

Village of Carol Stream

AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, JUNE 14, 2021 AT 6:00 P.M.

ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON

I. Roll Call: Present:
Absent:

II. Approval of Minutes: May 24, 2021

21-0014 – Dynamic Investments, LLC – 680 E. North Avenue

Zoning Map Amendment from B-2 General Retail District to I Industrial District

Special Use Permit for Motor Vehicle Service

Special Use Permit for Outdoor Activities and Operations – Storage of Trailers

Zoning Code Variation

North Avenue Corridor Review

III. Presentation:

IV. Old Business: **21-0007 – Midwest Star Group - 130 Easy Street**

Special Use Permit for Outdoor Activities and Operations

Special Use Permit for Parking Lot

Zoning Code Variation

Fence Code Variation

Plat of Consolidation

(Referred from June 7 Village Board meeting)

V. New Business:

VI. Report of Officers:

VII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
May 24, 2021.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Mr. Farace, Planning and Economic Development Manager, to call the roll.

The results of the roll call vote were:

Present: 7 Commissioners Tucek, Morris, Meneghini, Battisto, Christopher, Petella and Chairman Parisi

Absent: 0

Also Present: Tom Farace, Planning and Economic Development Manager; Patty Battaglia, Planning and Permitting Assistant; and a representative from the County Court Reporters.

MINUTES:

Commissioner Meneghini moved and Commissioner Tucek seconded the motion to approve the minutes of the Regular Meeting held on May10, 2021.

The results of the roll call vote were:

Ayes: 6 Commissioners Tucek, Morris, Meneghini, Battisto, Christopher and Chairman Parisi

Nays: 0

Abstain: 1 Commissioner Petella

Absent: 0

The motion passed by unanimous vote.

PUBLIC HEARING:

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Battisto moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 7 Commissioners Tucek, Battisto, Morris, Meneghini, Christopher, Petella and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion was passed by unanimous vote.

Chairman Parisi introduced the first item on the agenda.

21-0006 – Midwest Star Group / 180 Easy Street – Special Use Permit for Motor Vehicle Service and Outdoor Activities and Operations; Fence and Zoning Code Variations

Chairman Parisi stated this case has been withdrawn.

Mr. Farace stated the case for 180 Easy Street has been withdrawn so there is no action needed.

21-0007- Midwest Star Group / 130 Easy Street – Special Use Permit for Outdoor Activities and Operations and Parking Lots; Fence and Zoning Code Variations; Plat of Consolidation

Chairman Parisi swore in Mr. Chris Mergenthaler and Mr. Sergiy Zamula and requested they give their presentation.

Mr. Mergenthaler thanked the Plan Commission and the entire Village of Carol Stream staff for their hard work and effort to help them come up with a plan that will benefit the community and also help expand an existing Carol Stream business. Mr. Mergenthaler stated Midwest Star Group was founded in 2008 and its headquarters is located at 245 Fullerton Avenue, Carol Stream, with currently 110 employees. They are a less than truckload, full truckload and warehousing provider. When Midwest Start Group purchased the building at 245 Fullerton Avenue early in 2020, they did a complete upgrade and redesign of the facility including a high end office, created driver lounge facilities, replaced all paving, created landscaping improvements and replacement of fencing around the property costing \$1.3 million to solidify their investment in the Village of Carol Stream.

Mr. Mergenthaler stated the current plan for 130 Easy Street is to utilize the site for parking and storage of trucks and trailers. This will entail paving, landscaping, and fencing. Midwest Star Group takes a lot of pride in their facilities and retain a very high image.

Chairman Parisi asked if there was anyone in the audience who would like to speak, and he swore in Mr. Dave Maleski and Mr. Jim Maleski, owners of 120 Easy Street, Carol Stream, which is to the north of 130 Easy Street.

Mr. Dave Maleski stated they also own a business in Addison with a trailer park across the street and they have nothing but problems.

Mr. Jim Maleski stated they are not happy with this and have concerns about trailers, mud, blocked driveways, trucks left running, and parking on the street. It does not make any sense to put a trailer park in a lot that is too small and have truck traffic on a small street considered to be a small boulevard with no room in front of the building to stage all these semis. He also stated this lot was designed to be used for warehousing, service or light manufacturing.

Mr. Dave Maleski stated they have a concern on how it is going to impact their property and feels allowing this business, at this location. does not make sense. He then thanked the Plan Commission for their time.

Mr. Jim Maleski then added the reason why they bought this building in Carol Stream is they wanted something better than what is in Addison. Addison is a little bit of a rougher community and this is not what we want in Carol Stream.

Chairman Parisi asked if Mr. Mergenthaler and Mr. Zamula would like to address the owner's concerns from 120 Easy Street.

Mr. Mergenthaler stated it is pretty hard to address one trucking company to another. The operation at Midwest Star Group is just above and beyond most other trucking companies. Our neighbor at 285 E. Fullerton Avenue wrote a letter attesting to how good of a neighbor Midwest Star Group has been and we have never blocked driveways, created noise, and we do not run any refrigerated trailers so there will be no running of trailers.

Mr. Zamula thanked the Plan Commission for their time today and reiterated we don't run any refrigerated freight at all, only dry box. The parking lot will be paved so there will be no dirt tracked onto the streets. Blocking the property will not be an issue because there is no warehouse and there will be no need to sit and wait. Most of the time there will only be trailers there, and I think that answers most of your concerns.

Mr. Mergenthaler stated the Moleski's property is currently an investment property which is tenant occupied. If the tenants had concerns, he would hope that they would voice those concerns so they could be addressed.

Mr. Dave Maleski stated only one truck does not come in at a time. It is too much for the neighborhood to have this business located on a two acre lot which should be on a 20 acre lot.

Mr. Jim Maleski reemphasized we do not want our entry blocked and restated same concerns as mentioned previously.

Chairman Parisi asked if there were any additional questions or comments from the audience and there were none.

Chairman Parisi asked if there were any questions or comments from the Zoom meeting and there were none.

Chairman Parisi then asked Mr. Farace to give his Staff Report.

Mr. Farace stated there are two Special Use requests from Midwest Star Group, Special Use Permit for outdoor activities and operations which is for the storage of trucks and trailers, and a Special Use Permit for the parking of the vehicles themselves. There is also a Zoning Code Variation to allow the parking of the trucks in the front yard which is the closest area to Easy Street. Also, there are two fence code variations to allow a fence in the front yard and to allow a fence to exceed seven feet in height. In addition, there are three lots and a Plat of Consolidation has been requested. There are about 55 or so parking spaces with access proposed from a driveway along Easy Street. The entire storage lot will be fenced. The fence along the Easy Street property frontage would be decorative with mesh material, and the remainder of the property will be fenced in by a slatted chain link fence. A security gate is proposed at the property entrance, and will be open during regular business hours. During non-business hours, the gate will be closed but will be able to be opened electronically by dispatch should a truck driver come to the property. Since there is no building on this property, the truck drivers should have much easier access to get into and out of the property. The conditions of approval are that the staging does occur on the property itself and not on Easy Street. The landscaping proposal is a combination of shade and evergreen trees to screen the property on all four sides. Currently, along the south and west property lines, this property is adjacent to property owned by Commonwealth Edison in which there is a substantial amount of landscaping. It is older landscaping and maybe not in the best condition, but it screens the residential development to the south. If ComEd were to remove this landscaping, the second landscape plan shows additional landscaping would be added on the south side of the property which would provide additional screening. Therefore, staff recommends that a condition of approval for the outdoor storage of the trailers and trucks include the modification to the storage lot and installation of

additional trees and shrubs along the south property line should landscaping be removed on the ComEd property in the future.

With no building on the property, there is a large front yard area along the Easy Street frontage. Since the trailers will be parked in the front near the fence which is used to screen the truck storage, a request is being made to vary from the code to allow trucks in the front yard which is normally not allowed. Per code, truck parking is only allowed in the rear of a building. A fence normally does not extend past the front of a building into the front yard area, but there is no building. Also being proposed is the installation of an eight feet high fence which is permitted in the Industrial District. Staff feels comfortable supporting the variations and is supportive of the request with the variety of conditions that are included at the end of the staff report.

Chairman Parisi asked for questions or comments from the Commission.

Commissioner Morris asked if the entryway could be moved another 25-40 feet to the right further away from the business at 120 Easy Street. Also, when we have heavy snow, where is the snow going to be pushed and is there a drain in the parking lot.

Mr. Mergenthaler answered by stating all the snow would be kept and pushed on the property. There is some landscaped areas where the snow could be moved to as well as storm sewers on the property.

Commissioners Meneghini and Christopher had no questions.

Commissioner Petella asked what is stored in the trucks while they are parked there.

Mr. Zamula stated there is only dry freight stored in the trailers. Basically, anything you see on the shelves in the stores and the trailers are not kept there a long time. Each trailer is moved within a few days.

Commissioner Petella asked if there would be a cycling of the trailers and if there won't be any parked there permanently.

Mr. Zamula responded no and it would only be their trucks with the parking lot being half empty most of the time.

Commissioner Tucek stated we need this business but he does not believe it is the right area. Is there a mixture of trucks like box trucks and semis or just semis.

Mr. Zamula stated we don't operate box trucks, only semi-trucks. All of our equipment is newer from 2018 to current so there won't be oil leaks.

Commissioner Tucek asked if they are going to keep the current space at 245 E. Fullerton Avenue and fill up this space.

Mr. Zamula stated the location will remain open at 245 E. Fullerton Avenue and the additional lot will not be in the way of those operations.

Commissioner Tucek asked if they outgrew their current location and need this space to expand.

Mr. Zamula responded he was correct. They have more customers approaching us to use this system of freight so we need additional parking spots.

Commissioner Tucek had no further questions.

Commissioner Battisto asked what is the expected traffic per day, what times of day, when will things be busiest, will trucks be waiting and what can you tell us about the load.

Mr. Mergenthaler stated most of the trucks are coming back from their three day reset period because this is long haul trucking and they may be gone for days at a time before they return. In terms of number of trucks per day, there will be 15-20 a day on average going in and out of the lot. As mentioned previously, the lot may be empty at times due to the reset period.

Commissioner Battisto asked how many trucks would be consistently parked there.

Mr. Zamula stated on a daily basis there would not be more than 20 trucks parked there ever. Towards the weekend you might see three-quarters of the parking lot full. A lot of the drivers live in Illinois and Carol Stream and park there for about two days.

Commissioner Battisto stated to Mr. Farace if you look at the area, it does not look like the intention was to have heavy commercial trucking, but single story or multi-unit commercial buildings. Even the feeder street which is St. Charles Road is still two lanes. Did the engineers study that to make sure that it's not going to slow down traffic on that through-way as well.

Mr. Farace stated St. Charles Road is now utilized more with truck traffic, as well as Gary Avenue.

Commissioner Battisto stated he believes that the trucks that use St. Charles Road are not accessing the side streets because there is really nothing there. It's just a through street.

Mr. Farace stated in most instances yes. Although there are some businesses that have some semi-truck deliveries. Even within the past five and a half years I've worked for the village, there has been an increase in e-commerce and logistics. Those are the types of businesses that look for any location that is available. It's true when this small industrial park on Easy Street was developed back in the 70's, we would not have thought of having a larger number of semi-truck traffic on it. Staff looks at these locations to have projects designed as effectively as possible from a transportation perspective. Overall, roadways are just carrying more semi-truck traffic than ever before. Staff did look at this location and took this into consideration. We also have the letter from Midwest Star Group's neighbor, Prinova USA, supporting the grant of their Special Use Permits since they have not had any issues in the past year and a half.

Commissioner Battisto stated he just wanted to make sure staff looked at this proposal thoroughly and had no more questions.

Chairman Parisi asked if they anticipated anyone keeping their cars at this location for a duration of time which may cause an issue with the truck radius turning.

Mr. Zamula responded the truck driver will pull out the truck and trailer and will park the car toward the end of the parking lot which takes less space than a semi-truck and trailer.

Chairman Parisi also asked about the chain link fence on the east, west and south with slats, but the front was referred to as a decorative fence with a mesh material. The picture looks like chain link with mesh, so can someone define that because those are two distinctively, different things in my mind.

Mr. Farace stated the image showed the mesh material, but is a decorative aluminum fence similar to the truck repair business on Schmale Road.

Mr. Mergenthaler stated they would do a fencing similar to that with a mesh screening.

Chairman Parisi stated, for clarification purposes for the Commission, that would look a lot better than a chain link with mesh.

Chairman Parisi asked Mr. Farace to address the gentlemen regarding who they should call if there are any issues.

Mr. Farace stated the Plan Commission makes recommendations and this case still needs to go before the Village Board. Also, since there is no building or business there, if the Plan Commission feels comfortable recommending a condition for a small identification sign near the gate with contact information if there is an issue. Otherwise, you can always call the police.

Chairman Parisi stated the intent of that is we do not want to impede the operations of other businesses and we understand that intent. The Village of Carol Stream is very astute in taking the recommendation of this Board and its Council as well.

Mr. Jim Maleski reiterated his concerns for this type of business at this location.

Chairman Parisi stated that it is understood and he appreciates him reiterating his concerns which were already responded to and stated it has been noted for the record. He then asked Mr. Farace to take it under advisement, and if there is an issue, then maybe that would be a next step for the Village to consider. I'm also asking the petitioner to actually be respectful of what their obligation is as well.

Commissioner Morris asked if the gate was going to be open all day and what do you do for security if someone breaks into the trailers or yard.

Mr. Mergenthaler stated there will be cameras on site and the gate will be able to be opened on site by dispatch remotely. After business hours the gate will close, the drivers will call ahead to dispatch and the gate will open as they are pulling up to the property so they are not idling out in the street.

Mr. Zamula stated the gate will open during the day but their trailers have GPS tracking devices and most of the freight has cameras inside as well.

Commissioner Meneghini questioned if this is the end of the route for truck drivers is there any type of washroom facility, office or shanty and if it would be a problem.

Mr. Zamula stated that most of the drivers would go to their terminal where there are washrooms and showers. He added that if there was a building on the property, then the drivers would block the street. For this location, there is no reason for the people to stop in there.

Chairman Parisi asked for any other questions or comments from the Commission and there were none.

Chairman Parisi asked for a motion to approve. Commissioner Morris moved to approve the use of a parking facility for Midwest Star Group in addition of the conditions brought up by staff and Commissioner Meneghini seconded the motion.

Mr. Farace asked if the sign he mentioned is included in the motion.

Commissioner Morris stated his motion also adds the sign and the potential of adding a new entryway.

Mr. Farace stated relocating the entryway may be tricky because if it were shifted 25-40 feet, it would probably make it an awkward jog for the trucks to get in and out of the site.

Commissioner Morris asked that Mr. Farace put it under consideration and if it is not workable, at least it was addressed.

Chairman Parisi stated, to be clear for the recorder, you are actually making a motion for approval for the case with the staff recommendations in addition with the condition that the petitioner consider placing signage on their property in case there is an issue to reach out to them instead of the Village.

Commissioner Morris stated that was correct.

Chairman Parisi asked for a second to that motion. Commissioner Meneghini seconded the motion. Chairman Parisi asked for any further discussion and there was none.

The results of the roll call vote were:

Ayes: 3 Commissioners Morris, Meneghini, and Chairman Parisi

Nays: 4 Commissioners Christopher, Petella, Battisto and Tucek

Abstain: 0

Absent: 0

The motion failed to recommend approval.

This case will go before the Village Board on Monday, June 7, 2021, at 6:00 PM for review.

21-0015 – Smith Residence – 534 Hiawatha Drive - Fence Code Variation

Chairman Parisi swore in Brian Smith, 534 Hiawatha Drive, Carol Stream, IL 60188.

Mr. Smith stated he was on a corner lot across the street from Jay Stream School. I am asking for a fence variance to bring my fence further out from the side of my house because I have growing kids and would like more room for my kids to be able to play in the back yard with their dogs and eventually install a pool. The way the city asks to run the fence line directly along the side which takes off about a third of his yard and ruin the landscaping. I'm asking to bring it seventeen feet off the side of my house to the rock line where pine trees are located. This would not obstruct any view or cause any safety issues from the corner street sign.

Chairman Parisi asked if there were any questions or comments from the audience and there were none.

Chairman Parisi asked if there were any questions or comments from the Zoom audience.

Mr. Farace stated Mrs. Smith, who he believes to be the petitioner's spouse, is online but she had no questions or comments.

Chairman Parisi asked Mr. Farace to provide a Staff Report.

Mr. Farace stated as Mr. Smith is asking for a fence code variation to allow his fence to be extended 17 feet into the corner side yard which is at the intersection of Hiawatha Drive and Illini Drive. The property is zoned R3 where normally the building setback for both the front yard and the corner side yard is 25 feet. However, in this specific subdivision, it has been reduced down to 20 feet, and that's just how the subdivision was established back in the day. Likewise, the property directly east of the subject property and all the properties going along Illini Drive are zoned R2 and have a 40 foot front yard setback. So it is being proposed to allow the fence to encroach into that corner side yard setback area by about 17 feet which does sound like quite a bit, however, based on this being a unique property, we are supportive of this request. This property is also adjacent to Klein Creek. Directly west of this property are evergreens

which will be located to the south of the fence being installed. Given the fact you have the creek with the guardrail, existing landscaping or foliage that blocks the creek and will block the visibility of the fence as well, staff feels comfortable supporting the variation of a 5 foot fence with recommended approval.

Chairman Parisi asked for questions or comments from the Commission.

Commissioner Battisto asked about how much distance from the sidewalk will the fence be on the Illini side.

Mr. Farace stated it would be 9 feet from the sidewalk and 12 feet from the property line.

Commissioner Battisto asked if the fence would go off the guardrail and if Mr. Smith was touching the pine trees or taking them down.

Mr. Smith stated no, he would be going just north of the pine trees and they would be staying and located on the outside of the fence.

Commissioner Battisto had no further questions.

Commissioners Tucek, Christopher, Meneghini, Morris and Chairman Parisi had no questions.

Commissioner Petella asked if the fence would be board on board and if that would comply with the new code.

Mr. Farace stated it would comply with the new code.

Chairman Parisi asked for a motion to approve. Commissioner Petella moved to approve and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes:	7	Commissioners Battisto, Tucek, Morris, Meneghini, Petella, Christopher and Chairman Parisi
Nays:	0	
Abstain:	0	
Absent:	0	

The motion was passed by unanimous vote.

21-0018 – Richard’s Building Supply – 375 Village Drive – Special Use Permit for Outdoor Activities and Operation –Storage of Materials; Special Use Permit for Retail Sales in the I District

Chairman Parisi swore in Mr. Christopher Cannonito on behalf of the petitioner Richard’s Building Supply, and Mr. Bill Swanson who is the Senior Vice President of Richard’s Building Supply located at 375 Village Drive, Carol Stream.

Mr. Cannonito stated they are seeking a special use permit for the outside storage of building materials, almost exclusively roofing shingles that are bundled and palletized at 375 Village Drive. We are also seeking a variance in the use to allow retail sales even though it is less than a 10 percent portion of our business as a wholesaler. Richard’s Building Supply Company is an Illinois Corporation and has been in business for 43 years and have about 23 locations in the state of Illinois. We are seeking to move one

of our most active locations from the Village of Addison to Carol Stream to allow for additional outside storage. The Addison location did \$18 million dollars in sales in the year 2020 and is on track to exceed that fare for 2021. Richard's Building Supply has a good reputation in all the communities it operates in, is seeking the approval of the Plan Commission and will answer any questions they might have.

Chairman Parisi asked for any questions from the audience and our Zoom meeting and there were none. He then asked Mr. Farace to provide a Staff Report.

Mr. Farace stated special use permits are being requested for outdoor storage in the rear of the property along with approval of retail sales in the Industrial District. This building on 375 Village Drive is 57,000 square feet and materials will be stored inside the building, but in the rear of the building they are building a 35,000 square foot concrete pad for outdoor storage of roofing shingles which will be completely fenced in. The customers will not be going in the rear for their roofing materials. This will be done in the front of the property. With outdoor storage of trucks and materials, this does require approval of a special use. This has been allowed at other locations throughout the Village and since it is being fenced in, it will not have negative impact on other properties. Staff recommends approval of this business.

Chairman Parisi asked for questions or comments from the Commissioners and there were none, but Chairman Parisi just wanted to state for the record, due to sensitivity to the surrounding neighbors and businesses, that the report stated the pallets would only be stored no higher than the height of the fence.

Chairman Parisi asked for a motion to approve. Commissioner Petella moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes:	7	Commissioners Battisto, Tucek, Morris, Meneghini, Petella, Christopher and Chairman Parisi
Nays:	0	
Abstain:	0	
Absent:	0	

The motion was passed by unanimous vote and will go to the Village Board on Monday, June 7 for final approval.

21-0020 – Village of Carol Stream – 500 N. Gary Avenue – Additional Rezoning of Properties Associated with the Unified Development Ordinance (UDO)

Chairman Parisi swore in Tom Farace, Planning and Economic Development Manager for the Village of Carol Stream located at 500 N. Gary Avenue, Carol Stream.

Mr. Farace stated we have some additional zoning map amendments that were done in conjunction with the Unified Development Ordinance (UDO). As part of that project we were also rezoning about 200 properties. Unfortunately, for whatever reason, there were five properties that were not picked up and placed as part of the public notice. All of the following properties will be rezoned to that R1 District: Memorial Park off Thunderbird; smaller parcel that backs up to Heritage Lakes Elementary School; Jay Stream School, owned by School District 93, has three parcels and the northern most parcel and along

El Paso Lane; St. Luke's Parish between Illini Drive and Cochise Court. Staff is looking for a recommendation to get these rezoned and add those to the map.

Chairman Parisi asked for questions or comments from the Commission and there were none.

Chairman Parisi asked for a motion to approve. Commissioner Petella moved and Commissioner Christopher seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Tucek, Morris, Meneghini, Petella, Christopher and Chairman Parisi
Nays: 0
Abstain: 0
Absent: 0

The motion was passed by unanimous vote and will go to the Village Board on Monday, June 7 for final approval.

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Meneghini moved and Commissioner Petella seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Tucek, Morris, Meneghini, Christopher, Petella and Chairman Parisi
Nays: 0
Abstain: 0
Absent: 0

The motion was passed by unanimous vote.

Chairman Parisi asked Mr. Farace to share New Business stated on the agenda.

Mr. Farace stated he wanted to discuss general usage of electronic devices at meetings. The Village has purchased I-Pads that can be used by both the Village Board and by Plan Commission members. Since you have been receiving links for Plan Commission packets, we can provide you with the I-Pads to use here in the Board Room in two different ways. Please let me know how you would like to use them. In the simplest form, we can just log everyone into the village website to view the agenda packet while you are here. Or, something a little more advanced, if you wanted to actually have more direct access to the plans, the village would provide you with a village email address so you could make those notes on the documents, save those plans and then open them here.

Chairman Parisi asked if this should be an individual decision for each member or a group decision.

Mr. Farace stated this should be decided unanimously as a group.

All the Commissioners agreed to use the simplest method which is to use the I-Pads to log into the village website and view the plans.

PRESENTATION:

OLD BUSINESS:

OTHER BUSINESS:

ADJOURNMENT:

At 7:17 p.m. Commissioner Christopher moved and Commissioner Meneghini seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Meneghini, Tucek, Morris, Petella, Christopher and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion was passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman



Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • JULIA SCHWARZE, CLERK • ROBERT MELLOR, MANAGER
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899
(630) 665-7050 • FAX (630) 665-1064
www.carolstream.org

MEMORANDUM

TO: Chairman and Commissioners, Plan Commission/Zoning Board of Appeals

FROM: Tom Farace, Planning & Economic Development Manager

THROUGH: Donald T. Bastian, Community Development Director

DATE: June 9, 2021

RE: PC/ZBA Case 21-0007, Midwest Star Group / 130 Easy Street
Special Use Permit for Outdoor Activities and Operations – Storage of Trucks and Trailers, Special Use Permit for a Garage or Parking Lot for Motor Vehicles Not Incidental to a Permitted Use in the I Industrial District, Zoning Code Variation, Fence Code Variations, and Plat of Consolidation (Referred from the June 7, 2021 Village Board Meeting)

The PC/ZBA reviewed the above referenced case at its meeting on May 24, 2021. At its meeting on May 24th, the PC/ZBA made a motion to approve the applicant's requests, but the motion failed by a vote of 3-4. Concerns were raised regarding the increase of semi-truck traffic on Easy Street and surrounding collector streets, and potential impacts on existing businesses on Easy Street.

In response to the PC/ZBA recommendation, the applicant provided the attached traffic study from KLOA, Inc. dated June 2, 2021, to the Village Board when the case was scheduled to be reviewed by the Board on June 7th. Since the traffic study had not previously been reviewed by Village staff or the PC/ZBA, and semi-truck traffic was one of the most prevalent discussion points of the May 24th meeting, the Village Board recommended that the case be referred back to the PC/ZBA at their meeting on June 14th for further review and discussion in light of the newly submitted information.

Staff has reviewed the traffic study and has the following observations:

- The traffic study provides general information on traffic patterns and characteristics for roadways in the vicinity of the subject property, including Easy Street, St. Charles Road, and Gary Avenue. It should be noted that the applicant's existing facility is located at 245 E. Fullerton Avenue, which is near the intersection of Gary and Fullerton.

MEMORANDUM

TO: Chairman and Commissioners, Plan Commission

DATE: June 9, 2021

RE: PC/ZBA Case 21-0007, Midwest Star Group / 130 Easy Street (Referred from the June 7, 2021 Village Board Meeting)

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- The traffic study compares passenger (automobile) and truck traffic patterns for two potential developments on the subject property: the proposed truck storage facility and a 45,000 square-foot warehouse/distribution building that could be built on the property. It should be noted that staff has not reviewed a plan for a 45,000 square-foot building on the site, and cannot determine such sized building could fit with setback, landscaping, parking, detention, and other development-related requirements. The proposed building size might be larger than what could adequately fit on 2.77 acres, but for the sake of comparison purposes, we accept the concept with this caveat.
- Trip generations were established for the applicant's proposed use from surveys of other similar types of truck storage facilities, and by using trip generation data from the Institute of Traffic Engineers (ITE) Trip Generation Manual (10th edition) for a warehouse/distribution building of 45,000 square feet.
- Data from the traffic study shows the following:
 - For the proposed truck storage facility, weekday morning and weekday evening peak hour vehicle trip generation estimates are one truck entering and exiting the facility per hour, for a total of 20 trucks per day. 22 passenger vehicle trips are estimated per day, for a total of 42 vehicular (automobile and truck) trips generated in and out of the proposed truck storage facility daily.
 - By comparison, it is estimated that a 45,000 square-foot warehouse/distribution building will generate 116 vehicular (automobile and truck) trips per day, including 23 daily truck trips.
- The traffic study also evaluates the distribution of traffic on surrounding roadways (Gary Avenue and St. Charles Road) for both uses, with the majority of traffic estimated to travel to Gary Avenue.

Another point that was raised at the May 24th PC/ZBA meeting was the possibility of shifting the proposed driveway on Easy Street to the east to eliminate potential conflicts with the existing driveway for the property to the north. Staff reviewed the idea, but believes it is best to maintain the driveway in its proposed location. The location of the driveway along the curvature of the road will allow for easier truck maneuverability into and out of the site, as compared to shifting the driveway to the east which could create awkward ingress and egress movements for trucks. In addition, maintaining the driveway in its proposed location eliminates conflicts with driveways on the north side of the street. However, to reduce potential conflicts with the driveway to the north, staff recommends modifying the driveway radii to widen and shift the west radius away from the northern driveway, and to expand and shift the east radius of the driveway (which most likely requires the loss of at least one trailer parking space).

MEMORANDUM

TO: Chairman and Commissioners, Plan Commission

DATE: June 9, 2021

RE: PC/ZBA Case 21-0007, Midwest Star Group / 130 Easy Street (Referred from the June 7, 2021 Village Board Meeting)

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Along with the traffic study, attached are the submitted site plan and landscape plans for the truck storage lot for reference. Staff still supports the project and recommends approval of the requests for Midwest Star Group, Case 21-0007, subject to the conditions listed below. The PC/ZBA should review the submitted traffic study, in order to provide a recommendation on the case to the Village Board. Condition of approval include:

1. That all improvements, including but limited to the parking lot, fencing and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits (except as may be amended to address recommended conditions herein);
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That modifications to the site plan and plant material illustrated on the optional landscape plan shall be installed for screening purposes should plant material on the ComEd property to the south of the subject property be removed in the future;
4. That the landscape plan shall be revised prior to Village Board action to illustrate the following:
 - a. Additional evergreens shall be installed in place of deciduous shrubs along the Easy Street frontage for additional screening purposes;
5. That trucks shall not be allowed to back into the property from Easy Street;
6. That trucks and trailers shall only park in designated parking spaces and not block access nor be parked or stored in drive aisles;
7. That any and all truck maintenance work shall occur at the 245 E. Fullerton Drive building and not at the subject property;
8. That sleeping in trailers or cabs shall not be allowed;
9. That only trucks and trailers associated with the business shall be allowed to be stored on the property, and the storage of recreational vehicles, materials, and other equipment not associated with the business shall not be allowed to be stored on the property;
10. That the applicant shall minimize truck idling in the truck and trailer storage lot so as to reduce noise impacts on neighboring properties;

MEMORANDUM

TO: Chairman and Commissioners, Plan Commission

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11. That a Knox padlock or gate switch shall be provided on the security gate, and the Carol Stream Fire Protection District shall be provided keys to said gate for access onto the property;
12. That the driveway radius along Easy Street be modified to eliminate potential conflicts with the existing driveway with the property to the north, by shifting and widening the radii on its west and east sides; and
13. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

ec: Sergiy Zamula, Midwest Star Group
 Chris Mergenthaler, Darwin Realty

MEMORANDUM TO: Chris Mergenthaler
Darwin Realty

FROM: Brendan May, PE
Senior Consultant

Luay R. Aboona, PE, PTOE
Principal

DATE: June 2, 2021

SUBJECT: Traffic Impact Statement
Proposed Truck Parking Facility
Carol Stream, Illinois

This memorandum summarizes the results and findings of a site traffic evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed truck parking facility to be located at 130 Easy Street in Carol Stream, Illinois. The site, which is currently vacant, is located on the south side of Easy Street, approximately 700 feet south of St. Charles Road. As proposed, the site will be developed with a truck parking facility with approximately 60 parking spaces. Access to the parking lot will be provided off Easy Street. **Figure 1** shows an aerial view of the site. The purpose of this evaluation is to determine the impact of the traffic generated by the proposed industrial development on the area roadway system.

Existing Traffic Conditions

The following provides a detailed description of the physical characteristics of the roadways including geometry and traffic control, and average daily traffic volumes along the adjacent area roadways.

Gary Avenue is a north-south minor arterial roadway that in the vicinity of the site provides two travel lanes in each direction. At its signalized intersection with St. Charles Road, Gary Avenue provides an exclusive through lane and a shared through/right-turn lane on the northbound approach and an exclusive left-turn lane and two exclusive through lanes on the southbound approach. Gary Avenue is under the jurisdiction of DuDOT, carries an average daily traffic (ADT) volume of 23,100 vehicles north of St. Charles Road and an ADT volume of 18,700 vehicles south of St. Charles Road (DuDOT 2016), and has a posted speed limit of 45 miles per hour.

St. Charles Road is generally an east-west major collector roadway that in the vicinity of the site provides one travel lane in each direction. At its signalized intersection with Gary Avenue, St. Charles Road provides an exclusive left-turn and an exclusive right-turn lane. At its unsignalized intersections with Easy Street (both legs) St. Charles Road provides a shared through/right-turn lane on the eastbound approach and a shared through/left-turn lane on the westbound approach. St. Charles Road is under the jurisdiction of DuDOT, carries an ADT volume of 9,400 vehicles (DuDOT 2016), and has a posted speed limit of 25 miles per hour.



Aerial View of Site

Figure 1

Easy Street is a semi-circular local roadway that connects to Saint Charles Road approximately 400 feet east of Gary Avenue and 1,450 feet east of Gary Avenue. Easy Street provides one travel lane in each direction and currently serves approximately 22 industrial/manufacturing buildings. At its unsignalized intersections with St. Charles Road, Easy Street provides a shared left/right-turn lane that is under stop-sign control. Easy Street is under the jurisdiction of the Village of Carol Stream and has a posted speed limit of 25 miles per hour.

Traffic Characteristics of the Proposed Truck Parking Facility

The proposed truck parking facility will be an overflow truck/trailer parking lot to supplement the existing Midwest Star Group operations at 245 E. Fullerton Avenue in Carol Stream, approximately two miles north of the site on Gary Avenue. The site will provide approximately 60 truck/trailer parking spaces and access to the site will be provided via a full movement access drive off Easy Street approximately 575 feet south of St. Charles Road. A site plan illustrating the proposed truck parking facility is included in the Appendix.

Development Traffic Generation

The number of peak hour trips estimated to be generated by the proposed truck parking facility was based on vehicle trip generation rates developed from surveys of other similar type facilities within the Chicagoland area and based on information provided by the operator regarding the proposed operations of the lot. These surveys indicated that truck parking facilities have an average trip generation rate of 0.07 spaces per parking space during the weekday morning and weekday evening peak hours of adjacent street traffic and an average trip generation rate of 0.7 trips per parking space daily. When these trip generation rates are compared to the information provided by the operator, the estimated trip generation is consistent with the anticipated daily use of the proposed truck parking facility. It should be noted that based on the surveys, approximately 25 percent of the weekday morning and weekday evening peak hour trips generation, and approximately 50 percent of the daily trip generation will be trucks. **Table 1** shows the estimated vehicle trip generation for the weekday morning and weekday evening peak hours as well as daily traffic.

Table 1
ESTIMATED PEAK HOUR VEHICLE TRIP GENERATION

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	2	2	4	2	2	4	42
Passenger Vehicle Trips	2	1	3	1	2	3	22
Truck Trips	0	1	1	1	0	1	20

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.

Trip Generation Comparison

The volume of traffic estimated to be generated by the proposed truck parking facility was compared to the trip generation of other types of uses that can be developed on site. Based on the size of the site, it is our understanding that it can accommodate an approximately 45,000 square-foot warehouse/distribution building. The volume of traffic estimated to be generated by a 45,000 square-foot warehouse/distribution building was estimated based on trip generation data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 10th Edition. It should be noted that surveys conducted by ITE have shown that approximately 20 percent of trips generated by warehouse/distribution developments are made by trucks. **Table 2** summarizes the trip generation of the proposed truck parking facility, compared to a 45,000 square-foot warehouse/distribution building. **Table 3** summarizes the truck trip generation for the proposed truck parking facility compared to a 45,000 square-foot warehouse/distribution building. As can be seen from Table 2, the proposed truck parking facility is projected to generate 50 percent less trips than a warehouse/distribution building during the weekday morning and weekday evening peak hours, and approximately 65 percent less trips daily. As can be seen from Table 3, the proposed truck parking facility will generate a similar number of truck trips compared to a warehouse/distribution building during the peak hours and less trips on a daily basis.

Table 2

TRIP GENERATION COMPARISON – TOTAL TRIPS

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	2	2	4	2	2	4	42
Warehouse/Distribution ² 45,000 s.f.	<u>6</u>	<u>2</u>	<u>8</u>	<u>2</u>	<u>7</u>	<u>9</u>	<u>116</u>
Difference	-4	0	-4	0	-5	-5	-71

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.
2 – Trip generation based on ITE *Trip Generation Manual*, 10th Edition

Table 3

TRIP GENERATION COMPARISON – TRUCK TRIPS

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	0	1	1	1	0	1	20
Warehouse/Distribution ² 45,000 s.f.	<u>1</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>23</u>
Difference	-1	1	0	1	-1	0	-3

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.
2 – Trip generation based on ITE *Trip Generation Manual*, 10th Edition

Evaluation

When the estimated daily traffic volumes anticipated to be generated by the proposed truck parking facility are compared to the existing daily traffic volumes along Gary Avenue and St. Charles Road, the following is determined:

- Based on the existing ADT volumes within the area, it is anticipated that 45 percent of the site generated traffic will be to/from the north on Gary Avenue, 40 percent will be to/from the south on Gary Avenue, and 15 percent will be to/from the east on St. Charles Road
- The proposed facility will only generate approximately 42 daily trips. Of which, approximately 19 trips will be to/from the north on Gary Avenue, approximately 17 trips will be to/from the south on Gary Avenue, and approximately six (6) trips will be to/from the east on St. Charles Road.
- The site-generated trips will increase the daily two-way traffic volume along Gary Avenue and St. Charles Road by less than one-half percent.
- The proposed truck parking facility will generate 50 percent fewer total trips than a warehouse/distribution building during the weekday morning and weekday evening peak hours, and approximately 65 percent total less trips daily.
- The proposed truck parking facility will generate a similar number of truck trips compared to a warehouse/distribution building during the peak hours and less trips on a daily basis.

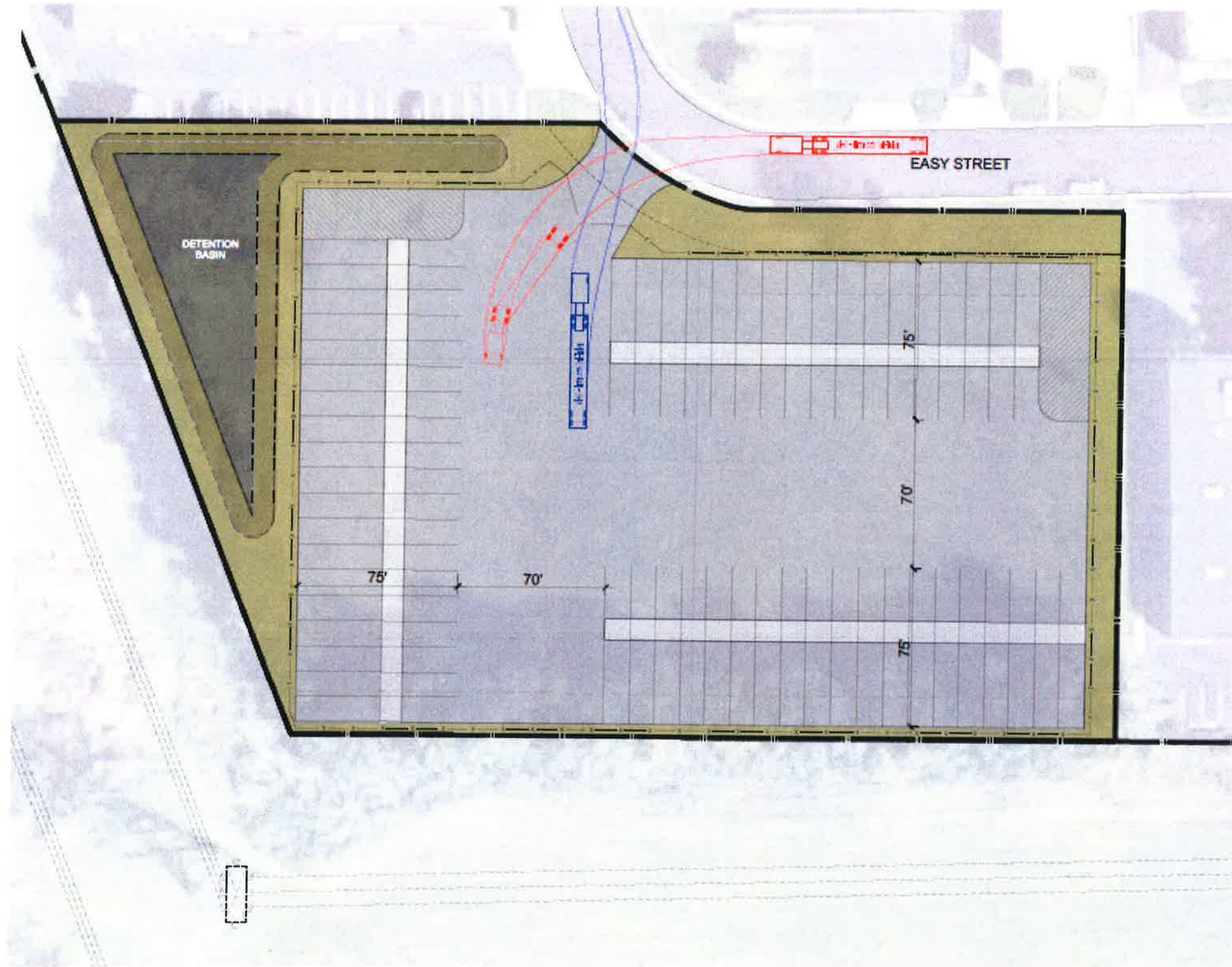
Conclusion

As can be seen from the above, based on the proposed plan, operations of the truck parking facility, and the preceding evaluation, the traffic to be generated by the proposed truck parking facility will not be significant, can be accommodated by the existing roadway system, and will result in an increase of less than one-half percent of the existing traffic volumes along Gary Avenue and St. Charles Road.

Appendix

Site Plan





PROJECT DATA:

SITE AREA:	
GROSS:	2.77 AC 120,812 SF
DETENTION:	@ 10% 12,212 SF
NET:	2.49 AC 108,600 SF
TRAILER:	56 STALLS

DEVELOPMENT STANDARDS:

ZONING:	
MAX. F.A.R.:	0.80
MAX. BLDG. HT.:	50 FT
BUILDING SETBACKS:	
FRONT:	60 FT
	40 FT
SIDE:	10 FT
REAR:	20 FT
LANDSCAPE SETBACKS:	
FRONT:	20 FT
LANDSCAPE REQ.:	
	10%
OFF-STREET PARKING:	
STANDARD:	9.5X18
DRIVE AISLE:	24 FT
FIRE LANE:	
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/1500 SF
OFFICE:	1/250 SF

RECEIVED
APR 21 2021
COMMUNITY DEVELOPMENT
DEPT

- NOTES:**
- 60 feet from the right of way line of any existing or proposed street having a right-of-way width of 80 feet or more
 - 40 feet from the right of way line of any existing or proposed street having a right-of-way width of less than 80 feet
 - 70 ft side yard when adjoining a lot in a residence district
 - Increased setbacks: front, side, and rear yards as required above shall be increased by one foot for each one foot of building height in excess of 25 feet
 - Four plus one per each 1,500 square feet of floor space over 1,200 square feet, or when the number of employees is specifically indicated, one per employee employed on the premises, whichever is greater, plus one per each vehicle stored on the premises
 - The storage of buildings, construction, manufacturing material and equipment, and the parking of trucks shall not be permitted in any front yard or side yard adjoining a street

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design
AVERAGE REGIONAL REQUIRED
PROVIDED

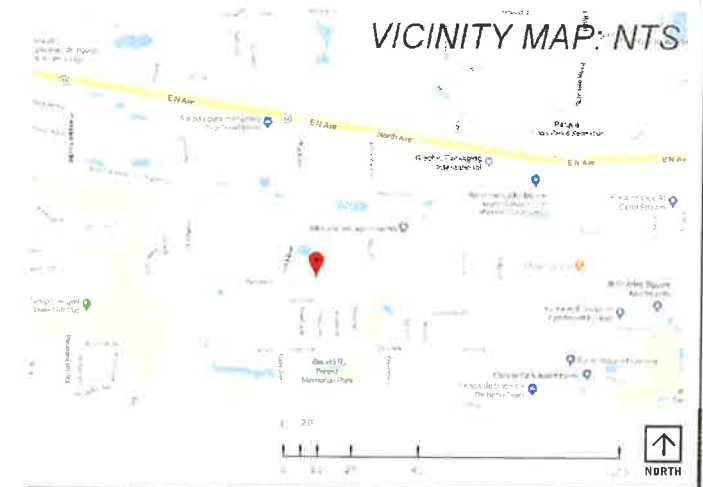
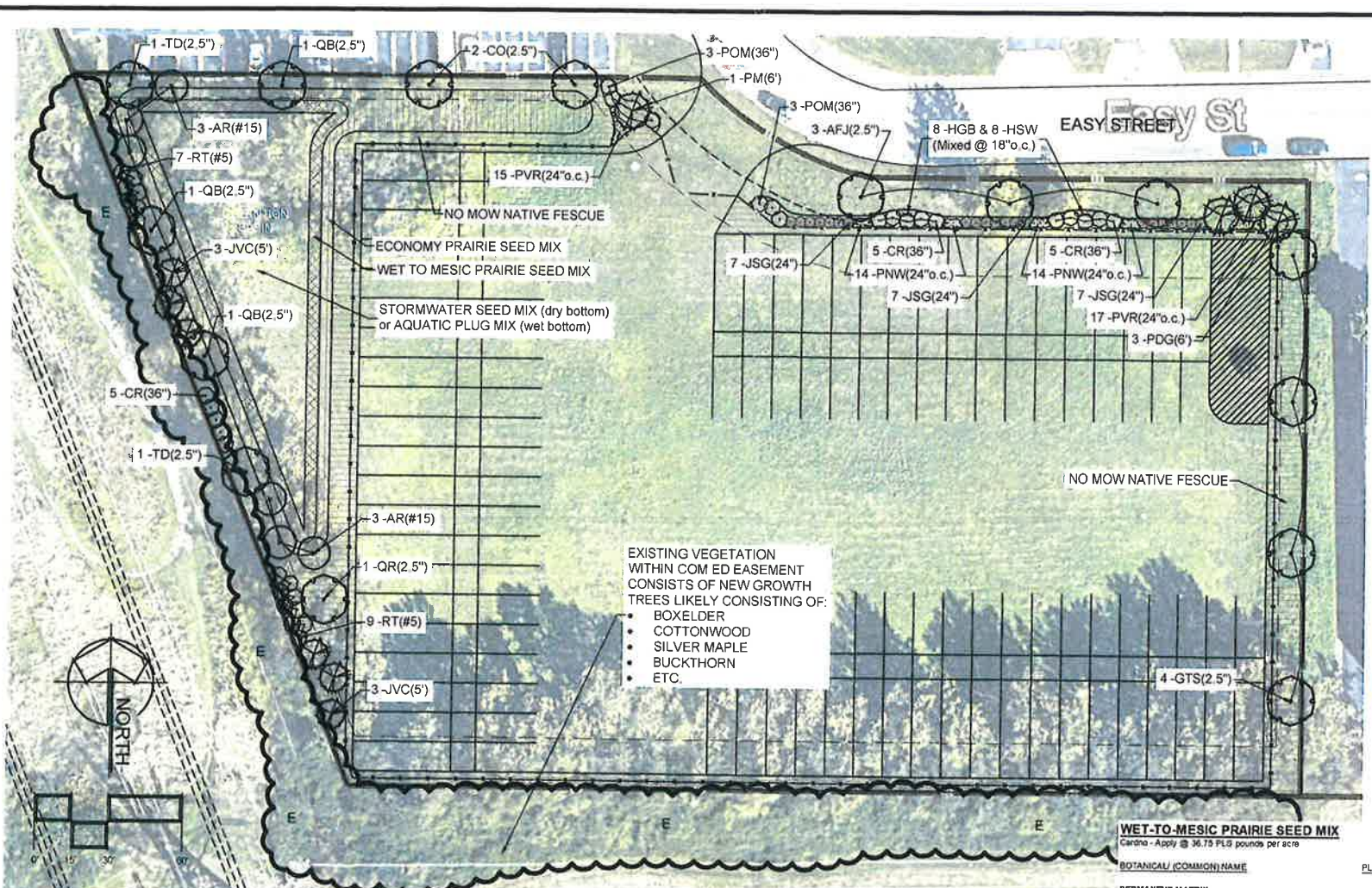
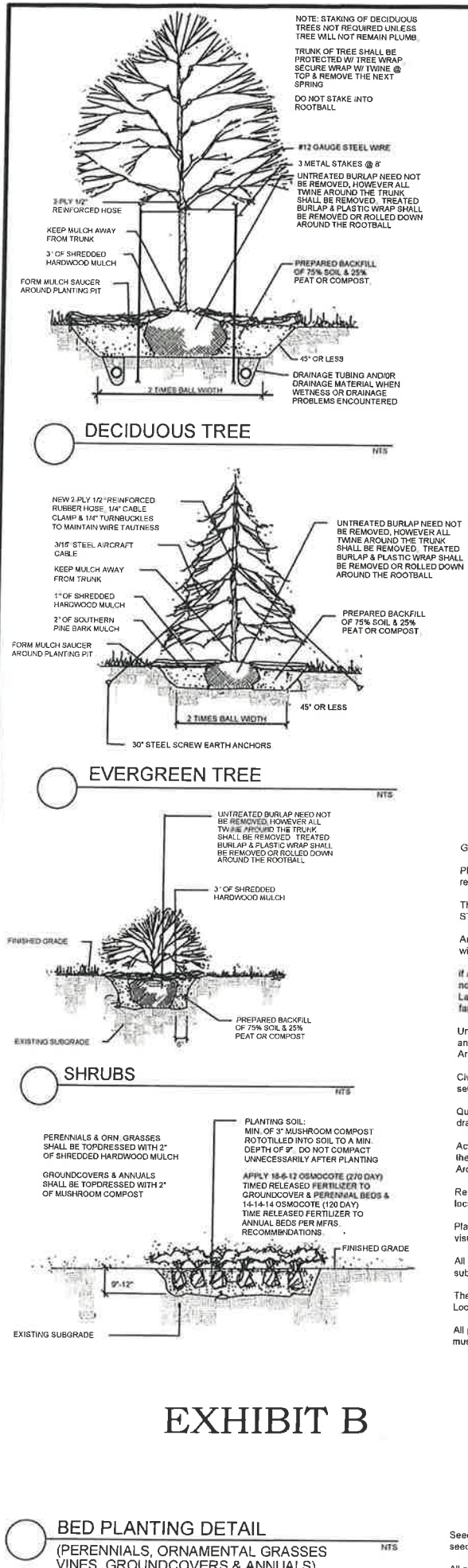


EXHIBIT A



EASY STREET (WEST LOT)
Carol Stream, Illinois

REVISIONS

NO.	DESCRIPTION
1	RECEIVED
2	MAR 29 2021

SEAL:

RANDY F. METZ
no. 157-090422

METZ & COMPANY
LANDSCAPE ARCHITECTURE/PLANNING

826 East Maple Street
Lombard, Illinois 60148
PH: 630.561.3903
Email: metz_landarch@comcast.net

TITLE
PRELIMINARY
LANDSCAPE
PLAN

PROJECT NO.:
20-137

DATE: 02-26-2021

SCALE: 1"=30'

SHEET
L-1

REVISIONS
 RECEIVED
 MAR 29 2021
 COMMUNITY DEVELOPMENT DEPT

If this plan is not 24" x 36" in size, then this is a reproduction that may not be to scale.
 If this plan is not 24" x 36" in size, then this is a reproduction that may not be to scale.
 The design and any and all ideas contained herein are the sole property of Metz & Company. Any reproduction of the design or the concept embodied therein in any form, in whole or in part, without consent from Metz & Company is prohibited.

EASY STREET (WEST LOT)

Carol Stream, Illinois

SEAL: RANDY F. METZ
 157-00422

METZ & COMPANY
 LANDSCAPE ARCHITECTS/REGISTERED PLANNERS
 826 East Maple Street
 Lombard, Illinois 60148
 PH: 630.561.3903
 Email: metz_landarch@comcast.net

TITLE
PRELIMINARY LANDSCAPE PLAN-OPTIONAL

PROJECT NO.:
 20-137
 DATE: 02-26-2021
 SCALE: 1" = 30'

SHEET
 L-2

- ### LEGEND
- E EXISTING TREES
 - 2.5" - PROPOSED DECIDUOUS SHADE TREES
 - 6' - EVERGREEN TREES
 - 2.0" or 6' - ORNAMENTAL TREES
 - 30" to 36" - DECIDUOUS SHRUBS
 - #3 - DECIDUOUS SHRUBS
 - 24"/#5 - EVERGREEN SHRUBS
 - #1 - ORNAMENTAL GRASSES
 - #1 - PERENNIALS or from flats - GROUNDCOVERS
 - TURF SEED w/ STRAW BLANKET
 - NO MOW FESCUE w/ STRAW BLANKET
 - NATIVE PRAIRIE GRASS SEED MIXES w/ STRAW BLANKET
 - STORMWATER SEED MIX or EMERGENT AQUATIC PLUGS

ECONOMY PRAIRIE SEED MIX

Cardno (or equivalent) - Apply at 37.38 PLS pounds per acre

BOTANICAL / (COMMON) NAME	PLS OZ./Ac
Andropogon gerardii (Big Bluestem)	16.00
Bouteloua curtipendula (Side Oats Grama)	18.00
Carex spp. (Prairie Carex Mix)	1.00
Elymus canadensis (Canada Wild Ryegrass)	18.00
Panicum virgatum (Prairie Switch Grass)	2.50
Schizachyrium scoparium (Little Bluestem)	24.00
Corynephorus nutans (Italian Grass)	18.00
TOTAL	95.50

PERMANENT MATRIX:

Andropogon gerardii (Big Bluestem)	16.00
Bouteloua curtipendula (Side Oats Grama)	18.00
Carex spp. (Prairie Carex Mix)	1.00
Elymus canadensis (Canada Wild Ryegrass)	18.00
Panicum virgatum (Prairie Switch Grass)	2.50
Schizachyrium scoparium (Little Bluestem)	24.00
Corynephorus nutans (Italian Grass)	18.00
TOTAL	95.50

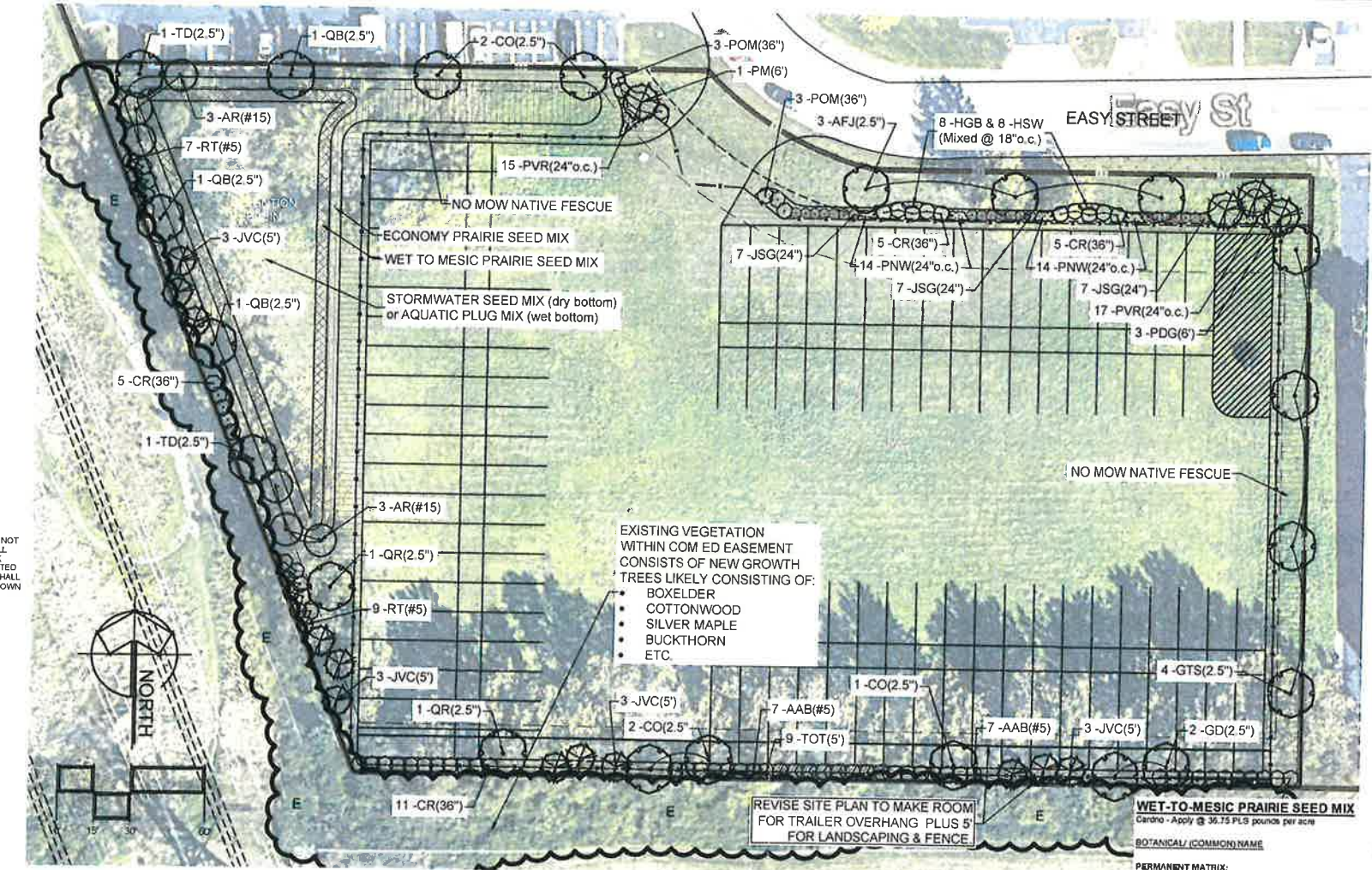
TEMPORARY COVER:

Avena sativa (Seed Oats)	360.00
Lolium multiflorum (Annual Ryegrass)	100.00
TOTAL	460.00

STORMWATER SEED MIX

Cardno-JF-New - Apply @ 32.6 PLS pounds per acre

BOTANICAL / (COMMON) NAME	PLS OZ./Ac
Avena sativa (Seed Oats)	360.00
Lolium multiflorum (Annual Ryegrass)	100.00
TOTAL	460.00



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE / TYPE
DECIDUOUS SHADE TREES				
AFJ	3	Acer f. 'Jeffersred'	Autumn Blaze Freeman Maple	2.5" BB
CO	5	Celastrus occidentalis	Hackberry	2.5" BB
GTS	4	Quercus bicolor	White Oak	2.5" BB
GD	2	Gymnocladia dioica	Kentucky Coffeetree	2.5" BB
QB	3	Quercus bicolor	Swamp White Oak	2.5" BB
QR	2	Quercus rubra	Red Oak	2.5" BB
TD	2	Taxodium distichum	Bald Cypress	2.5" BB
EVERGREEN TREES				
JVC	12	Juniperus v. 'Caneatli'	Caneatli Red Cedar	5' BB
PGD	3	Picea v. 'Densa'	Black Hills Spruce	5' BB
PM	1	Pseudotsuga menziesii	Douglas Fir	6' BB
TOT	9	Thuja o. 'Tachyn'	Tachey Arborvitae	5' BB
DECIDUOUS ORNAMENTAL TREES				
AR	6	Alnus incana subsp. rugosa	Speckled Alder	#15
DECIDUOUS SHRUBS & SHRUB ROSES				
AAB	14	Aronia v. 'Brilliantissima'	Red Chokeberry	#5/0"
CR	37	Cornus racemosa	Grey Dogwood	3" BB
RT	16	Rhus v. 'L. acinatif'	Cufoaf Sycamore Sumac	#5
POM	8	Physocarpus o. 'Mandia'	Copperline Ninebark	#5
EVERGREEN SHRUBS				
JSG	21	Juniperus c. 'Sea Green'	Sea Green Juniper	24"/#6
ORNAMENTAL GRASS				
PNW	28	Panicum v. 'Northwind'	Northwind Switch Grass	#1
PVR	32	Panicum v. 'Rotstrahlbusch'	Red Switch Grass	#1
PERENNIALS				
HGB	8	Heemerocallis 'Going Bananas'	Going Bananas Daylily	#1
HSW	8	Heemerocallis 'Summer Wine'	Summer Wine Daylily	#1
MATERIAL & LABOR LIST:				
QTY	ITEM	DESCRIPTION		
TBD	SY	Naive Seed w/ Straw Blanket		
TBD	SY	Naive Seed w/ Straw Blanket		
TBD	SY	Naive Seed w/ Straw Blanket		
TBD	SY	Naive Seed w/ Straw Blanket		
TBD	SY	Seed w/ Straw Blanket		
23	CY	Mulch		
2	CY	Mulch		

GENERAL NOTES:

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/damaged leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding site, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a 1. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of mushroom compost. Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed near buildings and other such areas which do not receive natural rainfall.

of planting shall extend a minimum of two feet (2') beyond the center of a shrub.

saucers shall require a hand spaded edge between lawn and mulched areas.

slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

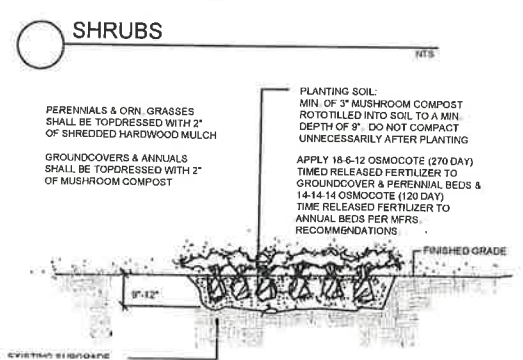
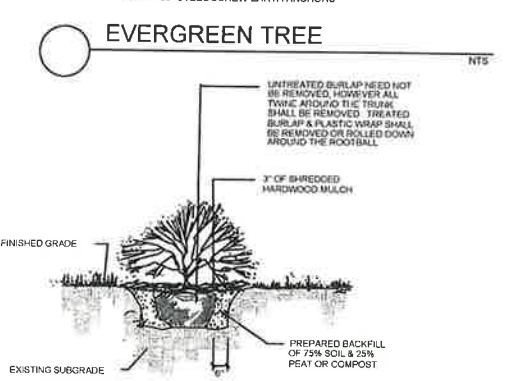
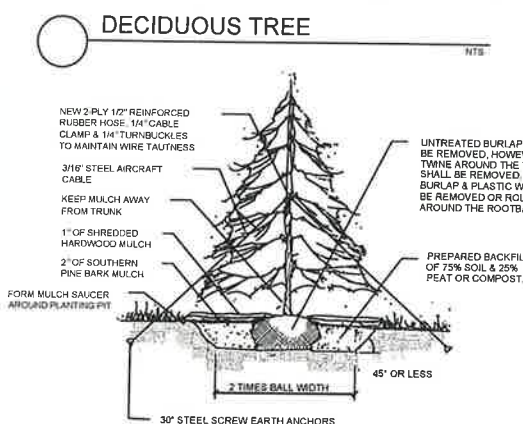
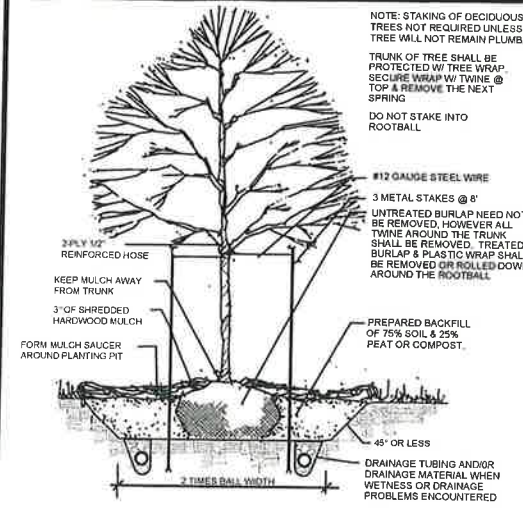


EXHIBIT C

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

June 14, 2021

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting approval of
the following:

- A Zoning Map Amendment from B-2 General Retail District to I Industrial District in accordance with Section 16-15-7 of the Carol Stream Zoning Code
- A Special Use Permit for Motor Vehicle Service in accordance with Section 16-10-2(B)(12) of the Carol Stream Zoning Code
- A Special Use Permit for Outdoor Activities and Operations – Storage of Trailers in accordance with Section 16-10-2(B)(14) of the Carol Stream Zoning Code
- A Variation in accordance with Section 16-5-6(J)(3) of the Carol Stream Zoning Code to reduce the required front building setback
- North Avenue Corridor Review in accordance with Section 16-5-6 (E)(4)(g) of the Carol Stream Zoning Code

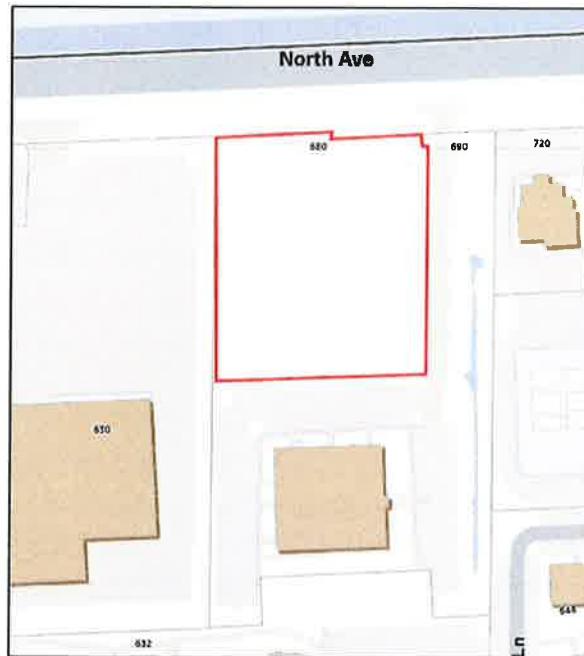
APPLICANT/ CONTACT:
Mr. Vasile Sorocean
Dynamic Investments, LLC
10 N. Martingale Road
Schaumburg, IL 60173



CASE #: 21-0014

LOCATION: 680 E. North Avenue

PROJECT NAME: Dynamic Investments, LLC



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-2 Retail District	Corridor Commercial (Vacant)	Corridor Commercial
North	Glendale Heights I Industrial District	Industrial	Industrial
South	B-4 Office, Research, and Institutional Building District	Corridor Commercial, including office (multi-tenant office building)	Corridor Commercial, including office
East	B-2 Retail District	Corridor Commercial (Jubilee Furniture and Playoff's)	Corridor Commercial
West	B-4 Office, Research, and Institutional Building District	Corridor Commercial (Wheaton Christian Center Church and Amita Health)	Corridor Commercial

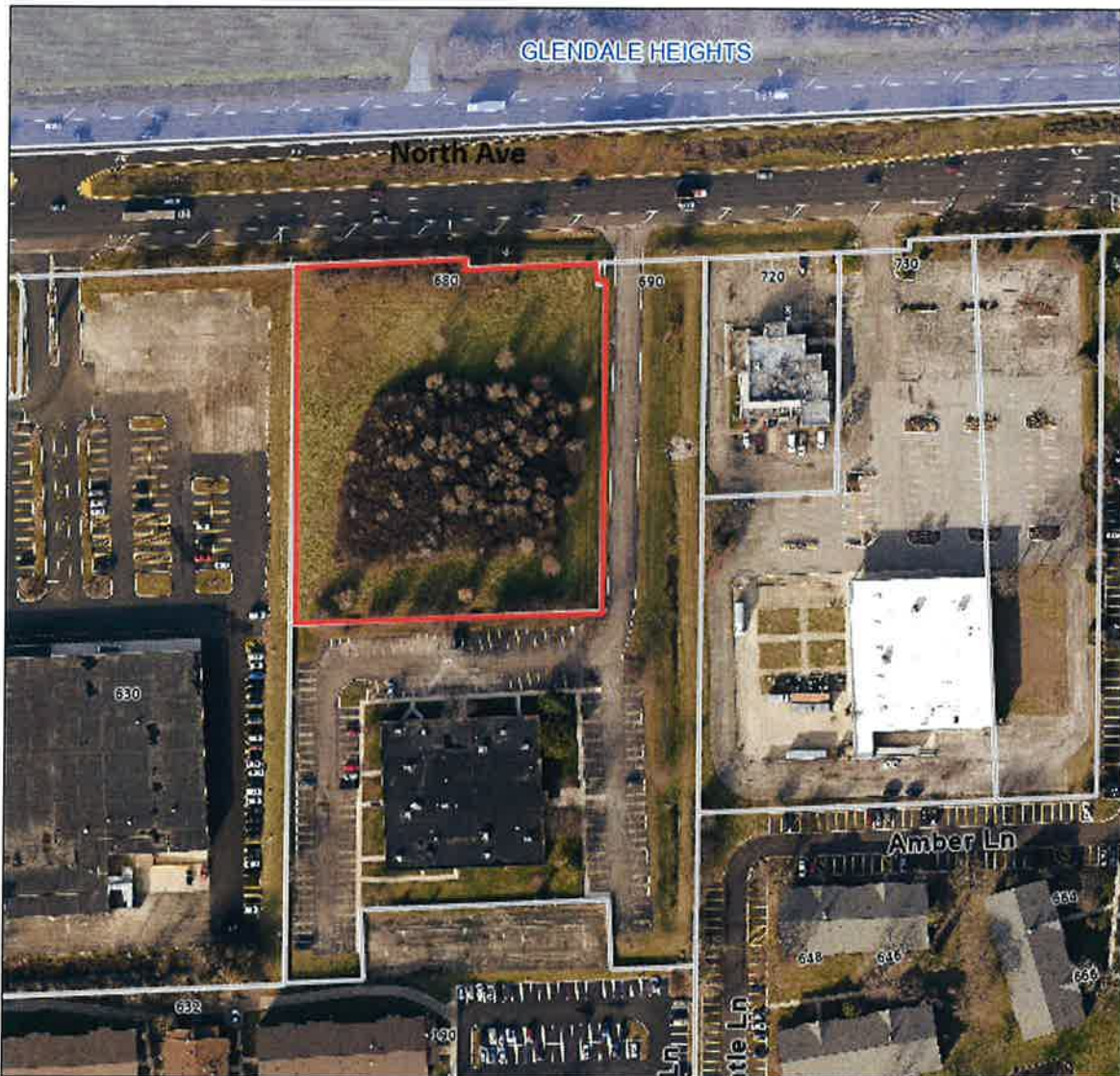
The subject property, highlighted above, is located on the south side of North Avenue and east of Schmale Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The applicant proposes to rezone the property to the Industrial District for a truck repair facility with outdoor storage of trucks and trailers.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Zoning Code Variation Application, Special Use Application, public hearing notice, cover letters dated April 9 and May 24, 2021, Fence Information dated April 21, 2021, Site Plan (Exhibit A), Landscape Plan and Details (Exhibits B-1 and B-2), Elevations and Rendering (Exhibits C-1 and C-2), Site Demolition, Geometry, Utility and Grading/Paving Plans (Exhibits D-1 through D-4), Sign Detail (Exhibit E), and Fence Detail (Exhibit F).

BACKGROUND:

Vasile Sorocean, CEO with Dynamic Investments, LLC, requests approval of the following:

- A Zoning Map Amendment from B-2 General Retail District to I Industrial District
- A Special Use Permit for Motor Vehicle Service
- A Special Use Permit for Outdoor Activities and Operations – Storage of Trailers
- A Variation to reduce the required front building setback
- North Avenue Corridor Review

Dynamic Investments, LLC is the contract purchaser of the vacant 2.5 acre parcel at 680 E. North Avenue, and proposes to develop a truck repair and storage facility. A similar development was recently completed by the applicant at 250 N. Schmale Road (Dynamic MD).

Staff Analysis

ZONING MAP AMENDMENT



Dynamic MD – Recently completed building at 250 N. Schmale

The applicant is seeking approval to rezone the subject property from B-2 (General Retail District) to I (Industrial District). Surrounding uses include commercial and office uses to the south, east, and west, and industrial-zoned vacant land in the Village of

Glendale Heights to the north. North Avenue functions as a major corridor within the community, and there are a variety of uses along the corridor, including industrial, office, commercial, and residential uses. The proposed truck repair facility requires Special Use approval in the Industrial District (to be discussed in the next section of this report), and the applicant has designed a

development that will provide an aesthetically pleasing site that still blends with the rest of the North Avenue Corridor, as evidenced by the applicant’s project at 250 N. Schmale Road.

Staff does not believe the requested rezoning or proposed repair center project will have a negative impact on surrounding properties or the community as a whole, and that the site will be a suitable location along the North Avenue Corridor for a proposed use. Additional analysis of the site plan, landscaping, building architecture, and signage will be provided in the Special Use and North Avenue Corridor sections of the staff report.

SPECIAL USE PERMITS FOR MOTOR VEHICLE SERVICE AND OUTDOOR ACTIVITIES AND OPERATIONS – PARKING OF TRAILERS

The submitted cover letter, along with the submitted site plan, describe and depict proposed business operations:

- A 20,285 square foot building is proposed to be constructed on the subject property, and will contain office space, warehouse space, two exterior docks and a drive-in door for deliveries, and five truck repair bays.
- 36 automobile parking spaces are proposed on the north side of the property, with 24 trailer spaces and six tractor spaces proposed along the rear of the property. The tractor/trailer storage spaces and docks will be screened by screen walls, fencing, and landscaping, so that docks and tractors/trailers are not readily visible from adjacent properties.

In addition, the following chart presents parking requirements for the property:

Business	Area of Use*	Code Requirement	Spaces Required
680 E. North Avenue Property	Motor Vehicle Service and Repair Facilities	2 per service bay (5 service bays)	10 spaces
	Office Space	1 space per 250 S.F. (4,069 s.f. of office space)	16 spaces
	Warehouse Space	4 for 1st 1,200 s.f., then 1 for each 1,500 s.f. (4,125 s.f. of warehouse space)	6 spaces
Parking Spaces Required:			32 spaces
Parking Spaces Provided:			36 spaces

Based on Zoning Code requirements, the proposed use requires 32 on-site parking spaces, and 36 parking spaces will be provided (excluding the 30 storage spaces that will be within the fenced-in storage area).

Staff notes that several other properties within the Village's industrial areas have been granted approval for outdoor storage of vehicles or trailers, including 250 N. Schmale Road (Dynamic MD), 505 E. North Avenue (Hopewell Services), 775 Kimberly Drive (IG Commercial), 300 Westgate Drive (3 Phase Line), 195 Kehoe Boulevard (T Steele Construction), 220 Westgate Drive (US Filter), and 120 Tubeway (U-Stor-It for U Haul rentals), as long as said vehicles or trailers were properly screened to block visibility from adjacent properties and roadways. Staff can support the Special Use requests with the following conditions:

- All maintenance work shall occur inside the building, and not within the storage lot. Likewise, disabled trucks and trailers shall not be stored in the lot.
- Sleeping in trailers, cabs, or in the building shall not be allowed.
- Only trailers and trucks shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed in the storage lot.
- No trucks or trailers shall be allowed to be stored in the front (automobile) parking area along North Avenue.

SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permits must be based on the evaluation criteria set forth in the Zoning Code. As stated in §16-15-8(E) of the Zoning Code, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Uses:

1. Are deemed necessary for the public convenience at the location.

Dynamic Investments is expanding its business onto a vacant Carol Stream property, which can be viewed as beneficial to the public.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Since the storage lot is proposed to be screened with fencing and landscaping, this lot and outdoor activity should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Likewise, the truck repair service shall be conducted completely within the building.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Other properties classified with the Industrial designation have received Special Use approval for outdoor activities and operations, and for repairing of vehicles, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements will be put in place for the proposed development.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing is proposed to screen the property, and procedures will be put in place to assure that the storage lot and trailers within the lot are maintained and confined appropriately.

ZONING CODE VARIATION

Section 16-5-6(J)(3) states that properties along North Avenue are required to provide a 100-foot front yard building setback. In the case of the proposed development, a front yard building setback of 77 feet, 11 inches is proposed along North Avenue. It should be noted that a 10-foot strip of land was acquired along the east half of the property frontage in 1993 when North Avenue was widened, which provides for a “notched-out area” along the north property line. The western portion of the proposed building will be situated approximately 88 feet from North Avenue, but will still infringe into the 100-foot front yard setback.

The larger setback along the North Avenue Corridor is geared toward larger buildings being set back a greater distance from roadways, such as larger shopping center buildings and industrial buildings. However, variations or exemptions for other properties and Planned Unit Developments (PUDs) have been granted to reduce setbacks for smaller buildings or for properties that provided adequate screening or landscaping to compensate for the reduced setback. Such properties include the outlots at the Carol Stream Marketplace Shopping Center at the southwest corner of Schmale and North, the Vequity redevelopment at the northeast corner of Geneva and Schmale, and the JMP redevelopment project at the northwest corner of North and County Farm. In the case of the proposed building, existing scrub landscaping will be removed and replaced with trees and shrubs along the property frontage and within parking lot

islands which will serve dual aesthetic and screening purposes along this portion of the property. Likewise, a drive aisle, parking spaces, and the existing parkway provide sufficient space between the proposed building and property line. As such, staff can support the setback variation in this instance.

SPECIAL USE FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-15-6(D) of the Zoning Code:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

The proposed use will provide an additional service for the community, while still maintaining an appropriate distance from North Avenue.

2. The plight of the owner is due to unique circumstances.

Though there are no unique circumstances for the subject property, similar variation requests have been granted to allow deviations to the larger building setback requirement along the North Avenue Corridor for smaller buildings.

3. The variation, if granted, will not alter the essential character of the locality.

If the variation is granted, staff does not believe the essential character of the locality will be altered with the reduced building setback given the proposed landscaping and spacing between the one-story addition and the North Avenue right-of-way.

4. The particular physical surroundings, shape, or topographical conditions of the specific property involved bring a particular hardship upon the owner as distinguished from a mere inconvenience.

Particular physical surroundings or topographical conditions do not necessarily bring about a hardship, but the building has been attractively designed along the Corridor, with landscaping to screen and beautify the building from its street view.

5. The conditions upon which the petition for the variation is based would not be applicable generally to other property within the same district.

Other properties along the North Avenue Corridor have been granted building setback variations, normally geared toward smaller commercial or service buildings which are still appropriately spaced and screened from the adjacent roadway.

6. The granting of the variation will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located.

Staff does not believe the granting of the variation will be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located.

NORTH AVENUE CORRIDOR REVIEW

NAC regulations are applicable to properties abutting North Avenue, and Plan Commission review of the proposed development is required to ensure that the proposal is in conformance with the NAC regulations. The Plan Commission has the authority to make the final determination of conformance with the NAC regulations and Village Board consideration is not required. The sections of the NAC regulations that apply to this project include site, architectural and landscape design, fencing, and signage.

- *Site Design.* As previously stated, the proposed building will be centrally located on the subject property, with automobile parking proposed on the north side of the property and trailer and truck parking proposed on the south side of the property. Access to the site will be provided by a driveway that is shared with the adjacent property at 690 E. North Avenue, and said driveway will be upgraded to accommodate truck traffic. Pedestrian access is also provided with sidewalks leading to building entrances.
- *Architectural Design.* The exterior of the building is proposed to be precast concrete panels, with vertical and horizontal reveals to break up the panels. In addition, clerestory windows are proposed along the upper portions of all building facades to bring natural light into the building, and blue accent canopies projecting three feet from the building wall are also proposed to provide visual interest along the building façade. The proposed building materials and color scheme will provide a contemporary design and appearance for the building along the North Avenue Corridor.
- *Landscape Design.* Substantial landscaping improvements are proposed on the subject property. Trees and shrub groupings are proposed along the North Avenue frontage for parking lot screening, and along the south, east, and west sides of the property for perimeter screening. Landscaping is also proposed around the north, east, and west sides of the building, to soften and anchor the building foundation, and within parking lot islands. The proposed landscaping will meet the intent of the landscaping requirements of the North Avenue Corridor and will provide for an aesthetically pleasing site.
- *Fencing.* The applicant proposes to install a seven-foot tall decorative fence around the rear of the property (see submitted fence detail). The proposed solid fence will be vinyl with steel reinforced mid-rail and bottom rails. The proposed fencing will have a woodgrain texture appearance, and an “Artic Blend” gray color.
- *Signage.* A doubled-sided monument sign is proposed at the northwest corner of the property. The sign will be 10 feet in height and approximately 68 square feet in area. In addition, the sign will be constructed of aluminum with push-thru acrylic letters and “calypso” or blue/green cabinet coloring. Staff has the following comments on the monument signage:

- The submitted sign detail denotes different sign heights (10 feet versus almost 14 feet), and should be updated prior to the issuance of a sign permit.
- Staff recommends that the “calypso” color be changed to match the blue color proposed on the accent canopies on the building for consistency purposes.
- Landscaping in the form of flowers, grasses, or low growing shrubs need to be provided around the base of the sign. As such, the landscape plan needs to be updated to illustrate said landscaping.
- Both the 680 E. North Avenue property and the adjacent 690 E. North Avenue property have a 20-foot wide watermain easement along their North Avenue property frontages. A public watermain is located within the south end of the easement. In order for the sign to be installed within the easement, an easement encroachment agreement will need to be reviewed and approved by the Village Board.
- Likewise, the applicant is working with the owner of the 690 E. North Avenue property to shift their existing ground sign to allow for the existing driveway on North Avenue to be widened. The existing sign is partially located in the North Avenue right-of-way, and the applicant proposes to shift the sign south out of the right-of-way. However, the sign will still be located in the watermain easement. Similarly to the monument sign proposed for the subject property, an easement encroachment agreement will also be required for the sign relocation. The applicant is aware of the agreements required prior to permits issued for both signs.

All in all, the proposed building, site, and landscaping improvements will greatly enhance the property, while new fencing and signage have been attractively designed. Staff believes the project meets criteria for developments along the North Avenue Corridor.

Recommendation

Staff has reviewed the applicant’s submittal and can support the Rezoning, Special Use, Variation, and North Avenue Corridor requests. Therefore, staff recommends approval of a Zoning Map Amendment to rezone the subject property from the B-2 General Retail District to the I Industrial District, a Special Use Permit for Motor Vehicle Service, a Special Use Permit for outdoor activities and operations for the storage of trailers, a Variation to reduce the required front building setback from 100 feet to 77 feet 11 inches, and North Avenue Corridor Review for Dynamic Investments, LLC, Case No. 21-0014, subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, fencing and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits (except as may be amended to address recommended conditions herein);
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;

3. That the landscape plan shall be revised prior to Village Board action to illustrate the following:
 - a. Landscaping in the form of groundcover, grasses, or low-growing shrubs shall be illustrated around the base of the monument sign;
4. That all maintenance work shall occur inside the building, and not within the storage lot. Likewise, disabled trucks and trailers shall not be stored in the lot;
5. That sleeping in trailers, cabs, or in the building shall not be allowed;
6. That only trailers and trucks shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed in the storage lot;
7. That no trucks or trailers shall be allowed to be stored in the front (automobile) parking area along North Avenue;
8. That a Knox padlock or gate switch shall be provided on the security gate, and the Carol Stream Fire Protection District shall be provided keys to said gate for access onto the property;
9. That the monument sign detail shall be updated to include the following:
 - a. The detail shall clarify the sign height at 10 feet.
 - b. The "calypso" color shall be changed to match the blue color proposed on the accent canopies on the building for consistency purposes.
10. That the applicant shall obtain approval of an easement encroachment prior to the issuance of a sign permit for both the monument sign for the 680 E. North Avenue property and the relocation of the monument sign on the 690 E. North Avenue property;
11. That all rooftop mounted mechanical equipment on all buildings associated with the development shall be fully screened by the parapet wall, or with supplemental screening if said parapet wall is not tall enough to screen the equipment;
12. That the owner must install additional landscape materials in the future, subject to the approval of the Community Development Director, to screen yet-unknown ground-mounted mechanical and utility equipment; and
13. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

RECEIVED

APR 09 2021

COMMUNITY DEVELOPMENT
DEPT



Do Not Write in This Space	
Date Submitted:	<u>4-9-21</u>
Fee Submitted:	<u>\$2,640.00</u>
File Number:	<u>21-0014</u>
Meeting Date:	<u>6/14/21</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Dynamic Investments, LLC Phone 630-230-5100
 Address 10 N. Martingale Rd., Schaumburg, IL 60173 Fax 855-631-0437
 E-Mail Address vasile@dynamiccmd.net
 (required)
 Name of Attorney Robert A. McNees Phone 630-665-8811
 (if represented)
 Address 195 Hiawatha Dr., Carol Stream, IL 60188 Fax 630-665-5260
 Name of Owner ZACH, LLC Phone 847-269-9500
 (required if other than applicant)
 Address 43 Revere Dr., South Barrington, IL 60010 Fax _____
 Name of Architect Michael J. Brumstark Cornerstone Architects, Ltd. Phone 630-773-8363
 (if applicable)
 Address 1152 Spring Lake Dr., Itasca, IL 60143 Fax _____

2. *Common Address/Location of Property 680 E. North Ave., Carol Stream, IL 60188

3. Requested Action (check all that apply)
- | | |
|--|---|
| <input checked="" type="checkbox"/> Gary/North Avenue Corridor Review | |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> Planned Unit Development – Preliminary | <input type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Planned Unit Development – Final | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input checked="" type="checkbox"/> Special Use Permit (requires Form C) | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Subdivision – Preliminary | <input checked="" type="checkbox"/> Zoning Change |
| <input type="checkbox"/> Subdivision – Final | <input type="checkbox"/> Other |

Describe requested action Rezoning from B-2 to I. Special use permit for outdoor storage of trucks and truck trailers. Gary/North Avenue Corridor Review.

4. After referring to the specific process handout(s) relevant to this application, please indicate below the items that are included with the submittal.

<u> X </u>	General Application (Form A)
<u> </u>	General Variation Application (Form B-1)
<u> </u>	Sign Code Variation Application (Form B-2)
<u> </u>	Fence Code Variation Application (Form B-3)
<u> X </u>	Special Use Application (Form C)
<u> </u>	Application for Development Approval (Form D)
<u> X </u>	Gary/North Avenue Corridor Application (Form E)
<u> X </u>	Plat of Survey with Legal Description
<u> X </u>	Site Plan
<u> X </u>	Landscape Plan
<u> </u>	Plat of Annexation
<u> </u>	Preliminary Subdivision Plat
<u> </u>	Final Subdivision Plat
<u> </u>	Preliminary Planned Unit Development Plan
<u> </u>	Final Planned Unit Development Plan
<u> X </u>	Drawings of Proposed Signs
<u> X </u>	Horizontal Building Elevations
<u> X </u>	Floor Plan
<u> X </u>	Proof of Ownership or Written Consent From Property Owner
<u> X </u>	Project Narrative/Cover Letter
<u> X </u>	Application Fee \$ <u>2,640.00</u>

Please submit eight (8) full size drawings and one legible 11 by 17 inch reduced reproducible copy of full size drawings, along with a USB flash drive with plans and associated documents saved as pdf or zip files. Additional sets of plans may be required for certain applications. Please contact Village staff with any questions concerning the submittal requirements. **Full size drawings should be folded not rolled.**

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have received a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews required by the Community Development Director to be performed by means of consultant services shall be paid at the billed rate to the Village by the consultant.

Vasile Sorocean, Manager

Print Name

Signature

Date

Revised 06/18

Sorocean
04/06/2021



FORM B-1

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

GENERAL VARIATIONS

In accordance with the applicable statutes of the State of Illinois, no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Code and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the Zoning Code.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: (Please respond to each of these standards in writing below as it relates to your request.)

1. That the property in question, other than a single-family residential lot, cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

The 100' building setback along North Ave. contemplates large industrial buildings on large lots.

This lot is only 2.55 acres and is only 360' deep. It is barely deep enough to accommodate passenger car parking in the front, truck parking and turning movements in the back and the repair facility itself.

2. That the plight of the owner is due to unique circumstances.

The small lot size and the depth of the lot does not leave enough space for both necessary parking and the building itself.

3. That the variation, if granted, will not alter the essential character of the locality.

The proposed attractive development of this lot that has remained vacant for many years will

improved the look and feel of the area, is consistent with the industrial developments to the east and west, and with the increasing use of North Ave. for truck traffic.

4. That the plight of the owner is due to the failure of a previous owner of the property in question to follow then-applicable ordinances or regulations, and where the benefit to health, safety or appearance to be derived from correcting the nonconformity would not justify the cost or difficulty of the correction. The evidence must show that the current owner had no role in the creation of the nonconformity.

The depth of this property has been reduced by prior North Ave. road widenings. Neither applicant
nor the property owner are at fault for the diminished size of the property.

5. That the particular physical surroundings, shape, or topographical conditions of the specific property involved would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the strict letter of the regulation were carried out.

The size of the lot and its configuration bring a hardship to the applicant in meeting the building
setback requirements along North Ave. for a viable development of this lot.

6. That the conditions upon which the petition for variation is based would not be applicable generally to other property within the same district.

Other smaller parcels along North Ave. have received relief from setback requirements, including
the southwest corner of North Ave. and Schmale, with no apparent impact on surrounding properties.

7. That the granting of the variation will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located.

If approved, the building setback variation should not be detrimental to the public welfare or injurious
to other property or improvements in the neighborhood, the proposed development would be
consistent with development along North Ave. and the proposed development of this lot would be a
significant improvement to the appearances of this lot and the neighborhood.

8. Other pertinent information or reason for the request.



FORM C

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

SPECIAL USE APPLICATION

The Zoning Code is based upon the division of the Village into different districts. Within these districts, certain uses are permitted outright and certain uses are special uses which must be approved by the Village Board after a recommendation is made by the Plan Commission. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

The proposed truck repair facility will provide a very convenient location for the repair of trucks along a high-volume divided highway, greatly used by trucks and tractor trailers.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The facility will be conducted in compliance with all applicable regulations. The back truck parking area will be well screened by fencing and landscaping.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The facility will fit in well with the properties in the immediate vicinity. B-3 zoning would allow for the truck repair facility portion of the proposed use. The motor terminal portion of the building is but a small ancillary part of the building use. The motor terminal use is what necessitates rezoning to I zoning.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

As proposed, the facility will not impede the development of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Utilities, access roads, and necessary community facilities are already in place. Drainage concerns will be addressed through necessary storm water retention and detention in accordance with applicable regulations.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposal conforms to applicable regulations of I zoning, except as may be modified by the Village Board.

7. Other pertinent information or reason for request.

Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on May 26, 2021 and the last publication of the notice was made in the newspaper dated and published on May 26, 2021. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on May 26, 2021.

Examiner Publications, Inc.

By: Publisher 
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 26 day of May, A.D. 2021.

Notary Public



PUBLIC NOTICE FILE #21-0014

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, June 14, 2021, at 6:00 p.m. to consider an application from Dynamic Investments, LLC for the following actions:

A Zoning Map Amendment from B-2 General Retail District to I Industrial District in accordance with Section 16-15-7 of the Carol Stream Zoning Code;

A Special Use Permit for Motor Vehicle Service in accordance with Section 16-10-2(B)(12) of the Carol Stream Zoning Code;

A Special Use Permit for Outdoor Activities and Operations – Storage of Trailers in accordance with Section 16-10-2(B)(14) of the Carol Stream Zoning Code; and

A Variation in accordance with Section 16-5-6(J)(3) of the Carol Stream Zoning Code to reduce the required front building setback

For the parcel at 680 E. North Avenue (PIN 05-04-200-042).

The hearing will be held in-person and via a web conference meeting. All persons desiring to be heard will be given the opportunity to be heard. The web conference will allow the public to view the meeting online or call in to participate.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:
<https://us02web.zoom.us/j/82177335115>

Description: This is an audio only meeting. Those members of the public wishing to be heard with respect to this matter must pre-register or complete the public comment form at <http://carolstre.am/pc> by 4pm the day of the public hearing.

Or join by phone: Dial (for higher quality, dial a number based on your current location): US: +1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592

Webinar ID: 821 7733 5115

International numbers available:
<https://zoom.us/j/82177335115>

Copies of the applications are available for public inspection on the Village's website at www.carolstream.org. The public may provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfarace@carolstream.org by 4:00pm the day of the hearing. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

By order of the Combined Plan Commission/Zoning Board of Appeals, Village of Carol Stream, Illinois. Published in The Examiner on Wednesday, May 26, 2021.

As published in The Examiner May 26, 2021 0526

April 9, 2021

By Hand Delivery

Village of Carol Stream
The Mayor, Board of Trustees & Plan Commission
500 N. Gary Ave.
Carol Stream, IL 60188

Re: Proposed Rezoning of 680 E. North Ave., Carol Stream, Illinois.

Dear Sirs and Madams:

Please be advised that I represent Applicant, Dynamic Investments, LLC, contract purchaser of the vacant lot located at 680 E. North Ave., Carol Stream, Illinois.

This property is currently zoned B-2. The Comprehensive Plan calls for commercial uses on the property.

To the south of the subject property at 690 E. North Ave., is a one story 24,000 sq ft building, on 3 acres, zoned B-4 with a special use for the IEH food laboratory. To the west, zoned B-2, the property is occupied by Playoffs Bar and Jubilee Furniture. Jubilee Furniture is currently adding a warehouse employment training facility to west of their existing building. To the east is Grace Plaza, containing Amita Health Care, Wheaton Christian Center and Wash U car wash, which is zoned B-4. To the north is vacant land in Glendale Heights, adjacent to Spraying Systems. Along North Avenue, both to the east and to the west, recent development trends feature large logistics warehouses, which rely on trucks and tractor trailers to move products.

The subject property consists of 2.55 acres. The 690 E. North building to the north owns the driveway on the east boundary of the subject property which driveway provides access to North Ave. The 690 E. North building also owns the storm water detention area to the east of the driveway. The driveway and storm water detention area are subject to an easement agreement that gives the subject property the right of access to North Ave., using the driveway. The subject property is not allowed to have a driveway directly onto North Ave. A topographical survey of the subject property and the driveway/stormwater detention area to the east of the subject property is attached.

Applicant proposes to construct a 20,285 square foot truck repair facility on the subject property, as depicted on the attached site plan. 10,540 sq ft would be devoted to 5 truck repair bays. There would be a 516 sq ft storage room for parts. 4,069 sq ft would be used for office space. The warehouse area would be 4,125 sq ft in size, with 2 exterior docks. Elevations showing the exterior of the building are attached, as well as a floor plan.

In the front there would be 38 passenger parking spaces. There would be a monument sign along North Avenue towards the west boundary of the property, in accordance with the attached sign plans. The driveway entrance onto North Ave. would be widened to the west. The existing monument sign for the

690 E. North building will be moved slightly to the west to accommodate the wider driveway entrance, and slightly to the north, to remove it from the widened North Avenue right of way. The driveway to North Ave. will be rebuilt and strengthened from North Ave. south to the point where trucks would enter and leave the rear parking lot of the subject property. The storm water detention area to the east of the driveway would not be altered.

To the rear of the building, there would be 25 truck-trailer parking spaces, plus 6 tractor only parking spaces. The back truck parking area would be screened to the north, west and east by solid white fencing and landscaping. There would be a gate securing the truck parking area. Generous landscaping would be provided in the front of the property, as depicted on the attached landscaping plan.

The principal of Applicant, Vasile Sorocean, is a resident of Carol Stream. He has recently completed construction of a truck repair facility for his trucking business, Dynamic MD LLC, at 520 Schmale Rd., which facility reflects the pride in quality he would be bringing to this project. Currently Dynamic MD provides hauling for flat bed and step down trailers. One of the challenges the trucking industry faces is how to quickly service and repair trucks and trailers to get them back on the road. The trucks are very expensive and financing costs continue to run, during the time trucks are down for repairs. There aren't enough truck repair facilities in the area to meet the increasing demand. Attached is a letter from Mr. Sorocean explaining his plans for opening a licensed Volvo truck repair facility at the location, which would serve both Dynamic MD's plans to expand into interstate container truck hauling and to serve other trucking companies that use Volvo trucks.

This site is about the smallest footprint possible for a truck repair facility. The five repair bays in the back will be able to accommodate 10 trucks simultaneously. Generally, repair work will take 2-3 days per truck. Some of the trucks will be owned by Dynamic MD. Others will be from other trucking companies. The repair facility would utilize about 8 mechanics, plus a lead foreman, a parts manager and a service manager to interface with the customers. The mechanics would use the repair bay space to store their tools and sufficient power and air compressors will be provided for maximum efficiency. All repairs would be conducted inside the building. No repairs will be conducted outside.

The small warehouse space would be used to store repair parts inventory. It will also provide a limited amount of space for temporary storage of small quantities of product to be consolidated with other partial loads. This would be strictly for Dynamic MD's use. The dock spaces would allow 16'-24' box trucks to offload product. The warehouse space would be for products that you would not want to leave outdoors.

The back lot will be gated, fenced in and monitored for security, so that trailers can be left outside while the tractors are being repaired. Additional spaces for tractors and containers are needed for a variety of reasons. Dynamic MD is expanding its fleet and acquiring new trucks. It takes 1-2 weeks after a new truck is delivered for the following steps: securing registrations from the Illinois Secretary of State, installing equipment for Dynamic MD to monitor the trucks' usage, and securing a new driver for the truck. If a trucker leaves Dynamic MD's employment, there will be a lag time to obtain a new driver. Sometimes the repair facility has to order parts and the parts are delayed in getting to the repair facility.

Applicant requests that the property be rezoned to I-Industrial zoning with such variances, special use permits and North Avenue Corridor approvals as are necessary to construct the proposed truck repair

facility. Please note that the truck repair facility itself would be allowed under B-3 zoning. But for the small warehousing space in this building, applicant would not be seeking industrial zoning. The scale of the warehousing space in this building is miniscule in comparison to the industrial logistics buildings recently constructed along North Ave. to the west and to the east of the subject property.

A significant advantage to the subject property as a truck repair facility is that it is immediately accessible to North Ave., a significant trucking route with access to the interstate highway system. This is also a significant advantage to Carol Stream, in that North Ave is a state route and trucks would not need to traverse Village maintained streets to access the truck repair facility.

Enclosed please find Form A, General Application; Form C seeking a special use permit for out door storage of trucks; Form E, North Avenue Corridor Review forms.

Also enclosed please find a copy of the title commitment for the subject property, reflecting that Zach, LLC is the owner of the property. Attached is the owner's written consent to this application.

Also enclosed please find a copy of the topographical survey of the property, a proposed site plan, landscape plan, signage plans, horizontal building elevations and floor plan.

Finally, enclosed please find payment of fees applicable to the above applications:

\$1,500.00	North Avenue Corridor Review
\$ 640.00	Rezoning
<u>\$ 500.00</u>	Special Use Permit
\$2,640.00	

Applicant would greatly appreciate the Village's prompt review and approval of Applicant's requests.

If you require anything further, or if questions arise regarding this application package, please do not hesitate to call.

Very Truly Yours,

McNees & Associates, LLC

By: 
Robert A. McNees

RAM:rm

Enc.

cc: Vasile Sorocean by email w/o enc
John T. Roselli, Esq by email w/enc



DYNAMIC MD

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APR 09 2021

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Dynamic MD, LLC (Dynamic) is a nationwide freight carrier specializing in step-deck trailers hauling heavier and oversized loads for both military and industrial uses. The company is renowned for its safety, discipline, innovation and progressive mentality on doing things differently than the average carriers. Our structure and reliability presented thus far have ensured our growth and ability to become one of the leading step-deck carriers in the transportation industry nationwide.

We recently moved operations to our newly built facility in Carol Stream. We take extreme pride in our new location. This move opened a lot of new opportunities for us as a business and we are witnessing a lot of interest from potential drivers as well as customers. Since our last inquiry to the Village of Carol Stream regarding our recently finalized project, Dynamic's fleet and operations have grown quite a bit. Regardless of the ongoing pandemic, our growth projections for the past 12 months were already reached and we are on track to reach full potential of the current location in the next 24 months. Besides the fleet growth, our revenue in January of 2021 had an increase of 45% compared to the revenue in January of 2020. March to date is our highest revenue month since we've been in business and we are projected to double our annual revenue this year compared to 2020.

We are coming back to the Village of Carol Stream with another inquiry regarding the vacant lot located at 680 E. North Ave in Carol Stream. Currently, the property is zoned B-2, but the property and its location suits ideally our plans and projections for a second terminal with a truck repair shop. Therefore, we would like to request the Village of Carol Stream to consider a change in the property's zoning and to issue a special use permit for truck repair shop and outdoor storage. Dynamic proposal includes construction of a 20,285 sq ft precast building that will serve for a second terminal office space positioned on the North side of the building and a 5 bay truck maintenance area positioned on the South side of the building. 10,540 sq ft of the building would be dedicated to the 5 bay truck repair area, 4,000 sq ft for a warehousing area with 2 exterior docks, positioned in the back of the building and an additional 4,000 sq ft would be used as office space. The front design of the building is set to have a contemporary look with professionally designed landscaping that would add to the modern esthetic appeal of North Ave. We are also proposing to have a monument sign along North Avenue towards the west boundary of the property. The south side of the property is planned to have a concrete paved parking lot accommodating 25 truck-trailer parking spaces with 7 ft chain link fencing with slots. A sliding gate would be positioned on the east side, facing the existing driveway connecting the neighboring property to North Avenue. The proposed access driveway will be reconstructed to meet commercial access requirements to facilitate easy and safe truck entrance.

Everyone involved in the trucking industry is aware of the deficiency of truck repair facilities in the Chicagoland area. Our proposal is to build a high quality repair shop that would meet the standards that licensed dealerships require and be able to work on Volvo trucks only. Currently, in the Chicagoland area, M&K Truck Centers is the only company with 4 locations licensed to perform warranty related work on Volvo trucks. Due to the high demand and overload, they are 3-4 weeks behind. The price of one new Volvo semi truck is close to \$170,000.00. Semi trucks require preventive maintenance and warranty related work that only licensed repair shops can



DYNAMIC MD

perform. Preventive maintenance in normal circumstances is a quick in and out service that does not require trucks and trailers to be parked for extended periods. While the trucks are left accumulating downtime due to the repair shop being overbooked, the trucking company is left accumulating loss of revenue, while the monthly payments for the trucks are still accruing. The purpose of this repair shop is to be able to perform warranty related work in an efficient manner so customers can limit the downtime, while the existing repair shop on 250 Schmale Rd is going to be used mainly for oil changes, trailer repair, tire work and axle alignments. Dynamic is a dedicated Volvo customer. During our last fleet purchase, Volvo headquarters reached out to us with a proposal to assist us into becoming a licensed Volvo service center by providing us with their software, on-site technician training and support. Since our fleet consists of mostly Volvo trucks, this would help us significantly, but also would offer an alternative repair shop to outside customers from the existing overbooked truck repair centers. Minimal downtime is crucial for businesses as it prevents financial loss, but also adds value to their business in the eyes of their customers. In a saturated industry of 3.7 million trucks and 1.2 million trucking companies operating nationwide, it is quite easy to be replaced if your service is not efficient and reliable. Statistics are showing that shipment delays due to breakdowns and unreliable fleets are the top reasons for customers refusing to do business with you. Therefore, the need for truck repair facilities able to service trucks efficiently and with quality grows as the trucking industry is growing. The design of the facility is meant to service 5 trucks and trailers at the same time. In the proposed site, we have designed 25 parking spots for trucks or trailers to be used by customers that would be coming in for repair with both truck and trailer. We will not be using these parking spaces for storage for an extended period of time.

The front office space of the building will be used as Dynamic's second terminal. As mentioned above, our newly built facility at 250 N Schmale Rd has raised interest from several different customers and potential drivers sending requests to join our team. Since the size and capacity of our current facility is not going to be big enough to service our growing fleet and other customers, Dynamic would like to be given the opportunity to construct a second terminal without the necessity to relocate in the future. The proximity of the 680 E. North Ave property to our current facility is perfect from this perspective as we would prefer to keep our operations in Carol Stream.

Dynamic is dedicated to continue operating the same as on day one: with integrity, respect and whole-hearted commitment. We have the drive, stability and long term goals to keep our business growing and we are determined to get to a position where we can give to the community here in Carol Stream. Our uniqueness and vision to do things differently and with complete transparency and honesty, makes us stand out and sets us apart from other businesses in the industry and we will continue changing the industry for the better.

Signature of Owner:



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MAY 24 2021
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DEPT

May 24, 2021

Robert A. McNees
Linda U. Kim
Attorneys at Law
195 Hiawatha Drive
Carol Stream, IL 60188
Phone (630) 665-8811
Fax (630) 665-5260

Mr. Thomas Farace, AICP
Planning & Economic Development Manager
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL 60188

Re: 680 E. North Ave. / Dynamic Investments LLC

Dear Tom:

Thanks for giving me a call on Friday. Per our discussion, applicant further requests a variation from the 100 foot front yard building setback required along North Avenue. The front of the proposed building is at a slight angle from the North Avenue right of way, so the proposed building setback distance varies from 77 feet on the east, to 88 feet on the west. I am emailing you a revised site plan showing the distances to the front of the building and revised elevations for the building showing the building height of 33 feet.

The 100 foot setback requirement along North Avenue contemplates large developments, so that large commercial and industrial buildings are situated well back from North Avenue. This vacant lot is not large, 2.55 acres, and at 360 foot in depth is just barely deep enough to accommodate the truck repair building, parking for trucks in the rear and parking for passenger cars in the front.

The Village has granted building setback relief in the past for smaller buildings and lots along North Ave, such as at the southwest corner of North Ave. and Schmale Rd.

Enclosed please find the requisite Form B-1 to be attached to our prior filings and the requisite filing fee of \$640.00.

Also per our discussion, please provide me with your other comments and we can address them, as well.

Very truly yours,

MCNEES & ASSOCIATES, LLC

By: 

Robert A. McNees

RAM/mlc

cc: Vasile Sorocean via email

NORTH AVENUE

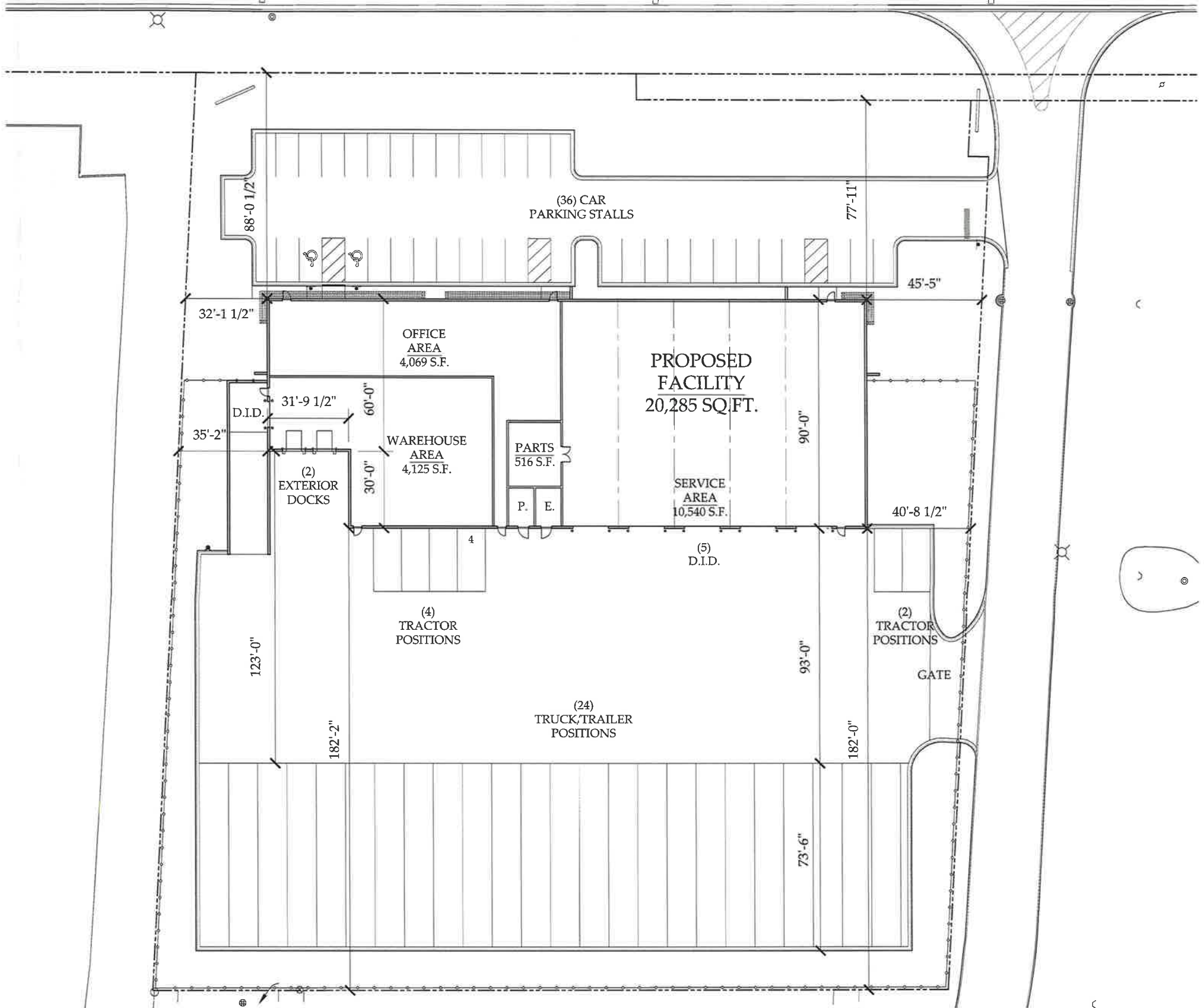


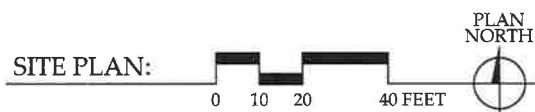
EXHIBIT A

DATA:

SITE AREA: ±111,217 SQ.FT.
 ±2.55 ACRES
 BUILDING AREA (GROSS): ±20,285 SQ.FT.
 EXTERIOR DOCKS: 2 DOCKS
 DRIVE-IN-DOORS: 6 DOORS
 TRAILER POSITIONS: 24 POSITIONS
 TRACTOR POSITIONS: 6 POSITIONS
 CAR PARKING: 36 CARS
 CLEAR HEIGHT: 24 FEET
 F.A.R.: .18

DESIGN STANDARDS:

PROPOSED FACILITY	BUILDING SETBACK NORTH		BUILDING SETBACK SOUTH		BUILDING SETBACK EAST		BUILDING SETBACK WEST		BUILDING SETBACK NORTH (NORTH AVE. CORRIDOR)		PARKING SETBACK NORTH (NORTH AVE. CORRIDOR)		MAXIMUM BUILDING HEIGHT	
	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL
	65'-0"	77'-11"	75'-0"	181'-11"	40'-0"	40'-3"	10'-0"	32'-4"	100'-0"	107'-1"	30'-0"	41'-2"	50'-0"	30'-0"
	MAXIMUM F.A.R.		PARKING REQUIREMENTS		HANDICAP PARKING		GLAZING PERCENTAGE NORTH		GLAZING PERCENTAGE SOUTH		GLAZING PERCENTAGE EAST		GLAZING PERCENTAGE WEST	
	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL
	0.8	.18	34	36	2	2	N/A	13.2%	N/A	3.49%	N/A	3.11%	N/A	14.8%



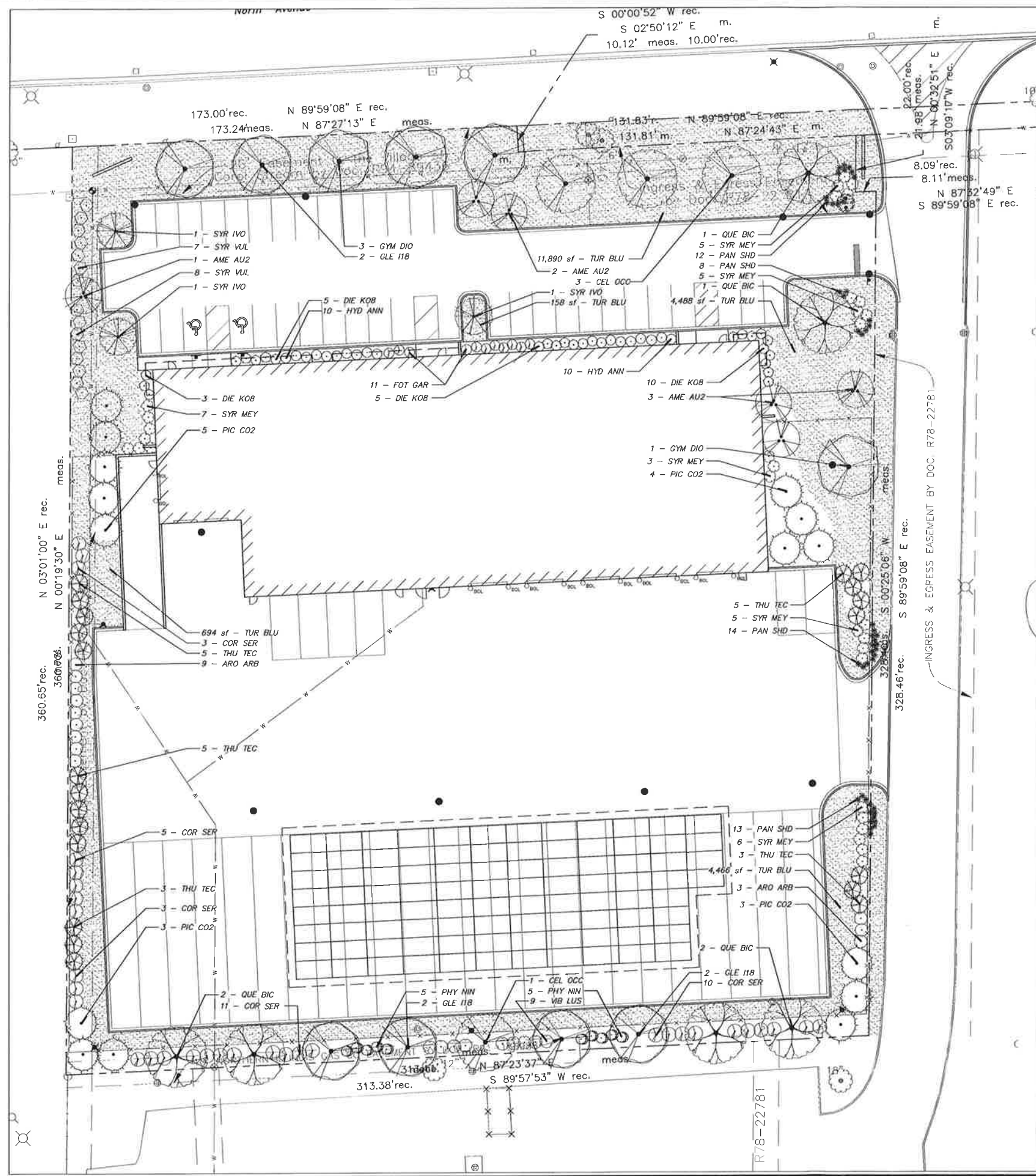
PROPOSED FACILITY

680 E. NORTH AVENUE, CAROL STREAM, ILLINOIS

JUNE 1, 2021 #20503

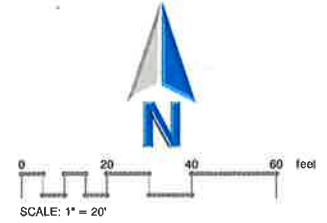
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PLANT SCHEDULE DYNAMIC MD

	BOTANICAL / COMMON NAME	CONT.	QAL	QTY
CANOPY TREES				
CEL OCC	<i>Celtis occidentalis</i> / Common Hackberry	B & B	2.5' Cal	3
GLE I18	<i>Gleditsia triacanthos inermis</i> 'Skyline' / Skyline Honeylocust	B & B	2.5' Cal	6
GYM DIO	<i>Gymnocladus dioica</i> 'Espresso' / Kentucky Coffeetree	B & B	2.5' Cal	4
QUE BIC	<i>Quercus bicolor</i> / Swamp White Oak	B & B	2.5' Cal	6
TIL RED	<i>Tilia americana</i> 'Redmond' / Redmond American Linden	B & B	2.5' Cal	1
EVERGREEN TREES				
PIC CO2	<i>Picea pungens</i> 'Colorado Green' / Blue Spruce	B & B	8' Ht.	15
THU TEC	<i>Thuja occidentalis</i> 'Techny' / Techny Arborvitae	B & B	6' Ht.	21
UNDERSTORY TREES				
AME AU2	<i>Amelanchier canadensis</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	8' Ht.	6
SYR IVO	<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2" Cal.	2
DECIDUOUS SHRUBS				
ARO ARB	<i>Aronia arbutifolia</i> 'Brilliantissima' / Brilliant Red Chokeberry		36" Ht.	12
COR SER	<i>Cornus sericea</i> 'Cardinal' / Cardinal Red Twig Dogwood		36" Ht.	32
DIE KOB	<i>Dieris x Kodak Orange</i> / Bush Honeysuckle Kodak Orange		36" Ht.	23
FOT GAR	<i>Fothergilla gardenii</i> / Dwarf Fothergilla		36" Ht.	10
HYD ANN	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Smooth Hydrangea		36" Ht.	20
PHY NIN	<i>Physocarpus opulifolius</i> 'Summer Wine' / Summer Wine Ninebark		36" Ht.	10
SYR MEY	<i>Syringa meyeri</i> 'Palibin' / Dwarf Korean Lilac		36" Ht.	31
SYR VUL	<i>Syringa vulgaris</i> / Common Lilac		36" Ht.	15
VB LUS	<i>Viburnum dentatum</i> 'Chicago Luster' / Chicago Luster Arrowwood		36" Ht.	9
GRASSES				
PAN SHD	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass			47
TURF GRASS				
TUR BLU	Turf Sod Bluegrass / Kentucky Bluegrass			21,719 sf

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL. NO MULCH TO BE PLACED IN NATIVE PLANTING AREAS.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SEED AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANI
21. ALL DIA
22. TREI
23. ALL
24. LAW
25. REM
26. PRU

EXHIBIT B-1



**ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.**
 145 COMMERCE DRIVE, SUITE A
 GRAYBLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

**DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS**

Reserved for Seal:

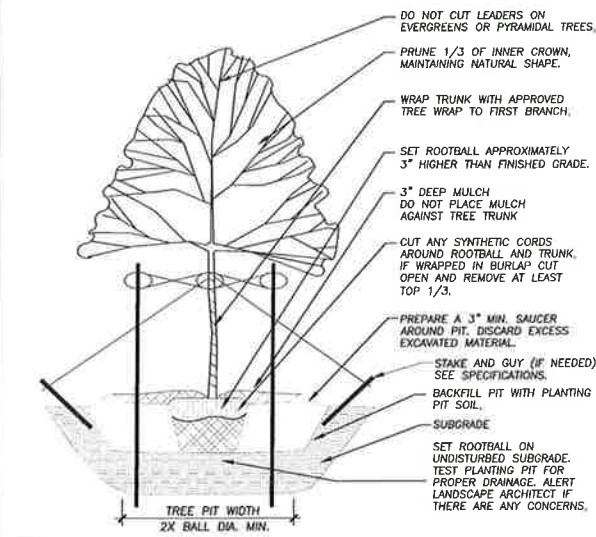
No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

Design By:	JG	Approved By:	CK	Date:	03/19/21
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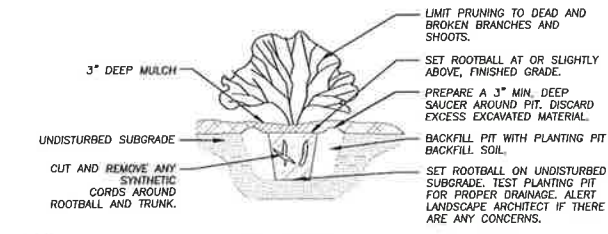
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**LANDSCAPE
 PLAN**

Sheet No.:
L100

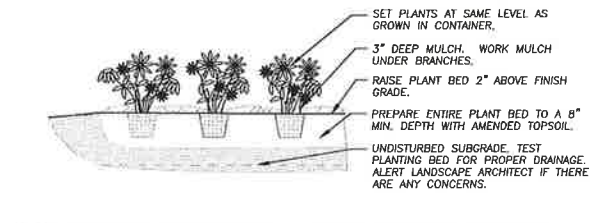
EEA - L:\Projects\Dynamic MD - 680 E North Avenue\Drawings\680 E North Ave - Landscape Plan-2_.eng
 Plotted: 6/03/21 @ 1:20pm by: jgelmyer



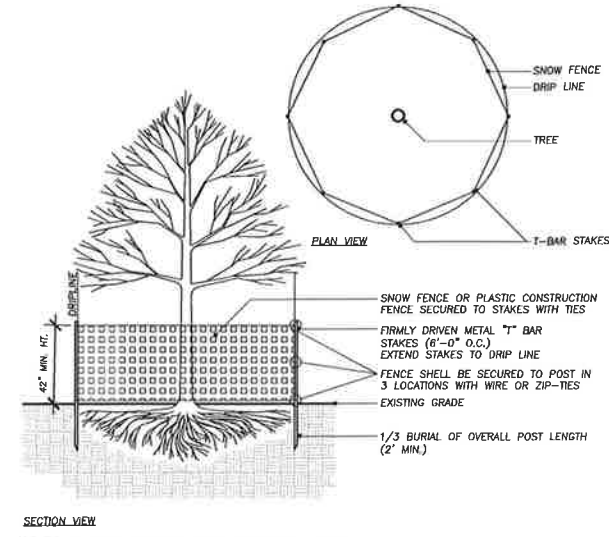
1 TREE PLANTING DETAIL
 Not To Scale 329343-01



2 SHRUB PLANTING DETAIL
 Not To Scale 329333-01



3 ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL
 Not To Scale 329301-03



4 TREE PROTECTION DETAIL
 Not To Scale 329383-01



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-00322D
 EXPIRES: 04/30/2021

**DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS**

Reserved for Seal:

No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

Design By:	Approved By:	Date:
JG	CK	03/19/21

Sheet Title:
LANDSCAPE DETAILS

Sheet No:
L101

EXHIBIT B-2

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 JUN 03 2021
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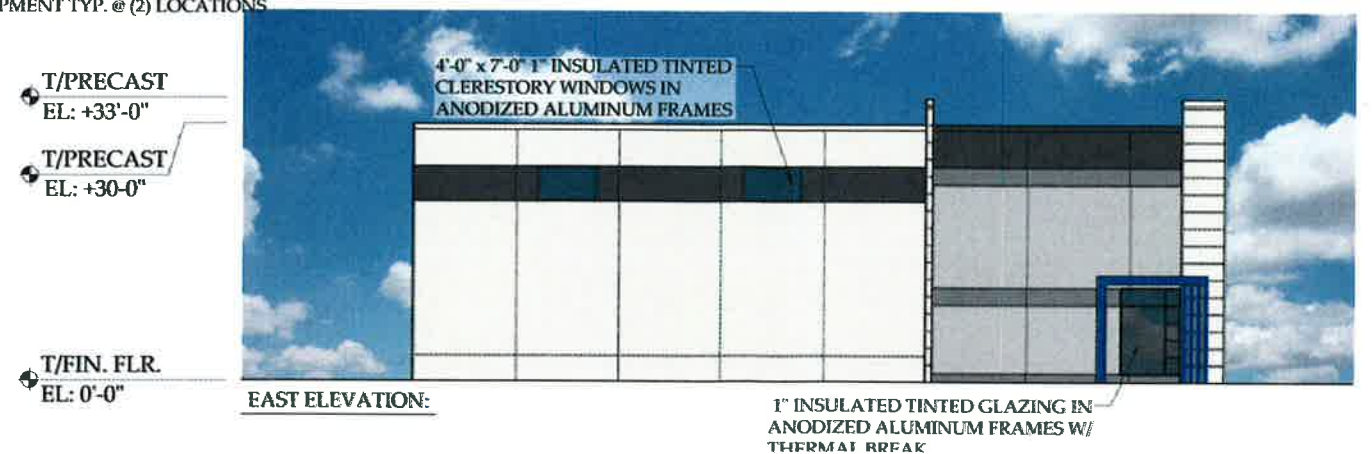
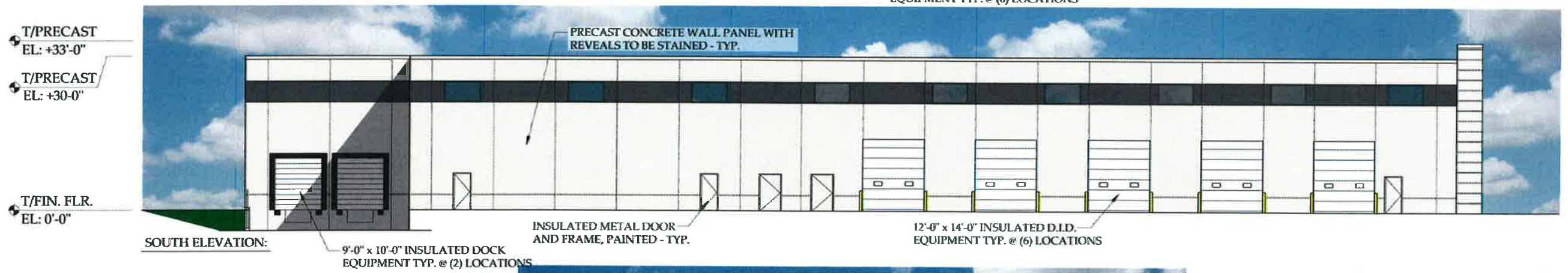
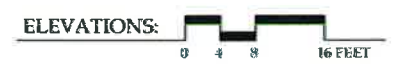


EXHIBIT C-1

	DARK FIELD COLOR: SHERWIN WILLIAMS CYBERSPACE SW7076
	MEDIUM FIELD COLOR: SHERWIN WILLIAMS SOFTWARE SW7074
	LIGHT FIELD COLOR: SHERWIN WILLIAMS ONLINE SW7072
	WHITE FIELD COLOR: SHERWIN WILLIAMS SITE WHITE SW7070
	ACCENT/CANOPY: DYNAMIC MD BLUE

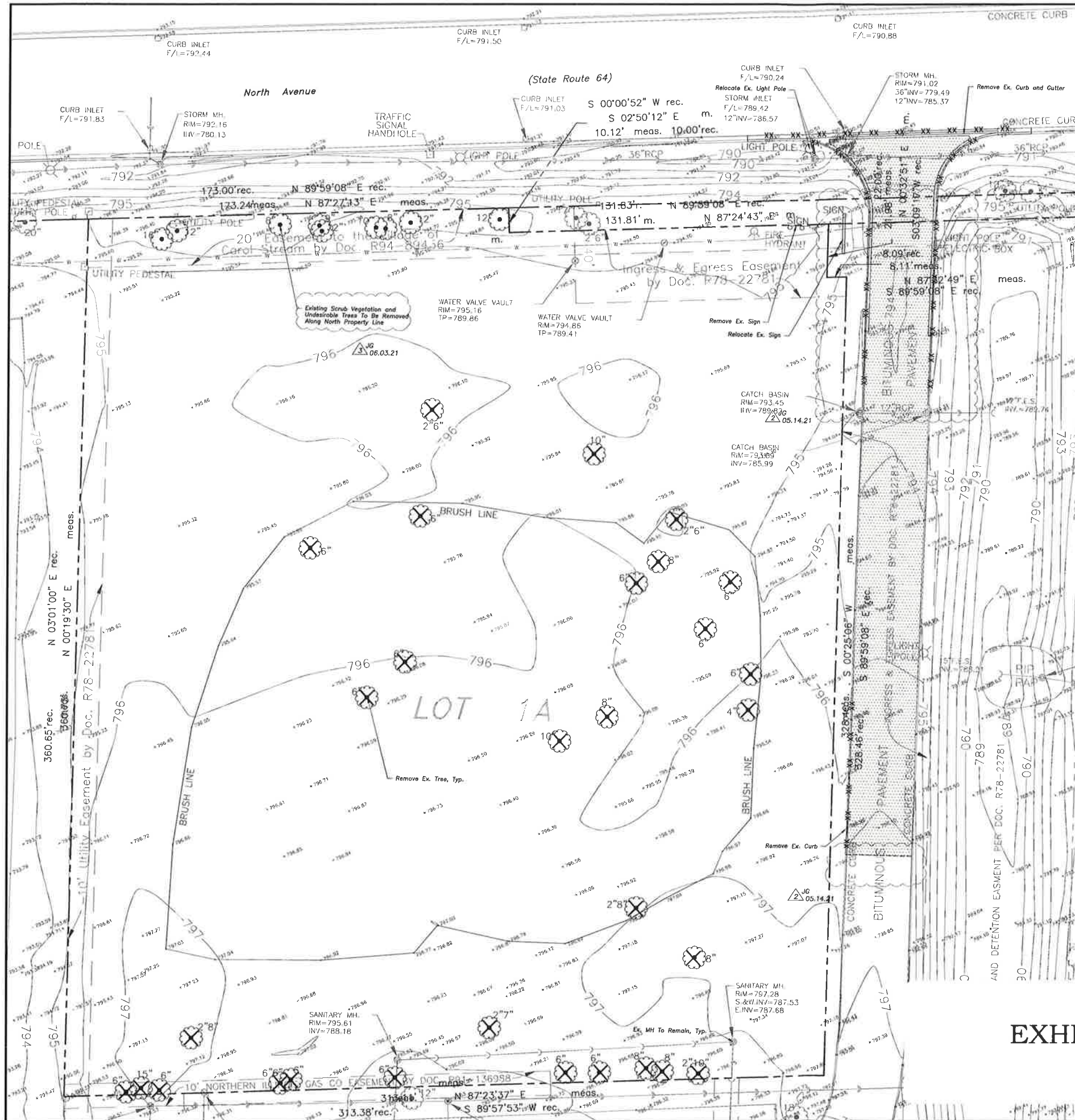


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JUN 03 2021
COMMUNITY DEVELOPMENT
DEPT



EXHIBIT C-2

EEZ - L:\Projects\Dynamic MD - 680 E North Avenue\Drawings\880 E North Ave - Site Plan_MDC.dwg
 Plotted: 6/22/21 @ 1:43pm by: jgaldmyer



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JUN 03 2021

**COMMUNITY DEVELOPMENT
 DEPT**

Scale: 1"=20'

DEMOLITION LEGEND

- Utility Line Removal
- Biluminous Pavement Removal (Full Depth)
- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut
- Curb & Gutter Removal
- Structure Removal
- Tree Removal

- DEMOLITION NOTES**
- All Signs to Be Removed Shall Be Salvaged and Stored in the Owner's Facility for Future Use as Applicable.
 - Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
 - Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
 - Coordinate Removal of Overhead Wires and Utility Poles With Authorities Having Jurisdiction and Respective Utility Providers.
 - All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations of Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for installation of Proposed Improvements.
 - Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
 - Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Drip Line of Trees to Remain. All Trenching Within the Drip Line of Existing Trees to Remain Shall be Done Radially Away From Trunk if Roots in Excess of 1" Diameter are Exposed. Roots Must be Cut by Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval of the Architect Prior to Operations For a Variance From This Procedure.
 - Coordinate Tree Removal with Landscape Architect. All Trees to Be Removed Shall Be Removed in Their Entirety and Stumps Shall be Ground to Proposed Subgrade. Use As Mulch for Proposed Landscaping Where Applicable and Acceptable to Architect.
 - Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

LEGEND

EXISTING	PROPOSED

- GENERAL NOTES**
- The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown on the Plans, Has Been Determined From the Best Available Information and is Given For the Convenience of the Contractor. However, the Owner and the Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May be Encountered, and That the Actual Location of Those Which are Shown May be Different From the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown on the Drawings.
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 - Provide an As-Built Survey Prepared by a Licensed Professional Land Surveyor in Accordance With the Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Size, Rim and Invert Elevations, Final Detention Volume Calculations For the Basin(s), Watermain and Valve and Appurtenance Locations.
 - The Illinois Department of Transportation Standard Specifications For Road and Bridge Construction, Latest Edition, and All Addenda Thereof, Shall Govern the Earthwork and Paving Work Under this Contract Unless Noted Otherwise.

EXHIBIT D-1

**ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

**DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS**

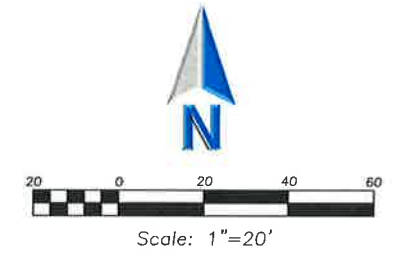
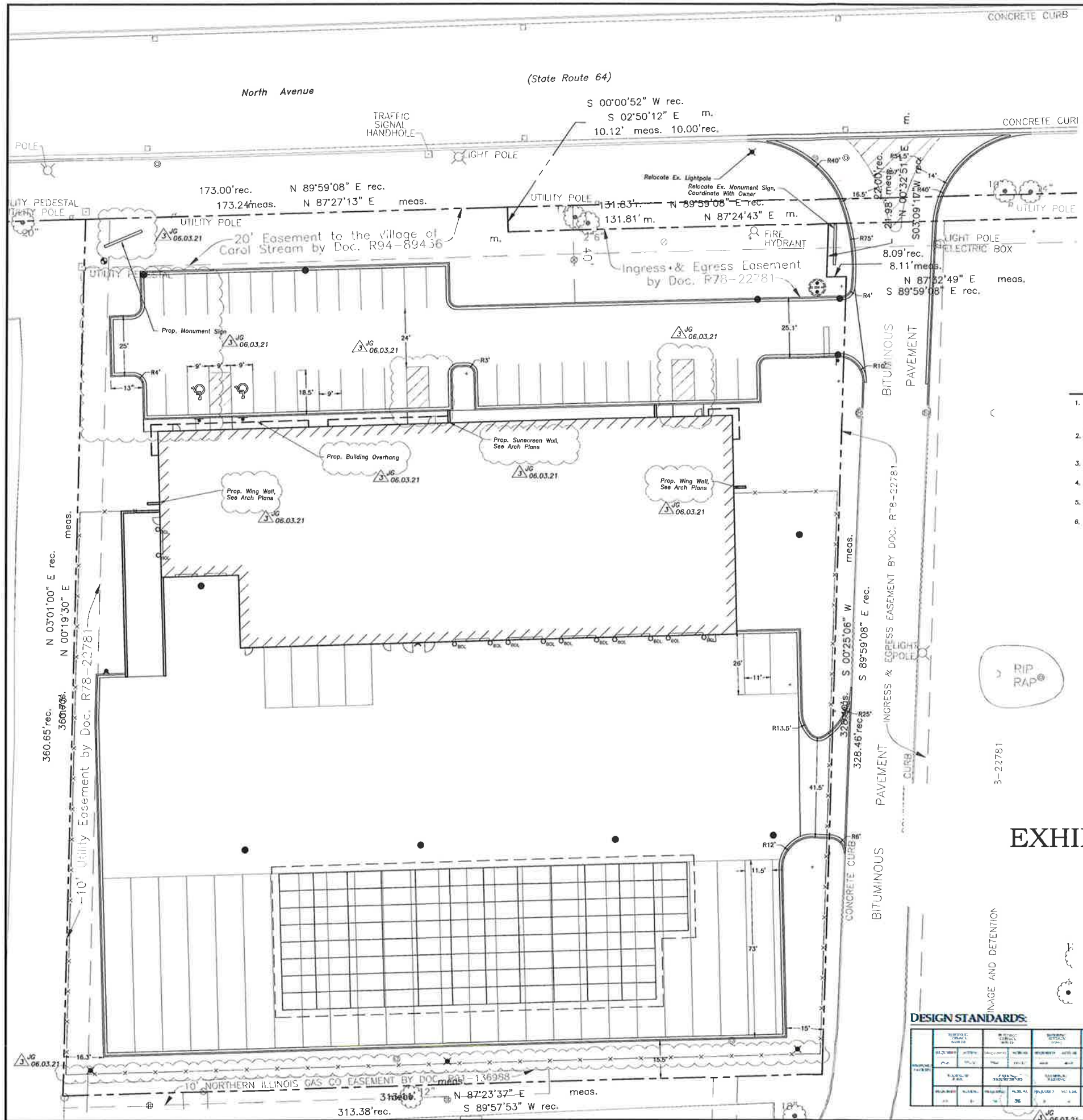
Reserved for Seal:

No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

DESIGNED BY: JG		APPROVED BY: CK		DATE: 03/19/21
-----------------	--	-----------------	--	----------------

Sheet Title:
**SITE DEMOLITION
 PLAN**

Sheet No:
C100



LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Sign	Accessible Parking Sign
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection	Tree Protection
Fencing of Drip Line	Fencing of Drip Line

GEOMETRY NOTES

- 1. All Dimensions Contained Herein Reference Back Of Curb, Face of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
- 2. All Pavement Striping Shall Be 4" Wide Yellow Point Per Specifications, Two Coats for Latex Points. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
- 3. All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
- 4. Refer to Architectural Drawings for Exact Locations of All Buildings.
- 5. Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- 6. Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb./ft., 11 Gauge Steel, Embedded 42" Minimum Into Ground.

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EXHIBIT D-2

DATA:

ITEM	DATE
PRELIMINARY ENGINEERING	03/23/21
ZONING REVISIONS	05/14/21
ZONING REVISIONS	06/03/21

DESIGN STANDARDS

TYPE	GRADE	BASE	PAVEMENT	FINISH	THICKNESS	REMARKS
ASPHALT	ASPHALT	ASPHALT	ASPHALT	ASPHALT	ASPHALT	

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DYNAMIC MD
CAROL STREAM
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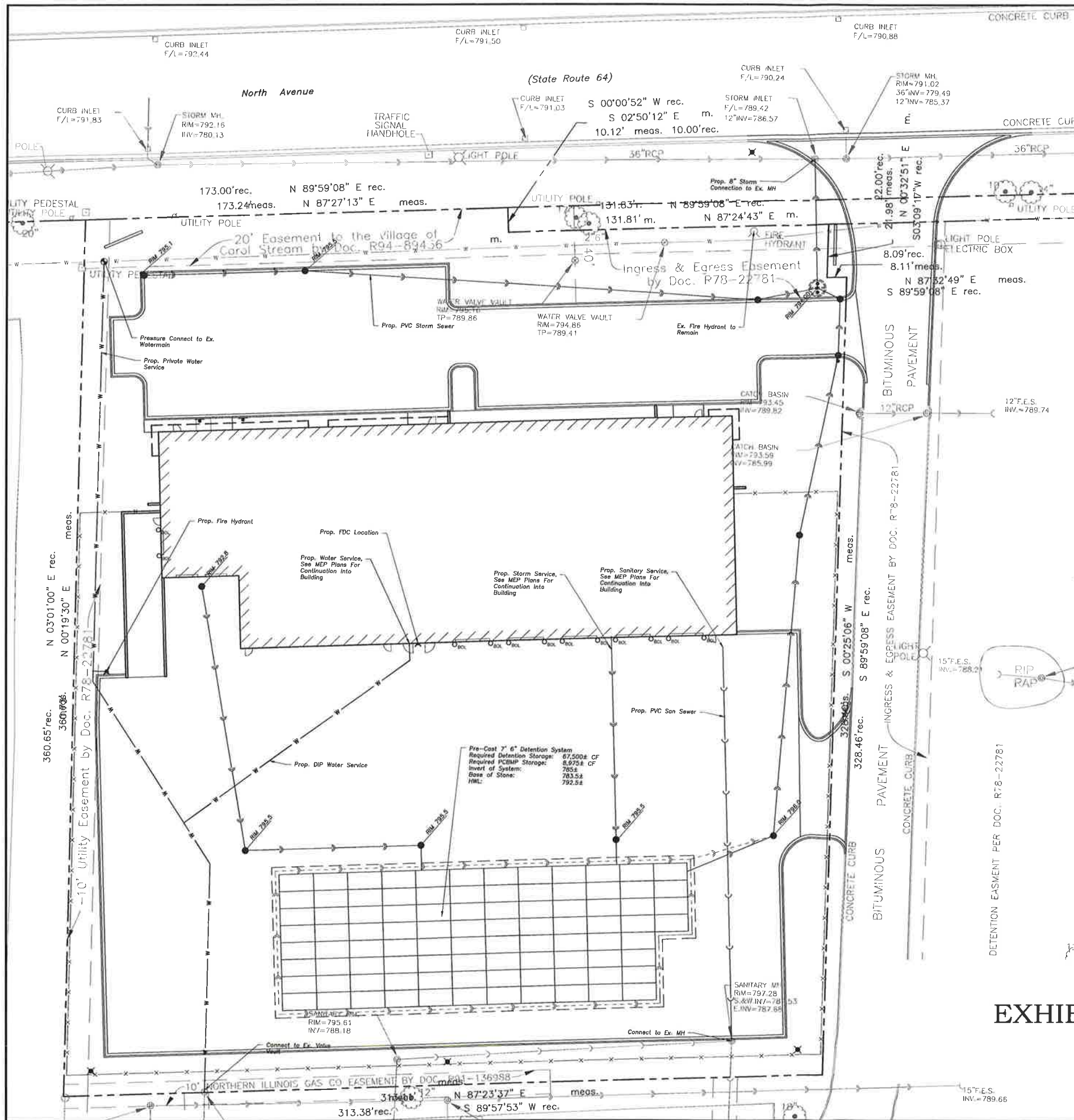
Reserved for Seal:


No.	Date	Description
I	03/23/21	PRELIMINARY ENGINEERING
Δ	05/14/21	ZONING REVISIONS
Δ	06/03/21	ZONING REVISIONS


Design By: JG, Approved By: CK, Date: 03/19/21

Sheet Title: **SITE GEOMETRY PLAN**

Sheet No: **C200**







UTILITY NOTES

- Utility Service Lines as Shown Hereon are Approximate. Coordinate the Exact Locations With the Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
- Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
- Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Solid Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
- Coordinate the Relocation of Any Utilities Encountered And Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if The Existing Utilities Vary Appreciably From the Plans.
- All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
- Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
- Clean Out All Existing and Proposed Storm Inlets and Catch Basins of the Completion of Construction.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flood End Section	Flood End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electric Cable (Buried)	Electric Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Most Arm	Light Pole w/ Most Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection Fencing of Drip Line	Tree Protection Fencing of Drip Line

STRUCTURE NOTES

- All Catch Basins to be installed in Paved Areas Shall Have Neenoh R2504-D Frame & Grate or Approved Equal.
- All Catch Basins to be installed in Landscaped Areas Shall Have Neenoh R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Resprod. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
 4" Diameter Structure - 4"
 5" Diameter Structure - 6"
 6" Diameter Structure - 8"
- All Catch Basins to be installed Along Curb and Gutter (B-6.12) Shall Have Neenoh R3281-A Frame & Grate or Approved Equal.
- All Catch Basins to be installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works 5120 Catch Basin Inlet Frame and Grate, or Approved Equal.
- Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, it is Intended that the Frame of the Structure is to Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
- All Manholes Shall Have Neenoh R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
- For All Structures Indicated to be Adjusted, Remove and install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
- All Flood End Sections 12" and Larger Shall include an IDOT Standard Grates.
- All Sanitary Manholes Shall include a Chimney Seal.

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DYNAMIC MD
CAROL STREAM
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 CAROL STREAM, ILLINOIS

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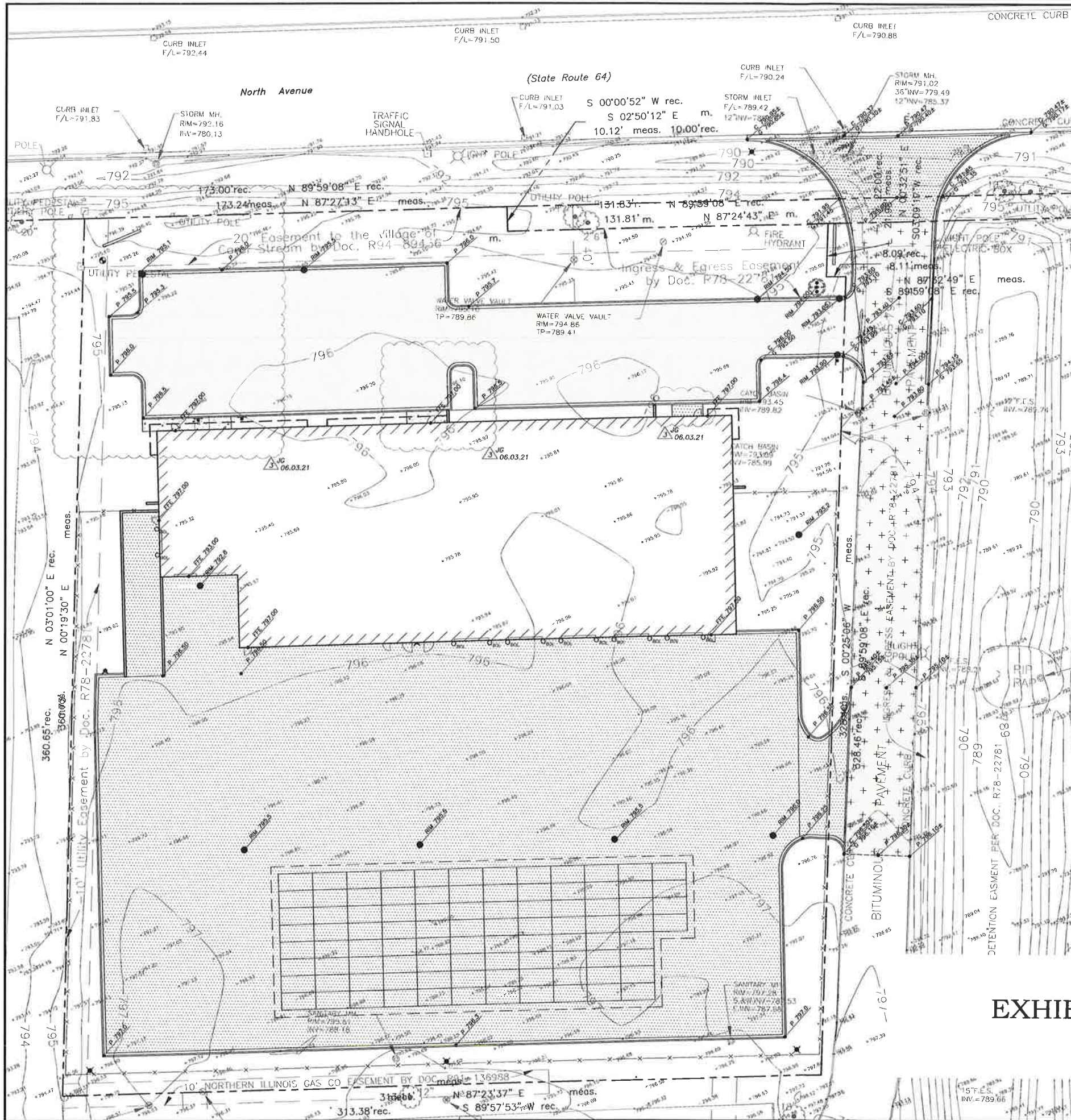
No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

Design By:	Approved By:	Date:
JG	CK	03/19/21

Sheet Title:
SITE UTILITY PLAN

Sheet No:
C300

EXHIBIT D-3



PAVING & SURFACE LEGEND

- Asphalt Pavement Section
 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 2 1/2" Hot Mix Asphalt, IL-19.0, NS0
 Prime Coat (0.25 gal/sq yd)
 8" Aggregate Base Course, Type B, Crushed, CA-6
- Concrete Driveway Section
 8" Portland Cement Concrete
 6"x6" W2.9xW2.9 Welded Wire Fabric
 6" Aggregate Base Course, Type B, Crushed
- Concrete Sidewalk Section
 5" Portland Cement Concrete
 6"x6" W1.4xW1.4 Welded Wire Fabric
 4" Aggregate Base Course, Type B, Crushed
- Heavy-Duty Asphalt Pavement Section
 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NS0
 3 1/2" Hot Mix Asphalt, IL-19.0, NS0
 Prime Coat (0.25 gal/sq yd)
 10" Aggregate Base Course, Type B, Crushed, CA-6

GRADING NOTES

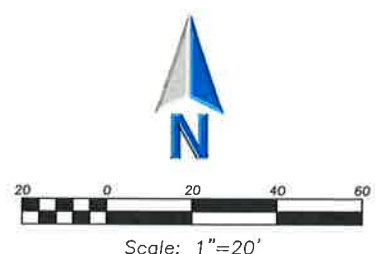
1. Install and Maintain Silt Fence at the Perimeter of the Construction Zone, Install Hay Bale Erosion Control Around All Proposed and Existing Structures Receiving Drainage From Disturbed Areas. Silt Fabric Under the Lid is Not an Acceptable Alternative in Landscaped Areas.
2. The Grading and Construction of Proposed Improvements Shall Be Done in a Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
3. All Landscaped Areas Disturbed by Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On the Landscape Drawings.
4. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
5. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.0%. Contact Engineer if Conflicts Exist.

LEGEND

- | EXISTING | PROPOSED |
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No.	Date	Description

DESIGN BY: JG APPROVED BY: CK DATE: 03/19/21

SHEET TITLE:
GRADING AND PAVING PLAN

SHEET NO.:
C400

EXHIBIT D-4

DATE/TIME/PROOF	JOB/PROJECT	CUSTOMER INFO
6/3/21	Dynamic MD 680 N. Ave Carol Stream, IL 60116	Name: Vasile Sorocean Phone: 251-609-2430 Fax: E-Mail: vasile@dynamicmd.net
PROOF#	File Name: Dynamic Sign Permit.fs	
Directory Name: Shared/Current Work		

DESCRIPTION

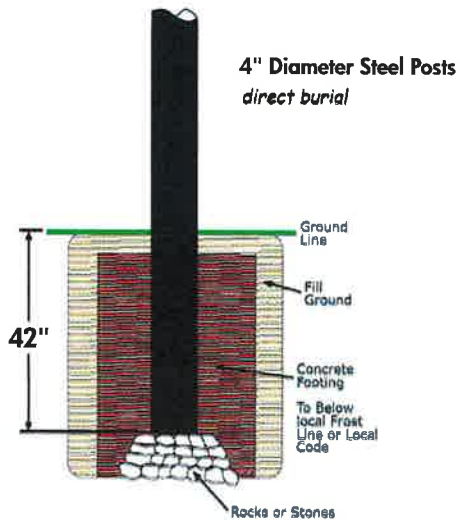
Double sided UL listed monument sign
 All Aluminum Construction
 60"w x 120"h x 16" deep overall Area
 Logo is illuminated push thru acrylic
 White led edge illumination
 Pantone 300c (light blue text/swoosh), SW Calypso 6950—main cabinet
 Face panels is painted mathews brushed aluminum
 Installed – 2 –Direct Burial 4" dia. Steel Poles with concrete

RECEIVED

JUN 03 2021

COMMUNITY DEVELOPMENT
DEPT

Sherwin Williams - Calypso SW6950



TO ASSURE SAFETY AND QUALITY OUR PRODUCTS IS (®) LISTED

THIS RENDERING IS INTENDED AS A SAMPLE ONLY. COLOR, TEXTURE, MEASUREMENTS, AND ACTUAL APPEARANCE MAY VARY SLIGHTLY

Please check layout (artwork, spelling, dimensions) and fax back with signature. Production cannot begin until written approval is received. Additional charges will be applied for any changes that are needed after approval is received. SIGNARAMA is not responsible for any errors in spelling, layout, or dimensions that have been approved by the customer. The proof is for listed items only.

Additional Design Changes will be billed at \$10 per change.
50% DEPOSIT DUE AT TIME OF ORDER (full amount if under \$100), balance due upon time of installation or pick up. **I HAVE READ AND AGREE TO ALL TERMS. INITIAL** _____



220 Peterson Rd. Libertyville, IL. 60048
 Phone: 847-680-0004 Fax: 847-680-6644
 Email: graphics@libertyvillesigns.com

I HAVE REV
CONTENT C

CUSTOMER:
PRINT : _____
LANDLORD:
PRINT : _____

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EXHIBIT E

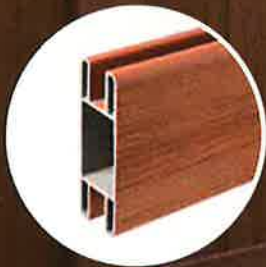
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Galveston

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COMMUNITY DEVELOPMENT



Improved midrail design for easier installation.

Note: new design available in Texture and Smooth

Galveston CertaGrain Texture in Sierra Blend



Galveston CertaGrain® Texture STC 21

Available in 7' and 8' heights,
Galveston — our tallest privacy fence offers the ultimate in complete privacy and is suitable for commercial applications.

Heights: 7' & 8'
Picket Style: 7/8" x 7" Tongue & Groove
Steel Reinforced Top, Mid & Bottom Rail

EXHIBIT F