the following information:

- a. the illegality of sexual harassment;
- b. the definition of sexual harassment under State law;
- c. a description of sexual harassment, utilizing examples;
- d. the Company's/subcontractor's internal complaint process, including penalties;
- e. the legal recourse, investigative and complaint process available through the Department and Commission;
- f. directions on how to contact the Department and the Commission; and
- g. protection against retaliation as provided by Section 6-101 of the Illinois Human



VILLAGE OF CAROL STREAM

Rights Act.

A copy of these policies shall be provided to the Owner or Consultant on request

9. Drug Free Workplace Act [Only applicable to projects with State Funding]

~~The Company shall comply with all provisions of the Drug Free Workplace Act, 30 ILCS 850/1 et seq.~~ **ALL FUNDS FOR THIS CONTRACT IS SOLELY FROM THE LOCAL MUNICIPALITY.**

10. Compliance with Governmental Regulations

The Company and any subcontractors shall comply with and perform all Work required under the Contract Documents in conformance with all applicable federal, state and local laws, regulations and/or ordinances.

MICHAEL FAMIGLIETTI, P.E.  
(Printed Name)

PRESIDENT  
(Printed Title)

*Michael Famiglietti*  
(Signature)

Corporate Seal

Subscribed and Sworn to before me this 15 day of September, 2020  
State of Illinois County of: DuPage

*Lesley J. Lapinski*  
(Notary Public)

August 30, 2022  
(Commission Expiration Date)



VILLAGE OF CAROL STREAM

XI. REFERENCES

Project Name & Location	West Branch Dupage River Klien Rd Fen	\$8,009,000.00
Self-Performed Work Description	SEE ATTACHED PROJECT SHEETS	
Prime (Y/N)?	YES	Substantial Completion Date (MM/YY) Winter 2018
Owner or Responsible Agency	DuPage County Stormwater Mgmnt	
Point-of-Contact Name & Phone	Jenna Fahey - 630-407-6728	Jenna.Fahey@dupageco.org
Project Name & Location	Springbrook Creek & Wetland	\$8,000,000.00
Self-Performed Work Description	SEE ATTACHED PROJECT SHEETS	
Prime (Y/N)?	YES	Substantial Completion Date (MM/YY) 2019 - Present
Owner or Responsible Agency	DuPage County Forest Preserve	
Point-of-Contact Name & Phone	Scott Meister - 630-933-7200	smeister@dupageforest.org
Project Name & Location	Mallard Lake Channel Restoration	\$2,474,500.00
Self-Performed Work Description	SEE ATTACHED PROJECT SHEETS	
Prime (Y/N)?	YES	Substantial Completion Date (MM/YY) 2018 - Present
Owner or Responsible Agency	DuPage County Forest Preserve	
Point-of-Contact Name & Phone	Brock Lovelace - 630.933.7200	blovelace@dupageforest.org
Project Name & Location	Lacey Creek Stabilization	\$1,005,500.00
Self-Performed Work Description	SEE ATTACHED PROJECT SHEETS	
Prime (Y/N)?	YES	Substantial Completion Date (MM/YY) Fall 2016
Owner or Responsible Agency	Village of Downers Grove	
Point-of-Contact Name & Phone	Daniel J. Kmiecik - 630-434-6875	dkmiecik@downers.us



# WEST BRANCH FOREST PRESERVE WETLAND, FEN & RIVER RESTORATION

CAROL STREAM, ILLINOIS



## CLIENT

DuPage County Department of Stormwater Management



## VALUE

Construction Cost: \$8,000,000



## ROLE

Prime Contractor



## SERVICES

- This multi-year project involved the restoration of a 350-acre preserve. It included a one-mile section of the West Branch of the DuPage River, 90-acres of wetlands, a 34-acre fen and an adjacent prairie.
  - Project goals included improving stormwater management, enhancing aquatic and terrestrial habitat and replacing invasive species with native communities.
  - The river restoration posed a daunting challenge, requiring a solution that involved diverting the existing river while accommodating 100-year storm event volumes.
  - V3 restored the river in phases, building three 40-foot-wide by 20-foot-deep lined diversion channels along the length of the river.
  - The material excavated for the channels were stockpiled out of the floodplain prior to being placed back in the channels and restored.
  - River enhancements included placing 3,500 linear feet of root wads and 5,000 boulders along the shoreline and river bed to address erosion issues and stabilize the banks.
  - Strategic areas of the site were regarded and structural berms constructed to enhance wetland hydrology.
  - Because of its highly sensitive environment, the 34-acre fen had to be cleared by hand.
  - V3 installed 150,000 native plants and will seed more than 200 acres with native plants.
  - V3 is conducting three years of ecological maintenance and monitoring.
  - In addition to the County, the Forest Preserve District of DuPage County also directed work related to the enhancement.
- *Mass Grading*
  - *Excavation*
  - *Shoreline Stabilization*
  - *Boulder/Stone Placement*
  - *Erosion Control Installations*
  - *Chemical Invasive Species Control*
  - *Prescribed Burning*
  - *Native Seeding*
  - *Native Plug Planting*
  - *Native Tree/Shrub Planting*
  - *Irrigation of Native Planting*
  - *Tree Clearing*
  - *Native Area Monitoring & Reporting*



# SPRING BROOK CREEK NO. 1 AT BLACKWELL FOREST PRESERVE

WARRENVILLE, ILLINOIS



## CLIENT

Forest Preserve District of DuPage County

## VALUE

Construction Cost: \$12,000,000

## SERVICES

- Spring Brook No. 1 Creek through Blackwell Forest Preserve is largely a channelized drainage ditch. In the center of the project area is a hydraulic structure acting as a dam creating a 16-surface-acre impoundment.
- Improving the creek included removal of the hydraulic structure as well as replacement of the current stream channel with a newly-excavated channel incorporating meanders, pools, riffles and runs. The project also included installation of gravel, cobble, boulders and wood to improve habitat of the channel.
- Structural work includes removal of an existing trail bridge and installation of a new trail bridge and a new service road bridge.
- Other work included haul road installation, site clearing and tree removal, cofferdam installation, channel excavation, stream stabilization, earthwork, hydraulic structure removal, culvert removal, limestone trail removal and installation, asphalt pavement removal, asphalt paving, seeding, plug planting, tree and shrub planting, clearing and control of invasive species.
- V3 will also be providing ecological vegetation maintenance for five years. Alternative 1 incorporates vegetative maintenance and management of the project site in years six and seven.

- *Construction Layout Services*
- *Construction Management*
- *Earthwork*
- *Erosion Control Installations*
- *Management, Monitoring & Reporting*
- *Native Plant Installation*
- *Native Seeding*
- *Native Shoreline Stabilization*
- *Post-Construction "As-Built" Surveys*
- *Prescribed Burning*
- *Stone Shoreline Stabilization*
- *Tree & Shrub Installation*
- *Tree Clearing*



# MALLARD LAKE FOREST PRESERVATION CHANNEL RESTORATION & STABILIZATION

HANOVER PARK, ILLINOIS



## CLIENT

Forest Preserve District of DuPage  
County

## ROLE

Restoration Contractor

## VALUES

Construction Cost: \$2,500,000

## SERVICES

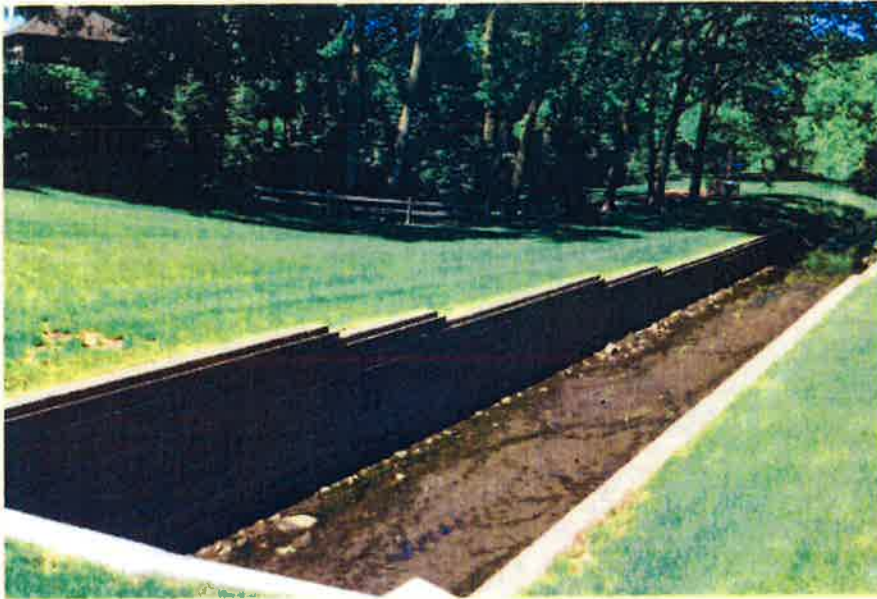
- This river restoration and stabilization project focuses on a half-mile-long stretch of the West Branch DuPage River at the Mallard Lake Forest Preserve in Hanover Park.
- The primary purpose of this project is to stabilize banks of the West Branch DuPage River near the Mallard Lake North Landfill and, where practical, naturalize and enhance the function of the river.
- The two primary means used to achieve this purpose were realigning the channel to provide a physical separation between the channel and the landfill. Where it was impractical to relocate the channel, rock bank stabilization was used.
- The new channel construction required 30,000 cubic yards of excavation, 2,840 square yards stone treatment, 680 linear feet of bank barbs, Riffle sills, 840 linear feet boulder toe, 250 linear feet root wads and 2,000 linear feet topsoil fabric wrap.
- The existing channel stabilization required 6,000 cubic yards excavation, placement of 7,350 tons of bedding stone and riprap for rock toe stabilization and 2,700 linear feet topsoil fabric wrap.
- The native restoration consisted of 20 acres seeding with hydromulch and erosion control blanket, 91,000 plant plugs, 19 trees and shrubs.
- Long-term native area maintenance.

- *Aggregate Placement*
- *Drainage Structure Installation*
- *Earthwork*
- *Erosion Control Installations*
- *Management, Monitoring & Reporting*
- *Native Plant Installation*
- *Native Seeding*
- *Native Shoreline Stabilization*
- *Prescribed Burning*
- *Tree & Shrub Installation*
- *Tree Clearing*



# LACEY CREEK STREAMBANK STABILIZATION

DOWNERS GROVE, ILLINOIS



- Several stretches of streambank along Lacey Creek had experienced high amounts of erosion that was impacting adjacent residential property, creating safety hazards and impeding conveyance of stormwater. These areas of the creek required slope restoration and stabilization.
- Through a preliminary engineering contract with the Village, V3 completed preliminary plans that defined the stabilization improvements and permitting parameters for the proposed work.
- V3 assisted the Village with County Stormwater permit and USACE permit for executing the proposed bank stabilization work, including in-stream access for construction and associated soil water conservation and sediment control during wet weather conditions.
- V3 executed this work through a design/build delivery. Final plans were developed as part of this design/build project and implemented hand-in-hand between design engineers and construction professionals to seamlessly address conflicts, constraints and Village and resident concerns as they arose.
- The design/build delivery finalized engineering plans, further defined the materials and methods used for retaining wall construction and completed all work with a balance of effectiveness and efficiency.
- Improvements included removal of 2,400 linear feet of timber retaining wall, construction of 12,350 square feet of modular block wall, bypass pumping of creek, installation of a temporary coffer dam, topsoil import and slope grading, turf seeding and installation of erosion blanket.

## CLIENT

Village of Downers Grove

## VALUE

Construction Cost: \$1,400,000

## SERVICES

- Demolition
- Excavation
- Aggregate Placement
- Erosion Control Installation
- Segmental Block Retaining Wall Construction
- Shoreline Stabilization
- Tree Clearing
- Construction Layout
- Record Drawings
- Design/Build Services

**XII. BID DEPOSIT FORM**

1. EXHIBIT D: ILLINOIS DEPARTMENT OF TRANSPORTATION, BUREAU OF LOCAL ROADS, FORM BLR 12230: PROPOSAL BID BOND



Route Kehoe Blvd. Stabilization Sect I
County DuPage
Local Agency Village of Carol Stream
Section FY20/21 Roadway Drainage

RETURN WITH BID

PAPER BID BOND

WE V3 Construction Group, Ltd., 7325 Janes Avenue, Woodridge, Illinois 60517 as PRINCIPAL,

and Washington International Insurance Company 1450 American Ln., Ste. 1100, Schaumburg, IL 60173 as SURETY,

are held jointly, severally and firmly bound unto the above Local Agency (hereafter referred to as "LA") in the penal sum of 5% of the total bid price, or for the amount specified in the proposal documents in effect on the date of invitation for bids whichever is the lesser sum. We bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly pay to the LA this sum under the conditions of this instrument.

WHEREAS THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH that, the said PRINCIPAL is submitting a written proposal to the LA acting through its awarding authority for the construction of the work designated as the above section.

THEREFORE if the proposal is accepted and a contract awarded to the PRINCIPAL by the LA for the above designated section and the PRINCIPAL shall within fifteen (15) days after award enter into a formal contract, furnish surety guaranteeing the faithful performance of the work, and furnish evidence of the required insurance coverage, all as provided in the "Standard Specifications for Road and Bridge Construction" and applicable Supplemental Specifications, then this obligation shall become void; otherwise it shall remain in full force and effect.

IN THE EVENT the LA determines the PRINCIPAL has failed to enter into a formal contract in compliance with any requirements set forth in the preceding paragraph, then the LA acting through its awarding authority shall immediately be entitled to recover the full penal sum set out above, together with all court costs, all attorney fees, and any other expense of recovery.

IN TESTIMONY WHEREOF, the said PRINCIPAL and the said SURETY have caused this instrument to be signed by their respective officers this 16TH day of September, 2020

Principal

V3 Construction Group, Ltd.
(Company Name)
By: [Signature] SECRETARY
(Signature and Title)

\*\*\*\*\*
(Company Name)
By: \*\*\*\*\*
(Signature and Title)

(If PRINCIPAL is a joint venture of two or more contractors, the company names, and authorized signatures of each contractor must be affixed.)

Surety

Washington International Insurance Company
(Name of Surety)

By: [Signature]
(Signature of Attorney-in-Fact)
Christine Eitel

STATE OF ILLINOIS,
COUNTY OF COOK

I, LESLEY LAPINSKI, a Notary Public in and for said county, do hereby certify that MICHAEL FARU THOMAS A. FOSTER

(Insert names of individuals signing on behalf of PRINCIPAL & SURETY)

who are each personally known to me to be the same persons whose names are subscribed to the foregoing instrument on behalf of PRINCIPAL and SURETY appeared before me this day in person and acknowledged respectively, that they signed and delivered said instruments as their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this 16TH day of September, 2020

My commission expires August 30, 2022 [Signature] (Notary Public)

ELECTRONIC BID BOND

[X] Electronic bid bond is allowed (box must be checked by LA if electronic bid bond is allowed) The Principal may submit an electronic bid bond, in lieu of completing the above section of the Proposal Bid Bond Form. By providing an electronic bid bond ID code and signing below, the Principal is ensuring the identified electronic bid bond has been executed and the Principal and Surety are firmly bound unto the LA under the conditions of the bid bond as shown above. (If PRINCIPAL is a joint venture of two or more contractors, an electronic bid bond ID code, company/Bidder name title and date must be affixed for each contractor in the venture.)

Electronic Bid Bond ID Code

(Company/Bidder Name)
(Signature and Title)
Date





Surety Company Acknowledgement

STATE OF ILLINOIS  
COUNTY OF COOK

SS:

On this September 16th 2020, before me personally appeared Christine Eitel, to me known, who, being by me duly sworn, did depose and say: that (s)he resides at **Schaumburg, Illinois**, that (s)he is the **Attorney in Fact** of Washington International Insurance Company, the corporation described in and which executed the annexed instrument; that (s)he knows the corporate seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said corporation; that (s)he signed his/her name thereto by like order; and that the liabilities of said corporation do not exceed its assets as ascertained in the manner provided by law.

Samantha Bradtke  
Notary Public in and for the above County and

State My Commission Expires: 06/23/21



SWISS RE CORPORATE SOLUTIONS

NORTH AMERICAN SPECIALTY INSURANCE COMPANY  
WASHINGTON INTERNATIONAL INSURANCE COMPANY

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT North American Specialty Insurance Company, a corporation duly organized and existing under laws of the State of New Hampshire, and having its principal office in the City of Kansas City, Missouri, and Washington International Insurance Company, a corporation organized and existing under the laws of the State of New Hampshire and having its principal office in the City of Kansas City, Missouri, each does hereby make, constitute and appoint:

J.S. POHL, ROBERT B. SCHUTZ, JAMES L. SULKOWSKI, CAROL A. DOUGHERTY, SHERENE L. HEMLER, MIKE POHL, JOHN E. ADAMS, GERALD C. OLSON  
ROBERT W. MIELKE, KIRK LISKIEWITZ, COURTNEY A. FLASKA, SAMANTHA BRADTKE, BRIEN T. SPODEN, LUCIANNE BISCHOFF and CHRISTINE EITEL

JOINTLY OR SEVERALLY

Its true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, bonds or other writings obligatory in the nature of a bond on behalf of each of said Companies, as surety, on contracts of suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract or suretyship executed under this authority shall exceed the amount of:  
FIFTY MILLION (\$50,000,000.00) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both North American Specialty Insurance Company and Washington International Insurance Company at meetings duly called and held on the 9<sup>th</sup> of May, 2012:

"RESOLVED, that any two of the Presidents, any Managing Director, any Senior Vice President, any Vice President, any Assistant Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Company bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Company; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Company when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached."



By [Signature]  
Steven P. Anderson, Senior Vice President of Washington International Insurance Company  
& Senior Vice President of North American Specialty Insurance Company



By [Signature]  
Michael A. Ito, Senior Vice President of Washington International Insurance Company  
& Senior Vice President of North American Specialty Insurance Company

IN WITNESS WHEREOF, North American Specialty Insurance Company and Washington International Insurance Company have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 8th day of APRIL, 2019.

North American Specialty Insurance Company  
Washington International Insurance Company

State of Illinois  
County of Cook ss:

On this 8th day of APRIL, 2019, before me, a Notary Public personally appeared Steven P. Anderson, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company and Michael A. Ito, Senior Vice President of Washington International Insurance Company and Senior Vice President of North American Specialty Insurance Company, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.



[Signature]  
M. Kenny, Notary Public

I, Jeffrey Goldberg, the duly elected Assistant Secretary of North American Specialty Insurance Company and Washington International Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said North American Specialty Insurance Company and Washington International Insurance Company, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 16th day of September, 2020.

[Signature]  
Jeffrey Goldberg, Vice President & Assistant Secretary of  
Washington International Insurance Company & North American Specialty Insurance Company

1. ADDENDUM 001

By way of this Addendum, the Village of Carol Stream is hereunder informing interested Bidders of the following clarifications to the Bid Packet originally issued and published on the Village of Carol Stream's website on August 27, 2020.

1.1 PUBLIC OPENING OF BIDS

The date and time for the Public Opening of Bids **IS NOT** extended by this Addendum.

1.2 BIDDER'S QUESTIONS

1.2.1 QUESTION #1 (09/14/2020)

When does the warranty period begin? After substantial completion?

**Yes, the warranty period that begins with "Final Completion", as set forth in III-4.4 WARRANTY, will be interpreted to begin with the "Substantial Completion", as set forth in III-3.1 COMMENCEMENT; TIME OF PERFORMANCE. The warranty aspects for the vegetation on the project were intended to be covered by the Contract Documents under the VII-16 NATIVE LANDSCAPING MONITORING & MANAGEMENT.**

1.2.2 QUESTION #2 (09/14/2020)

Will the Village accept suitable substitute for the redi-rock block?

**Yes, the Village will consider an approved equivalent to the pre-qualified product from Redi-Rock International, LLC using the following criteria. Please note that the standard specification requires "precast concrete modules" so that gabion baskets are not an approved equivalent.**

- 1) **The majority of the offset between the Vegetated Boulder Toe and the retaining wall (see Sheet C5.0, Typical Section B) is between 3 to 4 feet. This was a critical design factor in the Village's pre-qualification of Redi-Rock International, LLC, as well as in its application for the Water Quality Improvement Program grant.**
- 2) **The main structural components of the system shall remain entirely within the Village's right-of-way so that additional easements are not required. This includes the blocks, tie-backs, underdrains, etc., but excludes incidental components that need not be within the right-of-way or a permanent easement, such as aggregate backfill.**
- 3) **The architectural treatment for the exposed surfaces of the module will also be under consideration, albeit secondary to the structural components, due to it being visible from a relatively well-traveled Village roadway, its use as a pilot project, and it being the recipient of a grant from DuPage County Stormwater.**

**The Contractor shall include as much information on the substitute as is practical, as well as a statement regarding whether the Bidder's Schedule of Prices is predicated on its approval upon award to said Bidder. The Village may reject the bid as non-responsive if the information provided is not anticipated to be an approved equivalent or the information is insufficient to cause a certain degree of uncertainty in its approval, both determined at the sole discretion of the Village, and the Bidder indicates the Schedule of Prices is predicated on its approval after award.**

1.3 PLANS

Not applicable.

1.4 SCHEDULE OF PRICES

Not applicable.

**\*\*\* END OF ADDENDUM 001 \*\*\***



## Aesthetics and Performance



The look, size and durability of massive natural stone and the long-term performance of a fully engineered structural wall.

# ReCon Retaining Wall Systems

ReCon Retaining Wall Systems, Inc. is an industry leader in supplying aesthetically pleasing and structurally superior retaining wall solutions. ReCon focuses on providing value to its customer, including:

- Engineering and testing for tall gravity walls and taller geogrids walls.
- Solutions that accommodate wall needs rather than dictate them.
- Durability (wet-cast, air-entrained).
- Five texture options.
- Product shape and size choices that work.

*Let us bring value to your project.*



## Features and Benefits:

- **Large Size and Mass**
- **Tall Gravity Walls**
  - Unique tongue-and-groove lock-and-placement design, combined with massive size and weight, permits wall heights up to 20+ ft. (6m) without reinforcing geogrid. Eliminates the time and cost associated with excavation and soil replacement when reinforcing geogrid is required.
  - Significantly taller ReCon Walls can be built by incorporating geogrids, setback or tiers.
- **Durability**
  - Made of wet-cast, air-entrained concrete with a minimum psi of 4,000 (28 MPa). The durability required in environments prone to the challenges of freeze/thaw cycles, road salts or brackish water.
- **Faster Installation**
  - Walls can be constructed quickly using equipment generally available to contractors (skid steers or backhoes), maximizing productivity and minimizing manual labor. No mortar, no pins.
- **Engineered and Tested**
  - A ReCon Wall can be professionally engineered and designed (using shear and geogrid connection data unique to ReCon) for wall performance that is generally unavailable for natural stone walls.
- **Customized Design and Aesthetics**
  - The natural stone finish has several different textures, which prevents repetition in the overall wall pattern. Stains are readily available and easily applied in the field after installation to achieve a natural look that will last for years.
  - Block comes in multiple depths, to optimize design efficiency by providing the mass when required or eliminating it when not required to save material and freight cost.
  - Tapered block design allows both inside and outside 90-degree corners or curves.
  - Caps or special top units that allow greenscape within four inches of the finished wall's face are available for top-of-wall finishing options.



## Block Specifications

- **Block Face:** 5.33 sq. ft. (0.5m<sup>2</sup>), or 48 in. x 16 in. (120 cm x 40 cm)
- **Available Depths:** 24", 39", 45", 60", 66", 72", 78", 84" (60, 100, 115, 150, 170, 185, 200 or 210 cm)
- **Mass:** 1,000 to 4100 pounds (450 kg to 1900 kg) per block.
- **Concrete:** Minimum of 4,000 psi (28MPa)
- **Lifting Device:** Lifting insert loop
- **Turning Radius:** Approximately 15 feet (4.5 m) (varies with wall height)
- **Retaining Wall Batter:** 3.6 degrees automatically built into the system. Can be adjusted to 7.2 degrees with the use of field-installed spacers. Can be adjusted from 9 to 26 degrees with the use of the ReCon Channel Block.

## Texture & Color Options

ReCon block is available in North Shore Granite, Le Sueur County Limestone, Rustic (8-in. [20 cm] coursing), Old World and Weathered Edge. Natural stone finishes have several different textures, which prevents repetition in the overall wall pattern. Stains are readily available and easily applied in the field to achieve a natural look that will last for years. Some textures are special order. Check for availability.



North Shore Granite

Le Sueur County Limestone

Rustic

Old World

Weathered Edge

## Full Block



Natural looking stone face available in multiple textures and stain colors

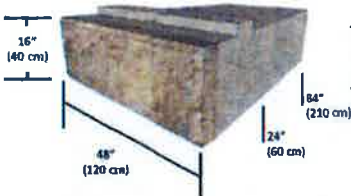
Lifting inset loop

Taper of block and unique curved tongue permit turning radius of about 15 ft. (4.5m)

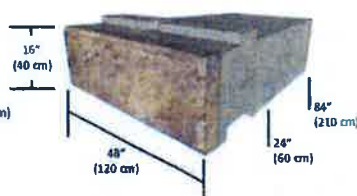
Unique tongue and groove lock and placement for safe and secure walls

## Block Shapes

### FULL BASE BLOCK



### FULL MIDDLE BLOCK



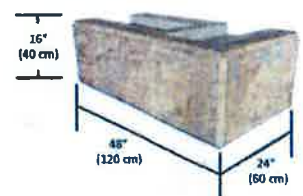
### FULL TOP BLOCK

Top of block is recessed (starting behind the 4" [11 cm] texture on top of block at the face). Permits planting of sod to within 4" [11 cm] of front of the retaining wall.



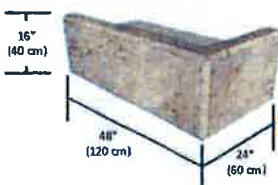
### REVERSIBLE CORNER BLOCK

90° corners.

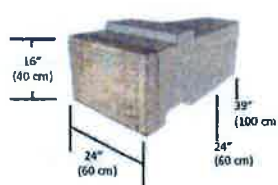


### CORNER TOP BLOCK

Top of block is recessed.

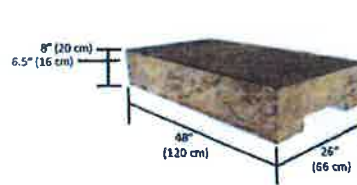


### HALF BLOCK



### CAPSTONE

Alternate top-of-wall treatment used in



### FENCE/GUARDRAIL BLOCK

Double sided for above grade applications.



## Engineering and Installation Guidelines

### Design and Specification

A ReCon Wall requires a site-specific design and analysis prepared by a registered professional engineer. ReCon has a comprehensive set of tools to aid architects and engineers in the specification and design of a ReCon Wall.



A block being set in place with a backhoe and chain.



A block being set in place with a skid steer.

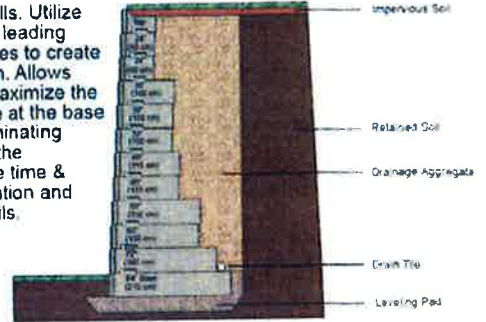
### Installation Steps

- Excavate and prepare soil foundation.
- Prepare leveling pad: A level and compacted base is essential for proper wall installation.
- Install and level base course: Individual blocks are then set in place using the lifting insert loop. The lifting insert loop is attached to a cable suspended from a backhoe or other lifting equipment.
- Drain tile
- Drainage aggregate
- Install additional courses.
- Place geogrids (if required).
- Install additional courses.
- Backfill and compact.
- Check compaction regularly.

For more product and installation information on the ReCon Wall system, please contact your local ReCon licensed producer or visit us on the web at [www.reconwalls.com](http://www.reconwalls.com).

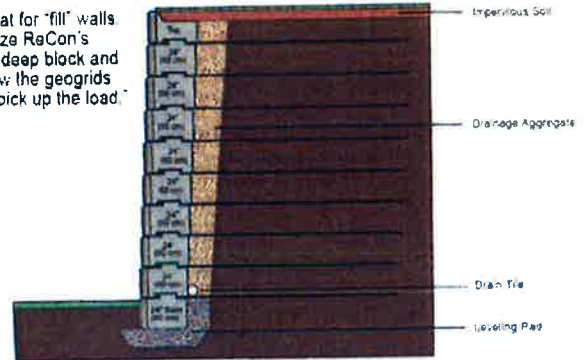
## Typical Gravity Retaining Wall Section

Great for "cut" walls. Utilize ReCon's Industry leading block depth choices to create an efficient design. Allows the designer to maximize the usable real estate at the base of the wall by eliminating geogrids. Allows the contractor to save time & money on excavation and compaction of soils.



## Typical Geogrid Retaining Wall Section

Great for "fill" walls. Utilize ReCon's 24" deep block and allow the geogrids to "pick up the load."



The installation steps represent a basic outline for a ReCon Wall Installation and are not meant to serve as a complete construction or installation guide. Every ReCon Wall must be designed by a registered professional engineer. Design and other industry professionals can view online or download a complete ReCon design and construction reference manual at [www.reconwalls.com](http://www.reconwalls.com).

ReCon Block is produced and marketed pursuant to a license agreement with ReCon Wall Systems, Inc., 7600 West 27th St., #229, St. Louis Park, MN 55426.  
Patents issued: US 6,620,364 B2, US 6,829,867 B2 and US 7,341,685 B2.



# ReCon

## Retaining Walls

7600 West 27th Street, Suite 229  
St. Louis Park, MN 55426  
[www.reconwalls.com](http://www.reconwalls.com)  
Tel: +1 952-922-0027  
Fax: +1 952-922-0028

*Village Of Carol Stream*  
Interdepartmental Memo

**TO:** Robert Mellor, Village Manager  
**FROM:** Adam Frederick, Assistant Village Engineer   
**DATE:** September 17, 2020  
**RE:** **Award of Contract – 2020 Pavement Patching Contract**

On September 17<sup>th</sup> at 11:00 a.m. Engineering Staff opened bids for the referenced project. The following bids were read aloud:

Brothers Asphalt Paving, Inc., Addison IL	\$39,870.00
M&J Asphalt Paving, Cicero, IL	\$40,709.75
JA Johnson Paving, Inc., Arlington Heights, IL	\$42,700.00
Schroeder Asphalt Services, Inc., Huntley, IL	\$43,292.00
Chicagoland Paving Contractors, Inc., Lake Zurich, IL	\$45,000.00
Maneval Construction, Ingleside IL	\$64,730.00
Engineer's Estimate	\$62,027.00

The low bid received was under the Engineer's Estimate of \$62,027.00 by \$22,157.00 (35.7%).

A total of \$590,000 is budgeted between the Pavement Rejuvenator Project, the Restorative Sealer Project and the Patching Project. The remaining budget for Restorative Sealer and the Patching Project is \$260,000.00.

Brothers Asphalt Paving, Inc. completed this project successfully in the past. Staff therefore recommends award of the contract to Brothers Asphalt Paving, Inc. at the bid unit prices submitted.

Attachments (Bid Tabs)

cc: William N. Cleveland, Director of Engineering Services  
Jon Batek, Finance Director  
Phil Modaff, Director of Public Works





*Village of Carol Stream*  
 Interoffice Memorandum

MEMO TO: Robert Mellor, Village Manager  
 FROM: Philip J. Modaff, Director of Public Works  
 DATE: September 16, 2020  
 RE: Motion to Reject All Bids for the WRC De-Watering System Replacement Project

In December 2019 the Village Board approved an Engineering Services Agreement (ESA) with Baxter & Woodman for design and preparation of specifications for the WRC De-watering System Replacement Project. The project went to bid in June with results as follows:

<u>CONTRACTOR NAME</u>	<u>BID AMOUNT</u>
Boller Construction	\$2,833,100
IHC Construction Companies	\$2,935,000
Thienemann Construction	\$2,958,000
Joseph J. Henderson & Sons	\$3,195,000
Vissering Construction Company	\$3,222,700
Manusos General Contracting	\$3,347,000
Path Construction Company	\$3,797,000

The project budget was approximately \$1.8 million.<sup>1</sup> Staff has consulted with the design engineer to determine the causes of the significant disparity between the project estimate and the bids. While there were several options included in the project scope that could be eliminated to reduce the price, those reductions would only reduce the total by \$150,000 to \$200,000. Based on conversations with some of the bidders it appears that one contributing factor to the higher-than-anticipated bids was the requirement that the contractor provide temporary de-watering services throughout the course of the project. Discussions between our engineer and Jacobs staff have identified de-watering alternatives could further reduce the project cost. Even with these changes, it is likely we will have to increase the project budget by approximately \$750,000 in the coming fiscal year. Therefore, staff will seek Village Board direction at a later date to amend the specifications to reduce project cost without significantly impacting the scope and to re-bid the project later this fiscal year for construction in the coming fiscal year.

Staff recommends a Motion to reject all bids for the WRC De-Watering System Replacement Project.

---

<sup>1</sup> Staff attempted to attract CARES Act money to make up for the project budget shortfall but the application was rejected by the County.



20 N. Wacker Drive, Ste 1660  
Chicago, Illinois 60606-2903  
T 312 984 6400 F 312 984 6444

AGENDA ITEM  
I-1 9/2/20

DD: 312-984-6417  
jarhodes@ktjlaw.com

**MEMORANDUM**

**TO:** Mayor and Board of Trustees  
Bob Mellor, Village Manager  
**FROM:** James A. Rhodes  
**DATE:** September 9, 2020  
**RE:** An Ordinance Amending the Carol Stream Code of Ordinances with respect to Video Gaming

The attached ordinance amends the Carol Stream Code of Ordinances with respect to video gaming. Currently, video gaming is allowed in establishments that are granted a Class V liquor license and that will remain unchanged.

However, the ordinance makes the following amendments:

1. Chapter 10 is amended by adding a new Article 14 dealing regulation of video gaming. The new Article 14 requires that video terminal operators (those who place the video gaming terminals in video gaming establishments) also apply for and receive a village license. Since it is the video terminal operators who actually place, maintain and are responsible for the operation of the video games, local regulation of video terminal operators is a matter of local concern.
2. Specific qualifications have been provided for the issuance of video gaming licenses.
3. Specific duties for both video terminal operators and video gaming establishments are provided.
4. In the event that an establishment or a terminal operator violated any provisions of the video gaming act or the village's regulations, the licensee could have its license suspended or revoked and/or be subject to fines. A hearing procedure for any disciplinary hearings has also been provided.
5. The license fee for a video gaming terminal operator is based upon the number of terminals placed in a location and is proposed at \$500 for each terminal. The maximum license fee would be \$3,000.00 if the establishment operated the maximum number of 6 terminals.
6. Chapter 11, Article 2 is proposed to be amended to decrease the license fee for the Class V liquor license from \$1,000 per terminal (\$6,000 for 6 terminals) to \$500 per terminal (\$3,000 for 6 terminals). The decrease in the license fee for a Class V license will assist the Village's license holders in dealing with the business impact of the pandemic.

Should you have any questions, please let me know.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE CAROL STREAM CODE OF ORDINANCES WITH RESPECT TO THE REGULATION AND LICENSING OF VIDEO GAMING WITHIN THE VILLAGE**

**WHEREAS**, the Video Gaming Act (230 ILCS 40/1 *et seq.*, hereinafter the "Act") became law on July 13, 2009, and allows certain defined licensed establishments to conduct video gaming; and

**WHEREAS**, the Village of Carol Stream is a home rule unit by virtue of the Illinois Constitution of 1970; and

**WHEREAS**, in accordance with the Illinois Constitution of 1970, a home rule unit may exercise any power and perform any function pertaining to its government and affairs for the protection of the public health, safety, morals and welfare; and

**WHEREAS**, pursuant to its home rule powers the Mayor and Board of Trustees heretofore adopted Ordinance \_\_\_\_\_ regulating video gaming within the Village; and

**WHEREAS**, in pursuant to its home rule powers, the Mayor and Board of Trustees find it to be in the best interests of the Village to provide further regulations with respect to the operation and licensing of establishments where video gaming may be allowed and video gaming terminal operators;

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS**, in the exercise of its home rule authority, as follows:

**SECTION 1:**

The foregoing recitals are hereby made a part hereof as fully restated herein.

**SECTION 2:**

The Carol Stream Code of Ordinances, Chapter 10, "Business Licensing and Regulation Intoxicating Liquors", is hereby amended by adding Article 14 entitled "Video Gaming" and which shall read as follows:

**ARTICLE 14 VIDEO GAMING**

**§10-14-1. Definitions.**

For the purposes of this chapter, the following terms shall have the following meaning:  
Applicant: A person applying for any license under this chapter.

**Application.** All material submitted, including the instructions, definitions, forms and other documents issued by the village, comprising the video gaming license application submitted to the village.

**Class V Liquor License.** A liquor license authorization granted by the village to holders of a Class A, Class B, Class F, Class I or Class N liquor license permitting the licensee to operate video gaming terminals in the village.

**Code.** The village code of ordinances of the village of Carol Stream, Illinois.

**Control.** The possession, direct or indirect, of power to direct or cause the direction of the management and policies of an applicant or licensee through the ownership of voting securities, by contract or otherwise.

**Distributor.** An individual, partnership, corporation, or limited liability company licensed under the Video Gaming Act to buy, sell, lease, or distribute video gaming terminals or major components or parts of video gaming terminals to or from terminal operators.

**Game.** A gambling activity that is played for money, property or anything of value, including, without limitation, those played with cards, chips, tokens, vouchers, dice, implements, or electronic, electrical or mechanical devices or machines.

**Gaming.** The dealing, operating, carrying on, conducting, maintaining or exposing for play of any game.

**Gaming Operation.** The conducting of gaming or the providing or servicing of gaming equipment.

**Illinois Gaming Board.** The board created by the Illinois legislature to regulate video gaming by the state of Illinois.

**Licensed Technician.** An individual who is licensed under the Video Gaming Act to repair, service, and maintain video gaming terminals.

**Licensed Terminal Handler.** A person, including, but not limited to, an employee or independent contractor working for a manufacturer, distributor, supplier, technician, or terminal operator, who is licensed under the Video Gaming Act to possess or control a video gaming terminal or to have access to the inner workings of a video gaming terminal. A licensed terminal handler does not include an individual, partnership, corporation, or limited liability company defined as a manufacturer, distributor, supplier, technician or terminal operator under section 5 of the Video Gaming Act.

**Licensed Video Gaming Location.** A licensed establishment, as defined in Section 5 of the Video Gaming Act, that holds a valid Class V liquor license permitting the licensee to operate and maintain up to six video gaming terminals at the establishment.

**Licensee.** The person, firm or entity to whom an authorization is granted by the village permitting it to engage in the defined activities of video gaming.

**Liquor Commissioner.** The liquor commissioner of the village.

**Liquor License.** A license issued by the Liquor Commissioner authorizing the holder to sell and offer for sale at retail alcoholic liquor for use or consumption.

**Manufacturer.** An individual, partnership, corporation, or limited liability company that is licensed under the video gaming act and that manufactures or assembles video gaming terminals.

**Ownership Interest.** Includes, but is not limited to, direct, indirect, beneficial or attributed interest, or holder of stock options, convertible debt, warrants or stock appreciation rights, or holder of any beneficial ownership or leasehold interest.

Person. Both individuals and business entities.

State. The state of Illinois.

State License. Authorization granted by the Illinois gaming board permitting a licensee to engage in the defined activities of video gaming.

Supplier: An individual, partnership, corporation, or limited liability company that is licensed under the Video Gaming Act to supply major components or parts of video gaming terminals to licensed terminal operators.

Terminal Operator. An individual, partnership, corporation, or limited liability company that is licensed under the Video Gaming Act that owns, services, and maintains video gaming terminals for placement in licensed video gaming locations in the village.

Use Agreement. A contractual agreement between a licensed terminal operator and a licensed video gaming location establishing terms and conditions for placement and operation of video gaming terminals by the licensed terminal operator within the premises of the licensed video gaming location.

Video Gaming Act. The Illinois Video Gaming Act, 230 ILCS 40/1 et seq.

Video Gaming Equipment. Video gaming terminals associated video gaming equipment and major components or parts.

Video Gaming Operation. As the context requires, means the conducting of video gaming and all related activities.

Video Gaming Terminal. Any electronic video game machine that, upon insertion of cash, is available to play or simulate the play of a video game, including, but not limited to, video poker, line up, and blackjack, as authorized by the Illinois gaming board utilizing a video display and microprocessors in which the player may receive free games or credits that can be redeemed for cash. The term does not include a machine that directly dispenses coins, cash, or tokens or is for amusement purposes only.

Video Gaming Terminal License: Authorization granted by the village permitting a licensed terminal operator to operate a video gaming terminal in the village.

#### §10-14-2 Licenses Required.

(A) No person shall operate or maintain any video gaming terminal or allow video gaming in any premises in the village unless that person holds a valid state location license issued under the Video Gaming Act and a valid Village Class V liquor license and has entered into a written use agreement with a terminal operator for placement of the terminals. A copy of the use agreement shall be on file in the licensed video gaming location in the Village and available for inspection by the liquor commissioner or his designees.

(B) No person shall own, maintain, or place a video gaming terminal in the village unless he or she has a valid terminal operator's state license issued under the Video Gaming Act and a valid village video gaming terminal operators license for each video gaming terminal placed and maintained in the village. A terminal operator may only place video gaming terminals in the village for use in licensed video gaming locations.

(C) It is unlawful to operate a video gaming terminal in the village without a valid video gaming sticker affixed thereon.

#### § 10-14-3 Authority of the Liquor Commissioner.

The liquor commissioner shall have jurisdiction, subject to the jurisdiction of the Illinois gaming board, over and shall supervise all video gaming operations in the village governed by the Video Gaming Act, the regulations promulgated pursuant to the Video Gaming Act and the village code. The liquor commissioner shall have all powers necessary and proper to fully and effectively execute the provisions of this chapter, including, but not limited to, the following:

(A) To investigate applicants and determine the eligibility of applicants for video gaming licenses.

(B) To have jurisdiction and supervision, subject to the jurisdiction and supervision of the Illinois gaming board, over all video gaming operations in the village and all persons in establishments where video gaming operations are conducted.

(C) To adopt rules for the purpose of administering the provisions of this chapter and to prescribe rules, regulations, and conditions under which all video gaming in the village shall be conducted. Such rules and regulations are to provide for the prevention of practices detrimental to the public interest and for the best interests of video gaming, including rules and regulations regarding: 1) the inspection of such establishments and the review of any permits or licenses necessary to operate an establishment under any laws or regulations applicable to establishments and 2) to impose penalties for violations of this chapter.

#### §10-14-4 Terminal Operators Licensing.

The rules contained in this section and the subsections thereunder shall govern qualifications for Terminal Operators' licenses issued by the village pursuant to this article.

##### (A) Issuance of License.

(1) The burden is upon each applicant to demonstrate his or her suitability for licensure. Each video gaming terminal operator owning, maintaining, or placing a video gaming terminal in a licensed video gaming location located in the village shall obtain a video gaming terminal license from the liquor commissioner for each video gaming terminal in a licensed video gaming location located in the village

(2) Each person seeking and possessing a license as a video gaming terminal operator shall submit to a background investigation conducted by the Illinois gaming board with the assistance of the state police or other law enforcement. The background investigation shall include each beneficiary of a trust, each partner of a partnership, and each director and officer and all stockholders of five percent (5%) or more in a parent or subsidiary corporation of a video gaming operator or a licensed video gaming location.

##### (B) Qualifications for Licensure.

(1) Applicant Qualifications for Terminal Operators License. The liquor commissioner may not grant any video gaming license until the liquor commissioner is satisfied that the applicant is:

- (a) A person of good character, honesty and integrity;
- (b) A person whose background, including criminal record, reputation and associations, is not injurious to the public health, safety, morals, good order and general welfare of the people of the state or the village;

(c) A person whose background, including criminal record, reputation and associations, does not discredit or tend to discredit the Illinois gaming industry, the state or the village;

(d) A person whose background, including criminal record, reputation, habits, social or business associations does not adversely affect public confidence and trust in gaming or pose a threat to the public interests of the state, the village or to the security and integrity of video gaming;

(e) A person who does not create or enhance the dangers of unsuitable, unfair or illegal practices, methods and activities in the conduct of video gaming;

(f) A person who does not present questionable business practices and financial arrangements incidental to the conduct of video gaming activities or otherwise;

(g) A person who, either individually or through employees, demonstrates business ability and experience to establish, operate and maintain a business for the type of license for which application is made;

(h) A person who does not associate with, either socially or in business affairs, or employ persons of notorious or unsavory reputation or who have extensive police records, or who have failed to cooperate with any officially constituted investigatory or administrative body;

(i) A person who has not had a gaming license revoked in any other jurisdiction.

(j) A person who has met the qualifications required in the Video Gaming Act or the regulations promulgated under the Video Gaming Act or this article.

(2) No person may be licensed as a video gaming terminal operator if that person has been found unqualified for licensing by the Illinois gaming board.

(3) The liquor commissioner shall not grant a license to a person who has facilitated, enabled or participated in the use of coin operated devices for gambling purposes. For the purposes of this subsection, "facilitated, enabled, or participated in the use of coin operated amusement devices for gambling purposes" means that the person has been convicted of any violation of chapter 28 of the Illinois criminal code, 720 Illinois Compiled Statutes 5/28-1 et seq. If there is pending legal action against a person for any such violation, then the liquor commissioner shall delay the licensure of that person until the legal action is resolved.

(C) Testing Requirements for Video Terminals. Every video gaming terminal offered in the village for play shall first be tested and approved pursuant to the rules of the Illinois gaming board, and each video gaming terminal offered in the village for play shall conform to an approved model. Every video gaming terminal offered in the village for play must meet minimum standards set by an independent outside testing laboratory approved by the Illinois gaming board.

#### §10-14-5 Video Gaming Locations – License.

In addition to the requirements set forth in Chapter 11, Article 2 of this Code, the rules contained in this section shall apply to the issuance of a Class V Liquor license for the operation of video gaming.

(A) License Required.

(1) Each owner or operator of any establishment in the village where a video gaming terminal is maintained or placed shall obtain a Class V liquor license from the liquor commissioner.



(2) The burden is upon each applicant to demonstrate his or her suitability for licensure.

(3) Each person seeking a Class V liquor license shall submit to a background investigation as required by Chapter 11 of this Code.

(B) Qualifications for Licensure.

(1) Applicant Qualifications Class V Liquor License. The liquor commissioner may not grant any Class V Liquor License until the liquor commissioner is satisfied that the applicant is:

(a) A person of good character, honesty and integrity;

(b) A person whose background, including criminal record, reputation and associations, is not injurious to the public health, safety, morals, good order and general welfare of the people of the state or the village;

(c) A person whose background, including criminal record, reputation and associations, does not discredit or tend to discredit the Illinois gaming industry, the state or the village;

(d) A person whose background, including criminal record, reputation, habits, social or business associations does not adversely affect public confidence and trust in gaming or pose a threat to the public interests of the state, the village or to the security and integrity of video gaming;

(e) A person who does not create or enhance the dangers of unsuitable, unfair or illegal practices, methods and activities in the conduct of video gaming;

(f) A person who does not present questionable business practices and financial arrangements incidental to the conduct of video gaming activities or otherwise;

(g) A person who, either individually or through employees, demonstrates business ability and experience to establish, operate and maintain a business for the type of license for which application is made;

(h) A person who does not associate with, either socially or in business affairs, or employ persons of notorious or unsavory reputation or who have extensive police records, or who have failed to cooperate with any officially constituted investigatory or administrative body; and

(i) A person who has not had a gaming license revoked in any other jurisdiction.

(j) A person who has met the qualifications required in the Video Gaming Act or the regulations promulgated under the Video Gaming Act.

(k) A person who is not ineligible from holding a Class V liquor license as set forth in Chapter 11, Article 2 of this Code.

(2) No person may be licensed as a video gaming terminal operator if that person has been found unqualified for licensing by the Illinois gaming board.

(3) The liquor commissioner shall not grant a license to a person who has facilitated, enabled or participated in the use of coin operated devices for gambling purposes. For the purposes of this subsection, "facilitated, enabled, or participated in the use of coin operated amusement devices for gambling purposes" means that the person has been convicted of any violation of chapter 28 of the Illinois criminal code, 720 Illinois Compiled Statutes 5/28-1 et seq. If there is pending legal action against a person for any such violation, then the liquor commissioner shall delay the licensure of that person until the legal action is resolved.

#### §10-14-6. Licensing Procedures.

The rules contained in this section and the subsections thereunder shall govern procedures for applying for, renewing and maintaining all types of video gaming licenses issued by the village pursuant to this chapter.

##### (A) Application Forms.

(1) Applications for licensure or renewal shall be submitted on applications and forms provided by the village.

(2) Additional Materials. An applicant or its affiliate may be required to submit forms or materials in addition to an application as required by subsection (a)(1) of this section.

##### (B) Application Procedures.

(1) Any misrepresentation or omission made with respect to an application may be grounds for denial of the application.

(2) An application shall be deemed filed when the completed application form, including all required documents and materials, and the application fee have been submitted.

(C) Submission of Application. All applications shall be submitted to the liquor commissioner at the village's offices.

(D) License Fees. All applicants for terminal operator licenses issued by the liquor commissioner shall pay a license fee per terminal in the amount set forth in Chapter 10, Article 1, Section 10-1-19 of this Code. All applicants for a Class V liquor license shall pay the license fee as set forth in Chapter 11, Article 2, Section 11-2-7(Q) of this Code.

(E) Consideration of Applications. Only complete applications will be considered for licensure. Applications are complete when the applicant has submitted:

- (1) All information required by this chapter;
- (2) All information required or requested by the village; and
- (3) Payment of the license fee.

##### (F) Withdrawal of Applications.

(1) An application for licensure under this article may be withdrawn at any time.

(2) If an application for licensure is withdrawn, the applicant may not reapply for a license within one year from the date withdrawal is granted, without leave of the liquor commissioner.

##### (G) Issuance of License.

(1) The liquor commissioner may only issue a license after the Illinois gaming board background investigation is complete, the Illinois gaming board determines the applicant is suitable for licensure, and the applicant has filed a completed application and paid the required license fee.

(2) If an applicant is denied a license, the applicant may not reapply for a license within one year from the date on which the final order of denial was made.

##### (H) Renewal of License.

(1) All licenses issued by the village under this article shall expire on April 30 and are renewable annually unless sooner canceled or terminated. No license issued under this article is transferable or assignable.

(2) The liquor commissioner may only renew a license upon receipt of a copy of the current state video gaming license, the applicable renewal fee and any renewal forms provided by the liquor commissioner.

(3) The liquor commissioner may only renew a license if the licensee continues to meet all qualifications for licensure set forth in the Video Gaming Act, the regulations promulgated pursuant to the Video Gaming Act and this chapter.

(l) **Renewal Fees and Dates.** A licensee shall pay license fees annually, before May 1 of each year, as applicable.

#### §10-14-7 Denials of Applications for Licensure.

(A) If the liquor commissioner finds that an applicant is not suitable for licensure, the liquor commissioner shall issue the applicant a notice of denial.

(B) The liquor commissioner shall serve notice on the applicant by personal service or U.S. certified mail and U.S. mail to the last known address of the applicant. Service shall be deemed to be complete four (4) days after mailing.

(C) Should an applicant wish to contest the action the liquor commissioner has taken regarding his or her application, the applicant must submit a request for hearing to the liquor commissioner. A request for hearing must be made within ten (10) days after receipt of notice of denial from the liquor commissioner. A request shall be deemed filed on the date on which it is postmarked. If a request for hearing is not filed within ten (10) days after the receipt of notice from the liquor commissioner, then the notice of denial becomes the final order of the liquor commissioner denying the applicant's license application.

(D) All requests for hearing shall be in writing and shall include an original and one copy. The request shall contain the following:

- (1) The name, current address and current telephone number of the applicant;
- (2) Detailed reasons why and the facts upon which the applicant will rely to show that the applicant is suitable for licensure, including specific responses to any facts enumerated in the Illinois gaming board's notice of denial;
- (3) The signature of the applicant.
- (4) A verification of the request for hearing in the following form:

The undersigned certifies that the statements set forth in this request are true and correct, except as to matters therein stated to be on information and belief and as to such matters the undersigned certifies as aforesaid that he/she verily believes the same to be true.

- (5) The request must be notarized.

(E) **Hearing.**

(1) The burden of proof is at all times on the applicant. The applicant shall have the affirmative responsibility of establishing by clear and convincing evidence that the applicant is suitable for licensing.

(2) All testimony shall be given under oath or affirmation.

(3) All testimony and oral proceedings shall be recorded stenographically or by such other means as to adequately ensure the preservation of such testimony or oral proceedings and shall be transcribed on request of any party. The stenographer or such other means as to adequately ensure the preservation of such testimony or oral proceedings shall be arranged by the village. The cost of the stenographer or such other means as to adequately ensure the preservation of such testimony or oral proceedings shall be paid by the applicant. The transcript shall be paid for by the requesting party.

(4) The Liquor Control Commissioner shall, within five business days after such hearing, render a written order including written findings of fact and conclusions of law on which the liquor commissioner's decision is based.

(5) Copies of the liquor commissioner's final order shall be served on the applicant by personal delivery, certified mail or overnight express mail to applicant's last known address.

(6) The liquor commissioner's final order shall become effective upon personal delivery to the applicant or upon posting by certified or overnight express mail to applicant's last known address.

(F) Sanctions and Penalties.

(1) The liquor commissioner may impose sanctions and penalties if the liquor commissioner finds that a party has acted in bad faith, for the purpose of delay, or has otherwise abused the hearing process. Sanctions and penalties include, but are not limited to, default judgment or directed finding on one or more issues.

(2) If an applicant fails to testify on his or her own behalf with respect to any question propounded to him or her, the liquor commissioner may infer that such testimony or answer would have been adverse to the petitioner's case.

(3) Failure of an applicant to appear at a hearing or scheduled proceeding shall constitute an admission of all matters and facts contained in the notice of denial. In such cases the liquor commissioner may take action based upon that admission or upon any other evidence, including affidavits, without any further notice to the applicant.

§10-14-8 Inspection.

The liquor commissioner and the village's officers, employees and agents shall have unrestricted access to enter the premises of any licensee or applicant where evidence of compliance or noncompliance with the provisions of the Video Gaming Act, the regulations promulgated under the Video Gaming Act or this chapter may be found.

§10-14-9 Continuing Duty To Report Violations.

Licensees and applicants for licensure under this chapter must promptly report all of the following to the liquor commissioner or his or her designee:

(A) A violation of the Video Gaming Act, the regulations promulgated under the Video Gaming Act, this chapter or any illegal conduct including, but not limited to, the possession, maintenance, facilitation or use of any illegal gaming device;

(B) Any fact, event, occurrence, matter or action that may affect the conduct of video gaming or the business and financial arrangements incidental to the conduct of video gaming, or the ability to conduct the activities for which the licensee is licensed;

(C) Each arrest, summons, citation or charge for any criminal offense or violation, excluding minor traffic violations; and

(D) Any adverse action taken or nonrenewal relative to a liquor license.

§10-14-10 Duties of Licensed Video Terminal Operators.

In addition to all other duties and obligations required by the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this article, each licensed terminal operator has an ongoing duty to comply with the following:

(A) Assume the primary responsibility for the operation and maintenance of video gaming terminals and for payment of tax remittance to the state of Illinois as required by the Video Gaming Act and the payment of the fees imposed by this chapter on licensed terminal operators;

(B) Maintain and provide, either directly or through a licensed manufacturer, distributor, supplier or technician, an inventory of associated video gaming equipment to ensure the timely repair and continued, approved operation and play of the video gaming terminals it operates;

(C) Ensure the timely repair and continued, approved operation and play of the video gaming terminals it operates;

(D) Assume responsibility for the payment of valid receipt tickets issued by video gaming terminals it operates;

(E) Maintain at all times an approved method of payout for valid receipt tickets and pay all valid receipt tickets;

(F) Assume responsibility for the video gaming terminal and associated video gaming equipment malfunctions, including any claim for the payment of credits arising from malfunctions;

(G) Promptly notify the Illinois gaming board of electronic or mechanical malfunctions or problems experienced in a video gaming terminal that affect the integrity of video gaming terminal play;

(H) Extend no form of deferred payment for video gaming terminal play in which an individual receives something of value now and agrees to repay the lender in the future for the purpose of wagering at a video gaming terminal;

(I) Maintain a separate bank account for each licensed video gaming location for deposit of aggregate revenues generated from the play of video gaming terminals and allow for electronic fund transfers for tax payments;

(J) Enter into a written use agreement with each licensed video gaming location where video gaming terminals will be located, which agreement complies with the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this chapter;

(K) Obtain and install, at no cost to the state or the village and as required by the Illinois gaming board, all hardware, software and related accessories necessary to connect video gaming terminals to a central communications system;

(L) Offer or provide nothing of value to any licensed video gaming location or any agent or representative of any licensed video gaming location as an incentive or inducement to locate, keep or maintain video gaming terminals at the licensed video gaming location;

(M) Not own, manage or control a licensed video gaming location;

(N) Conduct advertising and promotional activities in accordance with the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this chapter and in a manner that does not reflect adversely on or that would discredit or tend to discredit the Illinois gaming industry, the state or the village;

(O) Respond to service calls within a reasonable time from the time of notification by the video gaming location;

(P) Immediately remove all video gaming terminals from the restricted area of play:

(1) Upon order of the Illinois gaming board, the village, an agent of the Illinois gaming board or an agent of the village, or

(2) That have been out of service or otherwise inoperable for more than seventy two (72) hours;

(Q) Provide the Illinois gaming board with a current list of video gaming terminals acquired for use in the village;

(R) Not install, remove or relocate any video gaming terminal in the village without notification and approval of the liquor commissioner or his or her designee;

(S) Maintain a video gaming terminal access log for each video gaming terminal, which must be kept inside the video gaming terminal at all times, documenting all access to the video gaming terminal. The log format shall provide for the time and date of access, the persons who had access, the license number when applicable and the nature of the service or repair made during the access; and

(T) Service, maintain or repair video gaming terminals at licensed video gaming locations only by licensed technicians or licensed terminal handlers.

#### §10-14-11 Duties of Licensed Video Gaming Locations.

In addition to all other duties and obligations required by the Video Gaming Act, the regulations promulgated under the Video Gaming Act, the provisions of this article and of Chapter 11, Article 2 of the Village Code, each licensed video gaming location has an ongoing duty to comply with the following:

(A) Provide secure premises for the placement, operation and play of video gaming terminals;

(B) Permit no one to tamper with or interfere with the approved operation of any video gaming terminal;

(C) Ensure that all connections with the central communications system and associated video gaming equipment are at all times maintained and prevent any person from tampering or interfering with the approved, continuing operation of the central communications system;

(D) Accept nothing of value from any video terminal operator or any agent or representative of any video terminal operator as an incentive or inducement to locate, keep or maintain video gaming terminals at the licensed video gaming location;

(E) Conduct advertising and promotional activities in accordance with the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this chapter and in a manner that does not reflect adversely on or that would discredit or tend to discredit the Illinois gaming industry, the state or the village;

(F) Immediately remove all video gaming terminals from the restricted area of play:

(1) Upon order of the Illinois gaming board, the village, an agent of the Illinois gaming board or an agent of the village, or

(2) That have been out of service or otherwise inoperable for more than seventy two (72) hours;

(G) Enter into a written use agreement with a licensed video terminal operator for the placement of any video gaming terminals, which agreement shall comply with the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this Article;

(H) Ensure that video gaming terminals are placed and remain in a designated, approved location;

(I) Prevent access to or play of video gaming terminals by persons who are under the age of twenty one (21) years or who are visibly intoxicated;

(J) Commit no violations of the laws of this state or the ordinances of the village concerning the sale, dispensing or consumption on premises of alcoholic beverages that result in suspension or revocation of any liquor license held by or associated with a licensed video gaming location;

(K) Maintain at all times an approved method of payout for valid receipt tickets and pay all valid receipt tickets;

(L) Extend no form of deferred payment for video gaming terminal play in which an individual receives something of value now and agrees to repay the lender in the future for the purpose of wagering at a video gaming terminal;

(M) Promptly report all malfunctions of video gaming terminals and all out of service terminals to the video terminal operator and promptly notify the Illinois gaming board of a terminal operator's failure to provide service and repair of video gaming terminals and associated equipment within twenty four (24) hours after notice to the terminal operator;

(N) Install, post and display signs as required by the Illinois gaming board;

(O) Promptly notify the Illinois gaming board and the liquor commissioner of any unauthorized or illegal video gaming terminals or any video gaming device that is in violation of section 35 of the Video Gaming Act;

(P) Exercise control over the licensed video gaming location;

(Q) Promptly notify the Illinois gaming board and the liquor commissioner of any action taken on or related to any state liquor license held;

(R) Allow maintenance and/or service of video gaming terminals and associated video gaming equipment only by licensed technicians and licensed terminal handlers possessing valid identification issued by the Illinois gaming board; and

(S) Redeem for cash a ticket dispensed by a video gaming terminal within its redemption period.

#### §10-14-12 Minimum Standards for Use Agreements.

In addition to the requirements set forth in the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this article, a use agreement must satisfy the following:

(A) Only be between a licensed terminal operator and a licensed video gaming location;

(B) Contain an affirmative statement that no inducement was offered or accepted regarding the placement or operation of video gaming terminals in a licensed video gaming location;

(C) Contain an indemnity and hold harmless provision on behalf of the state, the Illinois gaming board, the village and their officers, employees and agents relative to any cause of action arising from a use agreement;

(D) Prohibit any assignment other than from a licensed terminal operator to another licensed terminal operator; and

(E) Contain a provision that releases the video gaming location from any continuing contractual obligation to the terminal operator in the event that the terminal operator has its license revoked or surrenders its license.

#### §10-14-13 Multiple Types of Licenses Prohibited.

A video gaming terminal operator may not be licensed by the state or the village as a video gaming terminal manufacturer or distributor or own, manage, or control a licensed video gaming location, and shall be licensed only to contract with licensed distributors and licensed video gaming locations. An owner or manager of a licensed video gaming location may not be licensed by the state or the village as a video gaming terminal manufacturer, distributor, or operator, and shall only contract with a licensed operator to place and service this equipment.

#### §10-14-14. Display of Terminal Licenses.

(A) Each video gaming terminal shall be licensed by the Illinois gaming board and by the village before placement or operation on the premises of a licensed video gaming location in the village.

(B) Any terminal operator that possesses any video gaming terminal shall have a registration tag issued by the Illinois gaming board and a video gaming sticker issued by the village securely affixed on each such video gaming terminal.

(C) Any video gaming terminal without a current registration tag and video gaming sticker shall be subject to seizure. Any agent of the village may demand and gain access to any property relating to a licensed video gaming location or any location where video gaming terminals are stored, sold, distributed, or transported, and seize any video gaming terminal which does not bear a current registration tag, video gaming sticker or is operating in a manner that violates any provision of the Video Gaming Act or this article. Such video gaming terminals so seized shall be subject to confiscation and forfeiture. In the event the village seizes video gaming terminals in accordance with this section, the village shall notify the terminal operator of such seizure and of the terminal operator's right to a hearing. The terminal operator shall have the burden at hearing of establishing that the video game terminal displayed a valid registration tag and video gaming sticker and was operating in full compliance with the Video Gaming Act and this article.

(D) No video gaming terminal licensed under this chapter may be played except during the legal hours of operation allowed for the consumption of alcoholic beverages at the licensed video gaming location. A licensed video gaming location that violates this subsection is subject to termination of its license by the liquor commissioner.

#### §10-14-15. Disciplinary Actions against Licensees.

The rules contained in this section shall govern all disciplinary actions against licensees including, but not limited to, suspension and revocation of a terminal operators license or a Class V liquor license.

##### (A) Grounds for Disciplinary Actions.

(1) Holders of any license issued under this chapter shall be subject to imposition of fines, suspension, revocation or restriction of license, or other disciplinary action for any act or failure to act by themselves or by their agents or employees that violates any provision of this chapter, is injurious to the public health, safety, morals, good order and general welfare of the people of the state or the village, or that would discredit or tend to discredit the Illinois video gaming industry, the state or the village. Without limiting the provisions of this subsection (a)(1), the following acts or omissions may be grounds for discipline:



- (a) Failing to comply with or make provision for compliance with the Video Gaming Act, the regulations promulgated under the Video Gaming Act and this chapter, any federal, state or local law or regulation, or a control system or protocol mandated by the Illinois gaming board or the village;
- (b) Failing to comply with any order or ruling of the Illinois gaming board or its agents pertaining to the regulation of video gaming in the state;
- (c) Failing to comply with any order or ruling of the liquor commissioner or the village's officers, employees or agents pertaining to the regulation of video gaming in the village;
- (d) Receiving goods or services from a licensee or other person in violation of the Video Gaming Act's or this chapter's licensing requirements, or in violation of any restriction, condition or prohibition of a license;
- (e) Being suspended or ruled ineligible or having a license revoked or suspended by the Illinois gaming board, the village or in any state or gaming or video gaming jurisdiction;
- (f) Employing, associating with, or participating in any enterprise or business with a documented or identifiable organized crime group or recognized organized crime figure;
- (g) Employing, associating with, or participating in any enterprise or business with persons of notorious or unsavory reputation or who have extensive police records, or who have failed to cooperate with any officially constituted investigatory or administrative body;
- (h) Failing to establish and maintain standards and procedures designed to prevent ineligible or unsuitable persons from being employed by the licensee, including any person known to have been found guilty of cheating or using any improper device in connection with any game or gaming device regulated under the Video Gaming Act or under the law of any gaming jurisdiction;
- (i) Misrepresenting any information to the Illinois gaming board, the liquor commissioner or the village;
- (j) Intentionally making, causing to be made, or aiding, assisting, or procuring another to make any false statement in any report, disclosure, application, permit, form, or any other document, including improperly notarized documents, required by the Video Gaming Act, the regulations promulgated under the Video Gaming Act or this chapter;
- (k) Submitting tardy, inaccurate, or incomplete material or information to the liquor commissioner;
- (l) Obstructing or impeding the lawful activities of the Illinois gaming board or its agents, the liquor commissioner or the village's officers, employees or agents;
- (m) Willfully or repeatedly failing to pay amounts due or to be remitted to the state or the village;
- (n) Failing to timely pay amounts due or to be remitted to the state or the village;
- (o) Failing to timely pay a fine imposed by the Illinois gaming board or the village;
- (p) Failing to respond in a timely manner to communications from the Illinois gaming board or the village;
- (q) Being unavailable to the Illinois gaming board, the village or their representatives or agents;

(r) Aiding and abetting a violation by an Illinois gaming board member, village official or employee, or other government official, of a requirement established by statute, resolution, ordinance, personnel code or code of conduct;

(s) Violation of the Video Gaming Act, the regulations promulgated under the Video Gaming Act or this chapter;

(t) Facilitating, enabling or participating in the use of coin operated amusement devices for gambling purposes on or after December 16, 2009;

(u) Engaging in, or facilitating, any unfair methods of competition or unfair or deceptive acts or practices, including, but not limited to, the use or employment of any deception, fraud, false pretense, false promise or misrepresentation, or the concealment, suppression or omission of any material fact in the conduct of any video gaming operation;

(v) Failing to maintain minimum qualifications for licensure; and

(w) Any cause that, if known by the liquor commissioner, would have disqualified the applicant from receiving a license.

(3) A person who has had his or her license revoked by the liquor commissioner may not reapply for a license.

(B) Notice of Proposed Disciplinary Action against Licensees.

(1) When notified of facts sufficient to support disciplinary action against a licensee, the liquor commissioner shall immediately notify the licensee of the proposed disciplinary action. The notice shall advise the licensee of the following:

(a) A statement of the facts supporting the proposed disciplinary action;

(b) A description of the rule or statutory section the licensee has violated;

(c) A statement or description of the matters asserted and the consequences of the failure to respond; and

(d) The name and mailing address of the village.

(2) The liquor commissioner shall serve the notice of proposed disciplinary action on the licensee by personal service or U.S. certified mail or U.S. regular mail to the last known address of the licensee. Service is complete four (4) days after mailing.

(C) Hearings in Disciplinary Actions:

(1) Should a licensee wish to contest the proposed disciplinary action, the licensee must submit a response to the notice of proposed disciplinary action described in subsection (B) of this section to the liquor commissioner.

(2) All responses shall be in writing and shall include an original and one copy. The response shall contain the following:

(a) The name, current address and current telephone number of the licensee.

(b) A clear and concise statement admitting or denying each of the factual allegations set forth in the notice of proposed disciplinary action, with each admission or denial being shown in separately numbered paragraphs corresponding to the separately numbered paragraphs in the notice of proposed disciplinary action.

(c) For all factual allegations that the licensee denies, a clear and concise statement of facts upon which the licensee relies or will rely on at a hearing.

(d) A signature of the licensee.

(e) A verification of the licensee in the following form:

The undersigned certifies that the statements set forth in this request are true and correct, except as to matters therein stated to be on information and belief and as to

such matters the undersigned certifies as aforesaid that he or she verily believes the same to be true.

(f) The response must be notarized.

(g) The response must be filed within ten (10) days after receipt of the notice of proposed disciplinary action. A response shall be deemed filed on the date on which it is postmarked.

(4) If a response is not filed within ten (10) days after receipt of the notice of proposed disciplinary action then the proposed disciplinary action becomes effective and final immediately.

(5) No response shall be deemed filed if it fails to comply with any of the requirements of this section.

(6) The licensee may submit a response by:

(a) Personal delivery;

(b) Certified mail, postage prepaid; or

(c) Overnight express mail, postage prepaid.

(7) All responses must be submitted to the liquor commissioner at the village's offices.

(8) If a response is properly filed, the liquor commissioner will conduct a hearing.

(D) Appearances.

(1) All licensees may be represented by an attorney who is licensed to practice in Illinois. All attorneys who appear in a representative capacity on behalf of a licensee must file a written appearance setting forth:

(a) The name, address and telephone number of the attorney;

(b) The name and address of the licensee the attorney represents; and

(c) An affirmative statement that the attorney is licensed to practice in Illinois.

(2) Only individual attorneys may file appearances. Any licensee's attorney who has not filed an appearance may not address the liquor commissioner or sign pleadings.

(3) An attorney may only withdraw his or her appearance upon written notice to the liquor commissioner.

(4) An individual may appear on his or her own behalf.

(5) A partner may appear on behalf of a partnership.

(6) A corporation and a limited liability company must be represented by an attorney.

(7) The village will be represented by its corporation counsel.

(E) Proceedings.

The village shall establish the charges contained in the notice of proposed disciplinary action by a preponderance of the evidence.

(F) Evidence.

(1) The hearing need not be conducted according to the technical rules of evidence. Any relevant evidence may be admitted and shall be sufficient in itself to support a finding if it is the sort of evidence on which responsible persons are accustomed to rely in the conduct of serious affairs, regardless of the existence of any common law or statute that might make improper the admission of evidence over objection in a civil action. Hearsay may support a finding of the liquor commissioner if it is the best evidence available, has sufficient indicia of trustworthiness and reliability and is of the type reasonably and customarily relied on in the gaming industry.

(a) If relevant, and not precluded from the hearing by section 6(d) of the Illinois Gambling Act, 230 ILCS 10/6(d), relating to all licensed applicants, the official Illinois gaming board records or certified copies of the records shall be admissible into evidence if the records tend to prove or disprove an allegation contained in the complaint.

(b) Official Illinois gaming board records are documents either prepared by or provided to the Illinois gaming board for the purpose of conducting its regular business.

(c) If relevant and not precluded from the hearing by a statute, regulation or ordinance, official village records or certified copies of the records shall be admissible into evidence.

(d) Official village records are documents either prepared by or provided to the village for the purpose of conducting its regular business.

(2) The parties should, to the fullest extent possible, stipulate to all matters that are not or fairly should not be in dispute.

(3) The parties may make objections to evidentiary offers. When an objection is made, the liquor commissioner may receive the disputed evidence subject to a ruling at a later time.

(4) The liquor commissioner may take official notice of any generally accepted information or technical or scientific matter within the field of video gaming, and any other fact that may be judicially noticed by courts of this state. The parties shall be informed of any information, matter or facts so noticed, including any village staff memoranda or data, and shall be given reasonable opportunity to refute that information.

(G) Prohibition on Ex Parte Communication. No licensee or its representative shall communicate directly or indirectly with the liquor commissioner regarding any pending disciplinary matter, except upon notice to and opportunity for all parties to participate.

(H) Hearing.

(1) Upon conclusion of the hearing the liquor commissioner shall render a written order including written findings of fact and conclusions of law on which the liquor commissioner's decision is based. The findings of fact shall be based exclusively on the evidence and on matters officially noticed.

(2) Copies of the liquor commissioner's final order shall be served on the licensee by personal delivery, certified mail or overnight express mail to licensee's last known address.

(3) The liquor commissioner's final order shall become effective upon personal delivery to the licensee or upon posting by certified or overnight express mail to applicant's last known address.

(I) Sanctions and Penalties.

(1) The liquor commissioner may impose sanctions and penalties if the liquor commissioner finds that a party has acted in bad faith, for the purpose of delay, or has otherwise abused the hearing process. Such sanctions and penalties include, but are not limited to, default judgment or directed finding on one or more issues.

(2) If a licensee fails to testify on his or her own behalf with respect to any question propounded to him or her, the liquor commissioner may infer that such testimony or answer would have been adverse to the licensee's case.

(3) Failure of a licensee to appear at a hearing or scheduled proceeding shall constitute an admission of all matters and facts contained in the complaint. In such cases the liquor commissioner may take action based upon that admission or upon any other evidence, including affidavits, without any further notice to the licensee.

(J) Penalties:

(1) The liquor commissioner may impose fines, suspend, revoke or restrict any license issued under this chapter or impose other disciplinary action for any act or failure to act by the licensee or by the licensee's agents or employees that violates any provision of the Video Gaming Act or the regulations promulgated under the Video Gaming Act or this chapter.

(2) Any person, firm, corporation, partnership, limited liability company, or other entity recognized in law who violates any provision of this chapter for which another penalty is not specifically provided shall be subject to a fine of not less than one hundred fifty dollars (\$150.00) nor more than one thousand five hundred dollars (\$1,500.00). Each and every day that a violation occurs or exists shall constitute a separate and distinct offense for which a fine may be imposed. In addition to the penalties provided herein, the village shall have available to it all remedies in law or in equity or as may be otherwise provided for by the ordinances of the village.

(3) Every gambling device found in a licensed video gaming location in the village operating gambling games in violation of this chapter shall be subject to seizure and confiscation, and shall be turned over to the Illinois gaming board as provided in section 1800.1110 of the Illinois administrative code.

(4) Any village liquor license issued by the liquor commissioner under the provisions Chapter 11 of this code to any operator of a licensed video gaming location that operates or permits the operation of a video gaming terminal within its establishment in violation of this chapter may be immediately revoked.

§11-4-16 State - Local Relations.

(A) Whenever the Village takes any action authorizing or prohibiting the licensing operation, or use of video gaming terminals in the Village it shall notify the Illinois Gaming Board of such action.

(B) Whenever the Village or the Liquor Commissioner takes action relating to the operation or use of a video gaming terminal in the Village, whether licensed or unlicensed, the Illinois Gaming Board shall be notified and the notice shall specify the extent of the action taken and the reasons for the action. The Village and the Liquor Commissioner shall thereupon take whatever action is necessary under the Act. If the Village confiscated video gaming terminals or terminal income, the Village shall, as soon as practicable under the circumstances, turn over the video gaming terminals and terminal income to the Illinois Gaming Board unless otherwise ordered by a court of competent jurisdiction.

§11-4-17 Privilege Granted By License; Transferability.

A license granted under this article shall be purely a personal privilege, good for not to exceed one year after issuance, unless sooner revoked as provided in this chapter, and shall not constitute property, nor shall it be subject to attachment, garnishment or execution, nor shall it be alienable or transferable, voluntarily or involuntarily, or subject

to being encumbered or hypothecated. Such license shall not descend by the laws of testate or intestate devolution, but it shall cease upon the cessation of business or death of the licensee.

§10-14-18 Licenses Subject To Amendments.

All licenses issued pursuant to this chapter shall be subject to any and all changes or amendments that may be hereafter made to the provisions of this chapter or to any rules or changes in rules adopted by the Liquor Commissioner. No licensee shall have any vested right to the continuation of any provision of this chapter.

§10-14-19 Applicability of Illinois Gambling Act.

The provisions of this chapter shall be subject to the Illinois Gambling Act and all rules promulgated thereunder, and to the Video Gaming Act and all rules promulgated thereunder, except that in the event of a conflict between the two (2) Acts, the provisions of the Video Gaming Act shall apply, and in the event of a conflict between the rules promulgated under the two (2) Acts, the rules promulgated under the Video Gaming Act shall apply.

§10-14-20 Judicial Review.

Judicial review of final determinations of the Liquor Commissioner issued after hearings regarding licensure or discipline made under this chapter shall be subject to judicial review, by writ of certiorari.

**SECTION 3:**

The Carol Stream Code of Ordinances, Chapter 11, "Intoxicating Liquors", Article 2, "Alcoholic Liquor Dealers", Section 11-2-7(Q), is hereby amended and as amended shall read as follows:

(Q) Class V license.

(1) A Class V license shall authorize holders of a Class A, Class B, Class F, Class I or Class N license to the operate video gaming devices upon the licensed premises upon receipt of a Video Gaming License issued by the Illinois Gaming Board in accordance with the provisions of the Video Gaming Act, 230 ILCS 40/1 et seq.

(2) Not more than nine (9) Class V licenses shall be issued. The annual fee for such license shall be \$500.00 for each terminal located upon the licensed premises. No more than six (6) video gaming terminals shall be located on any premises issued a Class V license.

(3) No licensee shall permit any video gaming terminal to be located upon its premises unless a valid video terminal operators license has been issued for that terminal and the terminal displays a valid state terminal registration tag and a village video gaming sticker, both of which shall be displayed in a conspicuous place, readily identifiable upon public inspection.

(4) Any denial or revocation of a Video Gaming License Application by the Illinois Gaming Board shall constitute a revocation of a Class V license.

(5) Every establishment issued a Class V license to operate video gaming shall comply with the provisions of the Illinois Video Gaming Act, 230 ILCS 40/1 et seq., and all rules, regulations and restrictions imposed by the Illinois Gaming Board and the provisions of Chapter 10, Article 14 of the Carol Stream Code of ordinances. .

(6) The operation of video gaming terminals shall be not be permitted during the hours alcoholic liquor sales are prohibited as provided in Section 11-2-24 of the Carol Stream Code of Ordinances.

(7) Video gaming shall be located in an area that is restricted to persons over twenty-one (21) years of age. No licensee shall permit any person under the age of twenty-one years to use or play any video gaming terminal.

(8) A Class V Licensee shall notify the Illinois gaming board and the village of any proposed change in ownership or any transaction that requires approval of qualifications in accordance with the video gaming act, the regulations promulgated under the video gaming act or this chapter on forms supplied or approved by the Illinois gaming board and the village and containing such information and documents as specified, and at such time as required, by the Illinois gaming board or the liquor commissioner.

#### **SECTION 4:**

The Carol Stream Code of Ordinances, Chapter 10, "Business Licensing and Regulation", Article 1, "Administration", Section 10-1-19 is hereby amended by adding to the fee schedule:

Article 14 Video Gaming – Terminal Operator: \$500 per video gaming terminal

#### **SECTION 5:**

Those sections, paragraphs, and provisions of the Village of Carol Stream Code of Ordinances which are not expressly amended or repealed by this Ordinance are hereby re-enacted, and it is expressly declared to be the intention of this Ordinance not to repeal or amend any portions of the Carol Stream Code or Ordinances other than those expressly amended or repealed in Sections 1 through 4 of this Ordinance.

#### **SECTION 6:**

The invalidity of any section or provision of this Ordinance hereby passed and approved shall not invalidate other sections or provisions thereof.

#### **SECTION 7:**

The provisions of this Ordinance shall be in full force and effect upon its passage, approval and publication, in accordance with law, provided, however, that the amendment to the licensing requirements as set forth in this Ordinance with respect to existing video gaming locations shall take effect on January 1, 2021. The amendments to the licensing requirements set forth in this Ordinance for any new video gaming location shall take effect immediately.

**ADOPTED BY THE MAYOR AND BOARD OF TRUSTEES** of the Village of Carol Stream, Illinois at a regular meeting thereof held on the \_\_\_\_ day of \_\_\_\_\_, 2020, pursuant to a roll call vote as follows:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**APPROVED** by me this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Mayor

(SEAL)

ATTEST:

\_\_\_\_\_  
Deputy Village Clerk



**AN ORDINANCE AMENDING CHAPTER 16 OF THE MUNICIPAL CODE  
OF THE VILLAGE OF CAROL STREAM  
(ZONING CODE-FUNERAL PARLORS AND CREMATORIES AS SPECIAL USES IN  
THE INDUSTRIAL DISTRICT)**

**BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE  
VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF  
ITS HOME RULE POWERS, as follows:**

**SECTION 1:** That Chapter 16, Article 10, Section 1 of the Carol Stream Zoning Code is hereby amended as follows:

**§ 16-10-1 GENERAL REQUIREMENTS.**

(A) No lot, parcel or tract of land shall be used, and no building or structure shall be erected, altered or remodeled for any of the following uses or uses similar thereto: abattoirs, arsenals, crematories, creosote treatment or manufacture; fat rendering, fertilizer manufacture; fireworks or explosive manufacture or storage; dumping reduction or other processing of garbage, dead animals, offal or refuse, except as customarily incidental to a permitted principal use; ore reduction, petroleum processing or refining, pyroxylin manufacture, natural or synthetic rubber, caoutchouc or gutta percha manufacture or treatment; salt works, sauerkraut manufacture, soap manufacture, shelters; stockyard or slaughter of animals or fowl; tallow, grease or lard manufacture, or treatment; tanning, curing or storage of rawhides or skins; tar distillation or manufacture; or cement, concrete or asphaltic concrete mixing plants.

**SECTION 2:** That Chapter 16, Article 10, Section 2 of the Carol Stream Zoning Code is hereby amended as follows:

**§ 16-10-2 I INDUSTRIAL DISTRICT.**

(B) *Special uses.*

- (1) Automobile laundries;
- (2) Auto service stations;
- (3) Building material sales and storage;
- (4) Buildings or structures exceeding 50 feet in height;
- (5) Cartage, express and parcel establishments;
- (6) Contractor's office and shops;
- (7) Garages and parking lots for motor vehicles not incidental to a permitted use;
- (8) Greenhouses and nurseries;
- (9) Medical and rehabilitation facility;
- (10) Mini-warehouses. Special conditions are as follows:
  - (a) Floor area ratio not more than 0.5;
  - (b) Aisle width not less than 28 feet;
  - (c) Prohibited storage items or uses:
    1. Flammable liquids;
    2. Highly combustible or explosive materials;
    3. Hazardous chemicals;
    4. Garage sales;

5. Retail business activities;
6. Servicing or repair of motor vehicles and equipment; and
7. Outside storage of any kind.

(d) A minimum of two points of ingress and egress shall be provided to a mini-warehouse site;

(e) Multiple buildings are allowed; and

(f) An on-site manager office/living quarters is allowed.

(11) Motor freight terminals;

(12) Motor vehicle and equipment sales and service;

(13) Municipal or privately owned recreation building;

(14) Outdoor activities and operations;

(15) Planned unit development, in accordance with provisions of Art. 16 of this

Zoning Code;

(16) Public open space;

(17) Public service and utility uses;

(18) Radio and television towers;

(19) Restaurants, including the sale of liquor in conjunction therewith;

(20) Retail sales as an ancillary use to the principal industrial use; provided that, a parking ratio of 1:250 square feet of floor area is established for each use;

(21) Meat processing, packaging, storage and warehousing;

(22) Union halls and training facilities;

(23) Dance studios;

(24) Equipment and machinery rental operations;

(25) Towing operation, including a screened, temporary outdoor vehicle storage area;

(26) Medical cannabis cultivation center;

(27) Funeral Parlor;

(28) Crematory.

**SECTION 3:** That Chapter 16, Article 18, Section 1 of the Carol Stream Zoning Code is hereby amended as follows:

### **§ 16-18-1 DEFINITIONS**

*CREMATION SERVICES.* A portion of a funeral home, as an accessory use, or crematory, as a primary use, used for the act of performing human cremation in compliance with state and federal regulations. The act of cremation must take place within the principal structure.

*CREMATORY.* An establishment whose primary use is performing the act of cremation in compliance with the state and federal regulations.

*FUNERAL PARLOR.* A building, or portion thereof, used for the preparation of the deceased for burial and for the display of deceased and ceremonies connected therewith prior to burial or cremation.

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF SEPTEMBER, 2020.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr. Mayor

ATTEST:

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Sherry Craig, Deputy Village Clerk

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A FUNERAL PARLOR AND CREMATORY IN THE INDUSTRIAL DISTRICT, AND ZONING CODE VARIATIONS (HULTGREN FUNERAL HOME, 565 RANDY ROAD)**

**WHEREAS**, Tim Hultgren with Hultgren Funeral Home, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for a Funeral Home and Crematory in the Industrial District, as provided in Section 16-10-2 (B) of the Carol Stream Code of Ordinances, a Variation to reduce the required width of a maneuvering lane as provided in Section 16-13-2(E)(8) of the Carol Stream Code of Ordinances, and a Variation to continue with the use of a nonconforming structure as provided in Section 16-14-3 (B) of the Carol Stream Code of Ordinances, on the property legally described in Section 3 herein and commonly known as 565 Randy Road, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on September 14, 2020 following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permit and Variations be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit and Variations with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permit, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *While the proposed funeral home and crematory use will be distinctive as compared to other industrial, manufacturing, and office uses in the Industrial District, the submitted narrative and supplemental information illustrate that the use will provide a public convenience at the location and bring an additional business and service to the community.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The proposed funeral parlor and crematory should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *Hours of operation for the proposed*

*funeral parlor and crematory will be slightly different than other businesses in the industrial park, and staff has witnessed the usage of the cremation equipment at another crematory and observed no clearly discernable smoke or odors. Likewise, if the applicant utilizes Police services to assist with traffic control during funeral processions, there should be no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood with the approval of the funeral parlor and crematory at this location.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The proposed funeral parlor and crematory should not have an impact on the normal and orderly development and improvement of uses within the industrial park.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are already in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The project is expected to conform to all applicable codes and requirements.*

## **SECTION 2:**

The Mayor and Board of Trustees of the Village, after examining the Variation requests, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the requested Variations:

1. That the property in question, other than a single-family residential lot, cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located. *While the expanded drive aisle will still be narrower than required by Code, the expansion from 18 feet to 20 feet will improve upon the existing condition and create a safer traffic flow.*
2. The plight of the owner is due to unique circumstances. *The property was developed with a narrower drive aisle than normally allowed per Code, and the petitioner is trying to diminish the nonconformity by expanding the drive aisle width by two feet.*
3. The variations, if granted, will not alter the essential character of the locality. *If the variations are granted, they will reduce a nonconformity on the property and provide a wider drive aisle for traffic on the property, thereby not altering the essential character of the locality.*
4. That the plight of the owner is due to the failure of a previous owner of the property in question to follow then-applicable ordinances or regulations, and where the benefit to health, safety or appearance to be derived from correcting the nonconformity would not justify the cost or difficulty of the correction. The

evidence must show that the current owner had no role in the creation of the nonconformity. *The petitioner had no role in the creation of the nonconformity.*

5. That the particular physical surroundings, shape, or topographical conditions of the specific property involved bring a particular hardship upon the owner as distinguished from a mere inconvenience. *There is limited space between the building and the east property line to expand the drive aisle in order to meet the required 24-foot width dimension, but the additional two feet will allow for better two-way traffic.*
6. The conditions upon which the petition for the variations are based would not be applicable generally to other property within the same district. *It is not common for a property to have nonconforming drive aisles, and the petitioner is proposing to widen the drive aisle an additional two feet for safer two-way traffic.*
7. The granting of the variations will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located. *If granted, the variations will not be detrimental to the public welfare or injurious to surrounding property owners.*

**SECTION 3:**

The Special Use Permit and Variations, as set forth in the above recitals, are hereby approved and granted to Hultgren Funeral Home subject to the conditions set forth in Section 4, upon the real estate commonly known as 565 Randy Road, Carol Stream, Illinois, and legally described as follows:

LOT 2 IN NARCO 11<sup>TH</sup> INDUSTRIAL SUBDIVISION OF PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 25, 1978 AS DOCUMENT R78-117163, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 4:**

The approval of the Special Use Permit and Variations granted in Sections 1 and 2 herein are subject to the following conditions:

1. That a permit shall be required for the site work, including the parking lot expansion, drive aisle expansion, walkway installation, and front driveway work, that permit drawings shall include Best Management Practices and other stormwater requirements if deemed necessary according to the DuPage County Stormwater Ordinance, and that said site work shall be completed prior to the issuance of a certificate of occupancy;
2. That parking spaces must be striped in accordance with the Village's looped striping detail;

3. That the Carol Stream Police Department shall be contacted prior to any funeral processions to aid with traffic control on Randy Road and Schmale Road;
4. That should there be any noticeable smoke, odors, vapors, or any other impacts on surrounding properties from the on-site cremation equipment, the applicant shall remedy the impact immediately in consultation with the Village of Carol Stream; and
5. That the site must be maintained and the facility must be operated in accordance with all State, County and Village codes and regulations.

**SECTION 5:**

The Special Use Permit and Variations are hereby approved and granted as set forth in the following plans and exhibits:

1. Site Plan (Exhibit A, received by the Community Development Department September 2, 2020).
2. Floor Plan (Exhibit B, received by the Community Development Department September 2, 2020).

**SECTION 6:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 7:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF SEPTEMBER, 2020.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr. Mayor

ATTEST:

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Sherry Craig, Deputy Village Clerk



I, Tim Hultgren, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. Hultgren Funeral Home further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

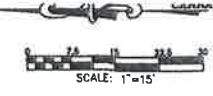
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Date

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Owner/Party In Interest

LOT 2 IN MARCO 11th INDUSTRIAL SUBDIVISION OF PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 25, 1978 AS DOCUMENT R78-80531 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 7, 1978 AS DOCUMENT R78-117163, IN DU PAGE COUNTY, ILLINOIS.



- CURB INLET
- FLARED END SECTION
- WATER VALVE VAULT
- ⊕ FIRE HYDRANT
- UTILITY MANHOLE
- UTILITY STRUCTURE
- ▽ TRAFFIC SIGNAL
- ▽ SIGN
- POWER POLE

RECEIVED  
SEP 02 2020  
COMMUNITY DEVELOPMENT  
DEPT

ANGLE ON THE NORTHEAST CORNER OF THE SITE IS 90°16'40" (RECORD & MEASURE)

ANGLE ON THE SOUTHEAST CORNER OF THE SITE IS 90°00'00" (RECORD & MEASURE)

ANGLE ON THE NORTHWEST CORNER OF THE SITE IS 89°43'20" (RECORD & MEASURE)

ANGLE ON THE SOUTHWEST CORNER OF THE SITE IS 90°00'00" (RECORD & MEASURE)

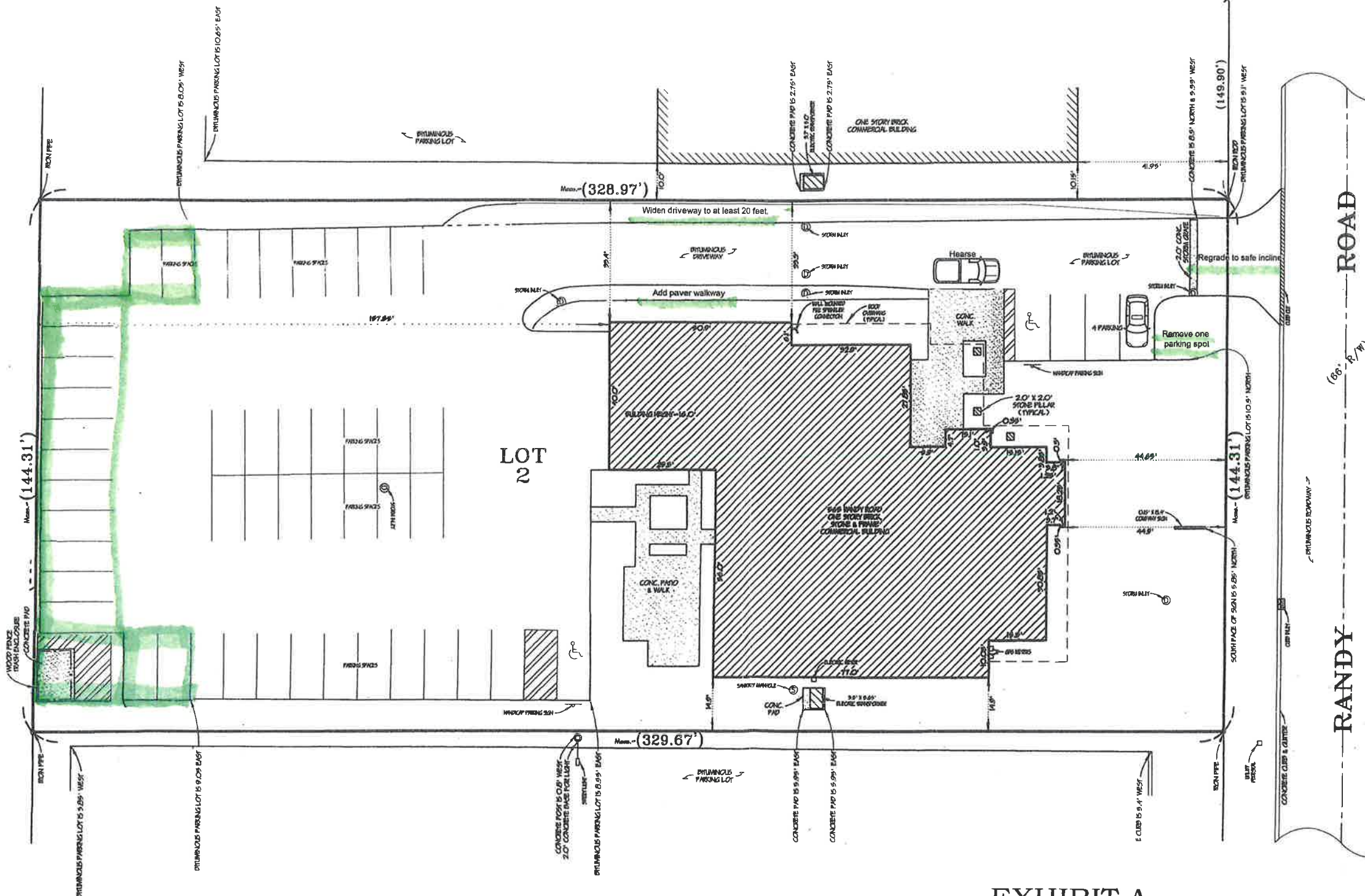


EXHIBIT A

Ordered By:  
Butler Products Corporation  
1550 N. Northwest Highway Suite 1080  
Park Ridge, Illinois 60068  
(708) 641-8734

**FLOOD CERTIFICATION**  
THIS IS TO CERTIFY THAT AS OF THE DATE, NO PORTION OF THE ABOVE DESCRIBED PROPERTY IS LOCATED IN A DESIGNATED SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE LATEST FLOOD INSURANCE DATA MAP ON FILE, AS FAR AS CAN BE DETERMINED.

STATE OF ILLINOIS  
COUNTY OF DU PAGE  
CERTIFIED TO: MIDWEST PROPERTY SERVICES, LLC  
FOURTH AMERICAN TITLE INSURANCE COMPANY



THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 1911 ILLINOIS SURVEYING ACT, AND THE SURVEYOR HAS BEEN DULY LICENSED AND REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS. ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.

BEFORE AND CALLED AT WHEATON, ILLINOIS THIS 22nd DAY OF JANUARY, A.D. 2020.  
BY: *Allen D. Carradus* ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 02-0001.  
MY LICENSE EXPIRES NOVEMBER 04, 2024.

FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT NO. 1873386  
DATED JUNE 14, 2007 WAS USED  
IN PREPARATION OF THIS PLAT.

AREA OF SITE - 47,524.17 SQ. FT.  
AREA OF BUILDING - 8,561.74 SQ. FT.

- NOTES**
- All distances shown hereon are in feet and decimal parts thereof corrected to 68° F. Distances shown along curved lines are Arc Measurements unless otherwise noted.
  - Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
  - Consult local authorities for additional setbacks and restrictions not shown hereon.
  - Compare all survey points and report any discrepancies immediately.
  - Consult utility companies and municipalities prior to the start of any construction.
  - Dimensions to and along buildings are exterior foundation measurements.
  - Do Not Assume distances from isolated measurements made hereon.

Date of Field Work	01/28/15	Drawn By	CMC
Scale	1" = 15'	Checked By	EAC
Fig No. Pp.	48-00	Approved	ADC
Date		Revised	
Prepared For:		BUTLER PRODUCTS CORPORATION	
Prepared By:		ALLEN D. CARRADUS AND ASSOCIATES	
100 W. Liberty Drive, Wheaton, Illinois 60167		(630) 688-0416 (FAX) 603-7882	
Sheet	1		of 1
Project #	26765-ALT		

RECEIVED  
SEP 02 2020  
COMMUNITY DEVELOPMENT  
DEPT

PATIO AREA

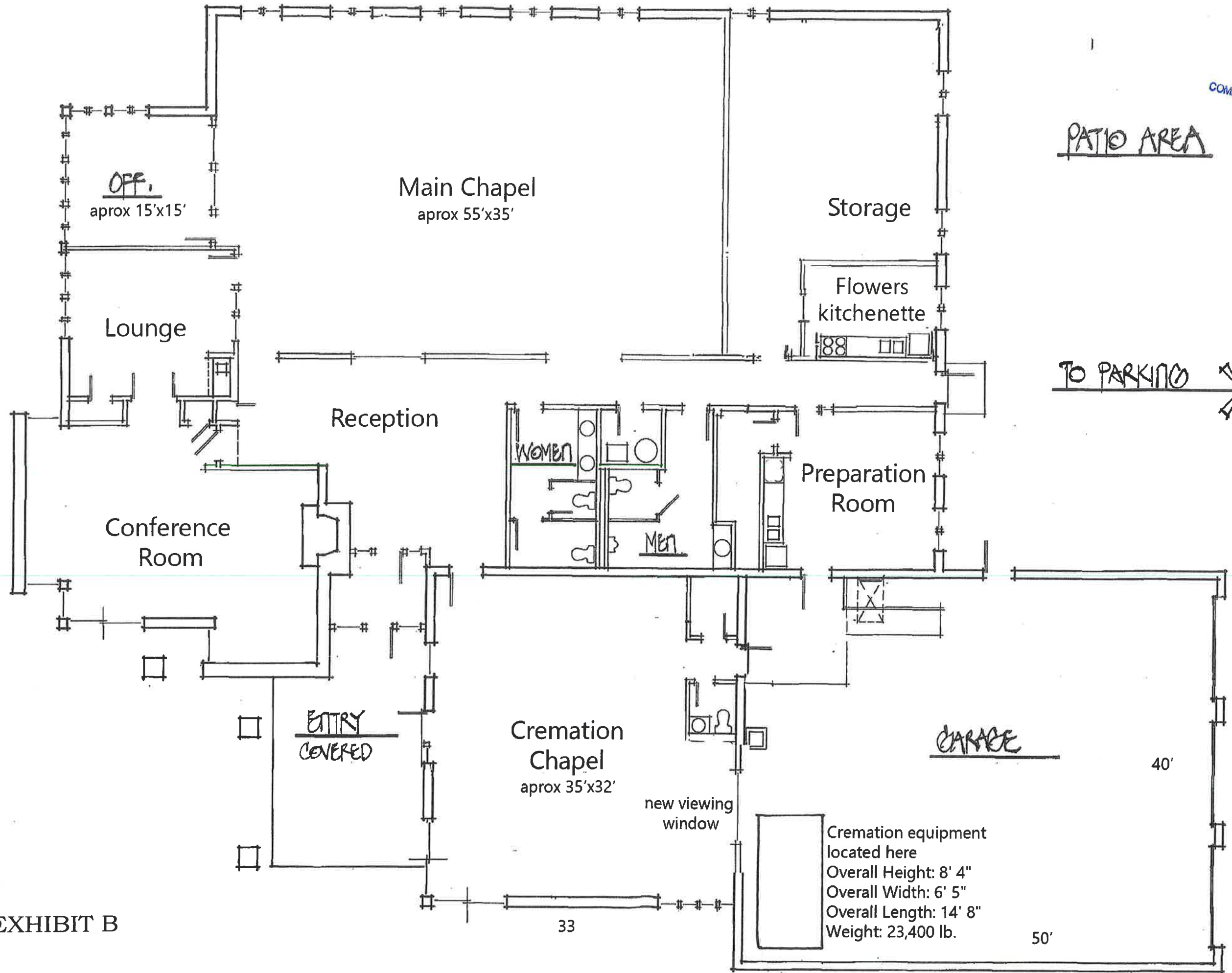


EXHIBIT B

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR MOTOR VEHICLE SERVICE AND A SPECIAL USE PERMIT TO ALLOW FOR OUTDOOR ACTIVITIES AND OPERATIONS IN THE FORM OF THE STORAGE OF TRUCKS AND TRAILERS (TOM'S TRANSPORTATION, INC., 445-449 RANDY ROAD)**

**WHEREAS**, Tom Gorski of Tom's Transportation, Inc., hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for Motor Vehicle Service, as provided in Section 16-10-2 (B)(12) of the Carol Stream Code of Ordinances, and a Special Use Permit to allow for outdoor activities and operations in the form of the storage of trucks and trailers, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances, on the property legally described in Section 2 herein and commonly known as 445-449 Randy Road, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on September 14, 2020, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permits be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permits with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permits, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Permits:

1. Are deemed necessary for the public convenience at the location. *Tom's Transportation is relocating and expanding its business onto a Carol Stream property, which can be viewed as beneficial to the public.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *Since the storage area is proposed to be screened by fencing and the building itself, this lot and outdoor activity should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Likewise, the truck repair service shall be conducted completely within the buildings.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *Other properties within the Industrial District have received Special Use approval for outdoor activities and operations, and*

*also service motor vehicles and trucks, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding industrial properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding industrial properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are already in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The project is expected to conform to all applicable codes and requirements.*

**SECTION 2:**

The Special Use Permits, as set forth in the above recitals, are hereby approved and granted to Tom's Transportation, Inc., subject to the conditions set forth in Section 3, upon the real estate commonly known as 445-449 Randy Road, Carol Stream, Illinois, and legally described as follows:

THAT PART OF THE EAST 350 FEET OF THE WEST 1191 FEET (AS MEASURED ALONG THE NORTH LINE OF RANDY ROAD AS PER DOCUMENT R71-23758 AND ITS WESTERLY EXTENSION) OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 600 FEET SOUTH (AS MEASURED AT RIGHT ANGLES OF AND PARALLEL WITH THE SOUTH LINE OF KEHOE BOULEVARD AS PER DOCUMENT R69-39794) AND LYING NORTH OF THE NORTH LINE OF RANDY ROAD, AFORESAID, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Permits granted in Section 1 herein are subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;

3. That the landscape plan shall be amended to include the following revisions:
  - a. That landscaping in parking lot islands shall include at least one shade tree and ground cover, along with Boxwoods;
4. That trucks shall not be allowed to back into the property from Randy Road;
5. That only automobiles shall park in parking spaces designated for automobiles, and trucks shall park in parking spaces designated for trucks, as depicted on the site plan;
6. That trucks and trailers shall be parked in parking spaces only and not block access nor be parked in drive aisles, in between the buildings, or on grass or gravel areas;
7. That all maintenance work shall occur inside the buildings, and not within the parking areas, and any disabled trucks or trailers shall not be stored on the property;
8. That sleeping in trailers, cabs, or in the buildings shall not be allowed;
9. That only trailers and trucks shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed to be stored;
10. That parking spaces must be striped in accordance with the Village's looped striping detail; and
11. That the site must be maintained and the facility must be operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Special Use Permits are hereby approved and granted as set forth in the following plans and exhibits:

1. Site Plan (Exhibit A, dated August 27, 2020) prepared by Bono Consulting, Inc., 1018 Busse Highway, Park Ridge, Illinois, 60068.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permits after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF SEPTEMBER, 2020.

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr. Mayor

ATTEST:

\_\_\_\_\_  
Sherry Craig, Deputy Village Clerk

I, Tom Gorski, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permits. Tom's Transportation, Inc., further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

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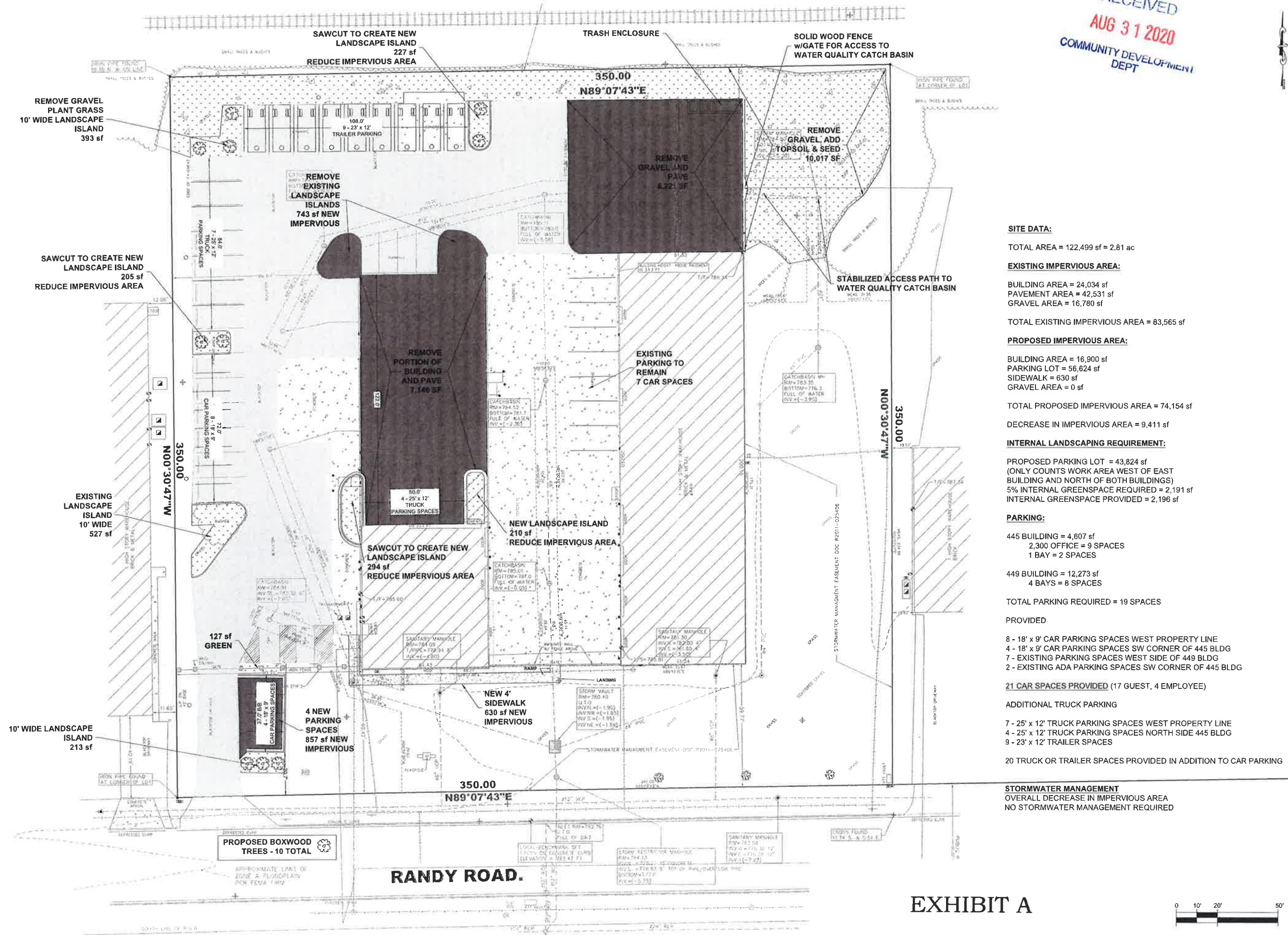
Date

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Owner/Party In Interest



RECEIVED  
AUG 31 2020  
COMMUNITY DEVELOPMENT  
DEPT



**SITE DATA:**  
TOTAL AREA = 122,499 sf = 2.81 ac

**EXISTING IMPERVIOUS AREA:**  
BUILDING AREA = 24,034 sf  
PAVEMENT AREA = 42,531 sf  
GRAVEL AREA = 16,780 sf  
TOTAL EXISTING IMPERVIOUS AREA = 83,565 sf

**PROPOSED IMPERVIOUS AREA:**  
BUILDING AREA = 16,900 sf  
PARKING LOT = 56,624 sf  
SIDEWALK = 630 sf  
GRAVEL AREA = 0 sf  
TOTAL PROPOSED IMPERVIOUS AREA = 74,154 sf  
DECREASE IN IMPERVIOUS AREA = 9,411 sf

**INTERNAL LANDSCAPING REQUIREMENT:**  
PROPOSED PARKING LOT = 43,824 sf  
(ONLY COUNTS WORK AREA WEST OF EAST BUILDING AND NORTH OF BOTH BUILDINGS)  
5% INTERNAL GREENSPACE REQUIRED = 2,191 sf  
INTERNAL GREENSPACE PROVIDED = 2,196 sf

**PARKING:**  
445 BUILDING = 4,607 sf  
2,300 OFFICE = 9 SPACES  
1 BAY = 2 SPACES  
449 BUILDING = 12,273 sf  
4 BAYS = 8 SPACES  
TOTAL PARKING REQUIRED = 19 SPACES  
PROVIDED  
8 - 18' x 9' CAR PARKING SPACES WEST PROPERTY LINE  
4 - 18' x 9' CAR PARKING SPACES SW CORNER OF 445 BLDG  
7 - EXISTING PARKING SPACES WEST SIDE OF 449 BLDG  
2 - EXISTING ADA PARKING SPACES SW CORNER OF 445 BLDG  
21 CAR SPACES PROVIDED (17 GUEST, 4 EMPLOYEE)  
ADDITIONAL TRUCK PARKING  
7 - 25' x 12' TRUCK PARKING SPACES WEST PROPERTY LINE  
4 - 25' x 12' TRUCK PARKING SPACES NORTH SIDE 445 BLDG  
9 - 23' x 12' TRAILER SPACES  
20 TRUCK OR TRAILER SPACES PROVIDED IN ADDITION TO CAR PARKING

**STORMWATER MANAGEMENT**  
OVERALL DECREASE IN IMPERVIOUS AREA  
NO STORMWATER MANAGEMENT REQUIRED

DATE	REVISIONS
11/12/2019	CONCEPT MEETING
12/03/2019	UPDATED PER OWNER MEETING
12/03/2019	UPDATED PARKING REQUIREMENTS
02/27/2020	NEW DETAIL PLAN
04/02/2020	UPDATES PER CLIENT AND PERMITS
06/23/2020	ADDED TREE SCHEDULE PLANING
08/17/2020	

**BCI**  
BONO CONSULTING, INC.  
CIVIL ENGINEERS  
1546 BRUSSE HIGHWAY  
PARK RIDGE, IL 60068  
TEL: (847) 952-3300  
FAX: (847) 952-3300  
bbono@bonoconsulting.com

**SITE PLAN**  
445 & 449 RANDY ROAD  
CAROL STREAM

PROJECT NO.: 19427  
BASE FILE:  
SHEET FILE:  
ISSUE DATE: DEC 9, 2019  
SCALE: 1"=20'-0"  
SHEET NUMBER  
**C-1**

EXHIBIT A



**ORDINANCE NO. 2020-\_\_ -\_\_**

**AN ORDINANCE APPROVING AN AMENDMENT TO A SPECIAL USE PERMIT FOR A TOTAL SENIOR LIFE CARE FACILITY (COVENANT LIVING AT WINDSOR PARK - 124 WINDSOR PARK DRIVE)**

**WHEREAS**, Randy Gross of Covenant Living Communities and Services, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for an Amendment to a Special Use Permit for a Total Senior Life Care Facility in accordance with Section 16-9-5 (C)(3) of the Carol Stream Code of Ordinances; on the property legally described in Section 2 herein and commonly known as 124 Windsor Park Drive, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on September 14, 2020, following proper legal notice of said public hearing, after which the Combined Plan Commission/Zoning Board of Appeals recommended to the Mayor and Board of Trustees of the Village that the Special Use Amendment be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Amendment with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Amendment, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Amendment:

1. Is deemed necessary for the public convenience at the location. *The proposed building addition will provide additional housing and services for residents of Windsor Park.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The building addition and parking lot reconfiguration will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare, and has been designed in a safe and efficient manner.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The proposed addition should not be injurious to the use and enjoyment of other properties in the immediate vicinity for*

*the purposes already permitted, nor diminish or impair property values within the area.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Since most surrounding properties are already developed, there should be no impact on the normal and orderly development and improvement of surrounding properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Utilities, access roads, drainage and other public improvements will be upgraded to improve upon systems already in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The project is expected to conform to all applicable codes and requirements.*

**SECTION 2:**

The Special Use Amendment, as set forth in the above recitals, are hereby approved and granted to Covenant Living at Windsor Park, subject to the conditions set forth in Section 3, upon the real estate commonly known as 124 Windsor Park Drive, Carol Stream, Illinois, and legally described as follows:

LOT 1 IN THE ESTATES OF WINDSOR PARK, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 31; AND THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 32, IN TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE NORTHWEST 1/4 OF SECTION 5 AND PART OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 22, 2003 AS DOCUMENT NO. R2003-024841, AS CORRECTED BY CERTIFICATE RECORDED FEBRUARY 12, 2003 AS DOCUMENT NO. R2003-057210, AND AS CORRECTED BY CERTIFICATE RECORDED SEPTEMBER 3, 2004 AS DOCUMENTS NO. R2004-234108, ALL IN DU PAGE COUNTY, ILLINOIS.

EXCEPT FROM SAID LOT 1 THOSE TWO PARTS THEREOF DEDICATED FOR RIGHT OF WAY PURPOSES BY PLAT OF DEDICATION RECORDED NOVEMBER 13, 2009 AS DOCUMENT NO. R2009-171791 DESCRIBED AS FOLLOWS:

1. BEGINNING AT THE INTERSECTION OF THE WEST LINE OF WINDSOR PARK DRIVE AND THE SOUTH LINE OF NORTH AVENUE, ILLINOIS ROUTE 64 (THE FOLLOWING 2 COURSES ARE ALONG THE WEST LINE OF SAID WINDSOR PARK DRIVE); THENCE SOUTH 08 DEGREES 53 MINUTES 18 SECONDS WEST, 84.42 FEET; THENCE SOUTHERLY, TANGENT TO THE LAST DESCRIBED COURSE, 68.06 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 201.50 FEET, THE CHORD OF SAID CURVE BEARING SOUTH 00 DEGREES 47 MINUTES 15 SECONDS EAST; THENCE NORTH 20 DEGREES 29 MINUTES 12 SECONDS WEST, 15.33 FEET; THENCE NORTH 00 DEGREES 40 MINUTES 32 SECONDS WEST, 82.46 FEET; THENCE NORTH 01 DEGREES 26 MINUTES 21

SECONDS WEST, 32.46 FEET; THENCE NORTH 17 DEGREES 20 MINUTES 44 SECONDS WEST, 27.41 FEET TO THE SOUTH LINE OF NORTH AVENUE (ILLINOIS ROUTE 64); THENCE SOUTH 81 DEGREES 06 MINUTES 42 SECONDS EAST, 27.77 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING, IN DUPAGE COUNTY ILLINOIS.

2. BEGINNING AT THE INTERSECTION OF THE EAST LINE OF WINDSOR PARK DRIVE AND THE SOUTH LINE OF NORTH AVENUE, ILLINOIS ROUTE 64; THENCE SOUTH 81 DEGREES 06 MINUTES 42 SECONDS EAST, 10.00 FEET ALONG THE SOUTH LINE OF NORTH AVENUE (ILLINOIS ROUTE 64); THENCE SOUTH 53 DEGREES 53 MINUTES 18 SECONDS WEST, 14.14 FEET TO THE EAST LINE OF SAID WINDSOR PARK DRIVE; THENCE NORTH 08 DEGREES 53 MINUTES 18 SECONDS EAST, 10.00 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Amendment granted in Section 1 herein is subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits, and that the northwest corner of the proposed parking lot be reconfigured to better align with the drive aisle to the west, which may result in the loss of a couple of parking spaces;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That parking spaces must be striped in accordance with the Village's looped striping detail; and
4. That the site must be maintained and the facility must be operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Special Use Amendment is hereby approved and granted as set forth in the following plans and exhibits:

1. Overall Dimensional Control & Paving Plan (Exhibit A, received by the Community Development Department August 27, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.

2. Northwest Dimensional Control & Paving Plan (Exhibit B, received by the Community Development Department August 27, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
3. Northeast Dimensional Control & Paving Plan (Exhibit C, received by the Community Development Department August 27, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
4. South Dimensional Control & Paving Plan (Exhibit D, received by the Community Development Department August 27, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
5. Existing Architectural Site Plan (Exhibit E, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
6. Architectural Site Plan (Exhibit F, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
7. Overall First Floor Plan (Exhibit G-1, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
8. Overall Second Floor Plan (Exhibit G-2, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
9. Existing Exterior Elevations (Exhibit H-1, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
10. Exterior Elevations (Exhibit H-2, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
11. Exterior Elevations - Courtyard (Exhibit H-3, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
12. Overall Planting Plan (Exhibit I-1, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.
13. Planting Plans and Notes (Exhibits I-2 through I-6, received by the Community Development Department July 28, 2020), prepared by THW Design, 2100 RiverEdge Parkway, Suite 900, Atlanta, GA, 30328.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF SEPTEMBER, 2020.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr. Mayor

ATTEST:

---

Sherry Craig, Deputy Village Clerk

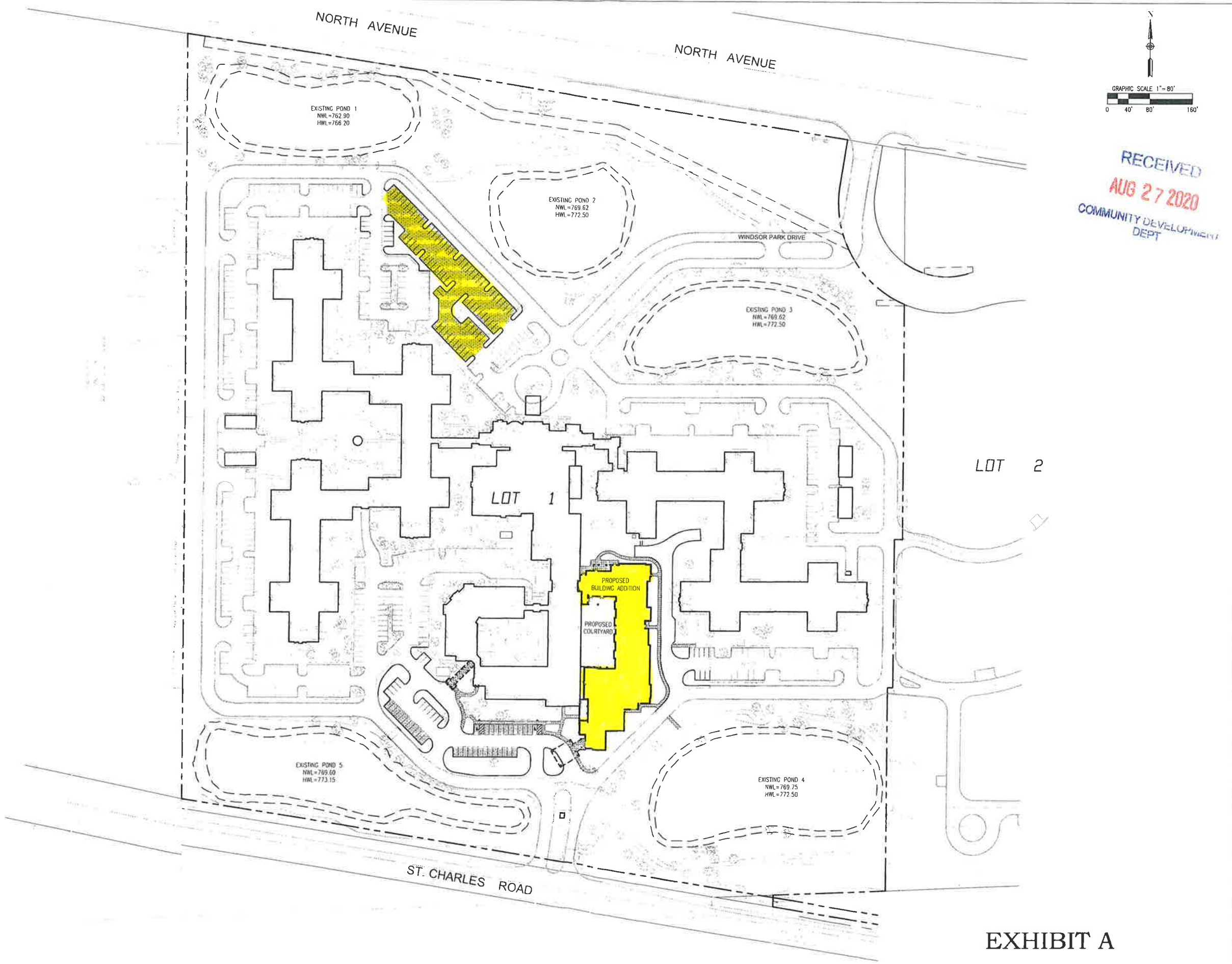
Covenant Living Communities and Services, being the owner and/or party in interest of the Subject Property legally described in this ordinance, and its successors and assigns do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. Covenant Living Communities and Services, its successors and assigns, further agree to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

---

Date

---

Owner/Party In Interest



NO.	DATE	DESCRIPTION
1	08/27/20	SU RESPONSE

RECEIVED  
 AUG 27 2020  
 COMMUNITY DEVELOPMENT  
 DEPT

COVENANT AT WINDSOR PARK  
 ADVANCED SITE PACKAGE  
 124 WINDSOR PARK DRIVE  
 CAROL STREAM, ILLINOIS 60188



**THW**  
 DESIGN

COPYRIGHT © 2017  
 THOMPSON HANCOCK WITTE &  
 ASSOCIATES, INC.

2100 RiverEdge Parkway  
 Suite 900  
 Atlanta, GA 30328

2632 Broadway Street  
 Suite 201, South Building  
 San Antonio, TX 78215

PH: 770 916 2220  
 FAX: 770 916 2299

www.thw.com

PERMIT SET

Project No.: 2019014/C267m  
 Date: 05/01/2020

**DIMENSIONAL  
 CONTROL &  
 PAVING PLAN -  
 OVERALL**

1" = 80'

C-300

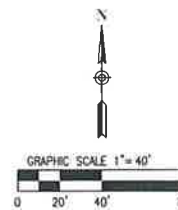
**EXHIBIT A**



NORTH AVENUE

RECEIVED  
AUG 27 2020

COMMUNITY DEVELOPMENT  
DEPT



NO	DATE	DESCRIPTION
1	08/27/20	SU RESPONSE

GEOMETRIC NOTES

- 1) ALL DIMENSIONS ARE FROM BACK OF CURB OR OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- 2) CURB AND GUTTER DENOTED BY:
- 3) ALL RADII ARE 4-FT UNLESS NOTED OTHERWISE.
- 4) ALL PAVEMENT MARKINGS SHALL BE 4" PAINT CONFORMING TO MUNICIPAL STANDARDS, UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR IN THE DETAILS.
- 5) THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
- 6) ALL SIDEWALKS INTERSECTING WITH CURB SHALL BE CONSTRUCTED WITH HANDICAP RAMPS.
- 7) PROPOSED STAIR AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 8) CONSTRUCTION JOINTS SHALL BE PLACED WHERE REQUIRED IN ACCORDANCE WITH ACI 309 GUIDE (LATEST EDITION) FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.

PAVEMENT NOTES

- 1) ANY REQUIRED SUBGRADE REMEDIATION SHALL BE PER THE RECOMMENDATION OF THE ON-SITE SOILS/MATERIALS ENGINEER OR ON-SITE ENGINEER.
- 2) SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PAVEMENT SECTION PLACEMENT.

PAVEMENT LEGEND

- ASPHALT PAVEMENT  
2.0" SURFACE COURSE, MIX "D", HSD W/ TACK COAT  
2.25" HMA BINDER COURSE, L-19, HSD W/ PRIME COAT  
8.0" CA-6 BASE COURSE (COMPACTED)
- SIDEWALK PAVEMENT  
5.0" PCC PAVEMENT (4,000 PSI UNREINFORCED BROOM FINISH)  
4.0" CA-6 BASE COURSE  
CONTRACTION JOINTS @ 5' C-C  
EXPANSION JOINTS @ 50' C-C
- PERMEABLE INTERLOCKING CONCRETE PAVERS  
3.125" PERMEABLE PAVERS\*  
1.50" CA-16 PERMEABLE SETTING BED AGGREGATE  
6" CA-7 PERMEABLE BASE AGGREGATE (3% AGGREGATE, NO FINES)  
8" CA-1 PERMEABLE SUBBASE AGGREGATE (3% AGGREGATE, NO FINES)  
GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL)  
3" INFILTRATION MATERIAL (SCARIFIED SUBGRADE MIXED WITH SAND)  
\*PERMEABLE PAVERS SHALL BE UNLOCK ECO-OPTILOC (OR APPROVED EQUAL) FOR FIELD PATTERN AND ECO-PRIORA (OR APPROVED EQUAL) AS A SOLDIER COURSE BORDER. CONTRACTOR SHALL COORDINATE COLOR AND PATTERN OF PROPOSED PAVERS WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.

PARKING SUMMARY

- EXISTING CONDITIONS:
- REGULAR PARKING SPACES=485
  - BUS PARKING SPACES=2
  - ADA SPACES=18
  - "15 MINUTE PARKING" SPACES=3
  - GARAGE SPACES=20
  - TOTAL PARKING SPACES=528

- PROPOSED CONDITIONS:
- REGULAR PARKING SPACES=512
  - BUS PARKING SPACES=2
  - ADA SPACES=14
  - "15 MINUTE PARKING" SPACES=3
  - GARAGE SPACES=20
  - TOTAL PARKING SPACES=551

TOTAL PARKING SPACES REQUIRED (PER VILLAGE OF CAROL STREAM)=543

ADA SPACES REQUIRED (2% OF TOTAL)=12

ADA SPACES PROVIDED=14

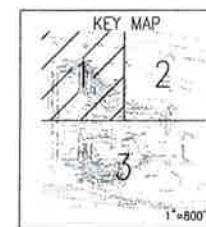


EXHIBIT B

COVENANT AT WINDSOR PARK  
ADVANCED SITE PACKAGE  
124 WINDSOR PARK DRIVE  
CAROL STREAM, ILLINOIS 60188



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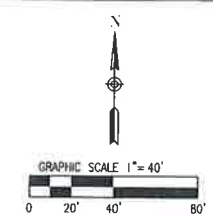
PERMIT SET

Project No.: 2019014/C267m  
Date: 05/01/2020

DIMENSIONAL  
CONTROL &  
PAVING PLAN -  
NORTHWEST

1" = 40'

C-301



REFER TO DIMENSIONAL CONTROL & PAVING PLAN (SHEET C-301) FOR GEOMETRY NOTES, PAVEMENT NOTES & PAVEMENT LEGEND

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NO.	DATE	DESCRIPTION
1	08/27/20	SU RESPONSE

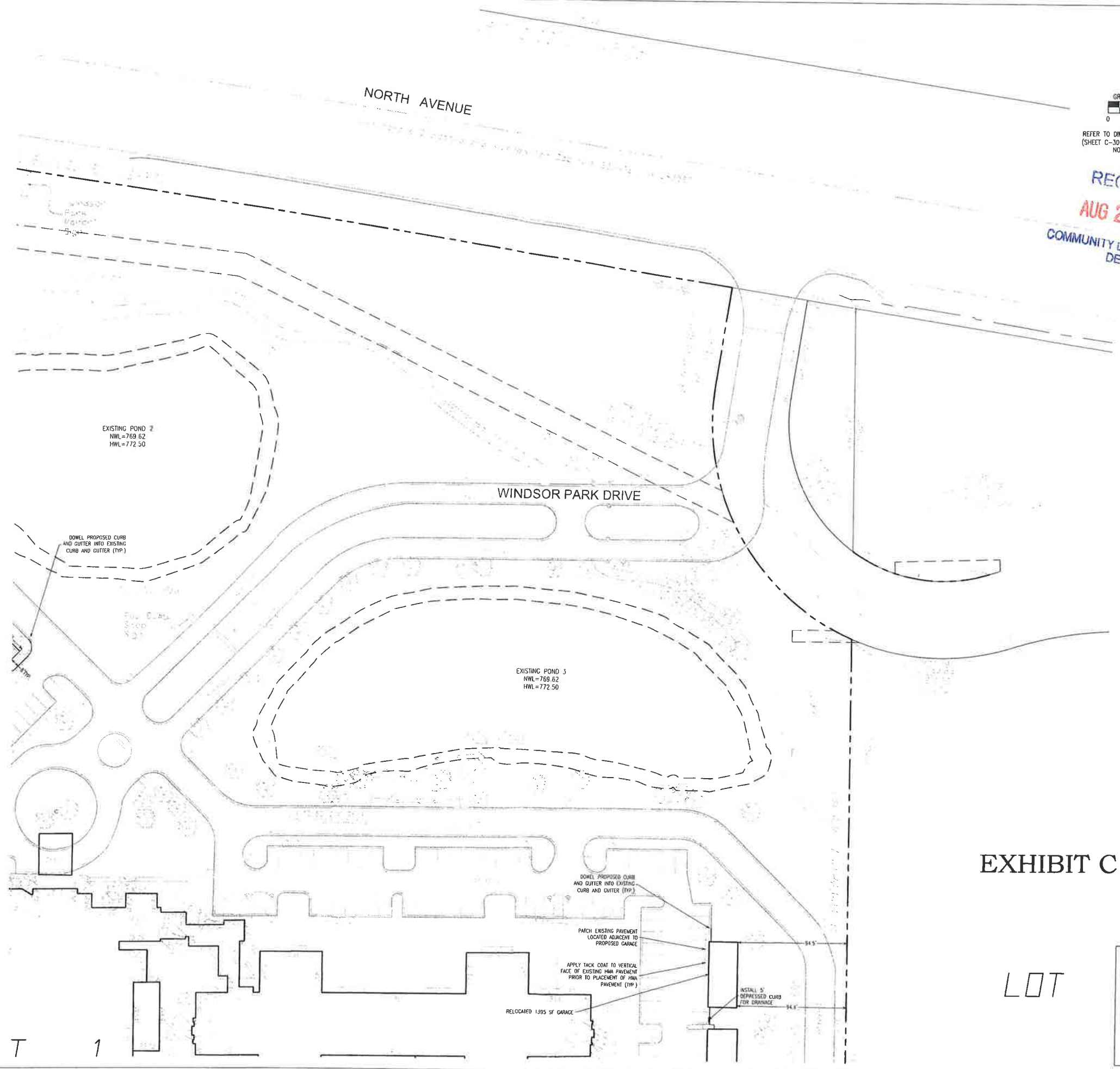
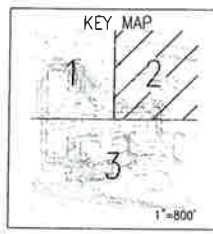


EXHIBIT C

LOT



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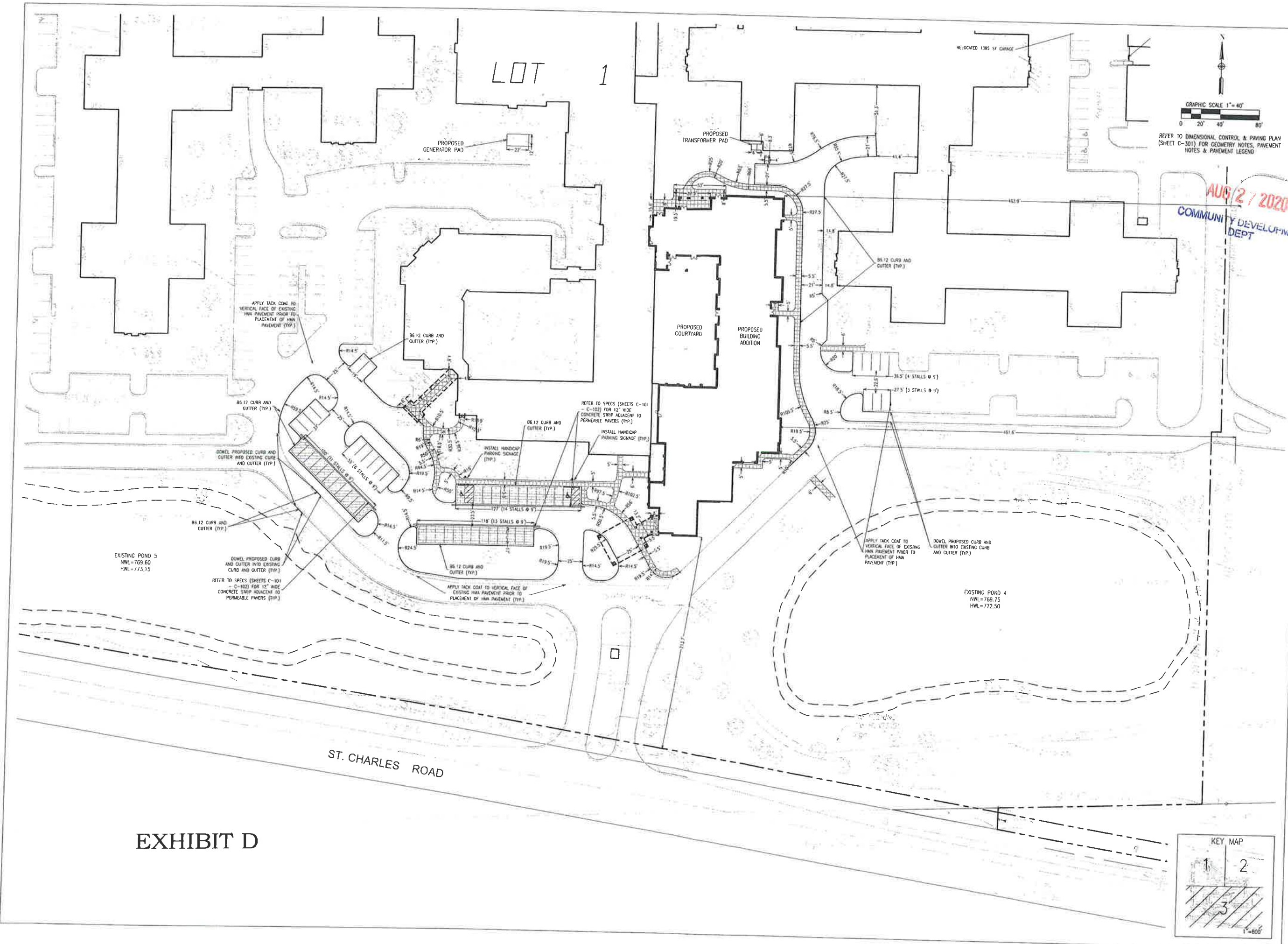
PERMIT SET

Project No.: 2019014/C267m  
 Date: 05/01/2020

DIMENSIONAL  
 CONTROL &  
 PAVING PLAN -  
 NORTHEAST

1" = 40'

C-302



REFER TO DIMENSIONAL CONTROL & PAVING PLAN (SHEET C-301) FOR GEOMETRY NOTES, PAVEMENT NOTES & PAVEMENT LEGEND

**AUG 27 2020**  
COMMUNITY DEVELOPMENT DEPT

NO.	DATE	DESCRIPTION
1	08/27/20	CU RESPONSE

**COVENANT AT WINDSOR PARK  
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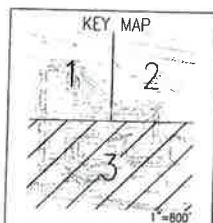
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**EXHIBIT D**

ST. CHARLES ROAD



PERMIT SET

Project No.: 2019014/C267m  
Date: 05/01/2020

**DIMENSIONAL  
CONTROL &  
PAVING PLAN -  
SOUTH**

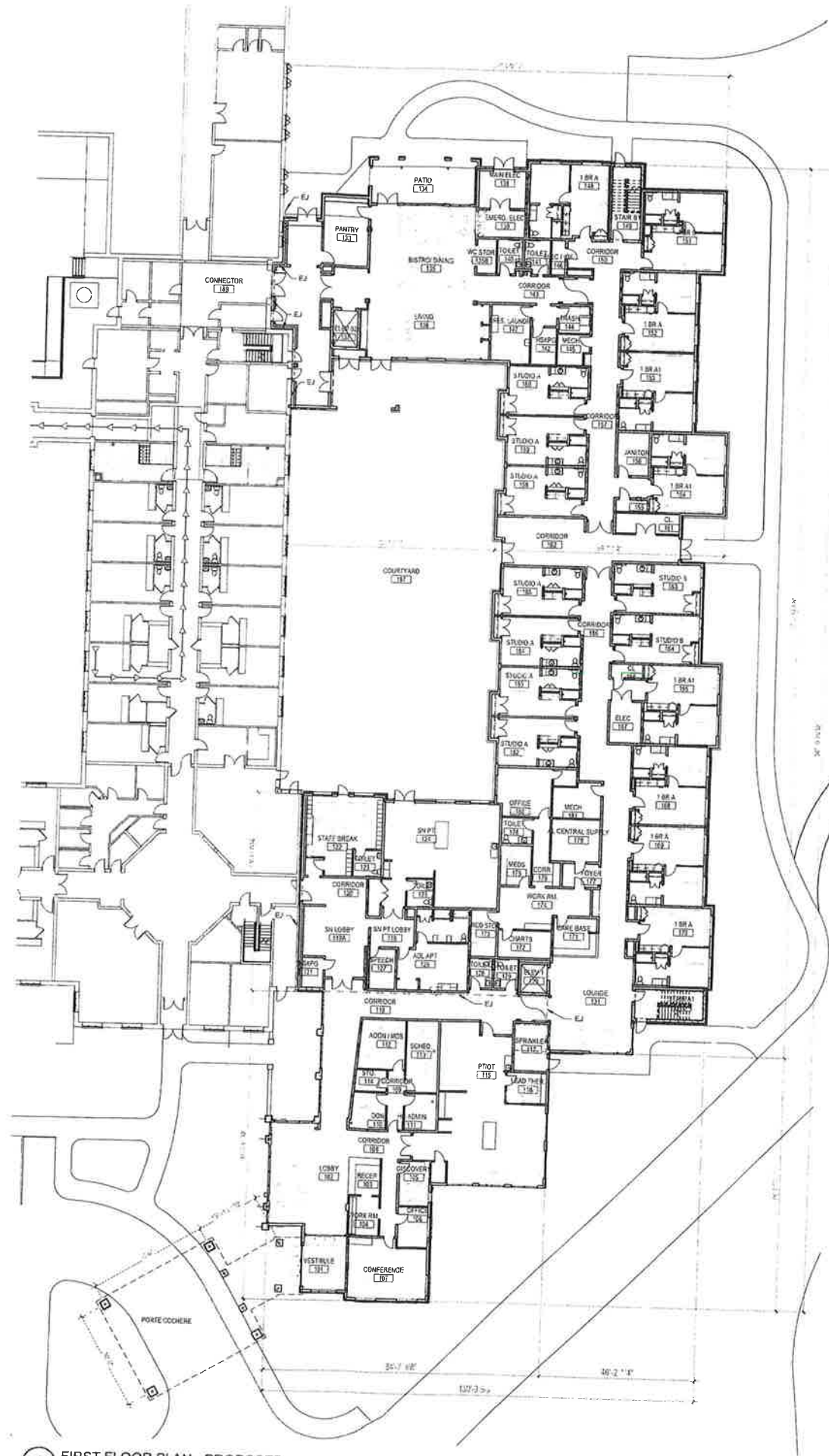
1" = 40'

C-303





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1 FIRST FLOOR PLAN - PROPOSED  
1/8" = 1'-0"

- FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF SHEATHING, EXTERIOR FACE OF CONCRETE BLOCK, AND EXTERIOR FACE OF CONCRETE.
  2. INTERIOR DIMENSIONS ARE FROM FACE OF GYPSUM BOARD, FACE OF THE BACKER BOARD, FACE OF SHEATHING, FACE OF CONCRETE BLOCK, AND FACE OF CONCRETE, WHERE MULTIPLE LAYERS OF GYPSUM BOARD, BACKER BOARD, AND/OR SHEATHING ARE LOCATED ON THE SAME SIDE OF A PARTITION. DIMENSION IS FROM THE FACE OF THE OUTERMOST LAYER.
  3. INTERIOR PARTITION DIMENSIONS ARE TO FINISHED FACES OF GYPSUM BOARD UNLESS NOTED OTHERWISE. IN NO CASE ARE INTERIOR PARTITION DIMENSIONS TO FACES OF STEEL STUDS OR FLOORING CHANNELS.
  4. PROVIDE PARTITION BRACING TO STRUCTURE AS REQUIRED FOR HORIZONTAL STABILIZATION. DO NOT FASTEN STUDS TO HEAD RUNNERS.
  5. AT PARTITIONS WHERE STEEL STUDS EXTEND TO STEEL DECK STRUCTURE ABOVE AND SOUND ATTENUATION OR FIRE BLANKETS ARE REQUIRED, MAINTAIN BLANKET SEPARATION / INTEGRITY ACROSS / WITHIN STEEL DECK FLUTES AS REQUIRED BY PARTITION TYPE. COORDINATE MEANS WITH EXISTING FLUTE WIDTHS.
  6. AT PARTITIONS WHERE STEEL STUDS EXTEND TO A MINIMUM OF 4" ABOVE FINISHED CEILING OR SOFFITS, PROVIDE PARTITION BRACING TO EITHER ADJACENT STRUCTURE OR PARTITIONS AS REQUIRED FOR VERTICAL AND HORIZONTAL STABILIZATION.
  7. AT PARTITIONS WHERE STEEL STUDS EXTEND TO SUSPENDED GYPSUM BOARD OR ACOUSTICAL CEILING OR SOFFITS, REFER TO SPECIFICATIONS FOR FASTENING INFORMATION. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
  8. SHADED AREAS ARE NOT IN CONTRACT.

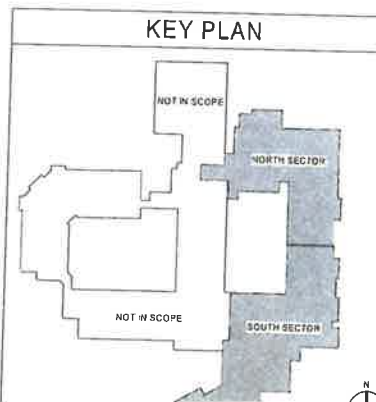
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EXHIBIT G-1



SPECIAL USE  
AMENDMENT  
Project No.: 2019014  
Date: 07/24/2020

OVERALL FIRST  
FLOOR PLAN

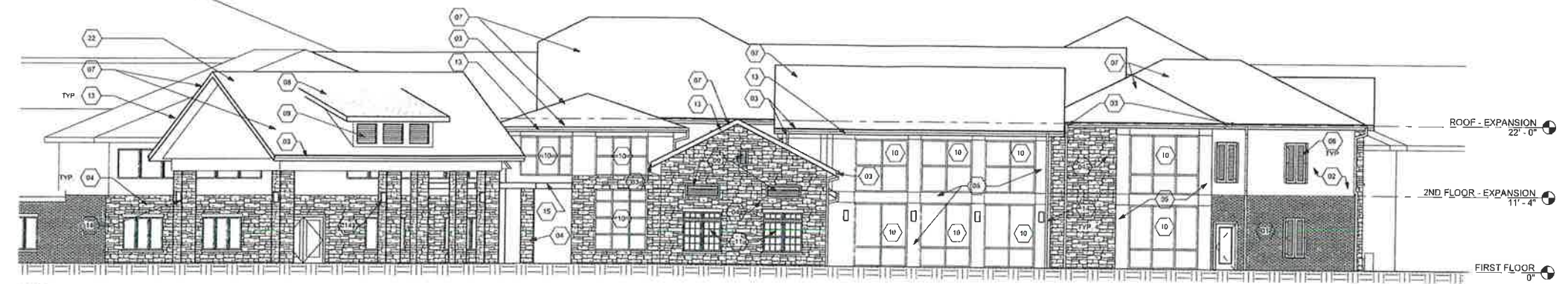








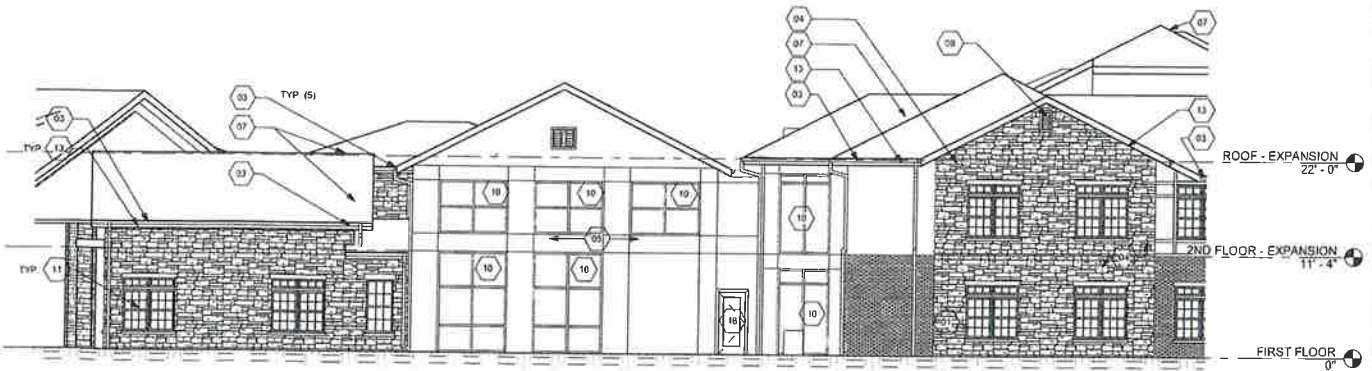
5 NORTH ELEVATION  
1/8" = 1'-0"



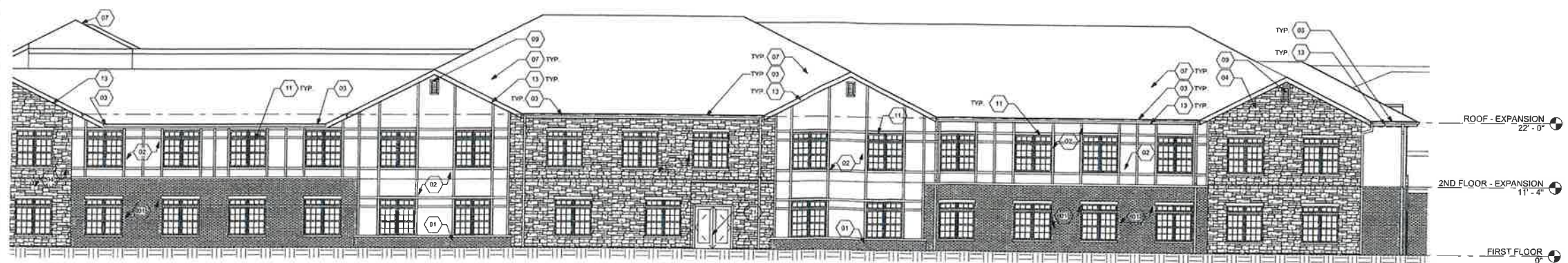
4 SOUTH ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION - PHYSICAL THERAPY  
1/8" = 1'-0"



1 EAST ELEVATION - ASSISTED LIVING  
1/8" = 1'-0"

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PROPOSED ELEVATION KEYNOTES	
Note Number	Note Text
01	BRICK VENEER - MATCH EXISTING
02	STUCCO VENEER (WITH CEMENTITIOUS BATTENS AS INDICATED), MATCH EXISTING
03	6" ALUMINUM GUTTER WITH DOWNSPOUTS
04	MANUFACTURED STONE VENEER - MATCH EXISTING
05	CEMENTITIOUS TRIM AND PANEL ACCENT
06	COMPOSITE WOOD SHUTTERS (TIMBERLANE BOARD AND BATTEN OR EQUAL). PROVIDE BLACK STRAP SHUTTER TYPE HINGES, HOLDBACKS, 12" SLIDE BOLT AND LOCK, AND PINTIES.
07	ASPHALT SHINGLE ROOFING
08	STANDING SEAM METAL ROOFING
09	DECORATIVE ALUMINUM LOUVER
10	STOREFRONT GLAZING
11	VINYL WINDOW W/ TRANSOM
13	FIBER CEMENT FASCIA AND SOFFIT
14	EXTERIOR LIGHT FIXTURE
15	FLAT ROOF AT PORTE COCHERE CONNECTOR WALK
16	PREFABRICATED BRACKET
17	AUTOMATIC SLIDING GLASS ENTRY DOOR WITH EGRESS PANELS
18	HOLLOW METAL DOOR
21	ALUMINUM AND GLASS STOREFRONT DOOR
22	NEW CANOPY AT EXISTING ENTRANCE

EXHIBIT H-2

COVENANT LIVING, WINDSOR PARK  
EXPANSION (PACKAGE 3)  
124 WINDSOR PARK DRIVE  
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SPECIAL USE  
AMENDMENT

Project No.: 2019014  
Date: 07/24/2020

EXTERIOR  
ELEVATIONS

A-201

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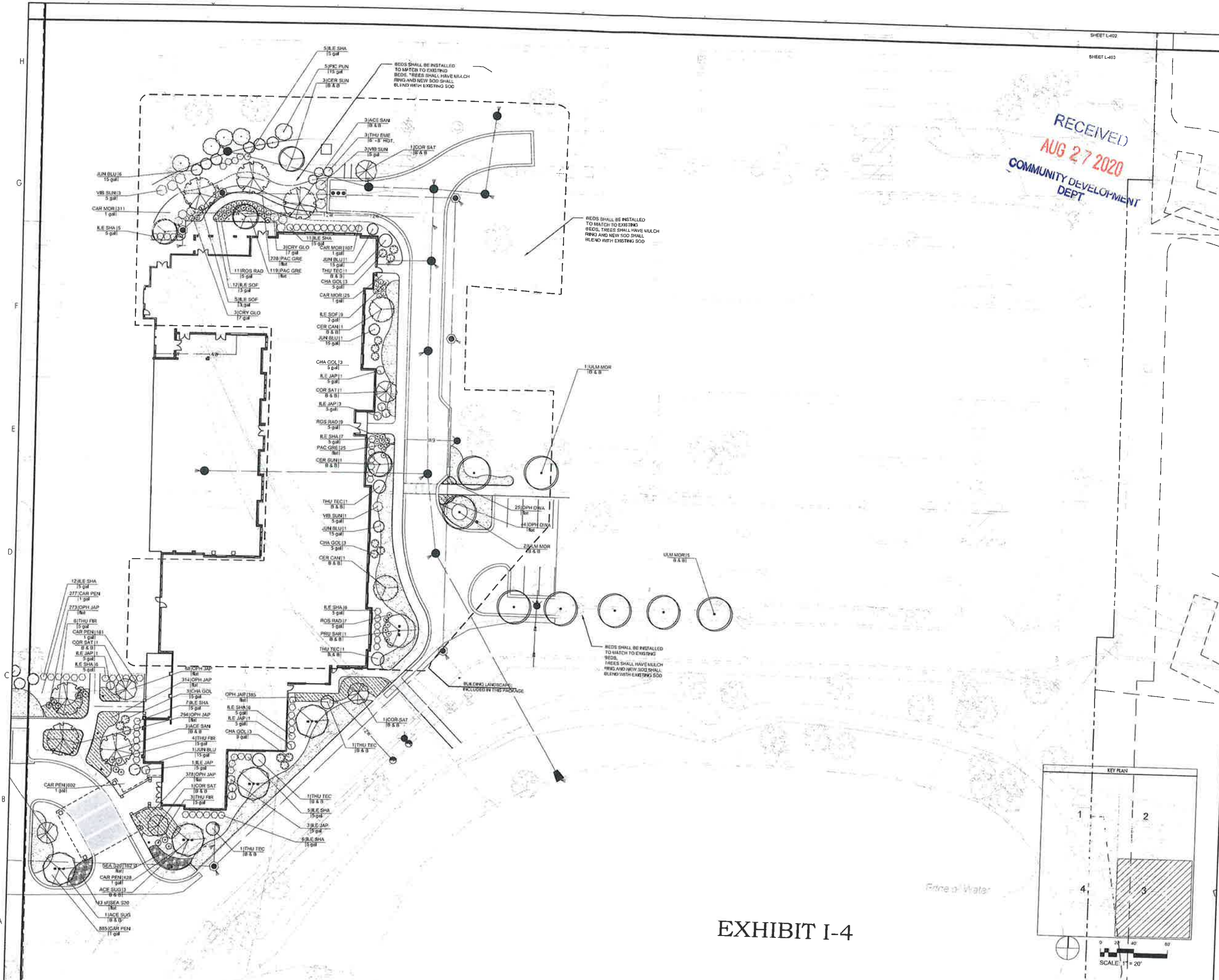








11/19/20 1914 Covenant Windsor Park AL HC300 Design-300-ACASheetsSPECCH\_CSE AREAS/REV/1403 PLANTING PLAN.dwg



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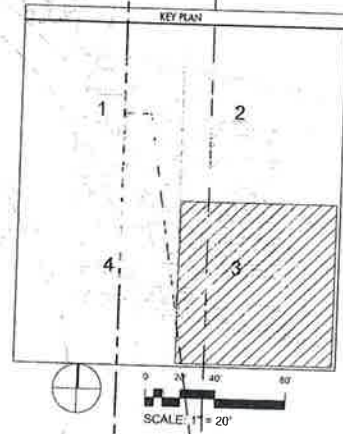


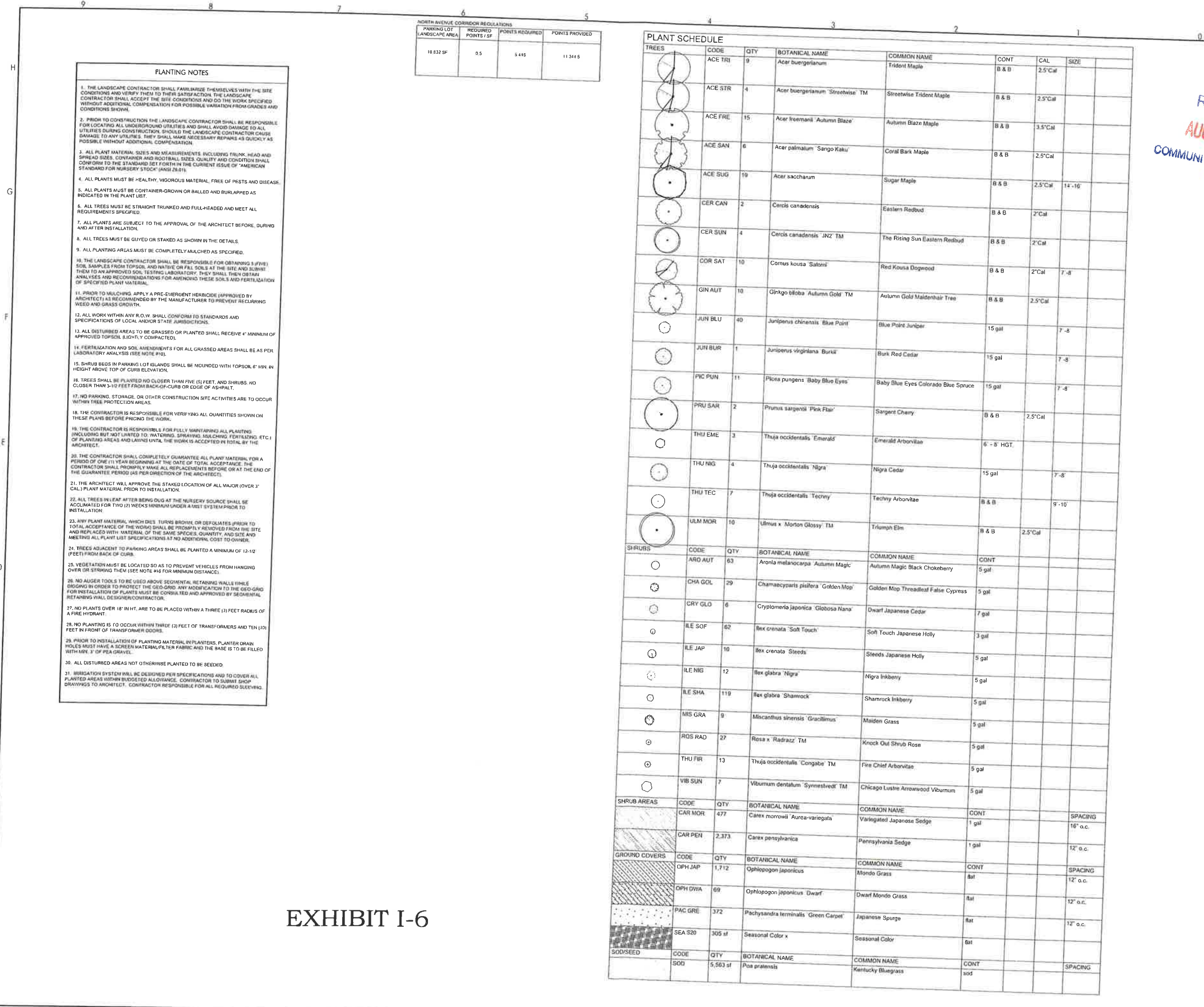
EXHIBIT I-4

SPECIAL USE  
AMENDMENT

Project No.: 2019014  
Date: 07/24/2020

PLANTING PLAN





NORTH AVENUE CORRIDOR REGULATIONS

PARKING LOT LANDSCAPE AREA	REQUIRED POINTS / SF	POINTS REQUIRED	POINTS PROVIDED
10,832 SF	0.5	5,416	11,344.5

- PLANTING NOTES**
1. THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS AND VERIFY THEM TO THEIR SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
  2. PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES, THEY SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
  3. ALL PLANT MATERIAL, SIZES AND MEASUREMENTS INCLUDING TRUNK, HEAD AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARD SET FORTH IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1).
  4. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
  5. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
  6. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
  7. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
  8. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
  9. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
  10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING 3 (THREE) SOIL SAMPLES FROM TOPSOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMIT THEM TO AN APPROVED SOIL TESTING LABORATORY. THEY SHALL THEN OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL.
  11. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY ARCHITECT) AS RECOMMENDED BY THE MANUFACTURER TO PREVENT RECURRING WEED AND GRASS GROWTH.
  12. ALL WORK WITHIN ANY R.O.W. SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTIONS.
  13. ALL DISTURBED AREAS TO BE GRASSED OR PLANTED SHALL RECEIVE 4" MINIMUM OF APPROVED TOPSOIL LIGHTLY COMPACTED.
  14. FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS (SEE NOTE #10).
  15. SHRUB BEDS IN PARKING LOT ISLANDS SHALL BE MOUNDING WITH TOPSOIL 6" MIN IN HEIGHT ABOVE TOP OF CURB ELEVATION.
  16. TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET, AND SHRUBS NO CLOSER THAN 3-1/2 FEET FROM BACK-OF-CURB OR EDGE OF ASPHALT.
  17. NO PARKING, STORAGE, OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
  18. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
  19. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTED AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ARCHITECT.
  20. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE ARCHITECT).
  21. THE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL MAJOR (OVER 3" CAL.) PLANT MATERIAL PRIOR TO INSTALLATION.
  22. ALL TREES IN LEAF AFTER BEING OUG AT THE NURSERY SOURCE SHALL BE ACCLIMATED FOR TWO (2) WEEKS MINIMUM UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
  23. ANY PLANT MATERIAL WHICH DIES, TURNING BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS AT NO ADDITIONAL COST TO OWNER.
  24. TREES ADJACENT TO PARKING AREAS SHALL BE PLANTED A MINIMUM OF 12-1/2 (FEET) FROM BACK OF CURB.
  25. VEGETATION MUST BE LOCATED SO AS TO PREVENT VEHICLES FROM HANGING OVER OR STRIKING THEM (SEE NOTE #16 FOR MINIMUM DISTANCE).
  26. NO AUGER TOOLS TO BE USED ABOVE SEGMENTAL RETAINING WALLS WHILE DIGGING IN ORDER TO PROTECT THE GEO-GRID. ANY MODIFICATION TO THE GEO-GRID FOR INSTALLATION OF PLANTS MUST BE CONSULTED AND APPROVED BY SEGMENTAL RETAINING WALL DESIGNER/CONTRACTOR.
  27. NO PLANTS OVER 18" IN HT. ARE TO BE PLACED WITHIN A THREE (3) FEET RADIUS OF A FIRE HYDRANT.
  28. NO PLANTING IS TO OCCUR WITHIN THREE (3) FEET OF TRANSFORMERS AND TEN (10) FEET IN FRONT OF TRANSFORMER BODIES.
  29. PRIOR TO INSTALLATION OF PLANTING MATERIAL IN PLANTERS, PLANTER DRAIN HOLES MUST HAVE A SCREEN MATERIAL/FILTER FABRIC AND THE BASE IS TO BE FILLED WITH MIN. 3" OF PEA GRAVEL.
  30. ALL DISTURBED AREAS NOT OTHERWISE PLANTED TO BE SEEDED.
  31. IRRIGATION SYSTEM WILL BE DESIGNED PER SPECIFICATIONS AND TO COVER ALL PLANTED AREAS WITHIN BUDGET ALLOWANCE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED SLEEVING.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	ACE TRI	9	Acer buergerianum	Trident Maple	B & B	2.5" Cal	
	ACE STR	4	Acer buergerianum 'Streetwise'™	Streetwise Trident Maple	B & B	2.5" Cal	
	ACE FRE	15	Acer freemanii 'Autumn Blaze'	Autumn Blaze Maple	B & B	3.5" Cal	
	ACE SAN	6	Acer palmatum 'Sango Kaku'	Coral Bark Maple	B & B	2.5" Cal	
	ACE SUG	19	Acer saccharum	Sugar Maple	B & B	2.5" Cal	14'-16'
	CER CAN	2	Cercis canadensis	Eastern Redbud	B & B	2" Cal	
	CER SUN	4	Cercis canadensis 'JNZ'™	The Rising Sun Eastern Redbud	B & B	2" Cal	
	COR SAT	10	Cornus kousa 'Satomi'	Red Kousa Dogwood	B & B	2" Cal	7'-8'
	GIN AUT	10	Ginkgo biloba 'Autumn Gold'™	Autumn Gold Maidenhair Tree	B & B	2.5" Cal	
	JUN BLU	40	Juniperus chinensis 'Blue Point'	Blue Point Juniper	15 gal		7'-8'
	JUN BUR	1	Juniperus virginiana 'Burkii'	Burk Red Cedar	15 gal		7'-8'
	PIC PUN	11	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Colorado Blue Spruce	15 gal		7'-8'
	PRU SAR	2	Prunus sargentii 'Plek Flair'	Sargent Cherry	B & B	2.5" Cal	
	THU EME	3	Thuja occidentalis 'Emerald'	Emerald Arborvitae	6'-8' HGT.		
	THU NIG	4	Thuja occidentalis 'Nigra'	Nigra Cedar	15 gal		7'-8'
	THU TEC	7	Thuja occidentalis 'Tectony'	Tectony Arborvitae	B & B		9'-10'
	ULM MOR	10	Ulmus x Morton Glossy™	Triumph Elm	B & B	2.5" Cal	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	ARO AUT	63	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	5 gal		
	CHA GOL	29	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf False Cypress	5 gal		
	CRY GLO	6	Crypomeria japonica 'Globosa Nana'	Dwarf Japanese Cedar	7 gal		
	ILE SOF	62	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly	3 gal		
	ILE JAP	10	Ilex crenata 'Steeds'	Steeds Japanese Holly	5 gal		
	ILE NIG	12	Ilex glabra 'Nigra'	Nigra Inkberry	5 gal		
	ILE SHA	119	Ilex glabra 'Shamrock'	Shamrock Inkberry	5 gal		
	MIS GRA	9	Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 gal		
	ROS RAD	27	Rosa x 'Radrazz'™	Knock Out Shrub Rosa	5 gal		
	THU FIR	13	Thuja occidentalis 'Congabe'™	Fire Chief Arborvitae	5 gal		
	VIB SUN	7	Viburnum dentatum 'Synnstedt'™	Chicago Lustre Arrowwood Viburnum	5 gal		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		SPACING
	CAR MOR	477	Carex morrowii 'Aurea-variegata'	Variiegated Japanese Sedge	1 gal		16" o.c.
	CAR PEN	2,373	Carex pensylvanica	Pennsylvania Sedge	1 gal		12" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		SPACING
	OPH JAP	1,712	Ophiopogon japonicus	Mondo Grass	flat		12" o.c.
	OPH DWA	69	Ophiopogon japonicus 'Dwarf'	Dwarf Mondo Grass	flat		12" o.c.
	PAC GRE	372	Pachysandra terminalis 'Green Carpet'	Japanese Spurge	flat		12" o.c.
	SEA S20	305 sf	Seasonal Color x	Seasonal Color	flat		
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		SPACING
	SOD	5,563 sf	Poa pratensis	Kentucky Bluegrass	sod		

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SPECIAL USE  
AMENDMENT


Project No.: 20190 4  
Date: 07/21/2020

PLANTING  
SCHEDULE AND  
NOTES

EXHIBIT I-6



*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager  
FROM: Adam Frederick, Assistant Village Engineer   
DATE: September 16, 2020  
RE: 550 Kehoe Boulevard – Grant of Public Sanitary Sewer Easement

The Village of Carol Stream has received a plat granting an easement for the purposes of conveying sanitary sewerage. This easement gives the Village very broad rights to construct, repair, operate and maintain a future public sanitary sewer system. The sanitary system will be located on the 550 Kehoe Boulevard parcel within this twenty foot wide easement adjacent to Schmale Road.

The easement is required in order to extend sanitary sewer service to the 250 N. Schmale Road – Dynamic MD Facility that is currently under construction. Dynamic MD will construct the sanitary sewer and dedicate a portion to the Village as a public improvement.

Staff recommends accepting this grant of easement for public sanitary sewer purposes.

Cc: Bill Cleveland, Director of Engineering Services  
Phil Modaff, Public Works Director

Exhibit A – PIN Number and Legal Description  
Attachment – Plat of Easement

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION ACCEPTING A PLAT OF GRANT OF  
PUBLIC SANITARY SEWER EASEMENT  
(550 KEHOE BOULEVARD)**

BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: Approval is hereby given accepting a Plat of Grant of Public Sanitary Sewer Easement for 550 Kehoe Boulevard, PIN No. 02-33-300-037. The legal description is attached hereto as Exhibit "A" and the Plat of Grant of Public Sanitary Sewer Easement as Exhibit "B".

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF SEPTEMBER, 2020.

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Sherry Craig, Deputy Village Clerk

# Exhibit A

ADDRESS: 550 Kehoe Boulevard, Carol Stream, IL 60188

PIN: 02-33-300-037

THE EAST 20 FEET OF THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 33 ,TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF KEHOE BLOULEVARD; WEST OF THE WEST LINE OF SCHMALE ROAD AND NORTH OF THE NORTH LINE OF NAGEL'S PLAT OF LOT 1 RECORDED AS DOCUMENT R65-036496 (EXCEPT THAT PART LYING WEST OF THE WEST LINE OF SAID NAGEL'S PLAT OF LOT 1 EXTENDED NORTH TO THE SOUTH LINE OF KEHOE BOULEVARD) IN DUPAGE COUNTY, ILLINOIS.



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION DECLARING SURPLUS PROPERTY  
OWNED BY THE VILLAGE OF CAROL STREAM**

WHEREAS, in the opinion of the corporate authorities of the Village of Carol Stream, Illinois, it is no longer necessary or useful, or for the best interests of the Village of Carol Stream to retain ownership of the personal property described in "Exhibit A"; and

WHEREAS, the described personal property has been determined by the corporate authorities of the Village of Carol Stream to have negligible value to the Village; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Carol Stream to dispose of the surplus property.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWER, as follows:

SECTION 1: That the Mayor and Board of Trustees of the Village of Carol Stream find that the personal property described in Exhibit "A", now owned by the Village of Carol Stream, is no longer useful and authorize its disposal per the attached memorandum dated September 16, 2020.

SECTION 2: This resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED AND APPROVED THIS 21<sup>ST</sup> DAY OF SEPTEMBER, 2020

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Sherry Craig, Deputy Village Clerk

## EXHIBIT "A"

### *Village of Carol Stream* Interdepartmental Memo

TO: Bob Mellor, Village Manager

FROM: Philip J. Modaff, Director of Public Works

DATE: September 16, 2020

RE: Surplus Declaration- Bucket; Stump Grinder; Trucks; Metler Balance; BOD Incubator

The Department has identified the equipment below to be declared surplus.

#### **Wain Roy Bucket- Serial #A23949- Quantity 1**

The Department no longer has a use for this Wain Roy "rock-ripper" bucket and will be sold at auction. If staff is unable to sell the item at auction, it will be scrapped.



### **Alitec SG60 Stump Grinder- Quantity 1**

This stump grinder requires a new cutting wheel which exceeds the value of the equipment. If staff is unable to sell the item at auction, it will be scrapped.



### **Truck 35- 2008 Ford F350- Vin# 1FTWF31R88EC93054**

This was a Streets Division pickup truck. It is a standard cab diesel F350 used for plowing, towing trailers, and general usage on work sites. This truck was replaced this fiscal year due to maintenance costs exceeding 130% of the truck's original purchase value. All of the equipment will be surplussed with the truck, including the plow and warning lights.



**Truck 42- 2008 Ford F350- Vin#1FTWX31R38EC93055**

This was a Streets Division pickup truck. It is an extended cab diesel F350 used for plowing, towing trailers, and general usage on work sites. This truck was replaced this fiscal year due to maintenance costs exceeding 140% of the truck's original purchase value. All of the equipment will be surplussed with the truck, including the plow, liftgate, and warning lights.



**Metler AE160 Balance- Quantity 1**





**Lab-Line BOD Incubator- Serial #1092-003- Quantity 1**



The Balance and Incubator were used at the Water Reclamation Center and are now outdated. Staff will attempt to sell these items at auction. If staff is unable to sell these items at auction, they will be scrapped.



Staff recommends that these items be declared surplus by the Mayor and Board of Trustees and that the Village Manager be authorized to dispose of them as proposed.

# Village of Carol Stream

## Interdepartmental Memo

AGENDA ITEM  
3-3 9/21/20

**TO:** Robert Mellor, Village Manager

**FROM:** Don Bastian, Community Development Director   
Tom Farace, Planning & Economic Development Manager 

**DATE:** September 17, 2020

**RE:** **Agenda Item for the September 21, 2020 Village Board Meeting:  
Recommendation to Amend the FY 2020-21 Employee Compensation Plan  
Community Development Department – *Planning & Permitting Assistant***

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With the recent promotion of the Community Development Department *Secretary* to the position of *Permit Systems Coordinator*, a vacancy now exists in the *Secretary* position. We have evaluated the vacant position and are recommending a change in the position title from *Secretary* to *Planning & Permitting Assistant*. This memorandum explains the recommended change and seeks Village Board approval of the necessary amendments to the Employee Compensation Plan.

The vacancy in the *Secretary* position presents the opportunity to evaluate various aspects of the position, including the primary job functions and the position title. In recommending a change in the position title, we are not proposing a change in the salary range, or significant changes to the primary responsibilities of the position, which will continue to include:

- Serving as an initial point of contact (via telephone, email and in-person) for customers with building permit, code enforcement, planning, zoning and development-related inquiries;
- Assisting customers with the customer service aspects related to the acceptance of building permit applications, development applications, and the initiation of code enforcement cases;
- Providing administrative support to the Plan Commission/Zoning Board of Appeals (PC/ZBA), including agenda packet assembly and distribution, attending to administrative responsibilities at PC/ZBA meetings, and preparation of PC/ZBA meeting minutes;
- Maintaining the Department's files and records, and coordinating the Department's Freedom of Information Act and zoning verification letter responses; and
- Providing general office support such as preparing invoices for review and approval and ordering and managing office supplies and externally-produced printed materials.

Although an entry-level position, the work is fairly complex at times due to the nature of the building construction and land development industries, as well as the specificity of permit and zoning approval processes. Staff believes that the proposed position title of *Planning & Permitting Assistant* more accurately captures the scope of the responsibilities of the position and will be more likely to attract candidates specifically interested in a position in Community Development. To that end, the draft job description has been revised to require a minimum of one year of experience in a Community Development or Building Department. Another benefit of the proposed change is that it more clearly establishes the opportunity for a promotion from *Planning & Permitting Assistant* to *Permit Systems Coordinator*.

### **RECOMMENDATION**

Staff recommends elimination of the *Secretary* position and creation of the *Planning & Permitting Assistant* position in the Community Development Department, and that the pay range for the *Planning & Permitting Assistant* position be identical to that of the *Secretary* position. Should the Village Board concur with this recommendation, the Board should approve the Resolution amending the Employee Compensation Plan.

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION AMENDING RESOLUTION NO. 3133  
ADOPTING THE 2020-21 EMPLOYEE COMPENSATION PLAN FOR  
THE VILLAGE OF CAROL STREAM**

WHEREAS, on April 6, 2020, the Mayor and Board of Trustees of the Village of Carol Stream adopted Resolution No. 3133 adopting the 2020-21 Employee Compensation Plan for the Village of Carol Stream; and

WHEREAS, since that time, an evaluation of the organizational structure within the Community Development Department has been undertaken; and

WHEREAS, a recommendation has been presented to the Mayor and Board of Trustees to eliminate the position of Secretary and establish the new position of Planning & Permitting Assistant within the Community Development Department.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:

SECTION 1: That the 2020-21 Employee Compensation Plan is hereby amended to establish the new position of Planning & Permitting Assistant.

SECTION 2: That the 2020-21 Employee Compensation Plan is hereby amended to establish the pay range for the position of Planning & Permitting Assistant as \$51,411.04 - \$73,182.98 equal to that of Secretary.

SECTION 3: This Resolution shall be in full force and effect from and after its passage and publication in pamphlet form as prescribed by law.

PASSED AND APPROVED THIS 21<sup>st</sup> DAY OF September 2020.

AYES:

NAYS:

ABSENT:

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Frank Saverino, Sr., Mayor

ATTEST:

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Sherry Craig, Deputy Village Clerk

*Village of Carol Stream*  
Community Development Department

*Position Classification:*  
**Planning & Permitting Assistant**

**FLSA STATUS:**

Non-Exempt

**DEFINITION:**

Under the general direction of the Planning & Economic Development Manager, the *Planning & Permitting Assistant* is responsible for customer service, office support and clerical functions in the Community Development Department. This customer-focused position serves as the Department's initial point of contact for general inquiries, issues building permits, and reviews over-the-counter permits. This position serves as the Recording Secretary to the Plan Commission/Zoning Board of Appeals (PC/ZBA) and in that capacity attends PC/ZBA meetings and prepares the meeting minutes and agenda packets. The *Planning & Permitting Assistant* also supports the Citizen Service Request program and manages the Department's budget accounts.

**EXAMPLES OF DUTIES:**

Serves as the initial point of contact (via telephone, e-mail or in person) for general inquiries.

Maintains Department's inspection schedule and coordinates inspections with other agencies as needed.

Along with the *Permit Systems Coordinator*, assists with the customer service and clerical aspects of building permit and development approval applications, including accepting applications at the service counter, entering information into the Department's planning, permitting and code enforcement database, and routing applications to the appropriate review staff.

Provides administrative support to the Plan Commission/Zoning Board of Appeals (PC/ZBA), including agenda packet assembly and distribution, attending to administrative responsibilities at PC/ZBA meetings, and preparation of PC/ZBA meeting minutes.

Maintains Department files and records, including electronic document management, and coordinates Department's Freedom of Information Act (FOIA) and zoning verification letter requests.

Uses office equipment as needed including copiers, fax machines, microfiche, computers and printers. Uses computer software necessary to perform job functions, including regular updating and posting of information to relevant sections of the Village website.

Orders and manages office supplies and externally-produced printed materials.

Supports the Citizen Service Request (CSR) program within the Department, including gathering information from customer, making an initial determination about the request, entering valid requests into the database, and assigning CSRs to the appropriate Code Professional.

Provides back-up of the clerical and customer service responsibilities of the *Permit Systems Coordinator* at times when the *Permit Systems Coordinator* is unavailable.

Other duties as assigned.

**KNOWLEDGE, SKILLS AND ABILITIES:**

Highly skilled at interacting with customers in a service-oriented environment.

Highly skilled in the area of written and verbal communication, including listening skills.

Skilled in the areas of organization and project management. Able to “multi-task” and keep several projects moving forward simultaneously, in an environment in which interruptions are frequent.

Able to communicate project submittal requirements to customers.

Familiar with current building, zoning and development terminology.

General ability to read and interpret maps, plans, site plans and construction specifications.

Skilled in the use of logical and creative thought processes to develop solutions to problems within operational constraints.

Skilled in the area of anticipating future customer questions and needs. Provides answers and information related to a customer’s “next question” without needing to be asked.

Able to operate a personal computer and use program applications that are appropriate to assigned duties and responsibilities.

Able to develop, or cause to be developed, new computer-based applications where useful.

Skilled in the area of work management and interpersonal relationships. Able to establish and maintain effective working relationships with elected and appointed officials, other Village staff, and all external customers.

**TRAINING, EDUCATION AND EXPERIENCE:**

High School diploma required; additional skills or training preferred.

A minimum of two years of professional clerical experience required in a direct customer service environment, with at least one year of experience in a Community Development or Building Department organization.

**ESSENTIAL PHYSICAL AND SENSORY JOB ELEMENTS  
FREQUENCY OF OCCURRENCE**

1. Manual Dexterity:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

2. Climbing:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

3. Crawling:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

4. Kneeling:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

5. Lifting:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

6. Running:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

7. Sitting:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation: Most of work is done while sitting at work station.

8. Standing:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

*Community Development Department  
Job Description: Planning & Permitting Assistant*

9. Stooping:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

10. Walking:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation: Frequent trips to the customer service counter and photocopier room are necessary.

11. Carrying:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

12. Driving:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:

13. Listening:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation: Frequent communication with customers, Village staff and consultants.

14. Visual Acuity:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation: Much of the time spent at a computer workstation or looking at plans.

15. Verbal Communication:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation: Must be able to explain application requirements to contractors, homeowners, and others on a regular basis.

16. Other:	N/A	Minimal	Moderate	Frequent	Excessive
Hours per day:	N/A	(0-1)	(1-4)	(4-7)	(7+)

Explanation:



Village of Carol Stream  
 Schedule of Bills  
 For Village Board Approval on SEPTEMBER 21,2020

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>ABSOLUTE FIRE PROTECTION INC</b>					
TC 5YR PIPE, CHECK VALVE INSPECT, FDC HYDRO TEST	1,255.00	01680000-52219	TC MAINTENANCE	11940	
	<u>1,255.00</u>				
<b>ACCURATE OFFICE SUPPLY CO</b>					
COPY PAPER, SUPPLIES	607.75	01590000-53317	OPERATING SUPPLIES	520782	
	<u>607.75</u>				
<b>ADVANCED WEIGHING SYSTEMS INC</b>					
BATTERY CASE, LABOR	403.00	01662300-53350	SMALL EQUIPMENT EXPENSE	28481	
	<u>403.00</u>				
<b>AIR WATER ENERGY</b>					
FURNACE-FARMHOUSE	3,250.00	01680000-52244	MAINTENANCE & REPAIR	2008-049 PO-4602166	20210038
	<u>3,250.00</u>				
<b>AL DINING LLC</b>					
SHAKES-LESCHER RETIREMENT	135.76	01600000-52242	EMPLOYEE RECOGNITION	069047	
	<u>135.76</u>				
<b>ALLIANCE HOSE &amp; RUBBER CO</b>					
DISCHARGE HOSE	134.40	04201600-53317	OPERATING SUPPLIES	2021999	
SUCTION HOSE	107.52	04201600-53317	OPERATING SUPPLIES	2021828	
	<u>241.92</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>AMAZON.COM</b>					
AG BRAKES	218.99	01696200-53354	PARTS PURCHASED	0446647	
AG FILTERS	25.20	01696200-53354	PARTS PURCHASED	6909046	
AG REFUND	-34.90	01696200-53354	PARTS PURCHASED	6306637REF	
AG RETURN	-31.82	01696200-53354	PARTS PURCHASED	0474655REF	
AG STEP BARS	161.93	01696200-53354	PARTS PURCHASED	8706663	
BATTERIES	34.20	01662700-53317	OPERATING SUPPLIES	1238616	
BLADES	19.90	01696200-53317	OPERATING SUPPLIES	4989052	
CART MONDOBOARD	777.00	01652800-54412	OTHER EQUIPMENT	2939437	
CIRCULAR SAW	59.98	01696200-53316	TOOLS	4989052	
COMPUTER EQUIPMENT	39.95	01652800-53317	OPERATING SUPPLIES	4787402	
COMPUTER SCREEN MOUNT	39.99	01662400-53317	OPERATING SUPPLIES	3910649	
CONFERENCE SPEAKERS, MICS	307.98	01652800-54412	OTHER EQUIPMENT	7839468	
DIAMOND PLATE,STICKER	88.14	04201600-53317	OPERATING SUPPLIES	4989052	
EVIDENCE SUPPLIES	139.86	01662700-53317	OPERATING SUPPLIES	8090661	
EYE WASH STATIONS	56.82	04201600-53317	OPERATING SUPPLIES	4025013	
FOAM GLASSES	41.86	01670700-53317	OPERATING SUPPLIES	5816225	
HEAT RESISTANT GLOVES	27.95	01670300-53317	OPERATING SUPPLIES	9638613	
INTERNAL SERVER CARD	43.47	01652800-53317	OPERATING SUPPLIES	4647411	
JL MOTOR	382.60	01696200-53354	PARTS PURCHASED	6306651	
MOUNTS FOR BOARDROOM	79.99	01652800-54418	CATV/ PEG EXPENSES	9488254	
PUMP SUPPLIES	17.79	04201600-53317	OPERATING SUPPLIES	2056244	
PUMP SUPPLIES	23.42	04201600-53317	OPERATING SUPPLIES	4530668	
REFRIGERATOR	132.31	01662700-53317	OPERATING SUPPLIES	1694631	
SHARPIE PENS	15.98	01696200-53317	OPERATING SUPPLIES	9814609	
SOCKET RETAINER	20.98	01696200-53316	TOOLS	0850649	
SPRING COMPRESSOR	65.98	01696200-53316	TOOLS	5905865	
STEP-N-PULL DOOR OPENER	95.46	01560000-53390	COVID - 19 RESPONSE	8761021	
STROBE LIGHTS-TRK#32	136.10	10670000-54415	VEHICLES	5189862	
SUPPLIES	73.14	01662700-53317	OPERATING SUPPLIES	2117824	
SUPPLIES	86.17	01662700-53317	OPERATING SUPPLIES	7577043	

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
TAX REFUND	-5.61	01560000-53390	COVID - 19 RESPONSE	8761021REF	
TRUCK 5 BUILD	5.09	04201600-53317	OPERATING SUPPLIES	0908226	
TRUCK 5 BUILD	14.99	04201600-53317	OPERATING SUPPLIES	5299446	
TRUCK 5 BUILD	22.77	04201600-53317	OPERATING SUPPLIES	9814609	
TRUCK 5 BUILD	26.21	04201600-53317	OPERATING SUPPLIES	6181015	
TRUCK 5 BUILD	50.25	04201600-53317	OPERATING SUPPLIES	2142642	
TRUCK 5 BUILD	59.98	04201600-53317	OPERATING SUPPLIES	5605015	
TRUCK 5 BUILD	76.60	04201600-53317	OPERATING SUPPLIES	3625849	
TRUCK 5 BUILD	81.16	04201600-53317	OPERATING SUPPLIES	9878610	
TRUCK 5 SUPPLIES	8.97	04201600-53317	OPERATING SUPPLIES	9853814	
UPS, LAPTOP CASE	225.70	01652800-53317	OPERATING SUPPLIES	0716231	
USB HUBS	49.95	01662700-53317	OPERATING SUPPLIES	3838642	
ZIP TIES	67.41	04201400-53333	NEW METERS	4678669	
	<b>3,829.89</b>				
<b>AMER PLANNING ASSN</b>					
APA, AICP DUES - DON	724.00	01640100-52234	DUES & SUBSCRIPTIONS	112887-2075	
	<b>724.00</b>				
<b>AMERICAN PLANNING ASSOCIATION-IL CHAPTER</b>					
TRAINING-PHIL MODAFF	135.00	04200100-52223	TRAINING	FALL-2020115	
	<b>135.00</b>				
<b>AMERICAN ROAD MAINTENANCE</b>					
ASPHALT REJUVENATOR 2020	9,070.49	11-21344	RETAINAGE AMERICAN ROAD MAINT	16865 PO-462621	20210031
ASPHALT REJUVENATOR 2020	144,019.70	11740000-55486	ROADWAY CAPITAL IMPROVEMENTS	16865 PO-462621	20210031
	<b>153,090.19</b>				
<b>AMERICAN WATER WORKS ASSOCIATION</b>					
AWWA DUES-R HOUSTON	83.00	04200100-52234	DUES & SUBSCRIPTIONS	7001834093	
	<b>83.00</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>ARAMARK UNIFORM &amp; CAREER APPAREL GROUP INC</b>					
COVID-19 ALCOHOL WIPES	605.18	01560000-53390	COVID - 19 RESPONSE	8005843	
FIRST AID ANNUAL KIT SERVICING	451.39	01670100-53317	OPERATING SUPPLIES	ORD4-004963	
	<u>1,056.57</u>				
<b>ARROWHEAD SCIENTIFIC INC</b>					
EVIDENCE SUPPLIES	282.69	01662700-53317	OPERATING SUPPLIES	129495	
	<u>282.69</u>				
<b>ARTISTIC ENGRAVING</b>					
MERIT BADGE-STAFIEJ	98.50	01660100-53324	UNIFORMS	15556	
	<u>98.50</u>				
<b>ATOMIC TRANSMISSIONS</b>					
OUTSOURCING SERVICES	1,085.00	01696200-53353	OUTSOURCING SERVICES	126316	
	<u>1,085.00</u>				
<b>B &amp; F CONSTRUCTION CODE SERVICES, INC</b>					
BLDG REV-998 W ARMY TRAIL, 20-1029-RMDL	2,005.00	01643700-52253	CONSULTANT	54472	
PLUMBING INS-AUG 2020	984.80	01643700-52253	CONSULTANT	13332	
	<u>2,989.80</u>				
<b>BADGERLAND BADGE &amp; SIGN COMPANY INC</b>					
WM HOLMER NAME TAG	12.44	01660100-53324	UNIFORMS	72796	
	<u>12.44</u>				
<b>BEDROCK EARTHSCAPES LLC</b>					
20/21 POND WELAND MAINTENANCE	1,124.00	01620100-52358	POND/STORM MAINTENANCE	1402 PO-462620	20210004
POLLINATOR MAINTENANCE-ILLINI & SILVERLEAF	1,630.00	01670400-52272	PROPERTY MAINTENANCE	1403	
	<u>2,754.00</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>BINDERS, INC</b>					
OFFICE SUPPLIES/PRINTING	120.25	01662600-53314	OFFICE SUPPLIES	42017860060	
OFFICE SUPPLIES/PRINTING	136.25	01662600-53314	OFFICE SUPPLIES	42017860060	
	<u>256.50</u>				
<b>BLOOMING COLOR OF ST CHARLES</b>					
CHIEF BUSINESS CARDS	38.12	01660100-53317	OPERATING SUPPLIES	266208	
RYAN RAINEY CARDS	53.08	01660100-53317	OPERATING SUPPLIES	264859	
	<u>91.20</u>				
<b>BLOOMINGDALE TOWNSHIP</b>					
ENVIRONMENT MOSQUITO MGMT-JUL 2020	8,719.50	01670100-52269	MOSQUITO ABATEMENT	40302	20210011
	<u>8,719.50</u>				
<b>BLUE360 MEDIA</b>					
TRAFFIC LAW MANUAL	2,312.00	01662700-53318	REFERENCE MATERIALS	200723-SF-00841	
	<u>2,312.00</u>				
<b>BRACING SYSTEMS</b>					
DIAMOND BLADE	275.00	01670500-53317	OPERATING SUPPLIES	371173-1	
	<u>275.00</u>				
<b>BUCK BROS INC</b>					
AG CHAIN SHIELD	250.26	01696200-53354	PARTS PURCHASED	268984	
	<u>250.26</u>				
<b>C S FIRE PROTECTION DISTRICT</b>					
PERMITS AUG 2020	800.00	01-24416	DEPOSIT-FIRE DISTRICT PERMIT	PERMITS AUG 2020	
	<u>800.00</u>				
<b>C S PUBLIC LIBRARY</b>					
PPRT AUG 2020	3,989.72	01000000-41102	PERSONAL PROPERTY REPLAC TAX	PPRT AUG 2020	
	<u>3,989.72</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>CANON FINANCIAL SERVICES INC</b>					
ADMIN COPIER 7/2020	968.65	01652800-52226	OFFICE EQUIPMENT MAINTENANCE	21714141	
	<b>968.65</b>				
<b>CAROL STREAM PARK DISTRICT</b>					
PARK PASSES AUG 2020	30.00	01-24236	BARK PARK MEMBERSHIP	PARK PASSES AUG 2020	
	<b>30.00</b>				
<b>CARQUEST AUTO PARTS</b>					
AG ELECT	12.34	01696200-53354	PARTS PURCHASED	2420-473349	
AG FITTING	4.05	01696200-53354	PARTS PURCHASED	2420-473217	
AG FITTINGS	43.12	01696200-53354	PARTS PURCHASED	2420-473162	
AG FITTINGS/ TRUCK 5 BLD	89.44	01696200-53354	PARTS PURCHASED	2420-472851	
AG FITTINGS/TRUCK 5 BLD	200.94	01696200-53354	PARTS PURCHASED	2420-472932	
AG GASKETS	227.87	01696200-53354	PARTS PURCHASED	2420-472001	
AG HUB BEARING	112.96	01696200-53354	PARTS PURCHASED	2420-473260	
AG OIL	20.67	01696200-53354	PARTS PURCHASED	2420-473170	
AG PLUGS	79.93	01696200-53354	PARTS PURCHASED	2420-472700	
AG RETURN	-48.61	01696200-53354	PARTS PURCHASED	2420-473475	
AG STRUTS	537.04	01696200-53354	PARTS PURCHASED	2420-473738	
AG TIE ROD	48.09	01696200-53354	PARTS PURCHASED	2420-473094	
DRAIN PANS	17.58	01696200-53317	OPERATING SUPPLIES	2420-471702	
FUSE	6.99	01696200-53317	OPERATING SUPPLIES	2420-472214	
JL CORE RETURNS	-323.00	01696200-53354	PARTS PURCHASED	2420-472034	
JL HANGAR	34.79	01696200-53354	PARTS PURCHASED	2420-472208	
JL RETURN	-34.79	01696200-53354	PARTS PURCHASED	2420-472267	
JL RETURNS	-362.56	01696200-53354	PARTS PURCHASED	2420-472028	
JL RING	12.57	01696200-53354	PARTS PURCHASED	2420-471491	
TRUCK 5 BUILD	28.16	04201600-53317	OPERATING SUPPLIES	2420-472851	
TRUCK 5 BUILD	130.48	04201600-53317	OPERATING SUPPLIES	2420-472932	
UV DYE	9.19	01696200-53317	OPERATING SUPPLIES	2420-473692	
	<b>847.25</b>				

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<b>CDW GOVERNMENT LLC, CDW GOVERNMENT,CDWG</b>					
VEEAM RENEWAL 10/20 - 10/21	2,487.21	01652800-52255	SOFTWARE MAINTENANCE	1C2FJ3T	
	<b>2,487.21</b>				
<b>CH2MHILL OMI</b>					
WRC OPERATING & MGMT-OCT 2020	150,063.17	04101100-52262	WRC CONTRACT	351199-24-06 PO-3794	20210001
	<b>150,063.17</b>				
<b>CHICAGO TRIBUNE-REDEYE</b>					
DIGITAL SUBSCRIPTION 8/14-9/10/20	7.96	01590000-52234	DUES & SUBSCRIPTIONS	204437289	
	<b>7.96</b>				
<b>CITY ELECTRIC SUPPLY</b>					
LED STREET LIGHTS	46,365.22	11740000-55486	ROADWAY CAPITAL IMPROVEMENTS	GUR/098487 PO-3828	20210039
	<b>46,365.22</b>				
<b>COMCAST CABLE</b>					
ELEVATOR POTS LINES 7/20-8/19/20	87.75	01652800-52230	TELEPHONE	0010112 07/16/20	
MONTHLY FEE 7/20-8/19/20	86.95	01664700-53330	INVESTIGATION FUND	0483228 07/16/20	
	<b>174.70</b>				
<b>CONSTELLATION NEW ENERGY</b>					
200 TUBEWAY-LIFTSTATION 18283274401 8/6-9/4/20	157.60	04101500-53210	ELECTRICITY	72803321-18 09/07/20	
	<b>157.60</b>				
<b>CORE &amp; MAIN LP</b>					
HYDRANT METER DARTS	88.83	04201600-53317	OPERATING SUPPLIES	M884052	
	<b>88.83</b>				
<b>COVERALL NORTH AMERICA INC</b>					
JANITORIAL CONTRACT FY21	1,422.00	01670100-52276	JANITORIAL SERVICES	1010664770 PO-3807	20210008
	<b>1,422.00</b>				

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<b>CYBERSOURCE CORP</b>					
AUTHNET SEP 20	25.00	01610100-52256	BANKING SERVICES	AUTHNET 09/30/20	
	<b>25.00</b>				
<b>DISCOVERY BENEFITS</b>					
FLEX SPENDING-AUG 2020	220.00	01600000-52273	EMPLOYEE SERVICES	0001214523-IN	
	<b>220.00</b>				
<b>DOJES FORENSIC SUPPLIES</b>					
EVIDENCE SUPPLIES	189.86	01662700-53317	OPERATING SUPPLIES	21910	
	<b>189.86</b>				
<b>DOLLAR TREE</b>					
SCHMIDT FAREWELL	9.50	01660100-53317	OPERATING SUPPLIES	061091	
	<b>9.50</b>				
<b>DTN LLC</b>					
WEATHER SERVICE CONT.	2,460.00	01670100-52234	DUES & SUBSCRIPTIONS	5772479B	
	<b>2,460.00</b>				
<b>DUPAGE CHRYSLER DODGE JEEP</b>					
AG BOLTS	62.20	01696200-53354	PARTS PURCHASED	80990	
AG FAN	314.93	01696200-53354	PARTS PURCHASED	81158	
AG FAN	391.15	01696200-53354	PARTS PURCHASED	81177	
AG LIFTERS	31.34	01696200-53354	PARTS PURCHASED	80969	
AG LIFTERS	659.12	01696200-53354	PARTS PURCHASED	80959	
AG MOTOR MOUNT	59.06	01696200-53354	PARTS PURCHASED	81181	
AG RADIATOR	154.00	01696200-53354	PARTS PURCHASED	81280	
AG ROCKER ARM	100.87	01696200-53354	PARTS PURCHASED	81050	
AG SEAT	693.00	01696200-53354	PARTS PURCHASED	81145	
AG SEAT COVER	314.93	01696200-53354	PARTS PURCHASED	81051	
JL MOULDING	128.59	01696200-53354	PARTS PURCHASED	80836	
	<b>2,909.19</b>				



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<b>DUPAGE COUNTY CLERK</b>					
NOTARY 2020-CLUEVER	10.00	01660100-52234	DUES & SUBSCRIPTIONS	NOTARY 2020-CLUEVER	
NOTARY 2020-SCHNEIDER	10.00	01660100-52234	DUES & SUBSCRIPTIONS	NOTARY 2020-SCHNEID	
	<b>20.00</b>				
<b>DUPAGE COUNTY PUBLIC WORKS</b>					
RENTAL OF TRUCK LOADER	2,520.00	01670400-52244	MAINTENANCE & REPAIR	20-10 PO-3836	20210037
	<b>2,520.00</b>				
<b>DUPAGE COUNTY RECORDER</b>					
R2020-094778 RECORDING ULTY AGREEMENT	44.00	01520000-52233	RECORDING FEES	40178564	
	<b>44.00</b>				
<b>ENFORCEMENT VIDEO, LLC</b>					
MICROPHONE CRADLES	1,035.00	01662700-52244	MAINTENANCE & REPAIR	ACCINV0026404	
MICROPHONES	702.00	01662700-52244	MAINTENANCE & REPAIR	0025541	
REAR SQUAD CAMERA	410.00	01662700-52244	MAINTENANCE & REPAIR	ACCINV002622	
	<b>2,147.00</b>				
<b>EXAMINER PUBLICATIONS INC</b>					
PUBLIC NOTICE	166.50	01530000-52240	PUBLIC NOTICES/INFORMATION	53105	
	<b>166.50</b>				
<b>FASTVUE INC</b>					
WEB REPORTING	629.10	01652800-52255	SOFTWARE MAINTENANCE	AM4244	
	<b>629.10</b>				
<b>FEECE OIL CO</b>					
DIESEL FUEL	167.73	04101500-53312	PWC DIESEL FUEL	3727396	
DIESEL FUEL	396.45	04201600-53312	PWC DIESEL FUEL	3727396	
DIESEL FUEL	472.69	01670400-53312	PWC DIESEL FUEL	3727396	
DIESEL FUEL	487.93	01670200-53312	PWC DIESEL FUEL	3727396	
	<b>1,524.80</b>				

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<b>FIRESTONE COMPLETE AUTO CARE</b>					
AG TIRES	245.32	01696200-53354	PARTS PURCHASED	075713	
AG TIRES	245.32	01696200-53354	PARTS PURCHASED	075731	
AG TIRES	259.28	01696200-53354	PARTS PURCHASED	075752	
AG TIRES	627.56	01696200-53354	PARTS PURCHASED	075240	
ALIGNMENT SERVICE	66.49	01696200-53353	OUTSOURCING SERVICES	075769	
ALIGNMENT SERVICE	66.49	01696200-53353	OUTSOURCING SERVICES	075771	
	<b>1,510.46</b>				
<b>FOX VALLEY FIRE &amp; SAFETY</b>					
ANNUAL FIRE EXT. INSPECTIONS	1,233.20	01670400-52244	MAINTENANCE & REPAIR	IN00377287	
	<b>1,233.20</b>				
<b>FULL LIFE SAFETY CENTER</b>					
CALIBRATION	155.00	04101500-52244	MAINTENANCE & REPAIR	53414	
CALIBRATION	155.00	04201600-52244	MAINTENANCE & REPAIR	53425	
	<b>310.00</b>				
<b>GALLS LLC</b>					
UNIFORM-CHACON	287.06	01660100-53324	UNIFORMS	016136883	
UNIFORM-KEALLY	112.60	01660100-53324	UNIFORMS	016054089	
	<b>399.66</b>				
<b>GAP</b>					
CLOTH ALLOW-CASTRO	138.84	01664700-53324	UNIFORMS	8890	
	<b>138.84</b>				
<b>GARVEY'S OFFICE SUPPLIES</b>					
OFFICE SUPPLIES	42.16	01662600-53314	OFFICE SUPPLIES	PINV1946798	
OFFICE SUPPLIES	114.00	01662600-53314	OFFICE SUPPLIES	PINV1957583	
OFFICE SUPPLIES	144.06	01662600-53314	OFFICE SUPPLIES	PINV1956334	
	<b>300.22</b>				

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<b>GAS PURCHASES-MASTERCARD</b>					
GASOLINE	18.65	01662700-53313	AUTO GAS & OIL	9063112	
	<u>18.65</u>				
<b>GENUINE PARTS COMPANY INC</b>					
PARTS 7/1-7/31/20	107.79	01696200-53316	TOOLS	1107487	
PARTS 7/1-7/31/20	128.27	01696200-53317	OPERATING SUPPLIES	1107487	
PARTS 7/1-7/31/20	1,744.92	01696200-53354	PARTS PURCHASED	1107487	
PARTS 8/1/20 - 8/31/20	20.60	01696200-53316	TOOLS	11007487 08/31/20	
PARTS 8/1/20 - 8/31/20	36.29	01696200-53317	OPERATING SUPPLIES	11007487 08/31/20	
PARTS 8/1/20 - 8/31/20	2,430.55	01696200-53354	PARTS PURCHASED	11007487 08/31/20	
	<u>4,468.42</u>				
<b>GLENBARD TOWNSHIP HIGH SCHOOL DIST 87</b>					
OVERPAYMENT FALSE ALARM INV 4513	50.00	01000000-47407	MISCELLANEOUS REVENUE	4513	
	<u>50.00</u>				
<b>GOVTEMPSUSA LLC</b>					
ACCOUNTS CLERK-A RETSKE 8/30, 9/6/20	1,176.00	04103100-52253	CONSULTANT	3585445	
ACCOUNTS CLERK-A RETSKE 8/30, 9/6/20	1,176.00	04203100-52253	CONSULTANT	3585445	
AMR CLERK-M SCHULTZ 8/16, 8/23/20	2,391.20	04201400-52253	CONSULTANT	3577736	20210032
AMR CLERK-M SCHULTZ 8/30, 9/6/20	2,391.20	04201400-52253	CONSULTANT	3585446	20210032
LIBRARY TECH-N BOYD 6/7, 6/14/20	3,529.60	01652800-52253	CONSULTANT	3540439	
LIBRARY TECH-N BOYD 7/5, 7/12/20	3,529.60	01652800-52253	CONSULTANT	3555018	
LIBRARY TECH-N BOYD 8/30, 9/6/20	3,529.60	01652800-52253	CONSULTANT	3585444	
OFFICE MANAGER-D KALKE 8/30, 8/6/20	3,170.40	01590000-52253	CONSULTANT	3585443	
PROPERTY INS-E HERZOG 8/30, 9/6/20	1,470.00	01642100-52253	CONSULTANT	3585442	
	<u>22,363.60</u>				
<b>GRAINGER</b>					
AP OIL, TRUCK 5 BUILD	5.90	04201600-53317	OPERATING SUPPLIES	9616846771	
AP OIL, TRUCK 5 BUILD	85.50	01696200-53354	PARTS PURCHASED	9616846771	
	<u>91.40</u>				

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<b>GRANITE TELECOMMUNICATIONS</b>					
TELCO 9/1-9/30/20	873.04	01652800-52230	TELEPHONE	497489275	
	<u>873.04</u>				
<b>HAPCO POLE PRODUCTS</b>					
EMERGENCY STEET LIGHT POLES	6,092.00	01670300-53215	STREET LIGHT SUPPLIES	SO00041452 PO-3818	
	<u>6,092.00</u>				
<b>HAYES MECHANICAL</b>					
HVAC EQUIPMENT MAINTENANCE	3,546.67	01670400-52244	MAINTENANCE & REPAIR	463526 PO-3785	20210003
	<u>3,546.67</u>				
<b>HBK WATER METER SERVICE INC</b>					
WATER METER TESTING	612.00	04201400-52282	METER MAINTENANCE	200276	20210035
WATER METER TESTING	1,251.00	04201400-52282	METER MAINTENANCE	200358	20210035
	<u>1,863.00</u>				
<b>HERITAGE CRYSTAL CLEAN LLC</b>					
SP COOLANT	425.27	01696200-53354	PARTS PURCHASED	16426897	
	<u>425.27</u>				

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<b>HOME DEPOT</b>					
AG PAINT	16.94	01696200-53354	PARTS PURCHASED	2015443	
BATHROOM RACK TOWELS	29.28	01662400-53317	OPERATING SUPPLIES	060996	
DRIVEWAY SEALER	28.60	01670500-53317	OPERATING SUPPLIES	7024836	
GLASS GLUE	5.64	01662400-53317	OPERATING SUPPLIES	037303	
KICK PLATES	151.92	01680000-53319	MAINTENANCE SUPPLIES	076327	
LAWN MAINTENANCE	42.21	01680000-53319	MAINTENANCE SUPPLIES	015182	
PIPE FITTINGS	24.69	04201600-53317	OPERATING SUPPLIES	8014432	
RAKES	41.96	01670400-53316	TOOLS	8524097	
STORM SEWER SUPPLIES	26.93	01670600-53317	OPERATING SUPPLIES	9020173	
TRUCK 5 BUILD	19.79	04201600-53317	OPERATING SUPPLIES	9615456	
TRUCK 5 BUILD	27.32	04201600-53317	OPERATING SUPPLIES	5512403	
TRUCK 5 BUILD	43.94	04201600-53317	OPERATING SUPPLIES	8020344	
WALLPLATES,SEN SWITCH	489.20	01560000-53390	COVID - 19 RESPONSE	6022332	
WASP KILLER	2.97	01680000-53319	MAINTENANCE SUPPLIES	043645	
	<b>951.39</b>				
<b>HR CERTIFICATION.COM</b>					
RENEW-COBRA CERTIFICATE	99.00	01600000-52223	TRAINING	1157716	
	<b>99.00</b>				
<b>I C M A (INTN'L CITY/COUNTY MGMT ASSN</b>					
ICMA CONFERENCE-J CAREY 8/23-8/26/20	199.00	01590000-52223	TRAINING	1465	
ICMA DUES 7/1/20-6/30/21	1,400.00	01590000-52234	DUES & SUBSCRIPTIONS	194250	
	<b>1,599.00</b>				
<b>IAFSM</b>					
DUES 2020 ULREICH	50.00	01620100-52234	DUES & SUBSCRIPTIONS	IAFSM 2020-ULREICH	
	<b>50.00</b>				
<b>IDENTI-KIT SOLUTIONS</b>					
SOFTWARE LIC. RENEWAL	495.00	01662400-52255	SOFTWARE MAINTENANCE	106929	
	<b>495.00</b>				

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<b>IEPA</b>					
LOAN PAYMENT 10/15/20	20,008.23	04100100-56491	LOAN INTEREST	BILL 32 L17-1772	
LOAN PAYMENT 10/15/20	194,316.96	04100100-56490	LOAN PRINCIPAL	BILL 32 L17-1772	
	<b>214,325.19</b>				
<b>ILLINI POWER PRODUCTS COMPANY</b>					
LOAD BANK TEST	453.00	04101100-52244	MAINTENANCE & REPAIR	SWO027621-1	
LOAD BANK TEST	453.00	04201600-52244	MAINTENANCE & REPAIR	SWO027617-2	
LOAD BANK TEST	523.00	04201600-52244	MAINTENANCE & REPAIR	SWO027616-1	
LOAD BANK TEST	549.00	04101100-52244	MAINTENANCE & REPAIR	SWO027619-1	
LOAD BANK TEST	575.00	04201600-52244	MAINTENANCE & REPAIR	SWO027618-1	
LOAD BANK TEST	781.00	04201600-52244	MAINTENANCE & REPAIR	SWO027615-1	
LOAD BANK TEST	811.90	04201600-52244	MAINTENANCE & REPAIR	SWO027620-1	
	<b>4,145.90</b>				
<b>ILLINOIS ASSN OF CHIEFS OF POLICE</b>					
ILACP-HOMER THRU 12/30/20	95.00	01660100-52234	DUES & SUBSCRIPTIONS	6078	
REFUND-TRAINING	-400.00	01660100-52223	TRAINING	1291-REF CLUEVER	
	<b>-305.00</b>				
<b>ILLINOIS PHLEBOTOMY SERVICES LLC</b>					
CSPC2001349. KIEDROWSKA 7/4/20	425.00	01662300-53317	OPERATING SUPPLIES	1125	
	<b>425.00</b>				
<b>ILLINOIS STATE POLICE/DIRECTOR</b>					
VEHICLE SEIZURE	1,200.00	01-24238	IL STATE POLICE ASSET FORFEIT	CSPC2001349/20MR574	
	<b>1,200.00</b>				
<b>INDEED, INC</b>					
JOB AD JULY 2020	184.37	01600000-52228	PERSONNEL HIRING	34171250	
	<b>184.37</b>				

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<b>INTERGOVERNMENTAL PERSONNEL BENEFIT COOPERATIVE</b>					
SEP 2020 INSURANCE	661.18	01643600-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	755.55	01641700-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	761.70	01670500-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,015.58	01670300-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,108.78	01640100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,184.85	04100100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,269.51	01670200-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,269.51	01670700-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,692.67	04101500-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,692.67	04201400-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,777.28	01670600-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	1,786.65	01642100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	2,538.98	01690100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	2,572.79	01680000-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	2,739.14	04103100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	2,739.14	04203100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	2,968.13	01652800-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	3,067.48	01590000-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	3,211.14	01662500-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	3,316.39	01643700-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	3,808.49	01696200-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	5,331.89	01670400-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	5,924.31	04200100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	6,432.13	04201600-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	6,611.79	01610100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	7,323.04	01620100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	7,616.98	01670100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	8,599.72	01662600-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	9,445.45	01662300-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	11,523.55	01662400-51111	GROUP INSURANCE	09012020	

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SEP 2020 INSURANCE	15,536.11	01664700-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	26,985.39	01660100-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	46,040.40	01600000-51111	GROUP INSURANCE	09012020	
SEP 2020 INSURANCE	50,725.68	01662700-51111	GROUP INSURANCE	09012020	
AUG 2020 INSURANCE	679.30	01643600-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	776.27	01641700-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	782.62	01670500-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,043.49	01670300-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,181.73	01640100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,217.39	04100100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,304.36	01670200-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,304.36	01670700-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,739.14	04101500-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,739.14	04201400-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	1,826.11	01670600-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	2,608.72	01690100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	2,728.55	01642100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	2,814.34	04103100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	2,814.34	04203100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	3,049.65	01652800-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	3,151.72	01590000-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	3,151.72	01680000-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	3,299.32	01662500-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	3,913.08	01696200-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	5,023.12	01643700-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	5,478.32	01670400-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	6,087.03	04200100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	6,608.77	04201600-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	6,793.41	01610100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	7,524.15	01620100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	7,826.16	01670100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	8,835.90	01662600-51111	GROUP INSURANCE	08032020	



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AUG 2020 INSURANCE	9,704.85	01662300-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	11,840.02	01662400-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	15,528.29	01664700-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	27,286.30	01660100-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	44,042.26	01600000-51111	GROUP INSURANCE	08032020	
AUG 2020 INSURANCE	52,553.20	01662700-51111	GROUP INSURANCE	08032020	
	<b>506,291.18</b>				
<b>INTERNATIONAL ASSN OF CHIEF OF POLICE</b>					
IACP MEMBERSHIP-W HOLMER	190.00	01660100-52234	DUES & SUBSCRIPTIONS	0070361	
	<b>190.00</b>				
<b>INTERNET PURCHASE MASTERCARD</b>					
CERT MEMBERSHIP FEE CADLE 8/5-8/5/21	27.95	01660100-52234	DUES & SUBSCRIPTIONS	36561C4B0001	
CLOTH ALLOW - BLAIR	54.51	01664700-53324	UNIFORMS	300144209	
CLOTH ALLOW-BLAIR	-3.21	01664700-53324	UNIFORMS	300144209	
CLOTH ALLOW-BLAIR	233.75	01664700-53324	UNIFORMS	2500661986	
COVID-19 HAND SANITIZER	500.00	01560000-53390	COVID - 19 RESPONSE	1136	
FTO MANUAL	24.51	01662700-53318	REFERENCE MATERIALS	USD161547	
LANYARDS	207.36	01660100-53317	OPERATING SUPPLIES	220581707	
MISCHARGE-REIMBURSED	72.00	01662700-53317	OPERATING SUPPLIES	2343917	
WSUS MAINT.AUTOMATION	60.00	01652800-52255	SOFTWARE MAINTENANCE	70693	
	<b>1,176.87</b>				
<b>INTOXIMETERS INC</b>					
DUI SUPPLIES	958.00	01662300-53350	SMALL EQUIPMENT EXPENSE	SO-0180324	
	<b>958.00</b>				
<b>IT GLUE</b>					
IT DOC SOFTWARE	114.00	01652800-52255	SOFTWARE MAINTENANCE	193686176	
	<b>114.00</b>				

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<b>JET BRITE CAR WASH INC</b>					
CAR WASH 7/1-7/31/20	234.00	01662700-52244	MAINTENANCE & REPAIR	3998	
	<b>234.00</b>				
<b>JOE COTTON FORD</b>					
AG MOTOR	28.54	01696200-53354	PARTS PURCHASED	3176	
JL TRANS LINES	103.52	01696200-53354	PARTS PURCHASED	3010	
OUTSOURCING SERVICES	291.02	01696200-53353	OUTSOURCING SERVICES	16298	
TRUCK #35-FORD F350 2020	36,250.38	10670000-54415	VEHICLES	0002464 PO-3803	
TRUCK #42-FORD F350 2020	36,250.38	10670000-54415	VEHICLES	0002463 PO-3803	
	<b>72,923.84</b>				
<b>KAMMES AUTO &amp; TRUCK REPAIR INC</b>					
STATE INSPECTIONS	120.00	01696200-53353	OUTSOURCING SERVICES	131657	
	<b>120.00</b>				
<b>KANE COUNTY CLERK</b>					
NOTARY 2020-T DUGO	11.00	01660100-52234	DUES & SUBSCRIPTIONS	NOTARY 2020-DUGO	
	<b>11.00</b>				
<b>KEVRON PRINTING</b>					
REGISTER RECEIPT	242.60	01662600-53315	PRINTED MATERIALS	20-47121	
TOW REPORTS	748.65	01662600-53315	PRINTED MATERIALS	20-47138	
	<b>991.25</b>				
<b>KONICA MINOLTA BUSINESS SOLUTIONS</b>					
BIZHUB 5/20-6/19/20	44.72	01662500-52226	OFFICE EQUIPMENT MAINTENANCE	266694444	
BIZHUB 6/20-7/19/20	77.67	01662500-52226	OFFICE EQUIPMENT MAINTENANCE	267303107	
	<b>122.39</b>				

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<b>LANDSCAPE MATERIAL &amp; FIREWOOD SALES INC</b>					
RESTO SUPPLIES 8/24/20	210.00	01670400-53317	OPERATING SUPPLIES	42355	
TOP SOIL 09/03/20	240.00	01670400-53317	OPERATING SUPPLIES	42463	
	<b>450.00</b>				
<b>LAW ENFORCEMENT TARGETS INC</b>					
TAX REFUND	-28.86	01662700-53317	OPERATING SUPPLIES	0466939REF	
	<b>-28.86</b>				
<b>LECHNER &amp; SONS</b>					
MATS-7/22/20	51.99	01670100-53317	OPERATING SUPPLIES	2783647	
MATS-7/29/20	51.99	01670100-53317	OPERATING SUPPLIES	2787372	
MATS-8/12/2020	51.99	01670100-53317	OPERATING SUPPLIES	2793175	
MATS-8/5/2020	51.99	01670100-53317	OPERATING SUPPLIES	2790009	
TOWELS/WIPES-7/22/20	46.53	01696200-53317	OPERATING SUPPLIES	2783647	
TOWELS/WIPES-7/29/20	46.53	01696200-53317	OPERATING SUPPLIES	2787372	
TOWELS/WIPES-8/12/20	46.53	01696200-53317	OPERATING SUPPLIES	2793175	
TOWELS/WIPES-8/5/2020	46.53	01696200-53317	OPERATING SUPPLIES	2790009	
	<b>394.08</b>				
<b>LENS ACE HARDWARE #426</b>					
PAD LOCKS	275.00	01670400-53317	OPERATING SUPPLIES	097584	
PAD LOCKS	275.00	04101500-53317	OPERATING SUPPLIES	097584	
	<b>550.00</b>				
<b>LEXISNEXIS</b>					
MONTHLY FEE JUL 2020	209.10	01662400-53330	INVESTIGATION FUND	20200731	
	<b>209.10</b>				
<b>LIVE VIEW GPS INC</b>					
MONTHLY FEE	119.85	01664700-53330	INVESTIGATION FUND	395794	
	<b>119.85</b>				

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<b>LOWE'S HOME CENTERS</b>					
AG PAINT	13.94	01696200-53354	PARTS PURCHASED	07010	
GRASS SEED	56.48	01670400-53317	OPERATING SUPPLIES	17559128	
SIDEWALK REPAIR SUPPLIES	43.68	01670500-53317	OPERATING SUPPLIES	2938667	
WOOD FOR FORMS	56.80	01670500-53317	OPERATING SUPPLIES	88863102	
WOOD FORMS	30.69	01670500-53317	OPERATING SUPPLIES	88641300	
	<b>201.59</b>				
<b>MARK E RADABAUGH</b>					
TAPING, EDITING 9/8/20	100.00	01590000-52253	CONSULTANT	20-0159	
	<b>100.00</b>				
<b>METROPOLITAN MAYORS CAUCUS</b>					
MMC ANNUAL DUES FY 2020	1,787.00	01520000-52234	DUES & SUBSCRIPTIONS	2020-085	
	<b>1,787.00</b>				
<b>MNJ TECHNOLOGIES DIRECT</b>					
LAPTOP ACCID.WARRANTY	182.03	01652800-54413	COMPUTER EQUIPMENT	0003738714	
LAPTOP DOCK	293.86	01652800-54413	COMPUTER EQUIPMENT	0003741282	
	<b>475.89</b>				
<b>MOWERS AND MORE</b>					
JL TAX CREDIT	-0.53	01696200-53354	PARTS PURCHASED	16077REF	
	<b>-0.53</b>				
<b>MSDSONLINE INC</b>					
MSDS ONLINE RENEWAL 8/3/20 - 8/3/2021	2,499.00	01652800-52255	SOFTWARE MAINTENANCE	221432	
	<b>2,499.00</b>				
<b>MULTISYSTEM MANAGEMENT COMPANY</b>					
JANITORIAL SVC AUG 2020	3,950.00	01680000-52276	JANITORIAL SERVICES	2327	
	<b>3,950.00</b>				

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<b>MUNICIPAL GIS PARTNERS INC</b>					
MGP GIS-AUG 2020	9,756.80	01652800-52257	GIS SYSTEM	4973	
	<u>9,756.80</u>				
<b>NEENAH FOUNDARY COMPANY</b>					
STORM GRATE	224.00	01670600-53317	OPERATING SUPPLIES	382044	
STORM SEWER GRATE	224.00	01670600-53317	OPERATING SUPPLIES	380981	
	<u>448.00</u>				
<b>NMI</b>					
CC GATEWAY FEES AUG 20	10.00	01610100-52256	BANKING SERVICES	274597648	
CC GATEWAY FEES AUG 20	108.05	04103100-52221	UTILITY BILL PROCESSING	27604572	
CC GATEWAY FEES AUG 20	108.05	04203100-52221	UTILITY BILL PROCESSING	27604572	
	<u>226.10</u>				
<b>NORTHERN TOOL &amp; EQUIPMENT</b>					
JL VALVE	109.48	01696200-53354	PARTS PURCHASED	45675429	
	<u>109.48</u>				
<b>OCULAR DATA SYSTEMS, INC</b>					
DAX ENFORCER EVIDENCE RECORDER	4,995.00	01662300-53350	SMALL EQUIPMENT EXPENSE	0000078 PO-4662911	
	<u>4,995.00</u>				
<b>OUTDOOR HOME SERVICES HOLDINGS LLC</b>					
WEED CONTROL-TOWN CENTER 7/17/20	1,000.00	01670400-52272	PROPERTY MAINTENANCE	125182405	20210024
WEED CONTROL-VILLAGE HALL 7/17/20	89.00	01670400-52272	PROPERTY MAINTENANCE	125182434	20210024
	<u>1,089.00</u>				
<b>PADDOCK PUBLICATIONS INC</b>					
BID NOTICE 8/28/20	102.60	01620100-53317	OPERATING SUPPLIES	155976	
	<u>102.60</u>				

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<b>PHOTO CARD SPECIALISTS INC</b>					
EBY RETIREMENT	357.32	01660100-53317	OPERATING SUPPLIES	120766	
	<u>357.32</u>				
<b>PRI MANAGEMENT GROUP</b>					
NIBRS TRAINING 8/26/20 PLUMB	250.00	01662700-52223	TRAINING	AU507302V	
	<u>250.00</u>				
<b>PRO SAFETY INC</b>					
LOCATE SUPPLIES	264.00	01670600-52272	PROPERTY MAINTENANCE	2/871520	
LOCATE SUPPLIES	264.00	01670300-52272	PROPERTY MAINTENANCE	2/871520	
LOCATE SUPPLIES	264.00	04201600-53317	OPERATING SUPPLIES	2/871520	
LOCATE SUPPLIES	264.60	04101500-52272	PROPERTY MAINTENANCE	2/871520	
	<u>1,056.60</u>				
<b>PROFESSIONAL SNOWFIGHTERS ASSN</b>					
ANNUAL MEMBER-PHIL M	25.00	01670100-52234	DUES & SUBSCRIPTIONS	2312	
	<u>25.00</u>				

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<b>RAY O'HERRON CO</b>					
RETIREMENT BADGES ZOCHERT, EBY	707.40	01660100-53324	UNIFORMS	2038900	
UNIFORM-C. CADLE	159.98	01660100-53324	UNIFORMS	2042441	
UNIFORM-C. CADLE	181.97	01660100-53324	UNIFORMS	2044051	
UNIFORM-CIESLOWSKI	185.00	01660100-53324	UNIFORMS	2042440	
UNIFORM-CUMMINGS	27.99	01660100-53324	UNIFORMS	2040195	
UNIFORM-HOLMER	95.98	01660100-53324	UNIFORMS	2043028	
UNIFORM-HOLMER	532.62	01660100-53324	UNIFORMS	2041216	
UNIFORM-HOLMER	1,134.88	01660100-53324	UNIFORMS	2042438	
UNIFORM-JUNGERS	54.00	01660100-53324	UNIFORMS	2040196	
UNIFORM-LAKE	139.00	01660100-53324	UNIFORMS	2042437	
UNIFORM-NIELSEN	189.94	01660100-53324	UNIFORMS	2041215	
UNIFORM-WAJDOWICZ VEST	917.99	01660100-53324	UNIFORMS	2044050	
UNIFORM-WALLETS	80.97	01660100-53324	UNIFORMS	2042442	
	<b>4,407.72</b>				
<b>RECRUITERBOX</b>					
ANNUALSUBSCRIPT.20-21	1,749.00	01600000-52255	SOFTWARE MAINTENANCE	89016	
	<b>1,749.00</b>				
<b>RED WING SHOE STORE</b>					
BOOTS-DAVE NOWORUL	179.99	04200100-53324	UNIFORMS	79711	
BOOTS-DAVE NOWORUL	215.99	04200100-53324	UNIFORMS	79706	
RETURN	-215.99	04200100-53324	UNIFORMS	79710	
	<b>179.99</b>				
<b>REFUNDS MISC</b>					
ADMIN PUBLIC SAFETY TOW FEE-PARTIAL REFUND	475.00	01000000-45321	TOWING FEE	CSPC2001688	
STICKER 18229, 400147-OVERPAYMENT	42.50	01000000-47602	OVER/SHORT	18229-400147	
	<b>517.50</b>				

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<b>REFUNDS PRESERVATION BONDS</b>					
19-0553-PATI, #2104425, 353 THUNDERBIRD-REFUND	200.00	01-24302	ESCROW - GRADING	353 THUNDERBIRD-2020	
20-0677-DRVW, 1086 CHETWOOD-REFUND	300.00	01-24302	ESCROW - GRADING	1086 CHETWOOD-2020	
20-0750-DRVW, #2310653, 533 IROQUOIS-REFUND	300.00	01-24302	ESCROW - GRADING	533 IROQUOIS-2020	
20-0866-PKGL, #2322242, 123 E ELK TRL-REFUND	500.00	01-24302	ESCROW - GRADING	123 E ELK TRL-2020	
20-0893-DRVW, #2322776, 1110 EVERGREEN-REFUND	300.00	01-24302	ESCROW - GRADING	1110 EVERGREEN-2020	
20-0925-DRVW, #2325736, 577 OSWEGO-REFUND	300.00	01-24302	ESCROW - GRADING	577 OSWEGO-2020	
20-0965-DRVW, #2328096, 673 DAVID LN-REFUND	300.00	01-24302	ESCROW - GRADING	673 DAVID LN-2020	
20-0977-PKGL, #2328458, 180 ALEXANDRA-REFUND	1,000.00	01-24302	ESCROW - GRADING	180 ALEXANDRA-2020	
20-0985-PATI, #2329453, 634 ADAM LN-REFUND	200.00	01-24302	ESCROW - GRADING	634 ADAM LN-2020	
20-1012-STOO, #2333928, 1199 KNOLLWOOD-REFUND	200.00	01-24302	ESCROW - GRADING	1199 KNOLLWOOD-2020	
20-1013-DRVW, #2333941, 1N210 WEST ST-REFUND	300.00	01-24302	ESCROW - GRADING	1N210 WEST ST-2020	
20-1014-PATI, #2333948, 450 MINNESOTA-REFUND	200.00	01-24302	ESCROW - GRADING	450 MINNESOTA-2020	
20-1020-PATI, #2334712, 1354 BIG HORN-REFUND	200.00	01-24302	ESCROW - GRADING	1354 BIG HORN-2020	
20-1044-DRVW, #2336980, 506 CHEROKEE ST-REFUND	300.00	01-24302	ESCROW - GRADING	506 CHEROKEE CT-2020	
20-1110-DRVW, #2337530, 840 HURON CT-REFUND	300.00	01-24302	ESCROW - GRADING	840 HURON CT-2020	
20-1116-PATI, #2330508, 1323 CARIBOU TRL-REFUND	200.00	01-24302	ESCROW - GRADING	1323 CARIBOU-2020	
	<b>5,100.00</b>				
<b>REFUNDS TAX STAMPS</b>					
STAMP 31593, 1112 SANDHURST LN-REFUND	1,275.00	11000000-41208	REAL ESTATE TRANSFER TAX	STAMP 31593	
	<b>1,275.00</b>				



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<b>REFUNDS W&amp;S FINALS</b>					
	2.24	04-12110	ACCOUNT RECEIV WATER & SEWER	16678 09/21/20	
	3.00	04-12110	ACCOUNT RECEIV WATER & SEWER	16678 09/21/20	
	5.72	04-12110	ACCOUNT RECEIV WATER & SEWER	14034 09/21/20	
	13.81	04-12110	ACCOUNT RECEIV WATER & SEWER	14654 09/21/20	
	18.20	04-12110	ACCOUNT RECEIV WATER & SEWER	11959 09/21/20	
	18.94	04-12110	ACCOUNT RECEIV WATER & SEWER	18635 09/21/20	
	25.00	04-12110	ACCOUNT RECEIV WATER & SEWER	16527 09/21/20	
	28.42	04-12110	ACCOUNT RECEIV WATER & SEWER	16834 09/21/20	
	34.89	04-12110	ACCOUNT RECEIV WATER & SEWER	15783 09/21/20	
	44.99	04-12110	ACCOUNT RECEIV WATER & SEWER	12696 09/21/20	
	47.69	04-12110	ACCOUNT RECEIV WATER & SEWER	18679 09/21/20	
	49.56	04-12110	ACCOUNT RECEIV WATER & SEWER	12023 09/21/20	
	56.69	04-12110	ACCOUNT RECEIV WATER & SEWER	14299 09/21/20	
	62.46	04-12110	ACCOUNT RECEIV WATER & SEWER	14701 09/21/20	
	80.81	04-12110	ACCOUNT RECEIV WATER & SEWER	14128 09/21/20	
	93.92	04-12110	ACCOUNT RECEIV WATER & SEWER	12347 09/21/20	
	98.25	04-12110	ACCOUNT RECEIV WATER & SEWER	17626 09/21/20	
	274.18	04-12110	ACCOUNT RECEIV WATER & SEWER	12404 09/21/20	
	<b>958.77</b>				
<b>RENTAL MAX</b>					
BACK HOE	286.21	04201600-52264	EQUIPMENT RENTAL	434233-7	
MINI RENTAL	337.86	01670300-52264	EQUIPMENT RENTAL	431188-8(1)	
MINI RENTAL	339.07	04201600-52264	EQUIPMENT RENTAL	431188-8	
REFUND	-65.65	01670500-52264	EQUIPMENT RENTAL	430231-8REF	
ROLLER-SURREY	259.65	01670500-52264	EQUIPMENT RENTAL	430231-8	
	<b>1,157.14</b>				

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<b>RESTAURANT-MASTERCARD</b>					
FOOD FOR INVESTIGATORS	56.66	01662400-52222	MEETINGS	08192020	
WELCOME CHIEF HOLMER	55.94	01660100-53317	OPERATING SUPPLIES	012145	
	<b>112.60</b>				
<b>SIKICH LLP</b>					
AUDIT FEES-FY 20	2,000.00	01520000-52237	AUDIT FEES	461397	
	<b>2,000.00</b>				
<b>SIMPLY COMPLIANCE</b>					
TRAINING LIBRARY	963.00	01600000-52223	TRAINING	66027706	
	<b>963.00</b>				
<b>STANDARD EQUIPMENT COMPANY</b>					
CLAMPS	98.19	01670600-53317	OPERATING SUPPLIES	P22845	
JL SENSOR	93.32	01696200-53354	PARTS PURCHASED	P23157	
VAC TUBE	282.98	01670600-53317	OPERATING SUPPLIES	P23363	
	<b>474.49</b>				
<b>SUBURBAN LABORATORIES INC</b>					
WATER SAMPLES	1,204.00	04201600-52279	LAB SERVICES	178900	20210025
	<b>1,204.00</b>				
<b>SUNRISE CHEVROLET</b>					
JL FUEL PUMP	503.43	01696200-53354	PARTS PURCHASED	941416	
JL HARDWIRE	94.80	01696200-53354	PARTS PURCHASED	941376	
	<b>598.23</b>				
<b>SUNSOURCE</b>					
AG ACTUATOR	152.48	01696200-53354	PARTS PURCHASED	5470323-00	
	<b>152.48</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>SURVIVAL TRAINING SOLUTIONS, LLC</b>					
TRAINING-ANDREJEVICZ, WAJDOWICZ	650.00	01660100-52223	TRAINING	02043	
	<b>650.00</b>				
<b>TANGLEWOOD KENNELS</b>					
KENNEL FEES	273.00	03395000-52315	CANINE SERVICES	188806	
	<b>273.00</b>				
<b>TELCOM INNOVATIONS GROUP LLC</b>					
PHONE CONSULTING 8/12/20	70.00	01652800-52253	CONSULTANT	A55796	
	<b>70.00</b>				
<b>THIRD MILLENIUM ASSOCIATES INCORPORATED</b>					
BILL PRINTING 8/28/20	1,178.95	04103100-52221	UTILITY BILL PROCESSING	25207	
BILL PRINTING 8/28/20	1,178.95	04203100-52221	UTILITY BILL PROCESSING	25207	
GREEN PAY-AUG 2020	225.00	04103100-52221	UTILITY BILL PROCESSING	25208	
GREEN PAY-AUG 2020	225.00	04203100-52221	UTILITY BILL PROCESSING	25208	
	<b>2,807.90</b>				
<b>TIF 3 NORTH AND SCHMALE RD</b>					
SALES TAX-JUN 2020	-10,923.64	22000000-49340	SALES TAX CONTRIB - RDA#1	TIF3 09/30/20	
SALES TAX-JUN 2020	10,923.64	01720000-58340	SALES TAX TFR - RDA#1	TIF3 09/30/20	
SALES TAX-JUN 2020	10,923.64	22-11105	CASH - TRUST	TIF3 09/30/20	
	<b>10,923.64</b>				
<b>TITAN SUPPLY INC</b>					
PAPER TOWELS	222.40	01680000-53320	JANITORIAL SUPPLIES	3679	
	<b>222.40</b>				
<b>TRANS UNION LLC</b>					
MTHLY CREDIT CHECKS 6/26 - 7/25/20	120.95	01662400-53330	INVESTIGATION FUND	07000338	
	<b>120.95</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>TRAUSCH DYNAMICS</b>					
TRUCK 5 BUILD	132.66	04201600-53317	OPERATING SUPPLIES	C02190430	
	<u>132.66</u>				
<b>TRISOURCE SOLUTIONS LLC</b>					
TRISOUCE CC FEES AUG 20	2,316.51	04203100-52221	UTILITY BILL PROCESSING	7833 09/02/20	
TRISOUCE CC FEES AUG 20	2,316.52	04103100-52221	UTILITY BILL PROCESSING	7833 09/02/20	
TRISOUCE CC FEES-AUG 2020	92.95	04103100-52221	UTILITY BILL PROCESSING	1420 09/02/20	
TRISOUCE CC FEES-AUG 2020	92.95	04203100-52221	UTILITY BILL PROCESSING	1420 09/02/20	
TRISOUCE CC FEES-AUG 2020	557.67	01610100-52256	BANKING SERVICES	1420 09/02/20	
	<u>5,376.60</u>				
<b>TWIST OFFICE PRODUCT</b>					
NAME PLATE WM HOLMER	13.00	01660100-53324	UNIFORMS	913163-0	
	<u>13.00</u>				
<b>U S POSTMASTER</b>					
S/O NOTICE POSTAGE-SEP 2020	72.75	04103100-52229	POSTAGE	1529 09/09/20	
S/O NOTICE POSTAGE-SEP 2020	72.75	04203100-52229	POSTAGE	1529 09/09/20	
	<u>145.50</u>				
<b>ULINE SHIPPING SUPPLY SPECIALISTS</b>					
DESK	220.01	01696200-53350	SMALL EQUIPMENT EXPENSE	123377371	
FIRE CABINET	563.05	02385200-53350	SMALL EQUIPMENT EXPENSE	40574035	
	<u>783.06</u>				
<b>UNITED STATES POSTAL SERVICE</b>					
CERTIFIED MAIL-OWNER	4.10	01662400-53317	OPERATING SUPPLIES	079857	
	<u>4.10</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>UPS GROUND SERVICE</b>					
DIU KITS FOR LAB	10.32	01662400-53317	OPERATING SUPPLIES	096254	
DUI KITS FOR LAB	12.06	01662400-53317	OPERATING SUPPLIES	067488	
DUI KITS TO LAB	12.06	01662400-53317	OPERATING SUPPLIES	0020000425	
PROPERTY TO OWNER	18.53	01662400-53317	OPERATING SUPPLIES	0020000425	
SHIPPING HAVIS DOCK	12.24	01652800-53317	OPERATING SUPPLIES	1ZV10TY20320	
	<b>65.21</b>				
<b>USA BLUE BOOK</b>					
THEROMETERS	44.74	04201600-53317	OPERATING SUPPLIES	328034	
	<b>44.74</b>				
<b>VERIZON WIRELESS</b>					
EMAG JUNE-JULY 2020	1.78	01652800-52230	TELEPHONE	9857913230	
	<b>1.78</b>				
<b>VILLA PARK ELECTRICAL SUPPLY CO INC</b>					
T/C BULBS	794.04	01670300-53215	STREET LIGHT SUPPLIES	183190-00	
	<b>794.04</b>				
<b>VILLAGE OF CAROL STREAM</b>					
124 GERZEVSKE NORTH GARAGE 7/1-8/3/20	64.97	01670100-53220	WATER	01645809-20874	
124 GERZEVSKE-PUMP STATION 7/1-8/3/20	77.38	04200100-53220	WATER	01646136-21254	
124 GERZEVSKE-PW CENTER 7/2-8/3/20	108.19	01670100-53220	WATER	01645810-20875	
124 GERZEVSKE-PW HYDRANT MTR 7/1-8/1/20	478.57	04200100-53220	WATER	01646124-21240	
124 GERZEVSKE-WASHDOWN BIN 7/1-8/3/20	155.44	04200100-53220	WATER	01646139-21257	
245 KUHN AVE-ADMIN BLD 7/8-8/7/20	81.28	04101500-53220	WATER	01645807-20872	
245 KUHN RD-7/2-8/4/20	8.00	04101500-53220	WATER	01645806-20871	
245 KUHN RD-BLDG 1 BLOWER 7/2-8/4/20	0.43	04101500-53220	WATER	01646161-21279	
245 KUHN RD-BLDG 2 BLOWER 7/2-8/3/20	0.86	04101500-53220	WATER	01646160-21278	
245 KUHN RD-MAINT. BLDG 7/2-8/4/20	4.31	04101500-53220	WATER	01646138-21256	
300 KUHN RD-PW 7/2-8/7/20	77.60	04200100-53220	WATER	01646137-21255	
	<b>1,057.03</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>WAL MART</b>					
WELCOME CHIEF HOLMER	6.56	01660100-53317	OPERATING SUPPLIES	006796	
	<u>6.56</u>				
<b>WEATHER TECH</b>					
FLOOR LINER FOR JEEP	119.29	01662700-53350	SMALL EQUIPMENT EXPENSE	71936053	
	<u>119.29</u>				
<b>WELCH BROS INC</b>					
CATCH BASINS	460.00	01670600-53317	OPERATING SUPPLIES	3095479	
	<u>460.00</u>				
<b>WESTMORE SUPPLY CO</b>					
SIDEWALKS-1056 OAKWOOD 8/25/20	567.13	01670500-53317	OPERATING SUPPLIES	R103556	
SIDEWALKS-1123 LIGHTING 8/27/20	600.50	01670500-53317	OPERATING SUPPLIES	R103242	
SIDEWALKS-1310 BROOKSTONE 8/20/20	467.00	01670500-53317	OPERATING SUPPLIES	R103295	
SIDEWALKS-474 THORNHILL 8/21/20	749.25	01670500-53317	OPERATING SUPPLIES	R103268	
SIDEWALKS-503 THORNHILL 8/18/20	567.13	01670500-53317	OPERATING SUPPLIES	R103222	
SIDEWALKS-SCHMALE & THORNHILL 8/19/20	593.88	01670500-53317	OPERATING SUPPLIES	R103233	
STORM SEWER-THUNDERBIRD & AZTEC	560.50	01670600-53317	OPERATING SUPPLIES	R103107	
	<u>4,105.39</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>WEX BANK</b>					
FUEL 7/31/20	-120.61	01000000-47407	MISCELLANEOUS REVENUE	66819004 07/31/20	
FUEL 7/31/20	33.84	04101100-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	91.28	04200100-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	106.91	01680000-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	164.59	01670100-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	164.59	01670300-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	205.74	01670600-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	205.74	01670700-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	246.88	01670500-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	281.60	01620100-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	349.75	01670400-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	353.08	01640100-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	638.94	04201400-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	720.08	01670200-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	1,095.32	04201600-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	1,140.34	04101500-53313	AUTO GAS & OIL	66819004 07/31/20	
FUEL 7/31/20	10,671.26	01662700-53313	AUTO GAS & OIL	66819004 07/31/20	
	<b>16,349.33</b>				
<b>YOUR MEMBERSHIP.COM INC</b>					
JOB AD-CODE PROF. III	60.00	01600000-52228	PERSONNEL HIRING	R48250804	
JOB AD-PERMIT COORDINATOR	60.00	01600000-52228	PERSONNEL HIRING	R48174584	
	<b>120.00</b>				
<b>ZEUS BATTERY PRODUCT</b>					
BACK UP BATTERY	54.50	04201600-53317	OPERATING SUPPLIES	00248608	
	<b>54.50</b>				
<b>ZOOM VIDEO COMMUNICATIONS LLC</b>					
ZOOM CONFERENCE-SOFTWARE	88.79	01652800-52230	TELEPHONE	37027415	
	<b>88.79</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on SEPTEMBER 21,2020**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
GRAND TOTAL	<u>\$1,348,955.45</u>				



**The preceding list of bills payable totaling \$1,348,955.45 was reviewed and approved for payment.**

**Approved by:**

  
\_\_\_\_\_  
Bob Mellor –Village Manager

**Date:** 9/18/20

**Authorized by:**

\_\_\_\_\_  
Frank Saverino Sr. – Mayor

\_\_\_\_\_  
Sherry Craig- Deputy Village Clerk

**ADDENDUM WARRANTS**  
**September 9, 2020 Thru September 21, 2020**

Fund	Check #	Vendor	Description	Amount
General	A C H	Wheaton Bank & Trust	Payroll August 24, 2020 thru September 6, 2020	545,106.51
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll August 24, 2020 thru September 6, 2020	59,246.10
				<b><u>604,352.61</u></b>

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2020

By: \_\_\_\_\_  
 Frank Saverino Sr-Mayor

\_\_\_\_\_  
 Sherry Craig - Deputy Village Clerk

Village of Carol Stream  
General Fund Budget Summary  
For the Month Ended August 31, 2020

MONTH

YTD

BUDGET

REVENUES

	Last Year		Current Year		Monthly Variance			Last Year		Current Year		YTD Variance			Annual Budget	YTD Budget	YTD Actual	Variance	
	Aug	Aug	Aug	Aug	\$	%		YTD	YTD	\$	%	\$	%						
Property Tax	\$ -	\$ 331,509	\$ 331,509		\$ 331,509	100%		\$ -	\$ 2,333,477	\$ 2,333,477		\$ 2,333,477	100%		\$ 3,800,000	\$ 2,330,000	\$ 2,333,477	\$ 3,477	0%
Sales Tax	666,216	569,792	(96,424)		(96,424)	-14%		2,405,623	2,084,162	(321,461)		(321,461)	-13%		6,825,000	2,349,549	2,084,162	(265,388)	-11%
Home Rule Sales Tax	514,987	400,310	(114,677)		(114,677)	-22%		1,759,924	1,439,649	(320,274)		(320,274)	-18%		5,016,000	1,726,790	1,439,649	(287,140)	-17%
State Income Tax	266,973	538,411	271,439		271,439	102%		1,685,900	1,580,573	(105,327)		(105,327)	-6%		4,170,000	1,566,403	1,580,573	14,170	1%
Utility Tax - Electricity*	181,825	-	(181,825)		(181,825)	-100%		599,704	-	(599,704)		(599,704)	-100%		-	-	-	-	0%
Telecommunications Tax*	69,970	-	(69,970)		(69,970)	-100%		278,113	-	(278,113)		(278,113)	-100%		-	-	-	-	0%
Fines (Court, Ord., ATLE, Towing)	137,427	101,672	(35,755)		(35,755)	-26%		533,888	403,160	(130,729)		(130,729)	-24%		1,451,000	471,740	403,160	(68,581)	-15%
Natural Gas Use Tax	15,323	16,592	1,269		1,269	8%		132,323	129,395	(2,928)		(2,928)	-2%		620,000	130,390	129,395	(995)	-1%
Other Taxes (Use, Hotel, PPRT Real Estate*, Alcohol)	248,962	214,870	(34,092)		(34,092)	-14%		1,043,028	783,260	(259,768)		(259,768)	-25%		2,932,900	961,017	783,260	(177,757)	-18%
Licenses (Vehicle, Liquor, etc.)	15,174	5,002	(10,172)		(10,172)	-67%		524,743	718,501	193,758		193,758	37%		909,400	780,715	718,501	(62,214)	-8%
Cable Franchise Fees	113,079	104,261	(8,819)		(8,819)	-8%		259,929	243,660	(16,270)		(16,270)	-6%		545,500	181,833	243,660	61,826	34%
Building Permits	44,291	77,926	33,636		33,636	76%		273,441	306,389	32,948		32,948	12%		640,500	321,500	306,389	(15,111)	-5%
Fees for Services	55,004	52,045	(2,959)		(2,959)	-5%		317,758	217,572	(100,186)		(100,186)	-32%		815,400	351,300	217,572	(133,728)	-38%
Interest Income	21,158	1,556	(19,603)		(19,603)	-93%		85,230	13,924	(71,307)		(71,307)	-84%		175,000	58,333	13,924	(44,410)	-76%
All Other / Miscellaneous	93,854	93,110	(744)		(744)	-1%		464,715	266,526	(198,189)		(198,189)	-43%		1,049,300	338,167	266,526	(71,641)	-21%
<b>Revenue Totals</b>	<b>\$ 2,444,242</b>	<b>\$ 2,507,055</b>	<b>\$ 62,813</b>		<b>\$ 62,813</b>	<b>3%</b>		<b>\$ 10,364,319</b>	<b>\$ 10,520,247</b>	<b>\$ 155,928</b>		<b>\$ 155,928</b>	<b>2%</b>		<b>\$ 28,950,000</b>	<b>\$ 11,567,737</b>	<b>\$ 10,520,247</b>	<b>\$ (1,047,490)</b>	<b>-9%</b>

EXPENDITURES

Fire & Police Commission	\$ 525	\$ 160	\$ (365)		(365)	-70%		\$ 1,704	\$ 2,192	\$ 488		\$ 488	29%		\$ 38,577	\$ 12,859	\$ 2,192	\$ (10,667)	-83%
Village Board & Clerk	20,989	24,083	3,094		3,094	15%		79,622	43,372	(36,250)		(36,250)	-46%		145,604	48,535	43,372	(5,163)	-11%
Plan Commission & ZBA	284	94	(189)		(189)	-67%		847	1,435	588		588	69%		6,025	2,008	1,435	(573)	-29%
Emergency Services	-	81	81		81	100%		-	14,441	14,441		14,441	100%		98,000	-	14,441	14,441	100%
Legal Services	29,327	20,913	(8,414)		(8,414)	-29%		83,053	65,049	(18,003)		(18,003)	-22%		284,260	94,753	65,049	(29,704)	-31%
Village Clerk	-	-	-		-	0%		-	-	-		-	0%		-	-	-	-	0%
Administration	106,495	88,617	(17,877)		(17,877)	-17%		272,484	311,929	39,444		39,444	14%		897,408	299,136	311,929	12,793	4%
Employee Relations	43,820	29,659	(14,161)		(14,161)	-32%		138,490	144,225	5,735		5,735	4%		456,502	152,167	144,225	(7,943)	-5%
Financial Management	79,404	59,301	(20,103)		(20,103)	-25%		298,519	260,732	(37,787)		(37,787)	-13%		741,009	247,003	260,732	13,729	6%
Engineering Services	152,317	77,040	(75,277)		(75,277)	-49%		542,996	340,791	(202,205)		(202,205)	-37%		1,318,773	439,591	340,791	(98,800)	-22%
Community Development	104,643	79,192	(25,451)		(25,451)	-24%		374,563	364,421	(10,142)		(10,142)	-3%		1,118,882	372,961	364,421	(8,540)	-2%
Information Technology	127,124	123,355	(3,769)		(3,769)	-3%		469,052	410,269	(58,783)		(58,783)	-13%		1,509,876	503,292	410,269	(93,023)	-18%
Police	1,668,024	1,300,573	(367,452)		(367,452)	-22%		5,743,015	5,317,599	(425,416)		(425,416)	-7%		17,144,390	5,714,797	5,317,599	(397,198)	-7%
Public Works	320,907	262,879	(58,028)		(58,028)	-18%		1,089,091	1,072,624	(16,467)		(16,467)	-2%		4,052,375	1,350,792	1,072,624	(278,168)	-21%
Municipal Building	45,271	18,663	(26,608)		(26,608)	-59%		143,681	104,130	(39,550)		(39,550)	-28%		440,359	146,786	104,130	(42,656)	-29%
Municipal Garage	12,200	(21,530)	(33,730)		(33,730)	-276%		(432)	(29,219)	(28,787)		(28,787)	6663%		-	-	(29,219)	(29,219)	100%
Transfers and Agreements	-	13,268	13,268		13,268	100%		252,045	160,847	(91,197)		(91,197)	-36%		654,000	172,164	160,847	(11,317)	-7%
Town Center	15,199	-	(15,199)		(15,199)	-100%		38,836	(50)	(38,886)		(38,886)	-100%		43,960	43,960	(50)	(44,010)	-100%
<b>Expenditure Totals</b>	<b>\$ 2,726,528</b>	<b>\$ 2,076,348</b>	<b>\$ (650,180)</b>		<b>\$ (650,180)</b>	<b>-24%</b>		<b>\$ 9,527,564</b>	<b>\$ 8,584,785</b>	<b>\$ (942,778)</b>		<b>\$ (942,778)</b>	<b>-10%</b>		<b>\$ 28,950,000</b>	<b>\$ 9,600,804</b>	<b>\$ 8,584,785</b>	<b>\$ (1,016,019)</b>	<b>-11%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ (282,286)</b>	<b>\$ 430,707</b>	<b>\$ 712,993</b>		<b>\$ 712,993</b>			<b>\$ 836,756</b>	<b>\$ 1,935,462</b>	<b>\$ 1,098,706</b>		<b>\$ 1,098,706</b>			<b>\$ -</b>	<b>\$ 1,966,933</b>	<b>\$ 1,935,462</b>	<b>\$ (31,472)</b>	

**Village of Carol Stream**  
**Water and Sewer Fund Budget Summary**  
For the Month Ended August 31, 2020

**MONTH**

**YTD**

**BUDGET**

**REVENUES**

	Last Year	Current Year	Monthly Variance	
	Aug	Aug	\$	%
Water Billings	\$ 963,601	\$ 932,675	(30,927)	-3%
Sewer Billings	459,112	430,102	(29,010)	-6%
Penalties/Admin Fees	19,001	20,853	1,853	10%
Connection/Expansion Fees	4,137	3,698	(438)	-11%
Interest Income	19,233	1,819	(17,413)	-91%
Rental Income	10,302	11,496	1,194	12%
All Other / Miscellaneous	4,004	5,474	1,470	37%
<b>Revenue Totals</b>	<b>1,479,389</b>	<b>1,406,117</b>	<b>(73,272)</b>	<b>-5%</b>

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Water Billings	\$ 3,104,551	\$ 3,194,491	89,940	3%
Sewer Billings	1,440,022	1,471,855	31,834	2%
Penalties/Admin Fees	64,039	31,181	(32,858)	-51%
Connection/Expansion Fees	43,361	3,698	(39,663)	-91%
Interest Income	82,519	16,337	(66,182)	-80%
Rental Income	48,364	50,822	2,458	5%
All Other / Miscellaneous	299,930	64,053	(235,877)	-79%
<b>Revenue Totals</b>	<b>5,082,786</b>	<b>4,832,438</b>	<b>(250,348)</b>	<b>-5%</b>

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Water Billings	\$ 8,881,000	\$ 3,118,011	\$ 3,194,491	76,480	2%
Sewer Billings	3,985,000	1,399,085	1,471,855	72,770	5%
Penalties/Admin Fees	196,500	65,500	31,181	(34,319)	-52%
Connection/Expansion Fees	27,500	9,167	3,698	(5,468)	-60%
Interest Income	180,000	60,000	16,337	(43,663)	-73%
Rental Income	158,500	52,833	50,822	(2,011)	-4%
All Other / Miscellaneous	101,500	15,500	64,053	48,553	313%
<b>Revenue Totals</b>	<b>13,530,000</b>	<b>4,720,097</b>	<b>4,832,438</b>	<b>112,342</b>	<b>2%</b>

**EXPENDITURES**

	Last Year	Current Year	Monthly Variance	
	Aug	Aug	\$	%
Salaries & Benefits	197,500	149,327	(48,173)	-24%
Purchase of Water	483,825	501,284	17,460	4%
WRC Operating Contract	146,962	14,444	(132,518)	-90%
Maintenance & Operating	293,953	159,189	(134,764)	-46%
IEPA Loan P&I	-	-	-	0%
DWC Loan P&I	55,910	54,929	(981)	-2%
Capital Outlay	21,663	2,095	(19,568)	-90%
<b>Expenditure Totals</b>	<b>1,199,813</b>	<b>881,268</b>	<b>(318,545)</b>	<b>-27%</b>

	Last Year	Current Year	YTD Variance	
	YTD	YTD	\$	%
Salaries & Benefits	604,116	597,426	(6,690)	-1%
Purchase of Water	1,877,290	1,809,826	(67,465)	-4%
WRC Operating Contract	796,651	677,133	(119,518)	-15%
Maintenance & Operating	891,305	1,146,872	255,566	29%
IEPA Loan P&I	-	-	-	0%
DWC Loan P&I	55,910	54,929	(981)	-2%
Capital Outlay	85,245	92,281	7,035	8%
<b>Expenditure Totals</b>	<b>4,310,518</b>	<b>4,378,465</b>	<b>67,948</b>	<b>2%</b>

	Annual	YTD	YTD	Variance	
	Budget	Budget	Actual	\$	%
Salaries & Benefits	1,990,555	689,039	597,426	(91,613)	-13%
Purchase of Water	5,715,000	2,006,467	1,809,826	(196,642)	-10%
WRC Operating Contract	1,945,000	600,252	677,133	76,881	13%
Maintenance & Operating	2,985,302	995,101	1,146,872	151,771	15%
IEPA Loan P&I	428,650	-	-	-	0%
DWC Loan P&I	54,929	54,929	54,929	(0)	0%
Capital Outlay	5,810,000	603,000	92,281	(510,719)	-85%
<b>Expenditure Totals</b>	<b>18,929,436</b>	<b>4,948,788</b>	<b>4,378,465</b>	<b>(570,322)</b>	<b>-12%</b>

Net Increase / (Decrease)

<b>279,576</b>	<b>524,849</b>	<b>245,273</b>		
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<b>772,269</b>	<b>453,973</b>	<b>(318,296)</b>		
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<b>(5,399,436)</b>	<b>(228,691)</b>	<b>453,973</b>	<b>682,664</b>	
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**Village of Carol Stream**  
**Capital Budget Summary**  
For the Month Ended August 31, 2020

CAPITAL PROJECTS FUND	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Aug	Aug	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
<b>REVENUES</b>											
Electricity Use Tax	\$ -	\$ 185,002	\$ 185,002	100%	\$ -	\$ 453,557	\$ 453,557	100%	\$ 1,870,000	\$ 453,557	24%
Real Estate Transfer Tax	-	59,499	59,499	100%	-	196,428	196,428	100%	750,000	196,428	26%
Telecommunications Tax	-	61,417	61,417	100%	-	61,417	61,417	100%	627,000	61,417	10%
Local Motor Fuel Tax	71,599	61,857	(9,742)	-14%	299,815	215,735	(84,080)	-28%	890,000	215,735	24%
Capital Grants	-	89,465	89,465	100%	-	91,602	91,602	100%	639,000	91,602	14%
Interest Income	12,817	893	(11,925)	-93%	56,635	8,735	(47,900)	-85%	110,000	8,735	8%
All Other / Miscellaneous	-	-	-	0%	3,981	-	(3,981)	-100%	70,000	-	0%
<b>Revenue Totals</b>	<b>\$ 84,417</b>	<b>\$ 458,132</b>	<b>\$ 373,715</b>	<b>443%</b>	<b>\$ 360,431</b>	<b>\$ 1,027,474</b>	<b>\$ 667,043</b>	<b>185%</b>	<b>\$ 4,956,000</b>	<b>\$ 1,027,474</b>	<b>21%</b>
<b>EXPENDITURES</b>											
Roadway Improvements	\$ 110,241	\$ 189,998	\$ 79,757	72%	\$ 684,555	\$ 356,358	\$ (328,197)	-48%	\$ 1,745,000	\$ 356,358	20%
Facility Improvements	66,418	-	(66,418)	-100%	229,482	-	(229,482)	-100%	300,000	-	0%
Stormwater Improvements	848	-	(848)	-100%	13,535	32,047	18,512	137%	1,316,000	32,047	2%
Miscellaneous	86	-	(86)	-100%	5,398	237	(5,161)	-96%	1,000	237	24%
<b>Expenditure Totals</b>	<b>\$ 177,594</b>	<b>\$ 189,998</b>	<b>\$ 12,404</b>	<b>7%</b>	<b>\$ 932,969</b>	<b>\$ 388,641</b>	<b>\$ (544,328)</b>	<b>-58%</b>	<b>\$ 3,362,000</b>	<b>\$ 388,641</b>	<b>12%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ (93,177)</b>	<b>\$ 268,134</b>	<b>\$ 361,311</b>	<b>-388%</b>	<b>\$ (572,538)</b>	<b>\$ 638,833</b>	<b>\$ 1,211,371</b>	<b>-212%</b>	<b>\$ 1,594,000</b>	<b>\$ 638,833</b>	<b>40%</b>

**MFT FUND**

<b>REVENUES</b>											
Motor Fuel Tax Allotments	\$ 91,790	\$ 117,411	\$ 25,621	28%	\$ 333,677	\$ 424,388	\$ 90,710	27%	\$ 1,657,000	\$ 424,388	26%
Capital Grants	-	-	-	0%	-	872,370	872,370	100%	-	872,370	100%
Interest Income	8,051	362	(7,689)	-95%	33,349	3,294	(30,054)	-90%	50,000	3,294	7%
<b>Revenue Totals</b>	<b>\$ 99,841</b>	<b>\$ 117,773</b>	<b>\$ 17,932</b>	<b>18%</b>	<b>\$ 367,026</b>	<b>\$ 1,300,052</b>	<b>\$ 933,026</b>	<b>254%</b>	<b>\$ 1,707,000</b>	<b>\$ 1,300,052</b>	<b>76%</b>
<b>EXPENDITURES</b>											
Street Resurfacing - Capital	\$ 808,102	\$ (340)	\$ (808,442)	-100%	\$ 808,102	\$ 881,865	\$ 73,763	9%	\$ 3,255,000	\$ 881,865	0%
Crack Filling	-	-	-	0%	-	-	-	0%	100,000	-	0%
<b>Expenditure Totals</b>	<b>\$ 808,102</b>	<b>\$ (340)</b>	<b>\$ (808,442)</b>	<b>-100%</b>	<b>\$ 808,102</b>	<b>\$ 881,865</b>	<b>\$ 73,763</b>	<b>0%</b>	<b>\$ 3,355,000</b>	<b>\$ 881,865</b>	<b>26%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ (708,261)</b>	<b>\$ 118,113</b>	<b>\$ 826,374</b>	<b>-117%</b>	<b>\$ (441,076)</b>	<b>\$ 418,187</b>	<b>\$ 859,263</b>	<b>-195%</b>	<b>\$ (1,648,000)</b>	<b>\$ 418,187</b>	<b>-25%</b>

\* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream  
**Police Pension Fund Budget Summary**  
 For the Month Ended August 31, 2020

POLICE PENSION FUND	MONTH				YTD				BUDGET				
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance	
	Aug	Aug	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%
<b>REVENUES</b>													
Investment Income	\$ 2,221,733	\$ 2,697,444	475,711	21%	\$ 1,176,211	\$ 4,077,656	2,901,444	247%	\$ 3,800,000	\$ 1,266,667	\$ 4,077,656	2,810,989	222%
Employee Contributions	74,920	46,205	(28,715)	-38%	257,373	253,895	(3,478)	-1%	660,000	220,000	253,895	33,895	15%
Village Contribution	218,792	237,529	18,737	9%	875,168	950,116	74,948	9%	2,850,352	950,117	950,116	(1)	0%
Other Revenues	-	-	-	0%	-	-	-	0%	-	-	-	-	0%
<b>Revenue Totals</b>	<b>2,515,445</b>	<b>2,981,177</b>	<b>465,733</b>	<b>19%</b>	<b>2,308,752</b>	<b>5,281,666</b>	<b>2,972,915</b>	<b>129%</b>	<b>7,310,352</b>	<b>2,436,784</b>	<b>5,281,666</b>	<b>2,844,882</b>	<b>117%</b>
<b>EXPENDITURES</b>													
Investment and Admin Fees	25,843	26,129	287	1%	50,927	39,094	(11,833)	-23%	159,600	53,200	39,094	(14,106)	-27%
Participant Benefit Payments	270,675	307,501	36,826	14%	1,058,974	1,226,134	167,160	16%	3,645,000	1,212,000	1,226,134	14,134	1%
<b>Expenditure Totals</b>	<b>296,518</b>	<b>333,630</b>	<b>37,112</b>	<b>13%</b>	<b>1,109,902</b>	<b>1,265,228</b>	<b>155,326</b>	<b>14%</b>	<b>3,804,600</b>	<b>1,265,200</b>	<b>1,265,228</b>	<b>28</b>	<b>0%</b>
<b>Net Increase / (Decrease)</b>	<b>2,218,927</b>	<b>2,647,547</b>	<b>428,620</b>		<b>1,198,850</b>	<b>4,016,438</b>	<b>2,817,588</b>		<b>3,505,752</b>	<b>1,171,584</b>	<b>4,016,438</b>	<b>2,844,854</b>	

Village of Carol Stream  
**TIF Fund Budget Summary**  
 For the Month Ended August 31, 2020

<b>NORTH/SCHMALE TIF</b>	<b>MONTH</b>				<b>YTD</b>				<b>BUDGET</b>				
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance	
	Aug	Aug	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%
<b>REVENUES</b>													
TIF Property Taxes	\$ -	\$ -	\$ -	0%	\$ 174,640	\$ 177,593	\$ 2,953	2%	\$ 396,000	\$ 198,000	\$ 177,593	\$ (20,407)	-10%
Sales Taxes	-	13,268	13,268	100%	34,455	48,568	14,114	41%	104,000	34,667	48,568	13,902	40%
Interest Income	719	70	(649)	-90%	2,886	654	(2,232)	-77%	10,000	3,333	654	(2,679)	-80%
Village Contribution	-	-	-	0%	19,241	-	(19,241)	-100%	-	-	-	-	0%
<b>Revenue Totals</b>	<b>719</b>	<b>13,338</b>	<b>12,618</b>	<b>1754%</b>	<b>231,222</b>	<b>226,815</b>	<b>(4,407)</b>	<b>-2%</b>	<b>510,000</b>	<b>236,000</b>	<b>226,815</b>	<b>(9,185)</b>	<b>-4%</b>
<b>EXPENDITURES</b>													
Legal Fees	22	-	(22)	-100%	495	-	(495)	-100%	3,000	1,000	-	(1,000)	-100%
Other Expenses	-	-	-	0%	119,137	152,688	33,551	28%	253,000	126,500	152,688	26,188	21%
<b>Expenditure Totals</b>	<b>22</b>	<b>-</b>	<b>(22)</b>	<b>-100%</b>	<b>119,631</b>	<b>152,688</b>	<b>33,057</b>	<b>28%</b>	<b>256,000</b>	<b>127,500</b>	<b>152,688</b>	<b>25,188</b>	<b>20%</b>
<b>Net Increase / (Decrease)</b>	<b>698</b>	<b>13,338</b>	<b>12,640</b>		<b>111,591</b>	<b>74,127</b>	<b>(37,464)</b>		<b>254,000</b>	<b>108,500</b>	<b>74,127</b>	<b>(34,373)</b>	

Village of Carol Stream  
**Equipment Replacement Fund Budget Summary**  
 For the Month Ended August 31, 2020

<b>EQUIPMENT REPLACEMENT FUND</b>	<b>MONTH</b>				<b>YTD</b>				<b>BUDGET*</b>		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Aug	Aug	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
<b>REVENUES</b>											
Transfer - Engineering	\$ -	\$ -	-	0%	\$ -	\$ -	-	0%	\$ 7,206	\$ -	0%
Transfer - Community Dev.	-	-	-	0%	-	-	-	0%	6,203	-	0%
Transfer - Police	-	-	-	0%	-	-	-	0%	114,275	-	0%
Transfer - PW Streets	-	-	-	0%	-	-	-	0%	304,283	-	0%
Transfer - Municipal Building	-	-	-	0%	-	-	-	0%	1,500	-	0%
Transfer - WRC	-	-	-	0%	-	-	-	0%	33,637	-	0%
Transfer - Water	-	-	-	0%	-	-	-	0%	86,859	-	0%
<b>Revenue Totals</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ 553,963</b>	<b>\$ -</b>	<b>0%</b>
<b>EXPENDITURES</b>											
Vehicles - Engineering	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%
Vehicles - Community Dev.	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - Police	-	-	-	0%	-	-	-	0%	320,000	-	0%
Vehicles - PW Streets	-	2,360	2,360	100%	-	40,076	40,076	100%	300,100	40,076	13%
Vehicles - Municipal Building	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - WRC	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - Water	-	-	-	0%	-	-	-	0%	-	-	0%
<b>Expenditure Totals</b>	<b>\$ -</b>	<b>\$ 2,360</b>	<b>\$ 2,360</b>	<b>100%</b>	<b>\$ -</b>	<b>\$ 40,076</b>	<b>\$ 40,076</b>	<b>100%</b>	<b>\$ 620,100</b>	<b>\$ 40,076</b>	<b>6%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ -</b>	<b>\$ (2,360)</b>	<b>\$ (2,360)</b>		<b>\$ -</b>	<b>\$ (40,076)</b>	<b>\$ (40,076)</b>		<b>\$ (66,137)</b>	<b>\$ (40,076)</b>	
Transfers to Establish Fund						<b>\$ 3,979,582</b>				<b>\$ 3,979,582</b>	

\* Due to the uncertainty of timing of vehicle purchases, no YTD budget estimates are shown.



Village of Carol Stream  
**State and Federal Asset Seizure Fund Summary**  
For the Month Ended August 31, 2000

	MONTH				YTD				BUDGET*		
	Last Year Aug	Current Year Aug	Monthly Variance \$ %		Last Year YTD	Current Year YTD	YTD Variance \$ %		Annual Budget	YTD Actual	% of Total
<b>State Asset Seizure Fund</b>											
<b>REVENUES</b>											
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	100%
State Drug Seizure	-	-	-	0%	-	-	-	0%	-	-	100%
State Money Laundering	-	-	-	0%	-	-	-	0%	-	-	100%
State Vehicle Seizure	-	-	-	0%	-	1,690	1,690	100%	-	1,690	100%
<b>Revenue Totals</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ -</b>	<b>\$ 1,690</b>	<b>\$ 1,690</b>	<b>100%</b>	<b>\$ -</b>	<b>\$ 1,690</b>	<b>100%</b>
<b>EXPENDITURES</b>											
State Drug Seizure	-	36	36	100%	-	108	108	100%	108,350	108	100%
State Money Laundering	-	-	-	0%	-	-	-	0%	-	-	0%
State Vehicle Seizure	-	-	-	0%	-	-	-	0%	-	-	0%
<b>Expenditure Totals</b>	<b>\$ -</b>	<b>\$ 36</b>	<b>\$ 36</b>	<b>100%</b>	<b>\$ -</b>	<b>\$ 108</b>	<b>\$ 108</b>	<b>100%</b>	<b>\$ 108,350</b>	<b>\$ 108</b>	<b>100%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ -</b>	<b>\$ (36)</b>	<b>\$ (36)</b>	<b>100%</b>	<b>\$ -</b>	<b>\$ 1,582</b>	<b>\$ 1,582</b>	<b>100%</b>	<b>\$ (108,350)</b>	<b>\$ 1,582</b>	<b>100%</b>
<b>Federal Asset Seizure Fund</b>											
<b>REVENUES</b>											
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	100%
Federal DOJ Seizure	-	-	-	0%	-	-	-	0%	-	-	100%
Federal Treasury Seizure	-	-	-	0%	-	-	-	0%	-	-	100%
<b>Revenue Totals</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>-</b>	<b>\$ -</b>	<b>100%</b>
<b>EXPENDITURES</b>											
Federal DOJ	\$ -	\$ -	\$ -	0%	-	2,430	2,430	100%	\$ 5,500	\$ 2,430	100%
Federal Treasury	-	-	-	0%	-	-	-	0%	-	-	0%
<b>Expenditure Totals</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ -</b>	<b>\$ 2,430</b>	<b>\$ 2,430</b>	<b>100%</b>	<b>\$ 5,500</b>	<b>\$ 2,430</b>	<b>100%</b>
<b>Net Increase / (Decrease)</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0%</b>	<b>\$ -</b>	<b>\$ (2,430)</b>	<b>\$ (2,430)</b>	<b>100%</b>	<b>\$ (5,500)</b>	<b>\$ (2,430)</b>	<b>100%</b>

\* Due to the uncertainty of timing of revenues and expenditures, no YTD budget estimates are shown.

Village of Carol Stream  
**Schedule of Cash and Investment Balances**  
 August 31, 2020

FUND	CASH	LGIPs*	INVESTMENTS	TOTAL CASH & INVESTMENTS	LAST YEAR 8/31/2019
GENERAL FUND	\$ 1,540,333.92	\$ 9,926,444.39	\$ -	\$ 11,466,778.31	\$ 12,041,414.54
WATER & SEWER FUND	404,046.06	11,610,607.54	-	12,014,653.60	12,348,225.56
CAPITAL PROJECTS FUND	572,958.33	6,509,335.90	-	7,082,294.23	6,794,532.14
MFT FUND	-	2,399,592.55	-	2,399,592.55	4,356,451.53
EQUIPMENT REPL. FUND	-	3,940,685.56	-	3,940,685.56	-
NORTH/SCHMALE TIF FUND	356,857.28	521,035.18	-	877,892.46	649,727.89
POLICE PENSION FUND	79,557.05	143,859.62	56,590,851.61	56,814,268.28	51,213,286.26
STATE ASSET SEIZURE FUND	274,187.80	-	-	274,187.80	-
FEDERAL ASSET SEIZURE FUND	152,140.82	-	-	152,140.82	-
<b>TOTAL</b>	<u>\$ 3,380,081.26</u>	<u>\$ 35,051,560.74</u>	<u>\$ 56,590,851.61</u>	<u>\$ 95,022,493.61</u>	<u>\$ 87,403,637.92</u>

\* Local Government Investment Pools (LGIP) include the Illinois Funds and IMET.