

Village of Carol Stream

BOARD MEETING

AGENDA

JUNE 21, 2021

6:00 P.M.

Village Board meeting is being held virtually to the public until further notice due to the pandemic.

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES:

1. Approval of Minutes of the June 7, 2021 Village Board Meeting.

C. LISTENING POST:

1. Presentation of Life-Saving Awards.
2. Resolution No. 3195 Recognizing Dave Noworul on Thirty-Five Years of Employment with the Village of Carol Stream.
3. Resolution No. 3196 Recognizing Doug Newlin on Thirty Years of Employment with the Village of Carol Stream.
4. Resolution No. 3197 Recognizing Ron Turner on Thirty Years of Employment with the Village of Carol Stream.
5. Resolution No. 3198 Recognizing Rich Schaffer on Twenty-Five Years of Employment with the Village of Carol Stream.
6. Proclamation Designating June 21st - June 27th as Pollinator Week
7. Addresses from Audience (3 Minutes)

D. PUBLIC HEARINGS:

E. SELECTION OF CONSENT AGENDA:

If you are here for an item, which is added to the consent agenda and approved, the Village Board has acted favorably on your request.

F. BOARD AND COMMISSION REPORTS:

1. Plan Commission/Zoning Board of Appeals

Village of Carol Stream

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- a. 21-0014 – Dynamic Investments, LLC – 680 E. North Avenue
Zoning Map Amendment from B-2 General Retail District to I Industrial District
Special Use Permit for Motor Vehicle Service
Special Use Permit for Outdoor Activities and Operations – Storage of Trailers
Zoning Code Variation
North Avenue Corridor Review
Recommend Approval with Conditions 5-0 (2 members absent)

- b. 21-0007 – Midwest Star Group – 130 Easy Street
Special Use Permit for Outdoor Activities and Operations in the form of storage of trucks and trailers
Special Use Permit for Parking Lots for motor vehicles not incidental to a permitted use
Zoning Code Variation
Recommend Approval with Conditions 4-1 (2 members absent)

G. OLD BUSINESS:

H. STAFF REPORTS AND RECOMMENDATIONS:

1. Motion to purchase ERT's for the AMR Replacement Program from United Systems & Software, Inc., in an amount not to exceed \$116,275, pursuant to the provisions of Sections 5-8-3(B) and 5-8-14(C) of the Carol Stream Code of Ordinances.
2. Motion to purchase Registers for the AMR Replacement Program from Midwest Meter, Inc., in an amount not to exceed \$116,375, pursuant to the provisions of Sections 5-8-3(B) and 5-8-14(C) of the Carol Stream Code of Ordinances.
3. Motion to award a contract with the Law Office of Michelle L. Moore, Ltd., d/b/a The Moore Norton Law Group, Ltd. for a term of 3 years with an option to renew for an additional 2 years for DUI and Local Traffic Prosecution in an amount not to exceed \$111,800.00.

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4. Motion to award a professional services agreement without bids in accordance with CSMC Section 5-8-14(A) for Phase II Engineering to Engineering Resource Associates for the design, permitting and contract document preparation for the Klein Creek Streambank Stabilization-Section III Project in the not-to-exceed, cost plus fixed fee amount of \$113,292.00.
5. Motion to award a professional service agreement without bids in accordance with CSMC Section 5-8-13(A)(1) for Concept Phase Engineering to V3 Companies, LTD. for concept engineering design and IEPA 319 grant application for the Klein Creek Streambank Stabilization-Section II Project in the cost plus fixed fee amount of \$12,000.00.

I. ORDINANCES:

1. Ordinance No. 2021-06-____, Approving a Special Use Permit to Allow for Outdoor Activities and Operations in the Form of the Storage of Trucks and Trailers, Special Use Permit for a Garage or Parking Lot not Incidental to a Permitted Use in the Industrial District, and a Variation to Allow the Parking of Trucks in the Front Yard (Midwest Star Group, 130 Easy Street). *See F.1.b.*
2. Ordinance No. 2021-06-____, Approving a Zoning Map Amendment to Rezone Property from the B-2 General Retail District to the I Industrial District (Dynamic Investments, LLC, 680 E. North Avenue). *See F.1.a.*
3. Ordinance No. 2021-06-____, Approving a Special Use Permit for Motor Vehicle Service, Special Use Permit for Outdoor Activities and Operations – Storage of Trailers, and Zoning Code Variation (Dynamic Investments, LLC, 680 E. North Avenue). *See F.1.a.*

J. RESOLUTIONS:

K. NEW BUSINESS:

1. Receipt of the Carol Stream Public Library, Fiscal Year 2021, Annual Report.
2. Raffle License Application – American Legion Post 76. *Request approval of their 2021 annual raffle license and waiver of the manager's fidelity bond for weekly raffles held at 570 S. Gary Avenue.*

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L. PAYMENT OF BILLS:

1. Regular Bills: June 8, 2021 through June 21, 2021.
2. Addendum Warrants: June 8, 2021 through June 21, 2021.

M. REPORT OF OFFICERS:

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: *Revenue/Expenditure Statements and Balance Sheet for the Month Ended May 31, 2021.*

N. EXECUTIVE SESSION:

1. Acquisition of Real Property – 5/ILCS 120/2(c)(5)
2. Pending Litigation – 5/ILCS 120/2(c)(11)

O. ADJOURNMENT:

LAST ORDINANCE	2021-06-22	LAST RESOLUTION	3194
NEXT ORDINANCE	2021-06-23	NEXT RESOLUTION	3195

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,
Carol Stream, DuPage County, IL

June 7, 2021

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 6:01 p.m. and directed Clerk Julia Schwarze to call the roll.

Present: Trustees Jeff Berger, Tom Garvey, John Zalak, Rick Gieser, Mary Frusolone, Matt McCarthy and Mayor Frank Saverino, Sr.

Absent: None.

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey, Assistant to the Village Manager Tia Messino, Finance Director Jon Batek, Public Works Director Phil Modaff, Engineering Services Director Bill Cleveland, Planning & Economic Development Manager Tom Farace, Chief of Police Bill Holmer, Human Resources Director Caryl Rebholz, Information Technology Director Marc Talavera and Village Attorney Jim Rhodes

MINUTES:

Trustee McCarthy moved and Trustee Frusolone made the second to approve the Minutes of the May 17, 2021 Village Board Meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Absent: 0

The motion passed.

LISTENING POST:

1. Swearing in of Brian Cluever as Police Commander - after being introduced by Chief Holmer and badge pinning by his wife Sara, Commander Cluever was sworn in by Mayor Saverino, with family, friends and colleagues in attendance to show their support. Commander Cluever thanked all those who supported him throughout his career.

2. Resolution No. 3189 Commending Bill Cleveland on Thirty Years of Village Service was read by Mayor Saverino and approved unanimously.
3. Proclamation – Designating June 2021 as Pride Month, read by Trustee Gieser
4. Addresses from Audience (3 Minutes) –None.

PUBLIC HEARINGS: *None.*

CONSENT AGENDA:

Trustee Zalak moved and Trustee McCarthy made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Absent: 0

The motion passed.

Trustee McCarthy moved and Trustee Garvey made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Absent: 0

The motion passed.

Trustee Frusolone moved and Trustee Garvey made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Absent: 0

The motion passed.

The following items were approved on the Consent Agenda for this meeting:

21-0011 and 21-0020 Village of Carol Stream, 500 N. Gary Avenue:

Zoning Map Amendments – Unified Development Ordinance

Recommended Approval 6-0 with one member absent

The Village Board concurred with Plan Commission’s recommendations

21-0018 – Richard’s Building Supply, 375 Village Drive:

Special Use Permit for Outdoor Activities and Operations – Storage of Materials

Special Use Permit for Retail Sales in the I District

Recommended Approval Subject to Conditions 7-0

The Village Board concurred with Plan Commission’s recommendations

Employee Leasing Agreement for the AMR Program Contract:

The Village Board approved an Employee Leasing Agreement with GovTemps USA for contract clerical services for the period of June 8, 2021 through April 30, 2022.

2021 Asphalt Rejuvenator Project:

The Village Board awarded the 2021 Asphalt Rejuvenator Project to American Road Maintenance at the unit price submitted for a cost not to exceed \$330,000.00 pursuant to the provisions of Section 5-8-3(B) and Section 5-8-14(C) of the Carol Stream Code of Ordinances.

Ordinance No. 2021-06-18, Approving Zoning Map Amendments for approximately 200 parcels as part of the implementation of the Unified Development Ordinance:

The Village Board approved Zoning Map Amendments for approximately 200 parcels as part of the implementation of the Unified Development Ordinance.

Ordinance No. 2021-06-19, Approving a Special Use Permit to allow for Outdoor Activities and Operations in the form of Storage of Materials, and a Special Use Permit for Retail Sales in the Industrial District (Richards Building Supply, 375 Village Drive):

The Village Board approved a Special Use Permit to allow for Outdoor Activities and Operations in the form of the Storage of Materials, and a Special Use Permit for Retail Sales in the Industrial District for Richards Building Supply located at 375 Village Drive.

Ordinance No. 2021-06-20, Amending Chapter 6, Article 13, Section 12 of the Carol Stream Code of Ordinances (Unified Development Ordinance and Plat Approval Fees):

The Village Board approved amending Chapter 6, Article 13, Section 12 of the Carol Stream Code of Ordinances (Unified Development Ordinance and Plat Approval Fees). This Ordinance amends the Fee Schedule for new or renamed review processes, which require payment of application fees to correspond with the new Unified Development Ordinance.

Resolution No. 3190, Declaring Surplus Property owned by the Village of Carol Stream:

The Village Board declared Unit 412-2003 Tech Messenger Message Board surplus and authorized disposing via public auction.

Resolution No. 3191, Authorizing the Execution of an Intergovernmental Agreement by and between the Village of Carol Stream and the Illinois Department of Transportation:

The Village Board approved an Intergovernmental Agreement by and between the Village of Carol Stream and the Illinois Department of Transportation for the maintenance and apportionment of energy costs for traffic control devices located on State highways within or near the Village of Carol Stream.

Resolution No. 3192, Authorizing the Execution of the Official Zoning Map of the Village of Carol Stream:

The Village Board approved the Official Zoning Map to include Zoning Map Amendments processed as part of the implementation of the Unified Development Ordinance.

Resolution No. 3193, Accepting a Plat of Vacation for LA Fitness at Carol Stream Marketplace Subdivision located at 470 E. North Avenue:

The Village Board approved a Plat of Vacation for LA Fitness at Carol Stream Marketplace Subdivision located at 470 E. North Avenue.

Resolution No. 3194, Accepting a Public Sanitary Sewer Easement for LA Fitness at Carol Stream Marketplace Subdivision located at 470 E. North Avenue:

The Village Board approved a Public Sanitary Sewer Easement for LA Fitness at Carol Stream Marketplace Subdivision located at 470 E. North Avenue.

Regular Bills and Addendum Warrant of Bills:

The Village Board approved payment of Regular Bills dated June 7, 2021 in the amount of \$1,723,351.49. The Village Board approved the payment of Addendum Warrant of Bills from May 18, 2021 thru June 7, 2021 in the amount of \$1,314,739.43.

Non-Consent Agenda Items:

Agenda item F.1.b. was pulled off the Consent Agenda by Mayor Saverino, due to incomplete information initially submitted to the Planning Commission. Trustee McCarthy moved and Trustee Berger made the second to refer item F.1.b. (21-0007-Midwest Star Group, 130 Easy Street - Special Use Permit for Outdoor Activities and Operations – Truck and Trailer Storage; Special Use Permit for Parking Lots for Motor Vehicles not Incidental to Permitted Use; Zoning Code Variation; Fence Code Variations) back to the Planning Commission for review. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

The motion passed.

Agenda item I.4. was pulled off the Consent Agenda by Trustee Garvey in order for a separate vote in which he could Abstain from voting. Trustee Frusolone moved and Trustee Gieser made the second to approve Ordinance No. 2021-06-21, Amending Chapter 11, Article 2 of the Carol Stream Code of Ordinances by increasing the number of Class C Liquor Licenses from 18 to 19 for TOTRA MAA CAROLSTREAM, INC. d/b/a Bobby's Liquor Warehouse located at 879 E. Geneva Road. The results of the roll call vote were as follows:

Ayes: 5 Trustees Berger, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 1 Trustee Garvey

The motion passed.

Agenda item I.5. was pulled off the Consent Agenda by Trustee Garvey in order to engage the Board in discussion before voting on this Ordinance. Mayor Saverino and the Trustees engaged in a comprehensive discussion of all sides of the issue. Trustee Frusolone moved and Trustee Zalak made the second to approve Ordinance No. 2021-06-22, Amending the Carol Stream Code of Ordinances, Chapter 11, Intoxicating Liquor, Article 2, Alcoholic Liquor Dealers, Section 11-2-7, Classifications of Licenses allowing a Class P Liquor License the sale of individual cans of beer at gas stations. The results of the roll call vote were as follows:

Ayes: 5 Trustees Berger, Zalak, Gieser, Frusolone and McCarthy

Nays: 1 Trustee Garvey

Abstain: 0

The motion passed.

Report of Officers:

Trustee Berger congratulated Commander Cluever on his promotion; thanked Engineering Services Director Cleveland for his 31 years of service; commented on Carol Stream's beautiful Memorial Day Service and thanked everyone who made the event possible; wished everyone a happy Pride Month; and commended students and teachers for their diligence and hard work during the pandemic.

Trustee Garvey commended Commander Cluever for his service and recognized Chief Holmer and his entire staff for their work; congratulated Engineering Services Director Cleveland for his 31 years of service; thanked Village Attorney Rhodes for the book he lent; and expressed gratitude and honor for the moving Memorial Day event organized by the VFW.

Trustee Zalak thanked Trustee Garvey for sharing the story of his father who was a veteran and thanked him for his service; congratulated and thanked Commander Cluever and Engineering Services Director Cleveland for their service; stated his happiness at the Pride Month proclamation, affirming that we are all created equal and need to live in harmony; attended the recent Grunt Style ribbon cutting and thanked Community Development and staff for their hard work to keep Carol Stream economically vibrant; and reminded residents to lock their car doors and hide valuables to reduce the occurrence of break-ins.

Trustee Gieser commended Commander Cluever for bringing so much positivity to our community; congratulated Engineering Services Director Cleveland for his years of service improving Carol Stream's infrastructure for both businesses and residents; expressed gratitude for our Village's Pride Month proclamation and the terrific Memorial Day event put on by the VFW and Park District staff; and reminded residents of the five Summer Concerts coming up. Assistant to the Village Manager Messino elaborated that food and beverages will not be sold at this summer's concerts, but that picnic baskets are welcome.

Trustee Frusolone congratulated and thanked Commander Cluever and Engineering Services Director Cleveland for their years of service; congratulated our 2021 grads and their teachers; recommended that residents be vigilant in helping with community policing by registering their Ring cameras with the Carol Stream Police Department and looking out for their neighbors; and expressed gratitude to staff, the Board and

residents who helped keep Carol Stream's businesses stay afloat during the pandemic.

Trustee McCarthy congratulated Chief Holmer for his exceptional staff and Commander Cluever for his promotion; thanked and congratulated Engineering Services Director Cleveland for his years of service; expressed gratitude for the Carol Stream Memorial Day event which gave residents the opportunity to publicly honor our fallen; thanked staff and Board members who've been able to attend ribbon cuttings and make new businesses feel welcome in Carol Stream; and reminded residents to SLOW DOWN and watch for kids playing outside this summer who may run into the street.

Clerk Schwarze thanked Engineering Services Director Cleveland for his service and being such a pleasure to work with; congratulated Commander Cluever on his well-deserved promotion; reported on the recent in-person Municipal Clerks of DuPage County meeting; expressed gratitude for Carol Stream's Pride Month proclamation and reminded residents to shop Carol Stream.

Village Attorney Rhodes congratulated both Commander Cluever and Engineering Services Director Cleveland on their service; reported that Illinois Legislature ended its session with NO cuts in the Local Government Distributive Fund this year, 115 bills were introduced without municipal control, but most did not pass out of committee; a Criminal Justice Reform trailer bill passed with several helpful clarifications; the small wireless legislation was extended for another 3-year period; and legislation has been passed pertaining to lead pipes in municipal water systems with some grant monies promised in coming years.

Village Manager Mellor reported that the community survey requesting constructive criticism as well as positive feedback is being mailed to a random selection of residents with follow-up mailings as necessary; reminded residents to adhere to the odd/even watering system or let lawns go dormant; referenced a Daily Herald article about current job openings in the area now that the pandemic has subsided, specifically FIC America who is seeking 30 production employees; and summarized the new Covid-19 guidelines stating that masks are still required for unvaccinated persons in Village Hall, but optional for those fully vaccinated.

Mayor Saverino congratulated Commander Cluever and stated that the morale in the Carol Stream Police Department has never been higher due to its exceptional leadership; thanked Engineering Services Director Cleveland for his service and expressed the hope that he will stay with Carol Stream for many more years; acknowledged that the diversity of opinions in the current Village Board and staff makes us a better governing body; expressed gratitude for all the new businesses coming to town and encouraged residents to shop Carol Stream; congratulated Trustee McCarthy on his grandbabies' upcoming Baptism; thanked Planning & Economic Development Manager Farace for his hard work with small businesses; stated his anticipation of ideas from new Board Members of how to bring more money

into the village to keep property taxes down; and commended all donors and volunteers who helped get the Carol Stream Memorial built – it was a community project dedicated to the people who deserve it – all veterans and especially those who gave their lives for our country.

At 7:28 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Absent: 0

The motion passed.

FOR THE BOARD OF TRUSTEES

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
June 14, 2021.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Tucek, Meneghini, Petella, Christopher and Chairman Parisi

Absent: 2 Commissioners Morris and Battisto

Also Present: Tom Farace, Planning and Economic Development Manager; Patty Battaglia, Planning and Permitting Assistant; and a representative from County Court Reporter.

MINUTES:

Commissioner Petella moved and Commissioner Tucek seconded the motion to approve the minutes of the Regular Meeting held on May 24, 2021.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Christopher, Meneghini, Petella and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Morris and Battisto

The motion passed by unanimous vote.

PUBLIC HEARING:

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Tucek moved and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Petella, Christopher, Meneghini and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Morris and Battisto

The motion passed by unanimous vote.

21-0014- Dynamic Investments, LLC – 680 E. North Avenue – Zoning Map Amendment from B-2 General Retail District to I Industrial District; Special Use Permit for Motor Vehicle Service; Special Use Permit for Outdoor Activities and Operations-Storage of Trailers; Zoning code Variation; North Avenue Corridor Review

Chairman Parisi swore in Mr. Robert McNees, attorney representing the applicants from Dynamic Investments.

Mr. McNees stated his office is located across the street at 195 Hiawatha Drive, Carol Stream. Dynamic Investments is also located at 250 N. Schmale Road. Mr. Vasile Sorocean, who is present today, also resides with his family in Carol Stream. He is the principal of Dynamic Investments and his operation company is Dynamic MD, LLC that is a trucking company. He recently completed the construction of his truck repair facility at 250 N. Schmale Road. The quality of construction shows how he takes pride in constructing a good-looking, modern facility. Dynamic MD currently operates a fleet of trucks hauling step-deck and flatbed trailers nationwide. The facility at 250 N. Schmale Road is focused on maintenance work: oil changes, trailer repair, tire work and axel alignments, strictly for his Dynamic fleet, which is primarily Volvo trucks. Because of the number of trucks he has ordered, Volvo reached out to Dynamic to establish a licensed Volvo truck repair facility that would service Dynamic trucks and trucks owned by other companies as well. This would include trucks hauling dry van trailers. Dynamic MD is planning to expand into dry van hauling. The repair work is about 2-3 days per truck, use about eight mechanics, lead foreman, parts manager and service manager. All repairs will be conducted inside the building. The subject property consists of 2.55 acres of vacant land. To the south of the vacant property is 690 E. North Avenue which is a one-story office building and owns the driveway that lies just to the east of the 680 E. North Avenue property. The driveway extends to North Avenue and it serves both 680 and 690 E. North Avenue which has a pre-existing driveway easement that allows for that. The subject property is only 360 feet deep and is the minimum size that you can use to construct a truck repair facility on. The proposal is to put a 20,285 square foot building on this site. About half of the 20,285 square foot, would be devoted to five truck repair bays. Each bay can accommodate two tractors. There would be 516 feet for a storage room for parts; 4,069 square feet would be dedicated for office space, 4,125 square feet for a warehouse area that would have two exterior docks and one drive-in door. Thirty-six passenger car spaces are provided in the front which exceeds the code requirements. In the rear parking area there would be spaces to accommodate up to 24 trailers and 6 tractors, and be screened by a 7-foot tall, decorative solid, arctic gray, vinyl fence along with perimeter landscaping. The shared driveway would need to be widened for the larger trucks to the west, and the shared storm water detention pond to the east will not be touched. The driveway will also be strengthened going south from North Avenue all the way to the entranceway to the rear truck parking facility to accommodate heavier vehicles. Because the driveway needs to be widened, the existing monument sign for 690 E. North Avenue will need to be moved a little bit to the west and south and will remain on the property owned by 690 E. North Avenue. A new monument sign for the new truck facility on 680 E. North Avenue will be located on the northwest corner of the property. The existing scrub tree growth is going to be removed but will retain the good trees and will have attractive, new landscaping. The overall appearance looks sharp, clean and modern. Under Carol Stream ordinances, B-3 commercial zoning would allow for a truck repair facility, but we are asking for Industrial zoning because of the warehousing space which will be used to store small quantities of parts, but also for storing small quantities of product out of those dry vans in the future. The warehousing space will not be utilized by other companies. Sometimes on the step down or flatbed trailers, you have items you don't want exposed to the weather so those items would be stored in the warehouse while trucks are being repaired and only for Dynamic shipping. We are asking for a variance for a 77 foot, 11 inch setback on the east part as opposed to the 100 foot setback which is large for such a small lot. Dynamic concurs with all of staff's recommendations and conditions and will bring a great looking addition to the North Avenue Corridor. It is appreciated when a business comes to Carol Stream and then expands their business in town rather than moving out of town. Please grant this request.

Chairman Parisi asked for questions from the audience and there were none.

Chairman Parisi asked Mr. Farace to provide a Staff Report.

Mr. Farace stated it is being requested for a zoning map amendment to rezone the subject property from B-2 General Retail District to the I Industrial District. There are two Special Use Permits being requested, one for motor vehicle service and one for the storage of trailers in the rear of the property. A Variation to reduce the required front building setback down to roughly 78 feet and the overall North Avenue Corridor review because the property is along North Avenue. Since the property is being rezoned, staff reviewed the characteristics of the property in conjunction with the surrounding properties to see if it was appropriate for the rezoning, including the aesthetics and screening, and felt comfortable rezoning it to the Industrial zoning designation. Because of the Special Uses proposed and the warehousing component of the business, staff also felt it was better to go along with the Industrial zoning designation. There will be a decent amount of landscaping proposed on the south, east and west sides of the property to screen the truck or trailer storage as well as the 7-foot fence in the rear. Properties along the North Avenue Corridor require building setbacks of 100 feet which is simply geared more towards larger buildings like shopping centers or larger industrial buildings. For smaller buildings, or even out lots within PUD's, we have granted variations to that setback requirement. Given the strict parameters of this smaller lot and the smaller size of the building of about 20,000 square feet, we feel comfortable supporting that reduced building setback. The automobile parking lot will be along the property frontage, but the tractor parking will be very far away from the corridor itself. This is a nicely designed building of precast concrete panels, and some sunscreen clerestory windows. This is somewhat similar in design to the building on Schmale Road. We believe the site plan, landscaping and from an architectural perspective, the project will meet the intent of our North Avenue Corridor regulations. Staff had a couple of concerns with the original signage with tropical like color schemes and the height. The applicant resubmitted a blueish color on the base of the aluminum or metal sign so it matches the material of the building somewhat and adjusted the height to meet requirements. Staff is supportive of the newer sign design just submitted this afternoon. Both this sign and the sign to the property to the east will be located in a 20-foot wide utility or water main easement which will require an easement encroachment agreement that has to be approved by our Village Board. Staff is supportive of the requests and we are recommending approval of all the requests with the standard of conditions of approval: maintenance work needs to occur inside the building and not outside in the parking lot; folks should not be sleeping in the trailers or the cabs; trailers and trucks should be allowed to be stored on the property exclusively and we shouldn't see any construction materials or other types of equipment like RV's and campers; trucks and trailers should not be stored in the front parking lot, only in the rear. Otherwise, we are recommending approval of the project, the associated variation and North Avenue Corridor review.

Chairman Parisi asked for questions from the Commission.

Commissioner Meneghini asked if Dynamic was aware of the conditions and if they were able to comply.

Mr. McNees stated we are aware of the conditions and agree with and support them. We have been in communication with 690 E. North Avenue and are in the process of hammering out the legal terms for going on their property to reconstruct the driveway which they own. They are also on board with moving their sign back and doing a revised easement encroachment agreement.

Commissioner Tucek made a comment if any exploration of sharing one sign which might be less confusing.

Mr. McNees responded that he does not imagine the owner of 690 E. North Avenue would want that and believes they would want to preserve their monument sign for their tenants and not for Dynamic.

Commissioners Petella and Christopher had no questions.

Chairman Parisi commented on the North Avenue Corridor requirements and appreciates the time put it to be quite sensitive to what we already have along North Avenue, and if I were to pull up, I do not think I would know it is a truck repair facility unless you read the sign. I do appreciate the intent and design.

Chairman Parisi asked for any further questions from the Commission and there were none.

Chairman Parisi asked for a motion to approve Case 21-0014 for Dynamic Investments located at 680 E. North Avenue. Motion to approve made by Commission Christopher and seconded by Commissioner Meneghini.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Christopher, Meneghini, Petella and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Morris and Battisto

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, June 21, 2021, at 6:00 PM for review.

OLD BUSINESS: 21-0007- Midwest Star Group / 130 Easy Street – Special Use Permit for Outdoor Activities and Operations and Parking Lots; Fence and Zoning Code Variations; Plat of Consolidation

Chairman Parisi swore in the following speakers: Mr. Chris Mergenthaler from Midwest Star Group, Mr. Rick Daly from Midwest Star Group and Mr. Brendon May, Traffic and Engineering Consultant from KLOA.

Chairman Parisi asked Mr. Farace to provide an overview.

Mr. Farace stated this project was reviewed at the last Plan Commission meeting and the motion failed by a vote of 3-4 and it went to the Village Board without a recommendation by the Plan Commission. In between the Plan Commission meeting held May 24, 2021, and the Village Board meeting last Monday night, the applicant prepared a traffic study since there was a lengthy discussion on truck traffic for the potential truck storage lot. The study has some estimates of the amount of truck traffic for a proposed truck storage lot as compared to a warehouse type use. The Village Board felt this was new information that the Plan Commission did not have the opportunity to review, so the case was referred back to Plan Commission for further review and discussion.

Chairman Parisi asked the Commission if they had any opposition to hearing the new information and they did not.

Mr. Mergenthaler stated Midwest Star Group is headquartered at 245 E. Fullerton, Carol Stream, with roughly 110 employees and recently completed a five million dollar total investment including a high end redesign of their office facilities, driver lounge, complete replacement of paving, as well as landscaping and fencing improvements. Our proposal is for a truck and trailer storage lot at 130 Easy Street. The new information was a traffic study which was conducted by Mr. Brendon May from KLOA.

Mr. May stated he is the Traffic and Engineering Consultant with KLOA based out of Rosemont, Illinois. As part of our evaluation, we estimated the volume of traffic that would be generated by the facility. We took information provided by the operator as well as surveys we conducted of other truck parking

facilities within the area. The truck parking facility is estimated to generate four total trips during the weekday morning and weekday evening peak hour which is typically 7-9 a.m. and 4-6 p.m. of commuter traffic you would see on a daily basis. We estimated, on a daily basis, the truck parking facility would generate 42 total trips of which 25 percent of the a.m. and p.m. trips we anticipate to be trucks, and 50 percent of the daily trips we anticipate to be trucks. We also reviewed how the truck traffic generated would compare if there were a warehouse distribution building developed on this site. The truck parking facility would generate approximately 50 percent less trips than a warehouse distribution building during the peak hours and over 60 percent less on a daily basis. As it relates to truck trips only, studies conducted by the Transportation Engineers and Trip Generation Manual, Tenth Edition, which is the latest edition, show that approximately 20 percent of warehouse distribution buildings are truck trips. Overall, our study found that based on existing daily traffic volumes in the area, and given the proximity of the site to Gary Avenue, 45 percent of this site-generated traffic is estimated to be to the north of Gary Avenue, 40 percent to the south on Gary Avenue and only 15 percent to the east on St. Charles Road. Given the estimated weekday morning and weekday evening peak hour trips, as well as the daily trips, the total trips generated by the facility is anticipated to be less than one-half percent of what already exists on these roadways.

Mr. Mergenthaler stated last time they were here one of the main concerns was the truck traffic on Easy Street so we wanted to provide the traffic study from KLOA to show the truck traffic would be less than a warehouse facility that could be constructed on this site. The project benefits are: significantly less traffic volumes on this site; the proposed facility does not have a warehousing or loading component so trucks would not have to stop, idle or park on Easy Street to stage or open doors to a loading dock; all truck maneuvering would be done within the boundaries of the site; Midwest Star Group's neighbor at 245 E. Fullerton shares a common driveway and has written a letter attesting they have had no issues with truck traffic idling or parking since Midwest Star Group has occupied the building; only Midwest Star Group would facilitate the parking of their own trucks; happy to install signage with a phone number to their dispatcher should there be any issues so they can be handled without going to the Village; lot would be used for when drivers return home for their reset after long haul trips so there is no long term parking; landscaping would be a benefit to the community with an investment of 1.6 million dollars going towards the assessed value for property tax purposes.

Chairman Parisi asked if there were any further comments from the petitioner.

Mr. Daly stated he thinks this is a good opportunity for the Village and Midwest Star Group would keep the property in good condition.

Chairman Parisi asked if there were any comments from the audience. He swore in Mr. Dave Maleski and Mr. Jim Maleski, owners of 120 Easy Street.

Mr. Jim Maleski stated his concern for the close proximity of their entrances and believes the trucks will be sitting and blocking their driveway entrance. They are also concerned with what is being stored like chemicals which can spill.

Mr. Dave Maleski presented an article dated June 1, 2021, to the Commission and Mr. Farace, (attached to the end of the meeting minutes) about a recent fire at an Addison truck facility that spread to at least 17 vehicles and the diesel spill closed the road. He then reiterated their concern because there is a power line nearby, single-family homes nearby and each truck holds 300 gallons of fuel. With an estimated 50 trucks, that could be 15,000 gallons. You could say it never could happen, but it did happen only two weeks ago.

Chairman Parisi gave the petitioner an opportunity to respond.

Mr. Daly stated I guess you can say that could happen anywhere in the United States or in the world. We do not have a repair facility on site. We will be parking trucks in and out and have only 20 trucks on

site even though there is room for 56, and the owner has agreed to changing or angling the entrance. We cannot stop accidents, but we will do the best that we can to prevent them.

Mr. Mergenthaler stated all these trucks are 2018 or newer and are DOT inspected on a yearly basis.

Chairman Parisi asked for any other comments from the audience and there were none and asked Mr. Farace to provide a Staff Report.

Mr. Farace stated the traffic study relayed information on the traffic for the proposed use as a truck and trailer lot as compared to a use of a warehouse and distribution building constructed, as well as the amount of traffic estimated for either of those uses at peak time for both truck traffic and regular automobile traffic. The study indicated truck traffic would be a little bit less potentially for this use, but then you would potentially have a larger amount of traffic for the warehouse distribution use. Also, if there were a way to shift or relocate the driveway or the curb cut so it would be more centrally located on the property or a little further east. I did review this with our Engineering Department and they stated if it was relocated on the eastern side or edge of the property, it would create an awkward jog for the trucks especially when entering the site. What could be done, if the curb cut of the driveway is maintained in its current location, the western edge could be expanded so that it is slightly out or shifted away from the northern property line. Likewise, then modify the eastern edge of the driveway which would eliminate one parking space to accommodate that shift. This would give a little more comfort level for trucks as they are coming southbound or westbound on Easy Street for better maneuvering into the site having no impact to the property to the north. Staff indicated a potential condition of approval in the staff memo recommending this be done rather than completely shifting the driveway or curb cut further east. Staff is recommending approval of the project and the various components of the project.

Mr. Dave Maleski spoke out and Chairman Parisi stated I am sorry; I'd like to follow protocol and our procedures here. You had your opportunity and I ask that you please respect what we have going on here. Chairman Parisi asked Mr. Farace if there was anything else he would like to add and nothing else was added.

Chairman Parisi asked for questions from the Commission. Commissioners Meneghini, Tucek and Christopher had no questions.

Commissioner Petella asked if the neighbor is willing to post signs reading No Blocking Driveway.

Mr. Farace responded that what was suggested previously was if there were any issues with truck traffic of any kind, there would be a sign provided by the property owner, not the village, and placed on private property with contact information.

Commissioner Petella asked if it would be acceptable to place a portable bathroom on site.

Chairman Parisi asked Mr. Farace to respond.

Mr. Farace stated it was previously discussed during the May 24, 2021, Plan Commission meeting and there was no need for a portable bathroom at 130 Easy Street since the 245 E. Fullerton Avenue location houses a drivers lounge with bathrooms.

Chairman Parisi asked Mr. Farace to elaborate on the 45,000 square foot facility he mentioned previously.

Mr. Farace responded we have not reviewed a site plan to know for sure that a building of that size would fit on the property based on setback, landscaping, parking and detention requirements. In concept, we will go along with that number of square footage, but I can't say for certain that a building of that size could fit on the 2.75 acres. To put it in perspective the project was just reviewed on 2.5 acres

with about a 20,000 square foot building. However, that was a truck repair shop and this is a warehouse distribution with a little more office.

Chairman Parisi asked for clarification as to why a 45,000 square foot facility versus a 20,000 square foot facility because obviously, the size of the facility is going to affect the traffic study.

Mr. May stated the 45,000 square foot was an estimate they were provided with. There were no site plans provided. As it relates to the comparison, if we were generating 50 percent less, but if a building was half as large as the 45,000, then the traffic would be similar to what we proposed.

Chairman Parisi had no further questions.

Commissioner Meneghini asked how long have been doing this traffic study business.

Mr. May stated he has been doing this for seven years and he is a licensed professional.

Commissioner Meneghini asked how the pandemic affects your study.

Mr. May stated obviously with Covid 19 we did see a decrease in traffic. We utilized historic data from Dupage County pre-pandemic. So the half percent is based off a historic traffic volume that was not during 2020. As of now, we are ramping up near pre-Covid conditions and I think it was like 10 percent.

Chairman Parisi asked for any more questions from the Commission and there were none. He then asked if the Commission would allow Mr. Dave Maleski to make a final statement and the Commission agreed.

Mr. Dave Maleski stated that the photos from the traffic study show no traffic or cars. That street has cars on it, box trucks, and Amazon vans. There are semis coming and going. It's not like it's an empty street. We have a business in Addison and all day long we see these trucks coming in, they back up with 2-4 waiting to get in. They are going to be up and down the street on Easy Street and there is nowhere for them park so they can double park or they're going to be in front of our building. That's my concern that all this stuff is empty. If you look at the lot and if you fill it up with semis, it's going to look like a can of sardines. Same thing with the streets. There is nothing on the streets in these photos.

Chairman Parisi asked for any further discussion and there was none.

Chairman Parisi asked for a motion to approve Case #21-0007 for Midwest Star Group at 130 Easy Street. Motion was made by Commissioner Meneghini and seconded by Commissioner Tucek.

The results of the roll call vote were:

Ayes:	4	Commissioners Tucek, Christopher, Meneghini and Chairman Parisi
Nays:	1	Commissioner Petella
Abstain:	0	
Absent:	2	Commissioners Morris and Battisto

The motion passed by majority vote.

This case will go before the Village Board on Monday, June 21, 2021, at 6:00 PM for review.

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Christopher moved and Commissioner Meneghini seconded the motion with no further discussion.

OTHER BUSINESS:

ADJOURNMENT:

At 7:03 p.m. Commissioner Christopher moved and Commissioner Meneghini seconded the motion to adjourn the meeting.

The results of the roll call vote were:

- Ayes: 5 Commissioners Petella, Meneghini, Tucek, Christopher, and Chairman Parisi
- Nays: 0
- Abstain: 0
- Absent: 2 Commissioners Morris and Battisto

The motion was passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman

Submitted by Owner at 120 Easy Street
(North of 130 Easy Street)
(Case 21-0007)

TRUCK FIRE

Fire at Addison truck facility spreads to at least 17 vehicles; diesel spill closes road

Fullerton closed at Vista

By Roz Varon

Tuesday, June 1, 2021



ADDISON, Ill. (WLS) -- At least 17 semitrailers caught fire Monday night into Tuesday morning at an Addison truck facility, fire officials said.

Addison Battalion Chief Chris Mansfield said firefighters responded about 10:30 p.m. to a report of two semitrailers on fire at the KDM Truck Service facility on Fullerton Avenue, near Vista Avenue.

When they arrived, tanks containing diesel fuel ignited, and the fire quickly spread, Mansfield said.

At least 17 trucks caught fire. No injuries were reported, but spilled diesel closed Fullerton at Vista for hazmat cleanup. Several fire departments helped Addison.

No foul play is suspected, but the cause of the fire is still under investigation, fire officials said.

RESOLUTION NO. 3195

**A RESOLUTION RECOGNIZING DAVE NOWORUL ON
THIRTY-FIVE YEARS OF EMPLOYMENT WITH THE VILLAGE OF CAROL STREAM**

WHEREAS, Dave Noworul was hired as a Water Sewer Employee III on May 19, 1986; and

WHEREAS, Dave was promoted to the position of Water Sewer Employee II on January 3, 1994; and promoted to his current position of Water Sewer Employee I on December 24, 2012; and

WHEREAS, Dave has worked to insure the reliable delivery of safe drinking water to the community throughout his career, including the transition from well water to Lake Michigan water; and

WHEREAS, Dave has worked to operate, maintain and repair the sewer collection system to insure the public health throughout his career; and

WHEREAS, Dave has served as a valuable member of the snow-fighting team; and

WHEREAS, Dave has developed substantial knowledge of water and sewer systems operations and maintenance throughout his thirty-five years of service in the department; and

WHEREAS, Dave has shared his knowledge and experience with his co-workers; and

WHEREAS, Carol Stream is a better community as a result of the professionalism, competence and dedication Dave brings to his work.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, on behalf of all the former and present elected and appointed officials and residents of Carol Stream, that:

SECTION 1: Dave Noworul is hereby recognized and commended for thirty-five years of dedication and service to the Village of Carol Stream.

SECTION 2: This Resolution shall be in full force and effect from and after its passage as approved by law.

PASSED AND APPROVED THIS 21st DAY OF JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

RESOLUTION NO. 3196

**A RESOLUTION RECOGNIZING DOUG NEWLIN ON THIRTY YEARS
OF EMPLOYMENT WITH THE VILLAGE OF CAROL STREAM**

WHEREAS, Doug Newlin was hired as a Mechanic Helper on July 26, 1990, in the Public Works Department and was promoted to Mechanic on May 11, 1994; and

WHEREAS, Doug Newlin has produced an outstanding record of maintaining vehicles and equipment for use in the delivery of critical services to the community; and

WHEREAS, Doug Newlin has demonstrated the creativity and skill to design and fabricate customized tools and equipment for use by his fellow employees; and

WHEREAS, Doug Newlin has maintained an outstanding attendance and safety record; and

WHEREAS, Doug is a critical employee in annual efforts to prepare the fleet of snow and ice equipment and in keeping that equipment readily available throughout the winter season; and

WHEREAS, Doug consistently and reliably delivers high-quality work as a member of the snow-fighting team; and

WHEREAS, Doug has served as a model, and has lead by example, in helping to train several new Mechanics during his tenure; and

WHEREAS, Carol Stream is a better community as a result of the professionalism, competency, talent and dedication Doug brings to his work daily.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, on behalf of all the former and present elected and appointed officials and residents of Carol Stream, that:

SECTION 1: Doug Newlin is hereby recognized and commended for thirty years of dedicated service to the Village of Carol Stream.

SECTION 2: This Resolution shall be in full force and effect from and after its passage as approved by law.

PASSED AND APPROVED THIS 21st DAY OF JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

RESOLUTION NO. 3197

**A RESOLUTION RECOGNIZING RON TURNER ON
THIRTY YEARS OF EMPLOYMENT WITH THE VILLAGE OF CAROL STREAM**

WHEREAS, Ron Turner was hired as a Water & Sewer Employee III on June 4, 1990, in the Public Works Department and transferred to the Street Division in December 1990; and

WHEREAS, Ron Turner was promoted to the position of Public Works Employee II on June 4, 2000; and

WHEREAS, Ron Turner was promoted to the position of Public Works Employee I on July 1, 2016; and

WHEREAS, in his capacity as a Public Works Employee I, Ron has provided outstanding support to his supervisor and served as a mentor and a model for other employees; and

WHEREAS, Ron has developed considerable skill and experience, especially in the area of street light maintenance, and has always been generous in sharing his experience with other employees to improve their abilities and learn to protect themselves from workplace dangers; and

WHEREAS, Ron has worked countless hours in the delivery of critical services as a member of the snow-fighting team; and

WHEREAS, Ron's positive and professional approach to his work reflects his understanding of, and commitment to, his responsibilities as a public servant; and

WHEREAS, Carol Stream is a better community as a result of the professionalism, competency, talent and dedication Ron brings to his work daily.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, on behalf of all the former and present elected and appointed officials and residents of Carol Stream, that:

SECTION 1: Ron Turner is hereby recognized and commended for thirty years of dedication and service to the Village of Carol Stream.

SECTION 2: This Resolution shall be in full force and effect from and after its passage as approved by law.

PASSED AND APPROVED THIS 21st day of JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

RESOLUTION NO. 3198

**A RESOLUTION RECOGNIZING RICH SCHAFFER ON
TWENTY-FIVE YEARS OF EMPLOYMENT WITH THE VILLAGE OF CAROL STREAM**

WHEREAS, Rich Schaffer was hired as a Public Works Employee III on June 26, 1995, in the Public Works Department; and

WHEREAS, Rich Schaffer was promoted to the position of Public Works Employee II on June 26, 2001; and

WHEREAS, Rich Schaffer was promoted to Public Works Employee I on July 30, 2012; and

WHEREAS, Rich has earned and maintained an Arborist's Certification and in that capacity has provided mentoring and guidance to fellow employees and education to residents in the care and maintenance of the urban forest; and

WHEREAS, Rich has proven to be a reliable, skilled operator in all snow-fighting equipment and has demonstrated leadership in the department's efforts to improve snow and ice control strategies and to reduce salt usage to protect Illinois waterways; and

WHEREAS, Rich has served as a knowledgeable First Responder in preparing for and responding to community emergencies; and

WHEREAS, Rich is consistently available for, and reliable in responding to, overtime work; and

WHEREAS, Carol Stream is a better community as a result of his skill, experience and dedication to public service.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, on behalf of all the former and present elected and appointed officials and residents of Carol Stream, that:

SECTION 1: Rich Schaffer is hereby recognized and commended for twenty-five years of dedication and service to the Village of Carol Stream.

SECTION 2: This Resolution shall be in full force and effect from and after its passage as approved by law.

PASSED AND APPROVED THIS 21st day of JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

PROCLAMATION

Designating June 21st – 27th as Pollinator Week

WHEREAS, pollinator species such as birds and monarch butterflies are essential partners of farmers and ranchers in producing much of our food supply; and

WHEREAS, pollination plays a vital role in the health of our national forests and grasslands, which provide forage, fish and wildlife, timber, water, and recreational opportunities as well as enhanced economic development opportunities for communities; and

WHEREAS, pollinator species provide significant environmental benefits that are necessary for maintaining healthy, biodiverse ecosystems; and

WHEREAS, the Village of Carol Stream manages wildlife habitats and public lands such as retention ponds and butterfly way-stations; and

WHEREAS, the Village of Carol Stream promotes wise conservation stewardship, including the protection and maintenance of pollinators and their habitats on working lands and wildlands.

NOW, THEREFORE, BE IT PROCLAIMED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, the week of **June 21-27, 2021, be known as Pollinator Week** in the Village of Carol Stream, and all residents are called upon to celebrate by supporting efforts to protect and feed pollinators and promote the well-being of future generations.

PROCLAIMED THIS 21st DAY OF JUNE, 2021

Frank Saverino, Sr., Mayor

ATTEST:


Julia Schwarze, Village Clerk

Village of Carol Stream

Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager

THROUGH: Donald T. Bastian, Community Development Director 

DATE: June 16, 2021

RE: **Agenda Item for the Village Board Meeting of June 21, 2021**
PC/ZBA Case 20-0014, Dynamic Investments, LLC – 680 E. North Avenue, Zoning Map Amendment, Special Use Permit for Motor Vehicle Service, Special Use Permit for Outdoor Activities and Operations – Storage of Trailers, Zoning Code Variation, and North Avenue Corridor Review

Vasile Sorocean, CEO with Dynamic Investments LLC., requests approval to rezone the property at 680 E. North Avenue from B-2 General Retail District to I Industrial District, a Special Use Permit for Motor Vehicle Service, a Special Use Permit for outdoor activities and operations for the storage of trailers, a Zoning Code Variation to reduce the front yard building setback from 100 feet to 77 feet 11 inches along North Avenue, and North Avenue Corridor Review, for a proposed truck repair facility. Dynamic Investments proposes to construct a 20,285 square foot building, which will contain office space, warehouse space, and five truck repair bays. 24 trailer spaces and six tractor spaces are proposed along the rear of the property. The tractor/trailer storage spaces and docks will be screened by screen walls, fencing, and landscaping, so that docks and tractors/trailers are not readily visible from adjacent properties. The requested setback variation is supported due to the shallow depth of the lot and nature of the request being similar to variation requests for other smaller buildings along North Avenue, as the larger setback along the North Avenue Corridor is geared toward larger buildings being set back a greater distance from roadways, such as larger shopping center buildings and industrial buildings.

The exterior of the building is proposed to be constructed of precast concrete panels, with clerestory windows, entrance features, and blue accent canopies proposed to provide visual interest along the building façade. Proposed landscaping around the building foundation, within buffeyards, and within parking lot areas, along with a solid vinyl fence along the rear of the property, will greatly enhance the property and provide sufficient screening. Said screening mechanisms, high-quality building materials, and contemporary design along the North Avenue Corridor, also provide justifications for the requested rezoning of the property from B-2 to Industrial, so that the proposed development will blend with the rest of the Corridor.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on June 11, 2021. At its meeting on June 14, 2021, by a vote of 5-0, the PC/ZBA recommended approval of the Zoning Map Amendment, Special Use Permits, Zoning Code Variation, and North Avenue Corridor Review subject to the conditions in the June 14, 2021 staff report.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Zoning Map Amendment, Special Use Permit for Motor Vehicle Service, Special Use Permit for the storage of trailers, and Variation for a building setback reduction, and adopt the necessary Ordinances. No Village Board action is necessary regarding the North Avenue Corridor Review.


ec: Vasile Sorocean and Bob McNees (via email)

Village of Carol Stream

Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager

THROUGH: Donald T. Bastian, Community Development Director 

DATE: June 16, 2021

RE: **Agenda Item for the Village Board Meeting of June 21, 2021
PC/ZBA Case 21-0007, Midwest Star Group – 130 Easy Street, Special Use Permit for
Outdoor Activities and Operations - Storage of Trucks and Trailers, Special Use Permit
for a Parking Lot for Motor Vehicles Not Incidental to a Permitted Use, Zoning Code
Variation, Fence Code Variations, and Plat of Consolidation**

The above referenced project was scheduled for review by the Village Board on June 14, 2021, but was referred back to the Plan Commission when the applicant submitted a traffic study. Sergiy Zamula with Midwest Star Group requests approval of two Special Use Permits and associated variations for the property at 130 Easy Street. Midwest Star Group is a logistics company currently located at 245 E. Fullerton Avenue. They propose to expand operations, and develop a truck and trailer storage lot at 130 Easy Street. The proposed storage lot would contain 55 truck and trailer parking spaces, with access proposed from a gated driveway along Easy Street. The entire storage lot is proposed to be screened by fencing and landscaping, with a decorative fence with mesh material along the Easy Street property frontage, and the remainder of the property fenced in by a slatted chain link fence. The applicant has indicated that approximately 15-20 trucks would come and go from the storage lot per day. A variation is requested for the parking of trucks in the front yard of the property, and variations to the Fence Code are also requested to install a fence in the front yard and for the fence around the property to be taller than seven feet. Finally, the applicant proposes to consolidate three lots into a single lot of approximately 2.771 acres.

The staff report presenting the request, with supporting documentation, was initially transmitted to the Village Board with the PC/ZBA packet on May 21, 2021. At its meeting on May 24, 2021, the PC/ZBA made a motion to approve the applicant's requests, but the motion failed by a vote of 3-4. Concerns were raised regarding the increase of semi-truck traffic on Easy Street and surrounding collector streets, and potential impacts on existing businesses on Easy Street. The applicant submitted a traffic study comparing passenger (automobile) and truck traffic patterns for two potential developments on the subject property: the proposed truck storage facility and a 45,000 square-foot warehouse/distribution building that could be built on the property. The study estimates that there could be a greater amount of traffic with a warehouse/distribution building on the property than the proposed storage facility.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on June 11, 2021. At its meeting on June 14, 2021, by a vote of 4-1, the PC/ZBA recommended approval of the Special Use Permits, Zoning Code Variation, Fence Code Variations, and Plat of Consolidation subject to the conditions in the June 9, 2021 staff report.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permits and Zoning Code Variation and adopt the necessary Ordinance. No Village Board action is necessary regarding the Fence Code Variation, and the plat of consolidation will be reviewed at an upcoming Village Board meeting once signatures are obtained on the plat.

ec: Sergiy Zamula, Midwest Star Group and Chris Mergenthaler, Darwin Realty

Village of Carol Stream

Interdepartmental Memo

TO: Bob Mellor, Village Manager

FROM: Philip J. Modaff, Director of Public Works

DATE: June 11, 2021

RE: Purchase of ERT's for the AMR Replacement Program

The proposed FY22 budget provides \$300,000 for the purchase of AMR's and related supplies for the AMR Replacement Program. Purchases in prior years allowed us to purchase the two main components of the AMR's (ERT¹ and register²) as one packaged unit. However, the manufacturers of the equipment we use have terminated their relationship and the two major components must now be purchased separately if we want to use the same equipment as before.

The most recent bulk purchase of the fully-assembled AMR's included a unit price of \$141.20. Purchasing the two major AMR components separately will result in a unit price of \$150.00. The price increase is primarily attributed to the wiring choice we specified, which is a very simple connector on each product that our installer will be able to assemble in a few seconds prior to installation. The other options included shipping one of the components to one of the providers and paying them to assemble the two pieces or assembling the units in-house without the benefit of the simple connectors.

Attached is a letter from United Systems & Software verifying the firm is the sole source provider in this region for the ERT's. Also attached is a proposal for the 1,545 units in the amount of \$115,875. The attached also estimates a freight charge not to exceed \$400. (A separate agenda item will be presented requesting authorization to purchase the registers.)

Staff recommends that the Village Board approve a Motion authorizing the purchase and delivery of ERT's from United Systems & Software, Inc., in an amount not to exceed \$116,275, pursuant to the provisions of Sections 5-8-3(B) and 5-8-14(C) of the Carol Stream Code of Ordinances.

Attachments

¹ Encoder receiver transmitter (ERT) is a packet radio protocol to transmit data from utility meters over a short range so a utility vehicle can collect meter data without a worker physically inspecting each meter.

² The register is the unit that receives consumption data from the water meter and then shares it with the ERT for transmission to the meter-reading truck.



P.O. Box 547, 205 Ash Street, Benton, Kentucky 42025
Phone: (270) 527-3293 • Toll-Free: 1-800-455-3293
FAX: (270) 527-3132 • www.united-systems.com

United Systems & Software, Inc. is a software development firm that specializes in serving the information technology needs of utilities and local government. Founded in 1977, USS now serves over 1000 customers within a 17-state region. As a distributor of Itron Automatic Meter Reading (AMR) technology, we offer complete AMR/AMI systems, radio transmitters & receivers, encoded meters, handheld & mobile computers, software, installation, training and on-going support.



June 7, 2021

Proposal For: Ron Roehn/ Supt. of Operations

Village of Carol Stream

P: 630-871-6264

E: rroehn@carolstream.org

Ron, below is pricing on the requested Itron items. Please let me know if there are any questions.
Thank you, Brad. (262)328-7241

Qty	Product/Service Description	Unit Price	Ext. Price
Itron Water Endpoints/ 100W Pit Type:			
<u>Qty.</u>			
1545	ERW-1300-402 100W+, Encoder w/Integral & Antenna Connector	\$ 75.00	\$ 115,875.00
	Estimated Freight (Not to exceed \$400)		\$ 400.00
		Total:	\$ 116,275.00

General- Prices do not include shipping and/or sales tax (if applicable). This quotation shall remain firm until 12/31/21, unless Itron has a price increase. In that case, we would provide ninety (90) days written notice.

Thank you,

Brad Bersch
United Systems & Software, Inc.
www.united-systems.com
800.455.3293 or 262.328.7241



United Systems & Software
Authorized Itron Water Distributor

3387 Drysdale Court
Edwardsville, IL 62025
www.itron.com

January 9, 2020

To Our Valued Itron Utility Customer:

Please accept this letter as confirmation that effective January 1, 2020, United Systems & Software (USS) is the only Authorized Itron Water Distributor in your State. In this capacity, they are the only company that is authorized to sell Itron water ERT's (radio endpoints).

USS has been a Direct Itron Distributor since 1999. USS is a technical services firm that specializes in the deployment of automated metering systems. Over the years, USS has deployed several hundred Itron AMR & AMI systems. In addition, USS has in-house, Itron certified technicians to train and assist customers with their Itron metering solutions. USS is the Authorized Itron Distributor in these states: KY, IL, MO, MN, WI, MI, IN, OH, AR, TN, LA, MS, AL, GA, WV, VA, NC & SC.

Depending on your State and local bidding laws, this letter may serve as sole source provider documentation for Itron products. As such, you may not be required to bid your Itron purchases.

If you have any questions, or if I can provide any further information, please feel free to contact me directly.

Sincerely,

A handwritten signature in black ink that reads "Mark E. Bruss". The signature is written in a cursive, flowing style.

Mark E. Bruss

Itron, Inc.

Area Sales Manager

e-mail: mark.bruss@itron.com

Phone: 314-406-4561

Village of Carol Stream Interdepartmental Memo

TO: Bob Mellor, Village Manager
FROM: Philip J. Modaff, Director of Public Works
DATE: June 11, 2021
RE: Purchase of Registers for the AMR Replacement Program

The proposed FY22 budget provides \$300,000 for the purchase of AMR's and related supplies for the AMR Replacement Program. Purchases in prior years allowed us to purchase the two main components of the AMR's (ERT¹ and register²) as one packaged unit. However, the manufacturers of the equipment we use have terminated their relationship and the two major components must now be purchased separately if we want to use the same equipment as before. The two components must then be connected prior to installation.

The most recent bulk purchase of the fully-assembled AMR's included a unit price of \$141.20. Purchasing the two major AMR components separately will result in a unit price of \$150.00. The price increase is primarily attributed to the wiring choice we specified, which is a very simple connector on each product that our installer will be able to assemble in a few seconds prior to installation. The other options for assembly included shipping one of the components to one of the providers and paying them to assemble the two pieces, or assembling the units in-house without the benefit of the simple connectors.

Attached is a letter from Midwest Meter verifying the firm is the sole source provider in this region for the registers we need. Also attached is a proposal for the various sizes staff has forecast to get us through most of this fiscal year. The proposal includes 1,545 units in the total amount of \$115,875. The attached also estimates a freight charge not to exceed \$500. (A separate agenda item will be presented requesting authorization to purchase the ERT's.)

Staff recommends that the Village Board approve a Motion authorizing the purchase and delivery of AMR registers from Midwest Meter, Inc., in an amount not to exceed \$116,375, pursuant to the provisions of Sections 5-8-3(B) and 5-8-14(C) of the Carol Stream Code of Ordinances.

Attachments

¹ Encoder receiver transmitter (ERT) is a packet radio protocol to transmit data from utility meters over a short range so a utility vehicle can collect meter data without a worker physically inspecting each meter.

² The register is the unit that receives consumption data from the water meter and then shares it with the ERT for transmission to the meter-reading truck.

Midwest Meter, Inc
P.O. Box 318
Edinburg, IL 62531
Phone: 1-800-634-4746
Fax: (217) 623-4216



Quotation

Customer

Name Village of Carol Stream - Mr. Ron Roehn
Address 124 Gerzevske Lane
City Carol Stream State IL ZIP 60188
Phone (630) 871-6264

Misc.

Date 6/2/2021
Terms Net 30
Delivery Various
FOB

Qty	Description	Unit Price	TOTAL
	Option 3		
703	Badger M25 HRE 8 Register with Itron Connector and 5 ft lead	\$75.00	\$ 52,725.00
264	Badger M35 HRE 8 Register with Itron Connector and 5 ft lead	\$75.00	\$ 19,800.00
568	Badger M70 HRE 8 Register with Itron Connector and 5 ft lead	\$75.00	\$ 42,600.00
10	Badger M120 HRE 8 Register with Itron Connector and 5 ft lead	\$75.00	\$ 750.00

*Freight not to exceed \$500

\$500.00

*Price includes pick-up and disposal of Old ERT

*Price includes ongoing Midwest Meter support 24/7 365 days a year

Total \$ 115,875.00

Sales Rep

Name *Tim O'Connor*

Prices are firm for acceptance within 30-days, and an order placed within that time period will indicate acceptance.
Prices and specifications are subject to change without notice unless specifically stated in this quotation.

Thank you for your business!

Corporate Office:
200 E. Franklin Street
P.O. Box 318
Edinburg, IL 62531-0318
Phone 800-634-4746
Fax 217-623-4216

MIDWEST METER INC.

Branch location:
1078 Wolverine Lane
Cape Girardeau, MO 63701
Phone 800-635-4746
Fax 573-334-0151

Branch location:
200 Commercial Drive
Flora, IN 46929
Phone 877-636-4746
Fax 574-967-4572

Branch location:
N173 W21290 Northwest Passage Way
Jackson, WI 53037
Phone 262-677-2887
Fax 262-677-2882

Website: www.midwest-meter.com

6/7/21

To our valuable utility customers:

Please be advised that Midwest Meter, Inc. is a full-line distributor of Badger Meter utility products with territory in Illinois, Wisconsin, Missouri, Kansas, Indiana (North), and Kentucky (West). As such, Midwest Meter is the only authorized representatives for Badger Meter's line of metering and AMR/AMI products in the accounts assigned to us in this geographic territory. This includes the following product lines: Badger Recordall Disc, Turbo, and Compound Meters, E-Series Ultrasonic Meters, and M2000 Mag meters integrated with both the Badger ORION and ITRON products.

We're pleased to offer and support these product to our valuable utility customers. Thank you for your continued business and loyalty.

Best regards,



Steve

Steve Dauster
Sales Manager
Midwest Meter, Inc.
PO Box 318
200 E. Franklin Street
Edinburg, IL 62531

Phone: 800-634-4746
Fax: (217) 623-4216



Carol Stream Police Department Memorandum

TO: Bob Mellor, Village Manager
FROM: Bill Holmer, Chief of Police *wh*
DATE: June 9, 2021
RE: **CONTRACT RECOMMENDATION – VILLAGE PROSECUTOR**

BACKGROUND

For the past several years, the Village has engaged the services of an attorney to serve as the local prosecutor for traffic offenses and violations of Village Ordinances. Many municipalities use a local prosecutor in lieu of the State's Attorney's Office prosecuting these offenses. There are several benefits to using a local prosecutor as compared to new (fresh out of law school) Assistant State's Attorneys who would be assigned to prosecute cases in traffic court. Experience in and around the courtroom, greater fine revenues and successful cases, and better relationships with officers are several reasons why local prosecution has been advantageous for the Village of Carol Stream.

SUBJECT/ISSUE

Our current local prosecutor is Attorney Michelle Moore and her contract expired April 30, 2021. Her practice mostly consists of work as a local prosecutor for several DuPage County municipalities. She has demonstrated excellent skills in the courtroom, and she has developed solid, meaningful, and professional relationships with staff members. She is extremely responsive to staff, especially when called upon to review search warrants in DUI cases. In my experience, Ms. Moore demonstrates an extremely high level of concern regarding how she represents the Village, and she genuinely cares about the adjudication of our cases.

As the contract came to an end, Ms. Moore and I had a discussion about her services. She expressed an interest in continuing as our local prosecutor and agreed to keep the same flat fee structure that has been in place for the past five years without an increase.

RECOMMENDATION

I have prepared a renewal contract (attached) for prosecution services with Ms. Moore. Like the original contract, it has a term of 3-years with an option to renew for an additional 2 years. The fee remains the same for the term. It is my recommendation that we agree to this contract and continue our prosecutorial relationship with Ms. Moore.

I am available to discuss this with you at any time.

LEGAL SERVICES AGREEMENT
(Three Year Proposed Contract – DUI/OV/TR & Related Services)

THIS AGREEMENT is made and entered into as of the 11th day of June, 2021, by and between THE VILLAGE OF CAROL STREAM, an Illinois municipal corporation (hereinafter referred to as “the VILLAGE”) and THE LAW OFFICE OF MICHELLE L. MOORE, Ltd., d/b/a THE MOORE NORTON LAW GROUP, Ltd, an Illinois corporation (hereinafter referred to as “the ATTORNEYS”).

WHEREAS, the VILLAGE desires to engage the ATTORNEYS to furnish certain professional services in connection with the prosecution of Local Ordinance & Illinois Vehicle Code violations (inclusive of Driving Under the Influence charges brought pursuant to municipal ordinance), as adopted by local ordinance (hereinafter referred to as “DUI and OV/TR PROSECUTIONS”); and

WHEREAS, the ATTORNEYS represent that they are in compliance with Illinois Statutes relating to professional registration of attorneys and have the necessary expertise and experience to furnish such services upon the terms and conditions as set forth herein below.

NOW, THEREFORE, it is hereby agreed by and between the VILLAGE and the ATTORNEYS that the VILLAGE does hereby retain the ATTORNEYS for and in consideration of the mutual promises and covenants contained herein, the sufficiency of which is hereby acknowledged to perform the services relating to DUI and OV/TR PROSECUTIONS as described herein, subject to the following terms, conditions and stipulations, to wit:

I. SCOPE OF SERVICES

- A. All work hereunder shall be performed under the direction of the CHIEF OF POLICE, his successor or designee, or such other designee selected by the VILLAGE BOARD.
- B. The ATTORNEYS shall provide all necessary services to represent the VILLAGE as the VILLAGE’s attorney in the prosecution of all local ordinance violations of the Illinois Vehicle Code, inclusive of those violations related to Driving Under the Influence, as well as all Ordinance Violations of the VILLAGE OF CAROL STREAM MUNICIPAL CODE. Representation by the ATTORNEYS of the VILLAGE will include all aspects of DUI and OV/TR PROSECUTIONS including, but not limited to, pre-trial proceedings, discovery, plea negotiations, trials and appeals and statutory summary suspension hearings.
- C. The ATTORNEYS shall also provide training sessions to the VILLAGE Police Department, as needed and at the request of the Chief of Police, or his designee, to address any issues with enforcement of the local ordinance DUI and OV/TR PROSECUTIONS, detection and apprehension of offenders, preparation of reports, courtroom presentation, and most recent case-law updates effecting same. The ATTORNEYS shall likewise provide monthly disposition reports for all DUI and Statutory Summary Suspension proceedings to the Chief of Police, or his designee.
- D. Attorney **Michelle Moore Norton** will serve as the primary prosecuting ATTORNEY for the Village of Carol Stream, pursuant to this Agreement. The ATTORNEYS shall have the discretion to employ the

services of affiliated-associate attorneys, as needed, in furtherance of the DUI and OV/TR PROSECUTIONS, only in the event of a planned absence or an emergency in which Ms. Moore is unable to appear in court. No affiliated-associate attorneys shall provide in-court services on a regular or continuing basis without the prior approval of the CHIEF OF POLICE, or his successor or designee.

E. In the provision of DUI and OV/TR PROSECUTIONS services under this Agreement, the ATTORNEYS shall endeavor to perform in a manner consistent with that degree of care and skill ordinarily exercised by attorneys practicing under similar circumstances.

II. TERM

The term of this Agreement shall commence on May 1, 2021, and subject to the termination procedure set forth below, shall continue until April 30, 2024 with the option to renew the Agreement two (2) additional years, until April 30, 2026.

III. PAYMENTS TO THE ATTORNEYS

A. As compensation to the ATTORNEYS for the DUI and OV/TR PROSECUTION services to be provided pursuant to this Agreement, the VILLAGE shall pay to the ATTORNEYS a flat fee of ***\$2,150/week, not to exceed \$111,800.00 per annum (\$1,550/week for DUI enforcement; \$600/week for Traffic/Ordinance/Zoning).***

B. As compensation to the ATTORNEYS for the DUI SEARCH WARRANT REVIEW services to be provided pursuant to this Agreement, the VILLAGE shall pay to the ATTORNEYS a flat fee of ***\$150.00/warrant review call between the hours of 6:00 p.m. and 8:00 a.m., Monday through Friday, and at any time Saturday or Sunday. No fee shall be incurred in the event the ATTORNEYS decline to authorize a request for a search warrant, regardless of the day or hour of said request.***

C. The VILLAGE shall reimburse the ATTORNEYS for any actual out-of-pocket costs incurred in the facilitation of DUI and OV/TR PROSECUTIONS services, such as for preparation of form orders, filing fees, or service fees, and the like, upon presentation of proof of payment for same.

D. For Appellate representation on any and all matters arising from OV/TR PROSECUTIONS, ADMINISTRATIVE ADJUDICATIONS, and DUI PROSECUTIONS an hourly fee of \$115.00/hour for legal research, writing and preparation of briefs for the Illinois Supreme and Appellate Courts, and for Complaints for Review of a Decision of an Administrative Agency, before the Circuit Court of the Eighteenth Judicial Circuit, upon approval by the CHIEF OF POLICE or VILLAGE MANAGER.

E. The VILLAGE shall make monthly payments to the ATTORNEYS during the term of this Agreement, upon receipt and approval of an invoice for services rendered and costs incurred.

IV. INVOICES

A. The ATTORNEYS shall submit monthly invoices in a format approved by the VILLAGE.

B. The ATTORNEYS shall maintain records showing actual time devoted and costs incurred for each monthly billing period. The ATTORNEYS shall permit the authorized representative of the VILLAGE to inspect and audit all data and records of the ATTORNEYS for work performed under this Agreement. The ATTORNEYS shall make these records available at reasonable times during the Agreement period and for one (1) year after termination of this Agreement.

V. CONFIDENTIAL INFORMATION

All confidential communications between the VILLAGE and the ATTORNEYS, whether oral or written, and all documentation whether prepared by the ATTORNEYS or the VILLAGE shall be, to the full extent permitted by law, considered to be an attorney-client privileged communication and shall not be disclosed except upon the written consent of the CHIEF OF POLICE, his successor or designee.

VI. CONFLICTS OF INTEREST

In the event the ATTORNEYS must withdraw from the prosecution of a DUI or OV/TR PROSECUTIONS case due to a conflict of interest, the ATTORNEYS shall be authorized to amend any DUI or OV/TR citation to allege an offense against the People of the State of Illinois, and refer further prosecution of same to the Office of the State's Attorney of DuPage County, and shall notify the CHIEF OF POLICE, or his successor or designee, in writing of said conflict of interest within ten (10) days of the ATTORNEYS becoming aware of said conflict.

VII. TERMINATION OF AGREEMENT

Notwithstanding any other provision hereof, the VILLAGE may terminate this Agreement at any time upon ninety (90) days prior written notice to the ATTORNEYS. In the event that this Agreement is so terminated, the ATTORNEYS shall be paid for services actually performed and reimbursable expenses actually incurred prior to termination, except that reimbursement shall not exceed amounts set forth under Paragraph III, above.

VIII. BREACH OF CONTRACT

If either party violates or breaches any term of this Agreement, such violation or breach shall be deemed to constitute a default, and the other party has the right to seek such administrative, contractual or legal remedies as may be suitable to the violation of breach; and, in addition, if either party, by reason of any default, fails within fifteen (15) days after notice thereof by the other party to comply with the conditions of the Agreement, the other party may terminate this Agreement. Notwithstanding the foregoing, or anything else to the contrary in this Agreement, with the sole exception of an action to recover the monies the VILLAGE has agreed to pay to the ATTORNEYS pursuant to Paragraph III hereof, no action shall be commenced by the ATTORNEYS against the VILLAGE for monetary damages. The ATTORNEYS hereby further waive any and all claims or rights to interest on money claimed to be due pursuant to this Agreement, and waives any and all such rights to interest which it claims it may otherwise be entitled pursuant to law, including, but not limited to, the Local Government Prompt Payment Act (50 ILCS 501/1,

et seq.), as amended, or the Illinois Interest Act (815 ILCS 205/1, *et seq.*), as amended. The parties hereto further agree that any action by the ATTORNEYS arising out of this Agreement must be filed within one year of the date the alleged cause of action arose or the same will be time-barred. The provisions of this paragraph shall survive any expiration, completion and/or termination of this Agreement.

IX. INDEMNIFICATION

To the fullest extent permitted by law, the ATTORNEYS agree to and shall indemnify and hold harmless the VILLAGE, its officers, employees, agents, boards and commissions from and against any and all claims, suits, judgments, costs, attorney's fees, damages or other relief, including, but not limited to, worker's compensation claims, in any way resulting from or arising out of a breach of this Agreement by the ATTORNEYS and/or negligent actions or omissions of the ATTORNEYS in connection herewith, including negligence or omissions of the attorneys, members, employees or agents of the ATTORNEYS arising out of the performance of this Agreement. The provisions of this paragraph shall survive any expiration, completion and/or termination of this Agreement.

X. NO PERSONAL LIABILITY

No official, director, officer, agent or employee of the VILLAGE shall be charged personally or held contractually liable under any term of provision of this Agreement or because of their execution, approval or attempted execution of this Agreement.

XI. INSURANCE

The ATTORNEYS and each of the individual attorneys performing services pursuant to this Agreement shall purchase and maintain during the term of this Agreement insurance coverage which will satisfactorily insure the ATTORNEYS, the individual attorneys, and, where appropriate, the VILLAGE against claims and liabilities which arise out of the work of DUI and OV/TR PROSECUTIONS. Such insurance shall be issued by companies authorized to do business in the State of Illinois and approved by the VILLAGE. The insurance coverages shall include, but not necessarily be limited to, professional liability insurance with limits of not less than \$1,000,000.00 per claim covering the ATTORNEYS and the individual attorneys providing services pursuant to this Agreement against all sums which the ATTORNEYS may become obligated to pay on account of any liability arising out of the performance of the professional services for the VILLAGE under this Agreement when caused by any negligent act, error, or omission of the ATTORNEYS or any of the individual attorneys, or others for which whose actions the ATTORNEYS are legally liable. The professional liability insurance shall remain in full force for a period of not less than four (4) years after the completion of the services to be performed by the ATTORNEYS under this Agreement.

XII. NONDISCRIMINATION

In all hiring or employment made possible or resulting from this Agreement, there shall be no discrimination against any employee or applicant for employment because of sex, age, race, color, creed, national origin, marital status, of the presence of any sensory, mental or physical handicap, unless based upon a bona fide

occupational qualification, and this requirement shall apply to, but not be limited to, the following: employment advertising, layoff or termination, rates of pay or other forms of compensation and selection for training, including apprenticeship.

No person shall be denied or subjected to discrimination in receipt of the benefit of any services or activities made possible by or resulting from this Agreement on the grounds of sex, race, color, creed, national origin, age except minimum age and retirement provisions, marital status or the presence of any sensory, mental or physical handicap. Any violation of this provision shall be considered a violation of a material provision of this Agreement and shall be grounds for cancellation, termination or suspension, in whole or in part, of the Agreement by the City.

XIII. ASSIGNMENT

Neither this Agreement, nor any part, right or interest hereof, may be assigned to any other person, firm or corporation.

XIV. NO CO-PARTNERSHIP OR AGENCY; INDEPENDENT CONTRACTOR RELATIONSHIP ESTABLISHED

This Agreement shall not be construed so as to create a partnership, joint venture, employment or other agency relationship between the parties hereto. The parties intend that this Agreement shall be construed as establishing an independent contractor relationship between the ATTORNEYS and the VILLAGE.

XV. SEVERABILITY

The parties intend and agree that, if any paragraph, sub-paragraph, phrase, clause or other provision of this Agreement, or any portion thereof, shall be held to be void or otherwise unenforceable, all other portions of this Agreement shall remain in full force and effect.

XVI. HEADINGS

The headings of the several paragraphs of this Agreement are inserted only as a matter of convenience and for reference and in no way are they intended to define, limit, or describe the scope of intent of any provision of this Agreement, nor shall they be construed to effect in any manner the terms and provisions hereof or the interpretation or construction thereof.

XVII. MODIFICATION OR AMENDMENT

This Agreement constitutes the entire Agreement of the parties on the subject matter hereof and may not be changed, modified, discharged or extended except by written amendment duly executed by the parties. Each party agrees that no representations or warranties shall be binding upon the other party unless expressed in writing herein or in a duly executed amendment hereof, or change order as herein provided. The parties agree that Acts of God such as a pandemic, public health emergency, or other catastrophic event that may cause an elimination, significant reduction, or significant increase, in caseload and/or court

appearance requirements from which the original flat fee structure was designed will allow either party to initiate discussions regarding the restructuring of the flat fee agreement, either reducing or increasing compensation, as court scheduling dictates, for the period of time that said Acts of God such as a pandemic, public health emergency, or other catastrophic event, are in effect, or during which the judicial system and case scheduling/disposition is substantially effected by same. Any requests to initiate renegotiation or modification of the compensation structure established hereinabove at Paragraph IIIA, shall be in writing and shall specifically reference this Paragraph XVII. In the event the parties do not agree on terms, the Agreement may be terminated by either party pursuant to Section VII, or the initiating party shall have the option to withdraw the request for renegotiation/modification and proceed under the original flat fee compensation structure established herein.

XVIII. APPLICABLE LAW

This Agreement shall be deemed to have been made in, and shall be construed in accordance with the laws of the State of Illinois. Venue for resolution of any disputes or the enforcement of any rights pursuant to this Agreement shall be in the Circuit Court of the Eighteenth Judicial Circuit Court, DuPage County, Illinois.

XIX. WAIVER

Any failure of either the VILLAGE or the ATTORNEYS to strictly enforce any term, right, or condition of this Agreement shall not be construed as a waiver of such term, right, or condition.

XX. NEWS RELEASES

The ATTORNEYS shall not issue any news releases nor make statements to the media without prior approval from the CHIEF OF POLICE, or his designee.

XXI. INTERFERENCE WITH PUBLIC CONTRACTING

The ATTORNEYS certify hereby that they are not barred from submitting a proposal on this Agreement as a result of a violation of 720 ILCS 5/33E, et seq. or any similar state or federal statute regarding bid rigging.

XXII. SEXUAL HARASSMENT

As a condition of this contract, the ATTORNEYS shall have written sexual harassment policies that include, at a minimum, the following information:

- A. the illegality of sexual harassment;
- B. the definition of sexual harassment under state law;
- C. a description of sexual harassment, utilizing examples;

- D. the vendor's internal complaint process including penalties;
- E. the legal recourse, investigative and complaint process available through the Illinois Department of Human Rights, and the Illinois Human Rights Commission;
- F. directions on how to contact the department and commission;
- G. protection against retaliation as provided by Section 6-101 of the Human Rights Act.

A copy of the policies shall be provided by the ATTORNEYS to the Department of Human Rights upon request, pursuant to 775 ILCS 5/2-105.

XXIII. SUBCONTRACT

No portion of the work to be provided by the ATTORNEYS shall be subcontracted without the prior written approval of the CHIEF OF POLICE, WILLIAM HOLMER, his successor or his designee.

XXIV. FREEDOM OF INFORMATION ACT

The ATTORNEYS shall, within twenty-four hours of the VILLAGES's request, provide any documents in the ATTORNEYS' possession related to the Agreement which the VILLAGE is or becomes required to disclose to a requestor under the Illinois Freedom of Information Act.

XXV. NOTICES

All notices, reports and documents required under this Agreement (unless otherwise noted) shall be in writing and shall be mailed by First Class Mail, postage prepaid, or by e-mail, addressed as follows:

A. As to the VILLAGE:
Robert Mellor, Village Manager
VILLAGE OF CAROL STREAM
500 N. Gary Avenue
Carol Stream, Illinois 60188
Email: bmellor@carolstream.org

B. As to the ATTORNEYS:
Michelle Moore Norton
The Law Office of Michelle L. Moore, Ltd.
THE MOORE NORTON LAW GROUP, Ltd.
45 S. Park Boulevard
Suite 230
Glen Ellyn, Illinois 60137
Email: michelle@michellemoorelaw.com

XXVI. COMPLIANCE WITH LAWS

Notwithstanding any other provision of this Agreement, it is expressly agreed and understood that in connection with the performance of this Agreement that the ATTORNEYS shall comply with all applicable federal, state, city and other requirements of law.

XXVII. EXECUTION IN COUNTER-PARTS

This Agreement may be executed in counter-parts. Signatures transmitted by facsimile or email shall have the same legal effect as original signatures.

IN WITNESS WHEREOF, the parties hereto have entered into and executed this agreement effective as of the ____ day of _____, 2021.

VILLAGE OF CAROL STREAM

Robert Mellor, Village Manager

**LAW OFFICE OF MICHELLE L. MOORE,
Ltd./THE MOORE NORTON LAW GROUP,
Ltd.**


Michelle Moore Norton

Village of Carol Stream
Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Gregory R. Ulreich, Stormwater Administrator *GRU*

DATE: June 16, 2021

RE: **Recommendation for Award per CSMC § 5-8-3(A)(1)**
To: Engineering Resource Associates, Inc.
For: Professional Services Agreement (Phase I - Design)
Re: Klein Creek Stream Bank Stabilization – Section III

The Village and Illinois Environmental Protection Agency (IEPA) entered into an Inter-governmental Grant Agreement (IGGA) in February 2021 (Resolution No. 3170) for the Klein Creek Stream Bank Stabilization – Section I (A & B). The IGGA sets forth the requirements for reimbursement from the IEPA’s 319 grant program for costs related to both design and construction (50% up to \$1,000,000). The required scope of work (see attached Exhibit A “Outputs”) reflects the concept plan from our application, but it was deliberately vague regarding the project’s limits – only that it be on Klein Creek. This provides the Village with flexibility to revise the project limits so long as the “Outputs” are still achieved.

On June 3, 2021, the DuPage River Salt Creek Workgroup’s (DRSCW) Projects Committee voted in favor of using \$1,100,000.00 from their special conditions project fund for the stretch between the WRC outfall and Kuhn Road. Their vote was predicated on the funds being used only on this particular stretch (i.e. Section I-A; see figure below), as well as an understanding that the displaced “Outputs” will be relocated to stabilizing additional streambanks along Klein Creek. The DRSCW’s Executive Committee has approved the recommendation, which will be officially announced at their June 30th meeting.

Section I (A & B) – Kuhn Road to Thunderbird Trail



The "Outputs" to be relocated are estimated to be 1.4 acres of Wetland Restoration, 5 acres of Riparian Buffer, 1,970 feet Stream Channel Stabilization, and 2,470 feet of Streambank Stabilization. Section III is from Mitchell Lakes to Illini Drive, which is about the same length as Section I-A and just like Section I-A, the Wetland Restoration can be done entirely on publicly-owned property (i.e. Park District's Outdoor Storage Area and Village property north of the Library). Both districts have expressed support for the project and staff will continue to keep them involved during the final design.



Park District's Outdoor Storage Area



Village property north of Library

Since Section III and Section I-B will be done with the IEPA 319 grant funds, they must be done in accordance with the milestones of the IGGA. Therefore, staff is requesting that the Phase II Design for Section III begin as soon as possible.

Engineering Resource Associates, Inc. (ERA) is the professional engineering firm that created the concept plans and completed the grant application for the IGGA, so staff worked with their firm to develop the subject scope of work and then negotiated the fee. ERA has extensive experience in the design and implementation of bio-engineering techniques for stabilizing streambanks, as well as floodway and floodplain modeling. Their firm has successfully completed many design projects for the Village over the last decade, most recently being The Park Unit 1 Detention Retrofit Project and the Clearwater Court Rear Yard Drainage Improvement Project. Both were successfully constructed within the last two years without any delays or change orders relating to their professional services.

For Phase II Engineering, ERA is proposing a not-to-exceed, cost plus fixed fee amount of \$113,292.00. The individual line items of the attached proposal were reviewed against the scope and determined to be fair and reasonable. In addition, the design-to-construction cost ratio is 4% when assuming an estimated construction cost of \$3,000,000, which is well within the typical range for construction contracts. The scope of services will include providing staff with an updated estimate of the construction costs in order to confirm appropriate amounts are set aside in the CIP. The milestone for construction to be completed is July 15, 2023 (FY24) per the IGGA.

For Section III, the 5 Year CIP (as of FY21) projects \$100,000 in FY23 for Phase II - Design and \$3,000,000 in FY24 for Phase III - Construction. In order to execute the subject agreement this fiscal year (~\$115,000), staff can redistribute from other projects within the FY22 Stormwater Utilities budget of via various scope reductions and funding deferrals (see table below). In addition, the aforementioned \$3,000,000 in FY24 will need to be re-programmed for FY23 per the IGGA (in the next budget cycle).

Capital Improvement Program (\$000's)			
FY22 Projects	Budgeted	Revised	Increase/Decrease
Roadway Drainage Improvements	\$225	\$145	- \$80 ¹
Klein Creek Section I (A&B)	\$100	\$140	+ \$40 ²
Klein Creek Section II	\$0	\$31	+ \$31 ³
Klein Creek Section III	\$50	\$115	+ \$65 ⁴
Fullerton/Kimberly Drainage Study	\$60	\$104	+ \$44 ⁵
Public Detention Rehab.	\$150	\$50	- \$100 ⁶
SubTotal	\$585	\$585	\$0
¹ Decrease resulting from reduction in scope of work based on recent inspections.			
² Increase required to cover PO 462-643 (\$135,789).			
³ Increase as proposed under a separate memo dated 06/15/21 (\$12,000).			
⁴ Increase as proposed under this memo.			
⁵ Increase required to cover PO 462-641 (\$103,119).			
⁶ Deferred work to future FY and cost savings thru contract consolidation.			

Therefore, staff recommends awarding a professional services agreement without bids in accordance with CSMC § 5-8-14(A) for Phase II Engineering to Engineering Resource Associates for the design, permitting and contract document preparation for the Klein Creek Streambank Stabilization – Section III Project in the not-to-exceed, cost plus fixed fee amount of \$113,292.00 and a completion date of April 30, 2022 with an interim milestone date for “95% Pre-Final Plans & Specifications” by October 31, 2021.

cc: William N. Cleveland, Director of Engineering Services (via email)
 Phil Modaff, Director of Public Works (via email)
 Jon Batek, Director of Finance (via email)

Attachment:

1. Exhibit A “Outputs” of Resolution No. 3170
2. Village’s Professional Services Agreement w/Proposal

EXHIBIT A

PROJECT DESCRIPTION

This project is located on Klein Creek (IL_GBKC-01), in HUC 0712000408, which is a tributary to the West Branch of the DuPage River. The project will install bioengineering stabilization methods to provide enhanced water quality benefits on Klein Creek. The project includes streambank stabilization (such as rock toe, root wads, FES Lifts, limestone terrace wall), stream channel stabilization (such as rock vanes, rock riffles, remeanders), and wetland and riparian/buffer restoration to create a floodplain terrace in the overbank areas. The overbank areas will be modified and vegetated with riparian and mesic prairie vegetation (as appropriate) to increase the residence time of stormwater runoff. The project will be designed to be consistent with the goals of the Klein Creek Watershed-Based Plan (2017).

- **OUTPUTS:**
 - 5,870 feet of streambank stabilization
 - 3,670 feet of stream channel stabilization
 - 5 acres of riparian buffer
 - 1.4 acres of wetland restoration
 - 3 educational signs and website

- **OUTCOMES:**
 - Water quality restoration of Klein Creek (IL_GBKC-01).
 - Reduced annual pollutant loadings of approximately 131 tons of sediment, 262,731 lbs. of Total Suspended Solids, 137 lbs. of phosphorus, and 314 lbs. of nitrogen.



Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • ROBERT MELLOR, MANAGER
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899
(630) 665-7050 • FAX (630) 665-1064
www.carolstream.org

PROFESSIONAL SERVICES AGREEMENT

“KLEIN CREEK STREAM BANK STABILIZATION – SECTION III”

THIS CONTRACT (“Contract”) is made by and between the **VILLAGE OF CAROL STREAM**, an Illinois municipal corporation and home rule unit of government, (hereinafter referred to as the "Village") and **ENGINEERING RESOURCE ASSOCIATES, INC.** (hereinafter referred to as the "Consultant") and its successors.

IN CONSIDERATION OF the recitals and the mutual covenants and agreements set forth in this Contract, the sufficiency of which is hereby acknowledged, the parties agree as follows:

1. This contract shall embrace and include all of the Contract Documents listed below and shall be incorporated herein by reference:
 - a. This Contract
 - b. General Terms and Conditions
 - c. Proposal for Professional Services dated June 14, 2021 (hereinafter referred to as the “Proposal”).
 - i. Project Understanding
 - ii. Scope of Services (Professional Engineering)
 - iii. Exclusions
 - iv. Fees (includes IDOT BDE 3608 Hours and Fees Worksheets)
 - d. Certificate(s) of Insurance
2. The Consultant shall sign this Contract and return it to the Village along with the Certificate(s) of Insurance required per the General Terms and Conditions. The Consultant shall not commence work under this Contract until provided with a fully-executed Contract and a written Notice to Proceed from the Village.
3. This Contract and the Contract Documents represent the entire Agreement between the parties and may not be modified without the written approval of both parties.

VILLAGE OF CAROL STREAM

IN WITNESS WHEREOF, the Consultant has hereunto set their hands this _____ day of _____, 2021.

(Printed Name)

(Printed Title)

(Signature)



(Corporate Seal)

NOTARY PUBLIC – STATE OF ILLINOIS

Subscribed and Sworn to before me this _____ day of _____, 2021

(Signature)



(Notary Seal)

THE VILLAGE OF CAROL STREAM, ILLINOIS

IN WITNESS WHEREOF, the Village has hereunto set their hands this _____ day of _____, 2021.

Director of Engineering Services

By

I. GENERAL TERMS & CONDITIONS

1. SCOPE OF SERVICES.

1.1 SERVICES TO BE PROVIDED BY THE PARTIES.

All services described in the Scope of Services (Scope) of the Proposal shall be performed by the Consultant in a prompt and expeditious manner with the professional skill and judgment in accordance with the professional standards applicable to the services that are rendered for the Project. The Consultant shall be responsible for all services provided under this Agreement whether such services are provided directly by the Consultant or by sub-consultants hired by the Consultant. The Consultant will perform the work activities described in the Scope promptly and without unreasonable delay and will give all projects such priority as is necessary to cause the services to be provided hereunder to be properly performed in a timely manner and consistent with sound professional practices.

1.2 RELATIONSHIP

The relationship of the Consultant to the Village shall be that of an independent consultant rendering professional services. The Consultant shall have no authority to execute contracts or to make commitments on behalf of the Village and nothing contained herein shall be deemed to create the relationship of employer and employee or principal and agent between the Village and the Consultant.

1.3 ACCESS TO INFORMATION

The Village shall provide any data, reports, records, and maps for the project that are in the possession of the Village. No charge will be made to the Consultant for such information, and the Village will cooperate with the Consultant to facilitate the performance of the work described in this Agreement.

1.4 PERSONNEL

The Consultant represents that he has, or will secure at his own expense, all personnel and equipment required in order to perform under this Agreement. Such personnel shall not be employees of, or have any contractual relationship to, the Village.

All services required hereunder will be performed by the Consultant or under his supervision and all personnel engaged in the work shall be fully qualified and shall be authorized or permitted under state or local law to perform such services.

None of the work or services covered by this Agreement shall be subcontracted without prior written approval of the Village. Any work or services subcontracted hereunder shall be specified in written contract or agreement and shall be subject to each provision of this Agreement.

1.5 REPORTS AND INFORMATION

The Consultant, at such times and in such forms as the Village may require, shall furnish the Village such periodic reports as it may request pertaining to the work or services undertaken pursuant to this Agreement, the costs and obligations incurred or to be incurred in connection therewith, any affidavit or certificate, in connection with the work covered by this agreement as provided by law and any other matters covered by this Agreement.

1.6 FINDINGS CONFIDENTIAL

All of the reports, information, data, etc., prepared or assembled by the Consultant under this Agreement are confidential and the Consultant agrees that they shall not be made available to any individual or organization without prior written approval of the Village.

1.7 COPYRIGHT

No report, maps, or other documents produced in whole or in part under this Agreement shall be subject of an application for copyright by or on behalf of the Consultant. Any such materials produced as a result of this Agreement that might be subject to copyright shall be the property of the Village and all such rights shall belong to the Village, and the Village shall be sole and exclusive entity who may exercise such rights.

1.8 ERRORS & OMISSIONS

Consultant shall correct, at no cost to the Village, any and all errors, omissions, or ambiguities in the work product and services provided or submitted to the Village. If the Consultant has prepared plans and specifications or other design documents to be used in construction of a project or provided services, Consultant shall be obligated to correct any and all errors, omissions or ambiguities in the work product or services discovered prior to and during the course of construction of the project. This obligation shall survive termination of this Agreement.

2. COMPENSATION AND METHOD OF PAYMENT.

2.1 COMPENSATION.

The Village shall pay the Consultant in accordance with the hourly rate charges contained in the BDE 3608 "Cost Estimate of Consultant Services" form attached to its Proposal, up to the **not-to-exceed cost plus fixed fee amount of \$113,292.00** for all services to be provided under this Agreement, including such allowable expenses agreed upon by the parties herein to provide and complete the Scope. Reimbursement under this Agreement shall be based on invoices, supported by appropriate documentation of costs actually incurred.

2.2 RECORDS.

The Consultant agrees to maintain records and a system of accounting consistent with generally accepted accounting principles and follow such procedures as may be required by the Village. Such records shall include all information pertaining to the Agreement, payroll, receipted invoices, obligations and unobligated balances, assets and liabilities, expenses and outlays, equal opportunity, labor standards (as appropriate), and performance.

All such records and all other records pertinent to this Agreement and work undertaken under this Agreement shall be retained by the Consultant for a period of at least four (4) years after completion of this Agreement, unless a longer period is required to resolve audit findings, litigation or required by state or federal regulations. In such cases, the Village shall request a longer period of record retention.

The Village shall have full access and the right to examine any and all pertinent documents, documents, records, and books of the Consultant involving Consultant's services on projects arising under this Agreement.

2.3 CHANGES, MODIFICATIONS AND AMENDMENTS.

Since some of the Consultant's services are being provided on an as-needed basis, the amount of services may be less than anticipated. The Village makes no guarantee as to the minimum amount of services that will be required under the Agreement and no adjustment in the fee will be made if the actual amount of services is less than what is anticipated. However, the Village may, from time to time, require changes or modifications in the Scope to be performed hereunder. Such changes, including any decrease in the amount of compensation therefore, which are mutually agreed upon by the Village and the Consultant, shall be incorporated in written amendments to this Agreement. No amendment or variation of the terms of this Agreement shall be valid unless made in writing, signed by the Parties and approved as required by law. No oral understanding or agreement not incorporated in the Agreement is binding on any of the Parties.

2.4 TAXES.

Consultant acknowledges that the Village is a tax exempt entity under the laws of the State of Illinois and that the Village shall, as part of its undertakings under this Contract, provide to the Consultant all certificates of exemptions and tax exempt numbers needed to entitle Consultant to purchase material and other items to be used on the Work or incorporated into the Work on a tax-exempt basis, said exemptions specifically to include but not be limited to the "Illinois Retailer's Occupation Tax" (sales tax). Consultant shall warrant that all material costs and scheduled values have been calculated so as to give the Village its full benefit of its tax-exempt status, and Consultant shall require that all subcontracts include a requirement that sub-Consultants purchase materials so as to give the Village the full benefit of its tax exempt status. The Village shall not be liable for, and shall be entitled to a credit against the Contract Sum or Contract Price for any sales tax paid by Consultant or any sub-Consultant of any tier which is shown to have been charged to the Village as part of the Contract Sum or Contract Price, as a component of the schedule of values, as a unit price, or otherwise.

2.5 PROMPT PAYMENT ACT.

All payments made under this Contract shall be made in conformance with the provisions of the Local Government Prompt Payment Act (50 ILCS 505/1 et seq.).

3. COMMENCEMENT AND TIME OF PERFORMANCE.

3.1 COMMENCEMENT OF WORK.

The Consultant will not initiate any work until the Consultant receives written authorization from the Village to proceed.

3.2 TIME OF PERFORMANCE.

The Consultant shall provide the professional services and submit all deliverables in accordance with the following requirements, with **"Pre-final 95% Completion Phase PS&E" by October 31, 2021 and "Final 100% Completion Phase PS&E" no later than April 30, 2022.** If requested, the Village may at its sole discretion elect to extend milestones and completion dates if sound justification and documentation is provided by the Consultant.

4. INSURANCE AND INDEMNIFICATION.

4.1 INSURANCE.

The Consultant shall not commence work under this Agreement until he has obtained all insurance required herein. Certificates of Insurance, fully executed by officers of the Insurance Company written or countersigned by an authorized Illinois State agency, shall be filed with the state of Illinois for approval. The Consultant shall not allow any sub-consultant to commence work on his subcontract until all similar insurance required for the sub-consultant has been obtained and approved. If so requested, the Consultant shall also submit copies of insurance policies for inspection and approval of the state of Illinois before work is commenced. Said policies shall not hereafter be canceled, permitted to expire, or be changed without thirty (30) days' notice in advance to the state of Illinois and consented to by the state of Illinois in writing and the policies shall so provide.

4.1.1 INSURANCE RATING

Insurance shall be placed with insurers with an A.M. Best's rating of no less than A-: VI. This rating requirement shall be waived for Worker's Compensation coverage only.

4.1.2 WORKER'S COMPENSATION INSURANCE

Before any work is commenced, the Consultant shall maintain during the life of the Agreement, Workers' Compensation Insurance for all of the Consultant's employees employed at the site of the project. In case any work is sublet, the Consultant shall require the sub-consultant similarly to provide Workers' Compensation Insurance for all the latter's employees, unless such employees are covered by the protection afforded by the Consultant. In case any class of employees engaged in work under the contract at the site of the project is not protected under the Workers' Compensation Statute, the Consultant shall provide for any such employees, and shall further provide or cause any and all sub-consultants to provide Employer's Liability Insurance for the protection of such employees not protected by the Workers' Compensation Statute.

4.1.3 COMMERCIAL GENERAL LIABILITY INSURANCE

The Consultant shall maintain during the life of the Agreement such Commercial General Liability Insurance which shall protect him, the Village, and any sub-consultant during the performance of work covered by the Agreement from claims or damages for personal injury, including accidental death, as well as for claims for property damages, which may arise from operations under the Agreement, whether such operations be by himself or by a sub-consultant, or by anyone directly or indirectly employed by either of them, or in such a manner as to impose liability to the state. Such insurance shall name the state as additional insured for claims arising from or as the result of the operations of the Consultant or his sub-consultants. In the absence of specific regulations, the amount of coverage shall be as follows: Commercial General Liability Insurance, including bodily injury, property damage and contractual liability, with combined single limits of \$1,000,000 and aggregate limit of \$2,000,000.

4.1.4 INSURANCE COVERING SPECIAL HAZARDS

Special hazards as determined by the state shall be covered by rider or riders in the Commercial General Liability Insurance Policy or policies herein elsewhere required to be furnished by the Consultant, or by separate policies of insurance in the amounts as defined in any Special Conditions of the contract included therewith.

4.1.5 LICENSED AND NON-LICENSED MOTOR VEHICLES

The Consultant shall maintain during the life of the Agreement, Automobile Liability Insurance in an amount not less than combined single limits of \$1,000,000 per occurrence and not less than aggregate limit of \$2,000,000 for bodily injury/property damage. Such insurance shall cover the use of any non-licensed motor vehicles engaged in operations within the terms of the Agreement on the site of the work to be performed there under, unless such coverage is included in insurance elsewhere specified.

4.1.6 SUB-CONSULTANT'S INSURANCE

The Consultant shall require that any and all sub-consultants, which are not protected under the Consultant's own insurance policies, take and maintain insurance of the same nature and in the same amounts as required of the Consultant.

4.1.7 ADDITIONAL INSURED

The Village, its officers, agents and employees shall be named as Additional Insureds on all insurance required to be acquired and maintained hereunder. All insurance of any tier shall state that the coverage afforded to the Additional Insureds shall be primary insurance of the Additional Insureds with respect to any claims arising out of any project for which the Consultant provides services.

4.2 INDEMNIFICATION.

To the fullest extent permitted by Illinois law, Consultant shall indemnify, defend and hold harmless the Village of Carol Stream and its officers, employees and agents (collectively "Indemnitee"), from lawsuits, actions, costs (including attorneys' fees), claims or liabilities of any character (collectively "Damages") caused by, resulting from, arising out of or occurring in connection with the Consultant's performance of the Work under this Contract, provided that any such lawsuit, action, cost, claim or liability is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent act or omission, intentional misconduct, or breach of applicable law of the Consultant or anyone or entity directly or indirectly employed by Consultant for whose acts Consultant may be liable. Under no circumstance shall Consultant's indemnification apply to Damages caused by the negligence of the Indemnitee. Consultant shall protect, indemnify, and hold and save harmless the Village from and against any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Consultant's breach of any obligations under or Consultant's default of any provision of the Contract Documents.

5. COMPLIANCE WITH THE LAW AND CERTIFICATIONS.

5.1 COMPLIANCE WITH GOVERNMENTAL REGULATIONS.

The Consultant shall comply with all applicable federal, state or local laws, ordinances, and codes and the Consultant shall hold and save the Village harmless with respect to any damages arising from any failure of the Consultant or its officers, agents or employees to comply with any such laws in performing any of the work provided under this Agreement.

5.2 EQUAL EMPLOYMENT OPPORTUNITY

During the performance of this Agreement, the Consultant agrees as follows:

- a. The Consultant will not discriminate against any employee or applicant for employment

because of race, creed, sex, color, national origin, handicap or familial status. The Consultant will take affirmative steps to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, creed, sex, color, national origin, handicap or familial status. Such action shall include, but not be limited to, the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms or compensation; and selection for training, including apprenticeship. The Consultant agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by the Village setting forth the provisions of this non-discrimination clause.

- b. The Consultant will, in all solicitations or advertisements for employees placed by or on behalf of the Consultant; state that all qualified applicants will receive consideration for employment without regard to race, creed, color, sex, national origin, handicap or familial status.
- c. The Consultant will cause the foregoing provisions to be inserted in all subcontracts for any work covered by this Agreement so that such provisions will be binding upon each sub-consultant, provided that the foregoing provisions shall not apply to contracts or subcontracts for standard commercial supplies or raw materials.

5.3 ILLINOIS HUMAN RIGHTS ACT (775 ILCS 5/1-101 ET SEQ.)

In carrying out the terms of this agreement, Consultant shall comply with all applicable provisions of the Illinois Human Rights Act, and rules and regulations promulgated by the Illinois Department of Human Rights, prohibiting unlawful discrimination in employment. Consultant's failure to comply with all applicable provisions of the Illinois Human Rights Act, or applicable rules and regulations promulgated thereunder, may result in a determination that Consultant is ineligible for future contracts or subcontracts with the state of Illinois or any of its political subdivisions or municipal corporations, and this agreement may be canceled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation.

5.4 ILLINOIS FREEDOM OF INFORMATION ACT, (5ILCS 140/4, AS AMENDED BY PUBLIC ACT 96-542, EFFECTIVE JANUARY 1, 2010)

The Consultant agrees to maintain all records and documents for projects of the Public Body of the Village of Carol Stream in compliance with the Freedom of Information Act (FOIA), 5ILCS 140/4 et seq. In addition, Consultant shall produce, without cost to the municipality, records which are responsive to a request received by the Public Body under the FOIA so that the Public Body may provide records to those requesting them within the timeframes required. If additional time is necessary to compile records in response to a request, then Consultant shall so notify the Public Body and if possible, the Public Body shall request an extension so as to comply with the FOIA. In the event that the Public Body is found to have not complied with the FOIA, based upon Consultant's failure to produce documents or otherwise appropriately respond to a request under the FOIA, then Consultant shall indemnify and hold harmless, and pay all amounts determined to be due including but not limited to fines, costs, attorney fees and penalties.

5.5 AUTHORIZED TO DO BUSINESS IN ILLINOIS

The Consultant certifies that it is a legal entity authorized to do business in Illinois prior to submission of a bid, offer, or proposal, 30 ILCS 500/1.15.8, 20-43.

5.6 CERTIFICATION TO ENTER INTO PUBLIC CONTRACTS – 720 ILCS 5/33E-1

The Consultant certifies that he/she/it is not barred from contracting with any unit of state or local government as a result of a violation of either Section 33E-3 or 33E-4 of the Illinois Criminal Code or violating the prohibition set forth in Section 50-10.5(e) of the Illinois Procurement Code, 30 ILCS 500/50-10.5e or any similar offense of any State of the United States which contains the same elements as the Illinois offenses of bid-rigging or bid rotating.

5.7 PAYMENTS TO ILLINOIS DEPARTMENT OF REVENUE – 65 ILCS 5/11-42.1

Consultant certifies that it is not delinquent in payment of any taxes to Illinois Department of Revenue.

5.8 SUBSTANCE ABUSE PREVENTION ON PUBLIC WORKS PROJECTS

Consultant certifies that it has in place a written program which meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act (Public Act 95-0635), and if requested will provide a copy thereof to the Village.

5.9 DEBARMENT

The Consultant certifies that neither it nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in the Agreement by any federal department or agency.

5.10 INTEREST OF MEMBERS OF THE VILLAGE

The Consultant certifies that no member of the governing body of the Village and no other officer, employee, or agent of the Village who exercises any functions or responsibilities in connection with the planning or carrying out of the project, has any personal financial interest, direct or indirect, in this Agreement; and the Consultant shall take appropriate steps to assure compliance.

5.11 INTEREST OF CONSULTANT AND EMPLOYEES

The Consultant covenants that he/she presently has no interest and shall not acquire interest, direct or indirect, in the various project areas or any parcels therein or any other interest which would conflict in any manner or degree with the performance of his/her services hereunder. The Consultant further covenants that in the performance of this Agreement, no person having such interest shall be employed.

5.12 AUDITS AND INSPECTIONS

The Village or their delegates shall have the right to review and monitor the financial and other components of the work and services provided and undertaken as part of the various projects and this Agreement, by whatever legal and reasonable means are deemed expedient by the Village.

6. GENERAL PROVISIONS.

6.1 AMENDMENT.

No amendment or modification to this Contract shall be effective until it is reduced to writing and approved and executed by the Village and Consultant in accordance with all applicable statutory procedures.

6.2 ASSIGNABILITY

The Consultant shall not assign any interest on this Agreement, and shall not transfer any interest on this Agreement (whether by assignment or notation), without prior written consent of the Village thereto: provided, however, that claims for money by the Consultant from the Village under this Agreement may be assigned to a bank, trust company, or other financial institution without such approval. Written notice of any intent to assign or transfer shall be furnished promptly to the Village by the Consultant.

6.3 SEVERABILITY

If any term or condition of this Agreement or the application thereof is held invalid, such invalidity shall not affect other terms, conditions, or applications which can be given effect without the invalid term, condition, or application; to this end the terms and conditions of this Agreement are declared severable.

6.4 VENUE AND GOVERNING LAW.

This Contract shall be governed by the laws of the State of Illinois and venue shall be fixed in the Eighteenth Judicial Circuit of DuPage County, Illinois.

6.5 ARBITRATION AND MEDIATION.

Notwithstanding any inconsistent or contrary provision in any other provision of the Contract Documents, no claim or dispute arising under this Contract shall be subject to arbitration unless the Parties mutually agree on a submission to arbitration, which submission shall be in writing and signed by the Parties and shall set forth a specific statement of the nature of the dispute and shall contain an express statement on the limitations of the powers of the arbitrator. The Parties mutually agree that in the absence of such submission, arbitration cannot be demanded or compelled by either party.

6.6 NO WAIVER BY PAYMENT.

Notwithstanding any language in the Contract Documents to the contrary, Village shall not be deemed to waive any claim or right to assert a claim by making any progress payment or final payment.

6.7 FREEDOM OF INFORMATION ACT.

The Illinois Freedom of Information Act (FOIA) has been amended and effective January 1, 2010, adds a new provision to Section 7 of the Act which applies to public records in the possession of a party with whom the Village has contracted. The Village will have only a very short period of time from receipt of a FOIA request to comply with the request, and there is a significant amount of work required to process a request including collating and reviewing the information. The Consultant acknowledges the requirements of FOIA and agrees to comply with all requests made by the Village for public records (as that term is defined by Section 2(c) of FOIA) in the undersigned's possession and to provide the requested public records to the Village within two (2) business days of the request being made by the Village. The undersigned agrees to indemnify and hold harmless the Village from all claims, costs, penalty, losses and injuries (including but not limited to, attorneys' fees, other professional fees, court costs and/or arbitration or other dispute resolution costs) arising out of or relating to its failure to provide the public records to the Village under this Contract.

6.8 LIMITATION OF LIABILITY PROVISIONS.

Notwithstanding any inconsistent or contrary provision in the Contract Documents, the Village shall not be deemed to have agreed to or consented to any limitation of liability provision applicable to the Consultant.

6.9 AUTHORITY TO EXECUTE.

6.9.1 THE VILLAGE.

The Village hereby warrants and represents to the Consultant that the persons executing this Contract on its behalf have been properly authorized to do so by its corporate authorities.

6.9.2 THE CONSULTANT.

The Consultant hereby warrants and represents to the Village that the persons executing this Contract on its behalf have the full and complete right, power, and authority to enter into this Contract and to agree to the terms, provisions, and conditions set forth in this Contract and that all legal actions needed to authorize the execution, delivery, and performance of this Contract have been taken.

6.10 ENTIRE AGREEMENT.

This is the complete Agreement between the Parties with respect to the subject matter and all prior discussions and negotiations are merged into this Agreement. This Agreement is entered into with neither party relying on any statement or representation made by the other party not embodied in this Agreement and there are no other agreements or understanding changing or modifying the terms. This Agreement shall become effective upon final statutory approval of the Village.

7. NOTICE.

7.1 NOTICES REQUIRED OR PERMITTED

All notices required or permitted to be given under this Contract shall be in writing and shall be delivered (1) personally, (2) by a reputable overnight courier, (3) by certified mail, return-receipt requested, and deposited in the U.S. Mail, postage prepaid, or (4) by electronic mail.

Unless otherwise expressly provided in this Contract, notices shall be deemed received upon the earlier of: (a) actual receipt; (b) one business day after deposit with an overnight courier, as evidenced by a receipt of deposit; or (c) four business days following deposit in the U.S. mail, as evidenced by a return receipt.

By notice complying with the requirements of this Section, each party shall have the right to change the address or the addressee, or both, for all future notices and communications to the other party, but no notice of a change of addressee or address shall be effective until actually received.

Notices and communications to the Village shall be addressed to, and delivered at, the following addresses:

Village of Carol Stream
500 N. Gary Avenue
Carol Stream, Illinois 60188
Attn: Director of Engineering Services
EngineeringServices@carolstream.org

Notices and communications to the Consultant shall be addressed and delivered to the person and address for the Consultant identified in their Proposal. To the extent the Consultant desires notices to be sent to a different person and/or address than set forth therein, any such alternative contact person and/or address shall be provided to the Village in writing.

8. TERMINATION.

If the Consultant fails to comply with the terms and conditions of this Agreement or to adequately perform any provisions of this Agreement, the Village may pursue such remedies as are legally available including, but not limited to, the termination of this Agreement in the manner specified herein.

8.1 TERMINATION FOR CAUSE.

If the Consultant fails to comply with the terms and conditions of this Agreement or to adequately perform any provisions of this Agreement, or whenever the Consultant is unable to substantiate full compliance with provisions of this Agreement, the Village may terminate the Agreement pending corrective actions or investigation, effective not less than fourteen (14) calendar days following written notification to the Consultant of its authorized representative. At the end of the fourteen (14) calendar days the Village may terminate the Agreement, in whole or in part, if the Consultant fails to adequately perform any provisions of this Agreement or comply with the terms and conditions of this Agreement and any of the following conditions exist:

- a. The lack of compliance with the provisions of this Agreement was of such scope and nature that the Village deems continuation of the Agreement to be substantially detrimental to the interest of the Village;
- b. The Consultant has failed to take satisfactory action as directed by the Village or its authorized representative within the time period specified by the Village;
- c. The Consultant has failed within the time specified by the Village or its authorized representative to satisfactorily substantiate its compliance with the terms and conditions of this Agreement;

and there upon shall notify the Consultant of termination, the reasons therefore, and the effective date provided such effective date, no charges incurred under any terminated portions of the Scope are allowable.

The Consultant shall continue performance of the Agreement to the extent it hasn't been terminated and shall be liable for all reasonable costs incurred by the Village to procure similar services. The exercising of its rights of termination shall not limit the Village's right to seek any other remedies allowed by law.

8.2 TERMINATION FOR OTHER GROUNDS

This Agreement may also be terminated in whole or in part:

- a. By the Village, when in the interest of the Village or for the convenience of the Village provided that the Village shall give fourteen (14) calendar days written notice of Agreement termination to the Consultant specifying what part(s) of the Agreement are being terminated and when it becomes effective. If the Agreement is terminated for the convenience of the Village as provided herein, the Consultant will be paid for the time

- provided and expenses incurred up to the termination date;
- b. By the Village, with the consent of the Consultant or by the Consultant with the consent of the Village, in which case the Parties shall devise by mutual agreement, the conditions of termination, including effective date and in case of termination in part, that portion to be terminated;
 - c. If the funds allocated by the Village via this Agreement are from anticipated sources of revenue, and if the anticipated sources of revenue do not become available for use in purchasing said services;
 - d. In the event the Village fails to pay the Consultant promptly or within sixty (60) days after invoices are properly rendered, the Village agrees that the Consultant shall have the right to consider said default a breach of this agreement terminated. In such event, the Village shall then promptly pay the Consultant for all services performed and all allowable expenses incurred.

***** END OF GENERAL TERMS AND CONDITIONS *****

Sent via email to gulreich@carolstream.org

June 14, 2021

Mr. Greg Ulreich
Civil/Stormwater Engineer
Village of Carol Stream
Department of Engineering Services
500 North Gary Avenue
Carol Stream, IL 60188

Subject: Proposal for Phase II Engineering Design Services for Klein Creek Stream Bank Stabilization
- Section III Project

Dear Mr. Ulreich:

Engineering Resource Associates, Inc. (ERA) is pleased to submit this proposal for Phase II Engineering Design Services for the Klein Creek Stream Bank Stabilization – Section III Project to the Village of Carol Stream (Village). The proposal is based upon your request for proposal, our knowledge of the project, and our meeting held on May 28, 2021.

Project Understanding

Klein Creek is approximately 12.7 square mile watershed that is tributary to the West Branch DuPage River. The Village is conducting this Project in three phases: Phase I – Concept Design, Preliminary Cost Estimate and Grant Applications were previously completed by ERA under a separate agreement. The DuPage River Salt Creek Workgroup (DRSCW) will 100% fund the stretch downstream of the WWTP outfall. As the DRSCW funds are from the special condition permit they cannot be used in conjunction with IEPA 319h funds. Therefore, the outputs of the IEPA 319h must be created within other areas of the reach. This proposal is for the Phase II – Final Engineering and Contract Preparation that will be partially funded (50%) by the IEPA 319h grant award for Klein Creek between Illini and Mitchell Lakes. Phase III – Construction and Construction Engineering are not included and will be under separate agreements.

Scope of Services

Phase II: The anticipated Scope of Services (Scope) is to create Final Engineering plans with cost and specifications for the Village to use to Bid the project in 2022.

1. Meetings/Coordination –

This task includes additional meetings with Village staff, Carol Stream Library, and Carol Stream Park District. Meetings such as the pre-application Meeting and Village Board meeting will be covered under our existing agreement with the Village for Section I (PO 462-643). ERA will provide meeting minutes

WARRENVILLE

35701 WEST AVENUE, SUITE 150
WARRENVILLE, IL 60555
P 630.393.3060

CHICAGO

10 SOUTH RIVERSIDE PLAZA, SUITE 875
CHICAGO, IL 60606
P 312.474.7841

CHAMPAIGN

2416 GALEN DRIVE
CHAMPAIGN, IL 61821
P 217.351.6268

within 1 week of each meeting for review and distribution to meeting participants by Village staff. The following meetings are anticipated:

- 1.1. One (1) concept design review meeting with Village staff;
- 1.2. One (1) funding coordination meeting with IEPA;
- 1.3. One (1) meeting with Park District & Library;
- 1.4. One (1) resubmittal meeting and coordination with DuPage County Stormwater Management.

In addition to the described meetings, ERA will continue to utilize Microsoft Teams (Teams) to coordinate all project correspondence and files. Additional anticipated coordination tasks include:

- Email, team messages and phone communication between project team staff and Village staff about project status and to answer questions and concerns related to the tasks described within this scope.
- Uploading and downloading information to Teams.

2. Data Gathering/Survey

- 2.1. Topographic Survey and Base Plan - A topographic survey of the study area from Mitchell Lakes to Illini will be performed. This task includes a full topographic survey of the project area. The survey will be completed based on the DuPage County benchmark system. One site benchmark will be established. This task does not include performance of a property boundary survey. ERA anticipates surveying the following:
 - 2.1.0. Topography, wetland flags, toe of slope and top of bank, thalweg, bankfull, edge of pavement, existing retaining walls, foundation/building footprints, curbs, headwalls, utilities, sanitary, storm, and water structures with rim/invert elevations;
 - 2.1.1. Cross sections of the stream at 100 ft maximum intervals (approximately 18 cross sections).
 - 2.1.2. Prepare a base map of existing conditions with an aerial photograph base. Survey and geospatial data will be downloaded and combined with other acquired data (V3 survey of Mitchell lakes area) to produce the base plan. The base plan will show plan and profile of the stream, topography, property boundaries, easements, stream cross section locations, stream geometry (thalweg, top/bottom of bank, bankfull, etc.), structures, utilities, centerline with stationing, sediment sampling locations, 10-year & 100-yr floodplain elevations, floodway boundary, and wetland boundaries. Stream cross sections will also be provided.
- 2.2. Plats of Easement – ERA will provide Plats of Easements for the 11 private properties directly adjacent to Klein Creek.
- 2.3. Tree Inventory – ERA will review 6” Diameter at Breast Height (DBH) or larger trees within the project area. Trees will be tagged, identified and assessed for health. The inventory is necessary to determine quantity to be removed in order to accurately estimate cost for removal and mitigate the loss in environmental function resulting from their removal. The tree inventory will be drafted in AutoCAD and will be included in the final deliverables.
- 2.4. Wetland Delineation - A wetland delineation will be performed to identify the limits of the regulatory wetlands and Waters of the U.S. within the Mitchell lakes to Illini segment of the project. Methods used for delineating wetland will be in accordance with the U.S. Army Corps of Engineers Wetlands Delineation Manual dated 1987 (USACE, 1987) and Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region dated September (USACE, 2008). Wetlands will be staked by pin flag and/or marking tape labeled “wetland delineation.” ERA will prepare a delineation report containing:
 - 2.4.0. U.S. Army Corps of Engineers (USACE) data forms;
 - 2.4.1. ERA will consult with the appropriate Federal and State agencies to determine if any threatened or endangered species are present within the limits of this phase of the project.



A fee may be charged by IDNR for this consultation. This fee is typically \$125, ERA will bill the Village for this Direct Cost.

- 2.4.2. Aerial map exhibit of site showing approximate locations of data sampling points, and wetland delineation lines;
 - 2.4.3. Floristic Quality Assessment;
 - 2.4.4. Wildlife habitat assessment using the Modified Michigan Department of Natural Resources methodology;
 - 2.4.5. Copy of DuPage County wetland map;
 - 2.4.6. Copy of soil map;
 - 2.4.7. Site photos as necessary to describe wetland; and
 - 2.4.8. Narrative of applicable wetland regulations.
- 2.5. Flow Data – The Village has conducted flow monitoring for the past two years. ERA will compile the data and correlate it to actual elevations to confirm the bank full elevations and cross sections.
 - 2.6. Hydraulic Structures – The upstream and downstream limits of the project are at Mitchell Lakes and Illini, respectively. There are three hydraulic structures through the project reach. To get a complete picture of the impacts the project has on water surface elevations and velocities; two of those hydraulic structures will need to be fully surveyed for inclusion in the modified existing model. The survey will obtain the Illini Drive and Armstrong Park Pedestrian Bridge geometric openings, inverts, materials, headwall dimensions, and upstream face cross sections. The survey will include two full cross sections upstream of the Armstrong Park Pedestrian Bridge at 50-ft and 100-ft. The bike path centerline will be surveyed for 200-ft. and three cross sections downstream of Illini at 50-ft, 100-ft and 150-ft. The road centerline of Illini will be surveyed for 250-ft. ERA will use Carol Stream's 2021 survey from V3 of Mitchell Lakes and the associated outlet. A copy of the CADD/Microstation file will be provided for ERA's use.
3. **Soil Borings** – In consultation with the Village, ERA shall subcontract with a TSC to determine the particle size distribution between Mitchell Lakes and Illini and any other areas of concern within the project limits. This includes a minimum of two (2) samples through this reach. The sampling should determine the grain size, soil classification, organic content. An allowance for soil borings has been included.
 4. **Utility Design** - ERA will coordinate with Com Ed regarding the overhead wires along Klein Creek. In several locations the power poles have significant erosion around them and may be compromised. This proposal assumes coordination with ComEd only and does not assume relocation of existing power poles or overhead utilities.
 5. **Earthwork Calculations** - ERA will calculate the volume of topsoil stripping, total cuts and fills. Volumes will be compared and modifications to the grading plan made to attempt to balance the earthwork. The contract documents will address disposing of any excess material at either 245 N Kuhn Rd or 751 Idaho St (Armstrong Park).
 6. **Stormwater Management** - ERA will provide a hydraulic analysis of the existing and proposed improvements using the HEC-RAS computer software modeling program for one-dimensional steady flow. The hydraulic analysis in HEC-RAS will be used to evaluate the final design for compliance with floodplain and floodway regulations. The results of the analysis will be submitted for review to the Village of Carol Stream, DuPage County Stormwater Management and the Illinois Department of Natural Resources, Office of Water Resources (IDNR-OWR). It is anticipated that the floodway review will be delegated to DuPage County Stormwater Management from IDNR-OWR. A CLOMR/LOMR is not anticipated and therefore the regulatory model will not be submitted to FEMA.
 - 6.1. ERA will convert the regulatory hydraulic effective model for Klein Creek from HEC-2 into the FEMA



- acceptable HEC-RAS model. Any effective hydraulic models from LOMRs through the project limits will be incorporated into the duplicate effective model that ERA will create. The information from the effective models will be used to extend the HEC-RAS model downstream of the project limits to join into the model for the Klein Creek Stabilization Project at Thunderbird Trail and by approximately 2300-ft upstream of the Mitchell Lakes outlet, just downstream of Elk Trail. This will encompass three regulatory cross sections that define the Mitchell Lakes southern pond.
- 6.2. ERA will create a modified existing HEC-RAS model that will incorporate three surveyed hydraulic structures and topographic maps with 1-ft contour interval. A corrected effective model is not included in the scope of work as a CLOMR/LOMR from FEMA is not part of the scope of work.
 - 6.3. ERA will create a final proposed HEC-RAS model which will incorporate the proposed river restoration cross-sectional changes, project cut/fills, and vegetation management improvements.
 - 6.4. Indirect Impact Analysis (FEQ Wetland) - ERA will update the working Klein Creek FEQ model to analyze the impact the proposed improvements have on the wetlands through the project limits. The FEQ special output files will be used to produce hydroperiods along Klein Creek to calculate the drawdown time, duration of inundation and highwater elevation changes as they relate to the hydrologic functionality of the wetland. Only the cross section components in FEQUTL (FEQX), the changes to the FEQ input file for special locations and function tables are anticipated to be updated for each of the models listed below:
 - 6.4.0. Baseline Model - Run the existing conditions FEQ model of Klein Creek to ensure the stability of the current model. If the current model, as received by DuPage County, does not run, then the Klein Creek Watershed Model from 2010 will be used.
 - 6.4.1. Modified Existing Model - Update 8 Baseline Model's cross sections with project survey data.
 - 6.4.2. Proposed Model - Update the 8 modified existing cross sections through the project limits with the proposed improvements. The anticipated proposed conditions FEQ components include new proposed cross-sections to reflect the stream remeander and vegetation management improvements.
 - 6.4.3. Run an inundation duration analysis using the FEQ model to evaluate the wetland planting conditions.
 - 6.5. Compensatory Storage Calculations - ERA will evaluate the cut and fills for the proposed improvements utilizing an earthwork volume utility in AutoCAD. Compensatory Storage will be calculated using the regulatory 10- and 100-yr flood elevations. The overall project site is required to provide compensatory storage equal to at least 1.5 times the volume of flood plain fill. The storage shall be provided incrementally between the 0-10-yr and the 10-100-yr flood recurrence intervals at a minimum ratio of 1:1 cut to fill with the remaining required compensatory storage being provided at any interval. Floodway cut and fill calculations shall also be provided showing a minimum ratio of 1:1 cut to fill within the floodway. ERA will provide compensatory storage calculations in tabular form with to-scale cross-sections for submittal with the permit application.
 - 6.6. Stormwater Report - ERA will include this reach in the final report covered under our existing agreement with the Village for Section I (PO 462-643) that will contain a summary of the design calculations, the hydraulic model results and compliance with required permits such as compensatory storage requirements. The final report will be used to obtain floodway, stormwater management and building permits. This report will be in the format of the DuPage County stormwater tabular submittal.

The anticipated deliverables for these tasks include the following:

- Existing conditions HEC-RAS model
- Proposed conditions HEC-RAS model
- Compensatory Storage Tabular Calculations
- Stormwater Report



7. Environmental Design

- 7.1. Wetland mitigation – Approximately 1.4 acres of wetland mitigation will be designed based upon planned hydrology and on-site available soils. The mitigation plan will include a soil management plan, inundation duration analysis, proposed monitoring well locations, proposed seed and plug mixes, and proposed maintenance and monitoring plan.
- 7.2. Naturalized Upland Restoration - A riparian, prairie, savanna, and woodland enhancement and restoration plan will be designed using the H&H modeling to determine the type of vegetation needed for each zone. The functions of the existing woody vegetation will be replaced by determining the type and quality of the existing woody vegetation identified by the tree inventory and field assessments.
- 7.3. In-Stream Improvements – ERA will finalize the river restoration and bank stabilization conceptual design. This includes finalizing the proposed bankfull width; elevations for riffles or rock substrate areas and bank stabilization measures; locations for stream barbs and large woody debris; and sediment transport analysis using HEC-RAS for the alignment and practices proposed.
- 7.4. Path/Boardwalk Design – ERA will investigate the various options for the path between Mitchell Lakes and the Library. This includes a berm with a path between the wetland mitigation area and the creek or a boardwalk over the proposed wetland mitigation area.

- 8. Permitting and Alternative Funding Assistance** - ERA will include this reach in the permit application(s) and Alternative Funding Assistance under our existing agreement with the Village for Section I (PO 462-643). Additional effort identified includes exhibits, results tables and associated narratives for this reach.

9. Construction Documents

- 9.1. The following is a list of additional anticipated plan sheets for inclusion with the downstream segment:
 - Traffic Control/Construction Staging Plan – 1 Plan Sheets
 - Existing Conditions – 2 Plan Sheets
 - Demolition & Utility Plans – 2 Sheets
 - Detailed Grading Plan w/Key Map – 2 Plan Sheets
 - Proposed Plan & Profile Sheets (1"=20'H, 1"=2'V) – 2 Plan Sheets
 - Cross Sections – 3 Plan Sheets
 - Wetland Mitigation Plan – 2 Plan Sheets
 - Stormwater Pollution Prevention Plan – 2 Plan Sheets
- 9.2. 50% Completion Phase PS&E - ERA will prepare preliminary plans showing the scope and extent of the proposed improvements including the overbank cut/fills, access plan, river restoration, wetland mitigation, planting plan, preliminary tree removal, preliminary cost estimate.
- 9.3. Pre-final 95% Completion Phase PS&E - ERA will provide 95% complete plans, specs and estimates as described below.
 - Upon receipt of preliminary PS&E review comments, ERA will prepare a complete set of pre-final PS&E for the project for submittal to the IEPA for their review and approval
 - Specifications will be prepared in IDOT standard format. Bid documents and unit price bid item quantities will be included.
 - An updated engineer's opinion of probable construction cost will be prepared and submitted.
- 9.4. Final 100% Completion Phase PS&E - Upon receipt of pre-final PS&E review comments from the Village and IEPA, ERA will prepare a complete set of Final PS&E to accommodate bidding and construction of the proposed improvements. The following are anticipated deliverables for Final PS&E.
 - AutoCAD & PDF files to Village.



- One (1) reduced size (11"x17") plan sets.
- Two (2) full sized (24"x36") plan sets.
- It is our understanding that Village will provide the majority of the General Conditions and the Special Conditions for the bid docs; however, ERA will provide the Special Provisions in addition to the actual bid sheet in Excel, and the engineer's estimate of probable cost in Excel format. ERA will utilize the Village's templates for preparation of the special provisions.

Exclusions

FEQ Modeling for Stormwater, Floodplain or Floodway permits
Updates to hydraulic structures in the FEQ model for the indirect impact analysis
Debugging/attempting to stabilize the FEQ model by truncating the Klein Creek FEQ model
Modifications to Level Pool Reservoirs in FEQ
CLOMR/LOMR Analysis and Permit Submittal
Hydrologic updates to the regulatory or FEQ models
Revisions to the engineering plans or hydraulic models to address permit reviews
Permit and Agency Consultation Fees

Fees

The cost associated with the services included in this proposal will be hourly, not-to-exceed fee, according to the attached schedule. Invoices will be issued monthly reflecting the percent of the project completed as of the "services thru" date on the invoice. Direct costs/reimbursables including printing costs, mileage and postage will be charged at the actual rate incurred.

Fees for services beyond the scope of this proposal, when approved by the Client, will be compensated for on an hourly basis in accordance with the attached table.

Please send payment(s) to:

3s701 West Ave., Suite #150, Warrenville IL 60555

Credit Card payments are also accepted over the phone, via email, or in the office with a 3.5% processing fee added.

We appreciate the opportunity to submit this proposal and trust that it meets with your approval.

If you have any questions, please contact me at 630-393-3060x1041 or epande@eraconsultants.com.

Sincerely,
ENGINEERING RESOURCE ASSOCIATES, INC.
WARRENVILLE



Erin Pande, PWS, CFM

ERP/kkp
Attachments
Enclosure



**PAYROLL ESCALATION TABLE
FIXED RAISES**

FIRM NAME
PRIME/SUPPLEMENT
Prepared By

Engineering Resource Assoc
Prime

DATE 06/14/21
PTB-ITEM# 199

CONTRACT TERM 12 MONTHS
START DATE 3/1/2021
RAISE DATE 4/1/2021

END DATE 2/28/2022

OVERHEAD RATE 133.00%
COMPLEXITY FACTOR 0
% OF RAISE 2%

ESCALATION PER YEAR

<u>year</u>	<u>First date</u>	<u>Last date</u>	<u>Months</u>	<u>% of Contract</u>
0	3/1/2021	4/1/2021	1	8.33%
1	4/2/2021	3/1/2022	11	93.50%

The total escalation = 1.83%

PAYROLL RATES

FIRM NAME Engineering Resource A **DATE** 06/14/21
PRIME/SUPPLEMENT Prime
PTB-ITEM # 199

ESCALATION FACTOR **1.83%**

Note: Rates should be capped on the AVG 1 tab as necessary

CLASSIFICATION	IDOT PAYROLL RATES ON FILE	CALCULATED RATE
Professional Engineer VI	\$75.00	\$76.38
Professional Engineer V	\$75.00	\$76.38
Professional Engineer IV	\$65.50	\$66.70
Professional Engineer III	\$56.92	\$57.96
Professional Engineer II	\$46.13	\$46.98
Professional Engineer I	\$37.32	\$38.00
Structural Engineer IV	\$65.00	\$66.19
Structural Engineer III	\$45.00	\$45.83
Staff Engineer III	\$41.25	\$42.01
Staff Engineer II	\$34.00	\$34.62
Staff Engineer I	\$31.50	\$32.08
Engineering Technician V	\$42.67	\$43.45
Engineering Technician IV	\$38.50	\$39.21
Engineering Technician III	\$30.50	\$31.06
Engineering Intern II	\$25.00	\$25.46
Engineering Intern I	\$16.33	\$16.63
Ecological Services Director	\$51.00	\$51.94
Environmental Specialist I	\$27.38	\$27.88
Professional Surveyor II	\$47.00	\$47.86
Surveyor III	\$33.25	\$33.86
Administrative Staff IV	\$37.00	\$37.68
Administrative Staff III	\$30.00	\$30.55
Administrative Staff II	\$24.50	\$24.95
Engineering Technician II	\$27.00	\$27.50
Professional Surveyor I	\$43.00	\$43.79
Surveyor II	\$25.50	\$25.97
Administrative Director	\$47.00	\$47.86

Subconsultants

FIRM NAME Engineering Resource Assoc
PRIME/SUPPLEMENT Prime
PTB-ITEM # 199

DATE 06/14/21

NAME	Direct Labor Total	Contribution to Prime Consultant
Soil Borings	4,545.45	454.55
Total	4,545.45	454.55

**COST PLUS FIXED FEE
COST ESTIMATE OF CONSULTANT SERVICES**

Bureau of Design and Environment
Prepared By: Consultant

FIRM
PTB-ITEM #
PRIME/SUPPLEMENT

Engineering Resource Assoc
199
Prime

OVERHEAD RATE 133.00%
COMPLEXITY FACTOR 0

DATE 06/14/21

DBE DROP BOX	ITEM	MANHOURS (A)	PAYROLL (B)	OVERHEAD & FRINGE BENF (C)	DIRECT COSTS (D)	FIXED FEE (E)	SERVICES BY OTHERS (G)	DBE TOTAL (H)	TOTAL (B-G)	% OF GRAND TOTAL
	Meetings/Coordination	40	2,027	2,695		669		-	5,391	4.76%
	Topographic Survey & Base Plan	128	4,371	5,813	150	1,442		-	11,776	10.39%
	Plat of Easement (11 total)	88	2,694	3,583		889		-	7,166	6.33%
	Tree Inventory	25	721	959		238		-	1,918	1.69%
	Wetland Delineation	21	610	811	50	201		-	1,672	1.48%
	Flow Data	7	250	333		83		-	666	0.59%
	Hydraulic Structures	22	890	1,183	50	294		-	2,417	2.13%
	Electrical Coordination	10	351	466		116		-	933	0.82%
	Earthwork Calculations	14	570	758		188		-	1,516	1.34%
	Regulatory Hydraulic Effective Model	24	930	1,237		307		-	2,474	2.18%
	Modified Existing HEC-RAS Model	72	2,888	3,841		953		-	7,682	6.78%
	Proposed HEC-RAS model	64	2,512	3,341		829		-	6,682	5.90%
	Indirect Impact Analysis	61	2,248	2,990		742		-	5,980	5.28%
	Compensatory Storage Calculations	20	813	1,081		268		-	2,162	1.91%
	Stormwater Report	46	1,790	2,381		591		-	4,762	4.20%
	Environmental/Trail Design	88	3,061	4,071		1,010		-	8,142	7.19%
	Federal & State Permits	19	768	1,021		253		-	2,042	1.80%
	County & Local Permits	23	843	1,122		278		-	2,243	1.98%
	Alternative Funding Assistance	6	210	280		69		-	559	0.49%
	50% Completion Phase PS&E	128	5,064	6,735	100	1,671		-	13,570	11.98%
	Pre-final 95% Completion Phase PS&E	94	3,678	4,892	50	1,214		-	9,834	8.68%
	Final 100% Completion Phase PS&E	65	2,556	3,400	50	843		-	6,849	6.05%
	Bidding Assistance	20	698	928		230		-	1,856	1.64%
	Soil Borings		-	-		-	4,545.45	-	4,545	4.01%
			-	-		-		-	-	-
			-	-		-		-	-	-
			-	-		-		-	-	-
			-	-		-		-	-	-
			-	-		-		-	-	-
			-	-		-		-	-	-
			-	-		-		-	-	-
	Subconsultant DL					455			455	0.40%
	TOTALS	1085	40,543	53,921	450	13,833	4,545	-	113,292	100.00%

94,464

DBE 0.00%

AVERAGE HOURLY PROJECT RATES

FIRM Engineering Resource Assoc
PTB-ITEM# 199
PRIME/SUPPLEMENT Prime

DATE 06/14/21

SHEET 1 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	TOTAL PROJ. RATES			Meetings/Coordination			Topographic Survey & Bas			Plat of Easement (11 total)			Tree Inventory			Wetland Delineation		
		Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg
Professional Engineer VI	76.38	0.0																	
Professional Engineer V	76.38	17.0	1.57%	1.20	4	10.00%	7.64	1	0.78%	0.60									
Professional Engineer IV	66.70	0.0																	
Professional Engineer III	57.96	0.0																	
Professional Engineer II	46.98	171.0	15.76%	7.40	16	40.00%	18.79												
Professional Engineer I	38.00	0.0																	
Structural Engineer IV	66.19	0.0																	
Structural Engineer III	45.83	0.0																	
Staff Engineer III	42.01	0.0																	
Staff Engineer II	34.62	304.0	28.02%	9.70	4	10.00%	3.46												
Staff Engineer I	32.08	40.0	3.69%	1.18															
Engineering Technician V	43.45	104.0	9.59%	4.17															
Engineering Technician IV	39.21	0.0																	
Engineering Technician III	31.06	73.0	6.73%	2.09				40	31.25%	9.71	33	37.50%	11.65						
Engineering Intern II	25.46	0.0																	
Engineering Intern I	16.63	0.0																	
Ecological Services Directo	51.94	57.0	5.25%	2.73	16	40.00%	20.77	2	1.56%	0.81				1	4.00%	2.08	1	4.76%	2.47
Environmental Specialist I	27.88	171.0	15.76%	4.39										24	96.00%	26.77	20	95.24%	26.55
Professional Surveyor II	47.86	16.0	1.47%	0.71				5	3.91%	1.87	11	12.50%	5.98						
Surveyor III	33.86	88.0	8.11%	2.75				80	62.50%	21.16									
Administrative Staff IV	37.68	0.0																	
Administrative Staff III	30.55	0.0																	
Administrative Staff II	24.95	0.0																	
Engineering Technician II	27.50	0.0																	
Professional Surveyor I	43.79	0.0																	
Surveyor II	25.97	44.0	4.06%	1.05							44	50.00%	12.98						
Administrative Director	47.86	0.0																	
TOTALS		1085.0	100%	\$37.37	40.0	100.00%	\$50.66	128.0	100%	\$34.15	88.0	100%	\$30.61	25.0	100%	\$28.84	21.0	100%	\$29.03

AVERAGE HOURLY PROJECT RATES

FIRM Engineering Resource Assoc
 PTB-ITEM# 199
 PRIME/SUPPLEMENT Prime

DATE 06/14/21
 SHEET 2 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	Flow Data			Hydraulic Structures			Electrical Coordination			Earthwork Calculations			Regulatory Hydraulic Effective			Modified Existing HEC-RAS Model		
		Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg
Professional Engineer VI	76.38																		
Professional Engineer V	76.38																		
Professional Engineer IV	66.70																		
Professional Engineer III	57.96																		
Professional Engineer II	46.98	2	28.57%	13.42	8	36.36%	17.08	2	20.00%	9.40	2	14.29%	6.71	8	33.33%	15.66	32	44.44%	20.88
Professional Engineer I	38.00																		
Structural Engineer IV	66.19																		
Structural Engineer III	45.83																		
Staff Engineer III	42.01																		
Staff Engineer II	34.62				2	9.09%	3.15							16	66.67%	23.08	40	55.56%	19.24
Staff Engineer I	32.08	4	57.14%	18.33				8	80.00%	25.66	4	28.57%	9.17						
Engineering Technician V	43.45				4	18.18%	7.90				8	57.14%	24.83						
Engineering Technician IV	39.21																		
Engineering Technician III	31.06																		
Engineering Intern II	25.46																		
Engineering Intern I	16.63																		
Ecological Services Director	51.94																		
Environmental Specialist I	27.88	1	14.29%	3.98															
Professional Surveyor II	47.86																		
Surveyor III	33.86				8	36.36%	12.31												
Administrative Staff IV	37.68																		
Administrative Staff III	30.55																		
Administrative Staff II	24.95																		
Engineering Technician II	27.50																		
Professional Surveyor I	43.79																		
Surveyor II	25.97																		
Administrative Director	47.86																		
TOTALS		7.0	100%	\$35.73	22.0	100%	\$40.44	10.0	100%	\$35.06	14.0	100%	\$40.71	24.0	100%	\$38.74	72.0	100%	\$40.11

AVERAGE HOURLY PROJECT RATES

FIRM Engineering Resource Assoc
PTB-ITEM# 199
PRIME/SUPPLEMENT Prime

DATE 06/14/21
SHEET 3 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	Proposed HEC-RAS model			Indirect Impact Analysis			Compensatory Storage Calculation			Stormwater Report			Environmental/Trail Design			Federal & State Permits		
		Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg
Professional Engineer VI	76.38										2	4.35%	3.32				2	10.53%	8.04
Professional Engineer V	76.38																		
Professional Engineer IV	66.70																		
Professional Engineer III	57.96																		
Professional Engineer II	46.98	24	37.50%	17.62	14	22.95%	10.78	4	20.00%	9.40	8	17.39%	8.17	8	9.09%	4.27	4	21.05%	9.89
Professional Engineer I	38.00																		
Structural Engineer IV	66.19																		
Structural Engineer III	45.83																		
Staff Engineer III	42.01																		
Staff Engineer II	34.62	40	62.50%	21.64	38	62.30%	21.57	8	40.00%	13.85	24	52.17%	18.06	24	27.27%	9.44	6	31.58%	10.93
Staff Engineer I	32.08													24	27.27%	8.75			
Engineering Technician V	43.45							8	40.00%	17.38									
Engineering Technician IV	39.21																		
Engineering Technician III	31.06																		
Engineering Intern II	25.46																		
Engineering Intern I	16.63																		
Ecological Services Directo	51.94				1	1.64%	0.85				4	8.70%	4.52	8	9.09%	4.72	1	5.26%	2.73
Environmental Specialist I	27.88				8	13.11%	3.66				8	17.39%	4.85	24	27.27%	7.60	6	31.58%	8.80
Professional Surveyor II	47.86																		
Surveyor III	33.86																		
Administrative Staff IV	37.68																		
Administrative Staff III	30.55																		
Administrative Staff II	24.95																		
Engineering Technician II	27.50																		
Professional Surveyor I	43.79																		
Surveyor II	25.97																		
Administrative Director	47.86																		
TOTALS		64.0	100%	\$39.26	61.0	100%	\$36.86	20.0	100%	\$40.63	46.0	100%	\$38.92	88.0	100%	\$34.79	19.0	100%	\$40.40

AVERAGE HOURLY PROJECT RATES

FIRM Engineering Resource Assoc
PTB-ITEM# 199
PRIME/SUPPLEMENT Prime

DATE 06/14/21
SHEET 4 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	County & Local Permits			Alternative Funding Assistance			50% Completion Phase PS&E			Pre-final 95% Completion Phase			Final 100% Completion Phase			Bidding Assistance		
		Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg	Hours	% Part.	Wgt'd Avg
Professional Engineer VI	76.38																		
Professional Engineer V	76.38	1	4.35%	3.32				4	3.13%	2.39	2	2.13%	1.63	1	1.54%	1.18			
Professional Engineer IV	66.70																		
Professional Engineer III	57.96																		
Professional Engineer II	46.98	2	8.70%	4.08	1	16.67%	7.83	16	12.50%	5.87	10	10.64%	5.00	8	12.31%	5.78	2	10.00%	4.70
Professional Engineer I	38.00																		
Structural Engineer IV	66.19																		
Structural Engineer III	45.83																		
Staff Engineer III	42.01																		
Staff Engineer II	34.62	10	43.48%	15.05				36	28.13%	9.74	28	29.79%	10.31	20	30.77%	10.65	8	40.00%	13.85
Staff Engineer I	32.08																		
Engineering Technician V	43.45							36	28.13%	12.22	28	29.79%	12.94	20	30.77%	13.37			
Engineering Technician IV	39.21																		
Engineering Technician III	31.06																		
Engineering Intern II	25.46																		
Engineering Intern I	16.63																		
Ecological Services Director	51.94	2	8.70%	4.52	1	16.67%	8.66	8	6.25%	3.25	6	6.38%	3.32	4	6.15%	3.20	2	10.00%	5.19
Environmental Specialist I	27.88	8	34.78%	9.70	4	66.67%	18.59	28	21.88%	6.10	20	21.28%	5.93	12	18.46%	5.15	8	40.00%	11.15
Professional Surveyor II	47.86																		
Surveyor III	33.86																		
Administrative Staff IV	37.68																		
Administrative Staff III	30.55																		
Administrative Staff II	24.95																		
Engineering Technician II	27.50																		
Professional Surveyor I	43.79																		
Surveyor II	25.97																		
Administrative Director	47.86																		
TOTALS		23.0	100%	\$36.67	6.0	100%	\$35.07	128.0	100%	\$39.56	94.0	100%	\$39.13	65.0	100%	\$39.32	20.0	100%	\$34.89

AVERAGE HOURLY PROJECT RATES

FIRM Engineering Resource Assoc
PTB-ITEM# 199
PRIME/SUPPLEMENT Prime

DATE 06/14/21
SHEET 5 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	Soil Borings																	
		Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg			
Professional Engineer VI	76.38																		
Professional Engineer V	76.38																		
Professional Engineer IV	66.70																		
Professional Engineer III	57.96																		
Professional Engineer II	46.98																		
Professional Engineer I	38.00																		
Structural Engineer IV	66.19																		
Structural Engineer III	45.83																		
Staff Engineer III	42.01																		
Staff Engineer II	34.62																		
Staff Engineer I	32.08																		
Engineering Technician V	43.45																		
Engineering Technician IV	39.21																		
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Professional Surveyor II	47.86																		
Surveyor III	33.86																		
Administrative Staff IV	37.68																		
Administrative Staff III	30.55																		
Administrative Staff II	24.95																		
Engineering Technician II	27.50																		
Professional Surveyor I	43.79																		
Surveyor II	25.97																		
Administrative Director	47.86																		
TOTALS		0.0	0%	\$0.00	0.0	0%	\$0.00	0.0	0%	\$0.00	0.0	0%	\$0.00	0.0	0%	\$0.00	0.0	0%	\$0.00

Village of Carol Stream
Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Gregory R. Ulreich, Stormwater Administrator *GRU*

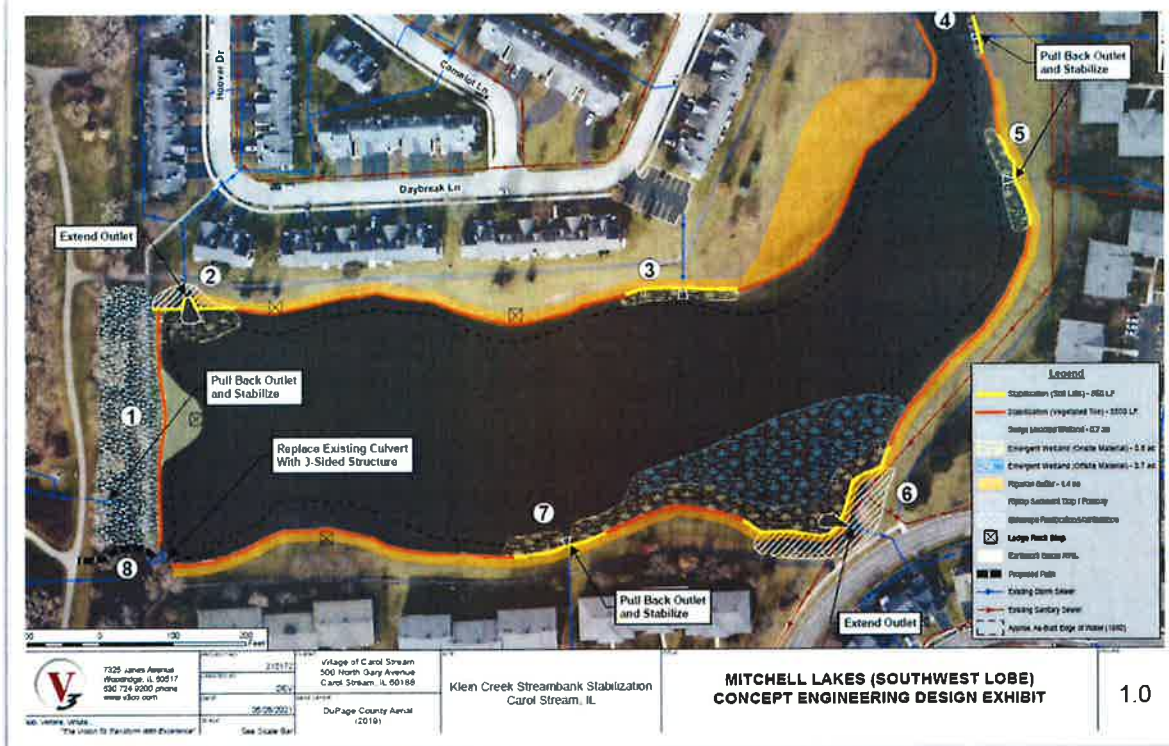
DATE: June 16, 2021

RE: **Recommendation for Award per CSMC § 5-8-3(A)(1)**
To: V3 Companies, Ltd.
For: Professional Services Agreement (Concept Phase)
Re: Klein Creek Stream Bank Stabilization – Section II

As discussed in the award memo to Engineering Resource Associates for the Phase II Design of Section III (dated June 16, 2021), the DuPage River Salt Creek Workgroup (DRSCW) will be providing the Village \$1,100,000.00 from their special conditions project fund for half of Klein Creek Stream Bank Stabilization – Section I (aka Section I-A). However, the funding is predicated on the Village relocating the corresponding “Outputs” from its Inter-governmental Grant Agreement (IGGA) with the Illinois Environmental Protection Agency (IEPA) (see Resolution No. 3170) from Section I-A to another location along Klein Creek (i.e. Section III).

In anticipation of the DRSCW’s decision, the Village awarded V3 Construction Group Ltd. (V3) with a Professional Services Agreement in March 2021 to perform bathymetric surveying and concept engineering design for restoring Mitchell Lakes (Southwest Lobe only). Staff’s intent was that upon the DRSCW’s approval, some of the “Outputs” originally earmarked for Section I-A would then be relocated to Mitchell Lakes. The resulting Concept Engineering Design Exhibit (see figure below) is estimated to cost approximately \$1.5 million for design and construction.

Upon further discussion with our consultants, staff has decided that the best course of action is to combine the rehabilitation of Mitchell Lakes (Southwest Lobe) with the streambank stabilization of Section II of Klein Creek (Illini Drive to Thunderbird Trail). This is because Section II is highly channelized (i.e. artificially straightened) and is completely contained within the backyards of single-family residential homes that front onto Silverleaf Boulevard, Hiawatha Drive and Seminole Lane. These space restraints significantly reduce the Village’s chances to receive grant funding when compared to applications that include such features as those proposed for the restoration of Mitchell Lakes (e.g. Wetland Restoration, etc.). Therefore, combining Section II with Mitchell Lakes will give grantors the impression that their funds will produce more “bang for the buck” when they are deciding between applications in what is known to be a very competitive grant program.



The Scope of Work for the subject agreement will consist of two parts. The first part will be to identify solutions for stabilizing the approximately 2,200 linear feet of streambanks along Klein Creek between Illini Drive and Thunderbird Trail (i.e. Section II). A site investigation will be used to identify existing conditions that would affect the constructability, estimate the impact to private property (e.g. garages, sheds, fences, etc.), and approximate the extent of tree and shrub removal. The second part will be to develop an application for IEPA 319 grant funds by combining Section II with the restoration of Mitchell Lakes (South Lobe only) into a single project. The application deadline for this calendar year is July 30, 2021.

The first part is proposed to cost \$7,500.00, while the second part is proposed to cost \$4,500.00. The labor hours for each line item of the proposal were reviewed and determined to be fair and reasonable. Therefore, the total proposal is for a not-to-exceed amount of \$12,000.00.

V3 Companies, Ltd. (V3) is a multi-disciplinary firm that provides construction services in addition to professional engineering services. It was their construction division that successfully completed the Kehoe Boulevard Streambank Stabilization project last year, as well as a project for the DuPage County Forest Preserve District that is similar in size and complexity to this potential Mitchell Lakes project. Their firm also has extensive experience in the design and implementation of bio-engineering techniques for stabilizing streambanks, as well as floodway and floodplain modeling. Their unique combination of construction and engineering expertise was the reason for staff selecting them for this concept phase.

For Section II, the 5 Year CIP (as of FY21) projects \$100,000 in FY25 for Phase II - Design and \$2,500,000 in FY26 for Phase III - Construction. In order to execute the subject agreement this fiscal year (\$12,000), as well as cover the \$18,718 previously encumbered for the restoration of Mitchell Lakes (Southwest Lobe only), staff can redistribute from other projects within the FY22 Stormwater Utilities budget via various scope reductions and funding deferrals (see table below). Until more information is available, the aforementioned \$2,500,000 will remain in FY26.

Capital Improvement Program (\$000's)			
FY22 Projects	Budgeted	Revised	Increase/Decrease
Roadway Drainage Improvements	\$225	\$145	- \$80 ¹
Klein Creek Section I (A&B)	\$100	\$140	+ \$40 ²
Klein Creek Section II	\$0	\$31	+ \$31³
Klein Creek Section III	\$50	\$115	+ \$65 ⁴
Fullerton/Kimberly Drainage Study	\$60	\$104	+ \$44 ⁵
Public Detention Rehab.	\$150	\$50	- \$100 ⁶
SubTotal	\$585	\$585	\$0
¹ Decrease resulting from reduction in scope of work based on recent inspections.			
² Increase required to cover PO 462-643 (\$135,789).			
³ Increase as proposed under this memo.			
⁴ Increase as proposed under a separate memo dated 06/16/21 (\$115,000).			
⁵ Increase required to cover PO 462-641 (\$103,119).			
⁶ Deferred work to future FY and cost savings thru contract consolidation.			

The reason that staff is proposing an advancement in the programmed funding for the Phase II Design is to provide the option for the Village to re-apply for subsequent IEPA 319 grant cycles should this initial attempt be unsuccessful.

Therefore, staff recommends awarding a professional services agreement without bids in accordance with CSMC § 5-8-13(A)(1) for Concept Phase Engineering to V3 Companies, LTD. for concept engineering design and IEPA 319 grant application for the Klein Creek Streambank Stabilization – Section II Project in the Cost Plus Fixed Fee amount of \$12,000.00 and a completion date of July 30, 2021.

cc: William N. Cleveland, Director of Engineering Services (via email)
 Phil Modaff, Director of Public Works (via email)
 Jon Batek, Director of Finance (via email)

Attachment:

1. Village's Professional Services Agreement w/Proposal



Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • ROBERT MELLOR, MANAGER
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899
(630) 665-7050 • FAX (630) 665-1064
www.carolstream.org

PROFESSIONAL SERVICES AGREEMENT

“KLEIN CREEK STREAM BANK STABILIZATION – SECTION II (CONCEPT PHASE)”

THIS CONTRACT (“Contract”) is made by and between the **VILLAGE OF CAROL STREAM**, an Illinois municipal corporation and home rule unit of government, (hereinafter referred to as the "Village") and **V3 COMPANIES, LTD.** (hereinafter referred to as the "Consultant") and its successors.

IN CONSIDERATION OF the recitals and the mutual covenants and agreements set forth in this Contract, the sufficiency of which is hereby acknowledged, the parties agree as follows:

1. This contract shall embrace and include all of the Contract Documents listed below and shall be incorporated herein by reference:
 - a. This Contract
 - b. General Terms and Conditions
 - c. Proposal for Professional Services dated June 2, 2021 (hereinafter referred to as the “Proposal”).
 - i. Project Understanding
 - ii. Scope of Services (Professional Engineering)
 - iii. Compensation
 - iv. Miscellaneous Contractual Items
 - v. Exhibit A: Billing Rate Schedule (01/01/2021-12/31/2021)
 - d. Certificate(s) of Insurance
2. The Consultant shall sign this Contract and return it to the Village along with the Certificate(s) of Insurance required per the General Terms and Conditions. The Consultant shall not commence work under this Contract until provided with a fully-executed Contract and a written Notice to Proceed from the Village.

VILLAGE OF CAROL STREAM

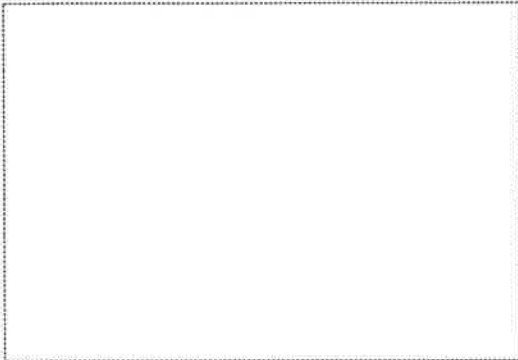
3. This Contract and the Contract Documents represent the entire Agreement between the parties and may not be modified without the written approval of both parties.

IN WITNESS WHEREOF, the Consultant has hereunto set their hands this ____ day of _____, 2021.

(Printed Name)

(Printed Title)

(Signature)

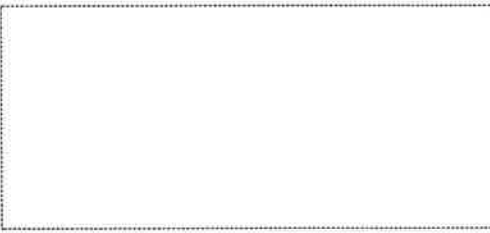


(Corporate Seal)

NOTARY PUBLIC – STATE OF ILLINOIS

Subscribed and Sworn to before me this ____ day of _____, 2021

(Signature)



(Notary Seal)

THE VILLAGE OF CAROL STREAM, ILLINOIS

IN WITNESS WHEREOF, the Village has hereunto set their hands this ____ day of _____, 2021.

By _____ Director of Engineering Services

I. GENERAL TERMS & CONDITIONS

1. SCOPE OF SERVICES.

1.1 SERVICES TO BE PROVIDED BY THE PARTIES.

All services described in the Scope of Services (Scope) of the Proposal shall be performed by the Consultant in a prompt and expeditious manner with the professional skill and judgment in accordance with the professional standards applicable to the services that are rendered for the Project. The Consultant shall be responsible for all services provided under this Agreement whether such services are provided directly by the Consultant or by sub-consultants hired by the Consultant. The Consultant will perform the work activities described in the Scope promptly and without unreasonable delay and will give all projects such priority as is necessary to cause the services to be provided hereunder to be properly performed in a timely manner and consistent with sound professional practices.

1.1 RELATIONSHIP

The relationship of the Consultant to the Village shall be that of an independent consultant rendering professional services. The Consultant shall have no authority to execute contracts or to make commitments on behalf of the Village and nothing contained herein shall be deemed to create the relationship of employer and employee or principal and agent between the Village and the Consultant.

1.1 ACCESS TO INFORMATION

The Village shall provide any data, reports, records, and maps for the project that are in the possession of the Village. No charge will be made to the Consultant for such information, and the Village will cooperate with the Consultant to facilitate the performance of the work described in this Agreement.

1.1 PERSONNEL

The Consultant represents that he has, or will secure at his own expense, all personnel and equipment required in order to perform under this Agreement. Such personnel shall not be employees of, or have any contractual relationship to, the Village.

All services required hereunder will be performed by the Consultant or under his supervision and all personnel engaged in the work shall be fully qualified and shall be authorized or permitted under state or local law to perform such services.

None of the work or services covered by this Agreement shall be subcontracted without prior written approval of the Village. Any work or services subcontracted hereunder shall be specified in written contract or agreement and shall be subject to each provision of this Agreement.

1.1 REPORTS AND INFORMATION

The Consultant, at such times and in such forms as the Village may require, shall furnish the Village such periodic reports as it may request pertaining to the work or services undertaken pursuant to this Agreement, the costs and obligations incurred or to be incurred in connection therewith, any affidavit or certificate, in connection with the work covered by this agreement as provided by law and any other matters covered by this Agreement.

1.6 FINDINGS CONFIDENTIAL

All of the reports, information, data, etc., prepared or assembled by the Consultant under this Agreement are confidential and the Consultant agrees that they shall not be made available to any individual or organization without prior written approval of the Village.

1.6 COPYRIGHT

No report, maps, or other documents produced in whole or in part under this Agreement shall be subject of an application for copyright by or on behalf of the Consultant. Any such materials produced as a result of this Agreement that might be subject to copyright shall be the property of the Village and all such rights shall belong to the Village, and the Village shall be sole and exclusive entity who may exercise such rights.

1.6 ERRORS & OMISSIONS

Consultant shall correct, at no cost to the Village, any and all errors, omissions, or ambiguities in the work product and services provided or submitted to the Village. If the Consultant has prepared plans and specifications or other design documents to be used in construction of a project or provided services, Consultant shall be obligated to correct any and all errors, omissions or ambiguities in the work product or services discovered prior to and during the course of construction of the project. This obligation shall survive termination of this Agreement.

2. COMPENSATION AND METHOD OF PAYMENT.

2.1 COMPENSATION.

The Village shall pay the Consultant in accordance with the hourly rate charges contained in **Exhibit A attached to its Proposal, up to the not-to-exceed cost plus fixed fee amount of \$12,000.00** for all services to be provided under this Agreement, including such allowable expenses agreed upon by the parties herein to provide and complete the Scope. Reimbursement under this Agreement shall be based on invoices, supported by appropriate documentation of costs actually incurred.

2.2 RECORDS.

The Consultant agrees to maintain records and a system of accounting consistent with generally accepted accounting principles and follow such procedures as may be required by the Village. Such records shall include all information pertaining to the Agreement, payroll, receipted invoices, obligations and unobligated balances, assets and liabilities, expenses and outlays, equal opportunity, labor standards (as appropriate), and performance.

All such records and all other records pertinent to this Agreement and work undertaken under this Agreement shall be retained by the Consultant for a period of at least four (4) years after completion of this Agreement, unless a longer period is required to resolve audit findings, litigation or required by state or federal regulations. In such cases, the Village shall request a longer period of record retention.

The Village shall have full access and the right to examine any and all pertinent documents, documents, records, and books of the Consultant involving Consultant's services on projects arising under this Agreement.

2.3 CHANGES, MODIFICATIONS AND AMENDMENTS.

Since some of the Consultant's services are being provided on an as-needed basis, the amount of services may be less than anticipated. The Village makes no guarantee as to the minimum amount of services that will be required under the Agreement and no adjustment in the fee will be made if the actual amount of services is less than what is anticipated. However, the Village may, from time to time, require changes or modifications in the Scope to be performed hereunder. Such changes, including any decrease in the amount of compensation therefore, which are mutually agreed upon by the Village and the Consultant, shall be incorporated in written amendments to this Agreement. No amendment or variation of the terms of this Agreement shall be valid unless made in writing, signed by the Parties and approved as required by law. No oral understanding or agreement not incorporated in the Agreement is binding on any of the Parties.

2.4 TAXES.

Consultant acknowledges that the Village is a tax exempt entity under the laws of the State of Illinois and that the Village shall, as part of its undertakings under this Contract, provide to the Consultant all certificates of exemptions and tax exempt numbers needed to entitle Consultant to purchase material and other items to be used on the Work or incorporated into the Work on a tax-exempt basis, said exemptions specifically to include but not be limited to the "Illinois Retailer's Occupation Tax" (sales tax). Consultant shall warrant that all material costs and scheduled values have been calculated so as to give the Village its full benefit of its tax-exempt status, and Consultant shall require that all subcontracts include a requirement that sub-Consultants purchase materials so as to give the Village the full benefit of its tax exempt status. The Village shall not be liable for, and shall be entitled to a credit against the Contract Sum or Contract Price for any sales tax paid by Consultant or any sub-Consultant of any tier which is shown to have been charged to the Village as part of the Contract Sum or Contract Price, as a component of the schedule of values, as a unit price, or otherwise.

2.5 PROMPT PAYMENT ACT.

All payments made under this Contract shall be made in conformance with the provisions of the Local Government Prompt Payment Act (50 ILCS 505/1 et seq.).

3. COMMENCEMENT AND TIME OF PERFORMANCE.

3.1 COMMENCEMENT OF WORK.

The Consultant will not initiate any work until the Consultant receives written authorization from the Village to proceed.

3.2 TIME OF PERFORMANCE.

The Consultant shall provide the professional services and submit all deliverables in accordance with the following requirements **no later than July 31, 2021**. If requested, the Village may at its sole discretion elect to extend milestones and completion dates if sound justification and documentation is provided by the Consultant.

4. INSURANCE AND INDEMNIFICATION.

4.1 INSURANCE.

The Consultant shall not commence work under this Agreement until he has obtained all insurance required herein. Certificates of Insurance, fully executed by officers of the Insurance Company written or countersigned by an authorized Illinois State agency, shall be filed with the state of Illinois for approval. The Consultant shall not allow any sub-consultant to commence work on his subcontract until all similar insurance required for the sub-consultant has been obtained and approved. If so requested, the Consultant shall also submit copies of insurance policies for inspection and approval of the state of Illinois before work is commenced. Said policies shall not hereafter be canceled, permitted to expire, or be changed without thirty (30) days' notice in advance to the state of Illinois and consented to by the state of Illinois in writing and the policies shall so provide.

4.1.1 INSURANCE RATING

Insurance shall be placed with insurers with an A.M. Best's rating of no less than A-: VI. This rating requirement shall be waived for Worker's Compensation coverage only.

4.1.2 WORKER'S COMPENSATION INSURANCE

Before any work is commenced, the Consultant shall maintain during the life of the Agreement, Workers' Compensation Insurance for all of the Consultant's employees employed at the site of the project. In case any work is sublet, the Consultant shall require the sub-consultant similarly to provide Workers' Compensation Insurance for all the latter's employees, unless such employees are covered by the protection afforded by the Consultant. In case any class of employees engaged in work under the contract at the site of the project is not protected under the Workers' Compensation Statute, the Consultant shall provide for any such employees, and shall further provide or cause any and all sub-consultants to provide Employer's Liability Insurance for the protection of such employees not protected by the Workers' Compensation Statute.

4.1.3 COMMERCIAL GENERAL LIABILITY INSURANCE

The Consultant shall maintain during the life of the Agreement such Commercial General Liability Insurance which shall protect him, the Village, and any sub-consultant during the performance of work covered by the Agreement from claims or damages for personal injury, including accidental death, as well as for claims for property damages, which may arise from operations under the Agreement, whether such operations be by himself or by a sub-consultant, or by anyone directly or indirectly employed by either of them, or in such a manner as to impose liability to the state. Such insurance shall name the state as additional insured for claims arising from or as the result of the operations of the Consultant or his sub-consultants. In the absence of specific regulations, the amount of coverage shall be as follows: Commercial General Liability Insurance, including bodily injury, property damage and contractual liability, with combined single limits of \$1,000,000 and aggregate limit of \$2,000,000.

4.1.4 INSURANCE COVERING SPECIAL HAZARDS

Special hazards as determined by the state shall be covered by rider or riders in the Commercial General Liability Insurance Policy or policies herein elsewhere required to be furnished by the Consultant, or by separate policies of insurance in the amounts as defined in any Special Conditions of the contract included therewith.

4.1.5 LICENSED AND NON-LICENSED MOTOR VEHICLES

The Consultant shall maintain during the life of the Agreement, Automobile Liability Insurance in an amount not less than combined single limits of \$1,000,000 per occurrence and not less than aggregate limit of \$2,000,000 for bodily injury/property damage. Such insurance shall cover the use of any non-licensed motor vehicles engaged in operations within the terms of the Agreement on the site of the work to be performed there under, unless such coverage is included in insurance elsewhere specified.

4.1.6 SUB-CONSULTANT'S INSURANCE

The Consultant shall require that any and all sub-consultants, which are not protected under the Consultant's own insurance policies, take and maintain insurance of the same nature and in the same amounts as required of the Consultant.

4.1.7 ADDITIONAL INSURED

The Village, its officers, agents and employees shall be named as Additional Insureds on all insurance required to be acquired and maintained hereunder. All insurance of any tier shall state that the coverage afforded to the Additional Insureds shall be primary insurance of the Additional Insureds with respect to any claims arising out of any project for which the Consultant provides services.

4.2 INDEMNIFICATION.

To the fullest extent permitted by Illinois law, Consultant shall indemnify, defend and hold harmless the Village of Carol Stream and its officers, employees and agents (collectively "Indemnitee"), from lawsuits, actions, costs (including attorneys' fees), claims or liabilities of any character (collectively "Damages") caused by, resulting from, arising out of or occurring in connection with the Consultant's performance of the Work under this Contract, provided that any such lawsuit, action, cost, claim or liability is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent act or omission, intentional misconduct, or breach of applicable law of the Consultant or anyone or entity directly or indirectly employed by Consultant for whose acts Consultant may be liable. Under no circumstance shall Consultant's indemnification apply to Damages caused by the negligence of the Indemnitee. Consultant shall protect, indemnify, and hold and save harmless the Village from and against any and all claims, costs, causes, actions and expenses including but not limited to legal fees, incurred by reason of Consultant's breach of any obligations under or Consultant's default of any provision of the Contract Documents.

5. COMPLIANCE WITH THE LAW AND CERTIFICATIONS.

5.1 COMPLIANCE WITH GOVERNMENTAL REGULATIONS.

The Consultant shall comply with all applicable federal, state or local laws, ordinances, and codes and the Consultant shall hold and save the Village harmless with respect to any damages arising from any failure of the Consultant or its officers, agents or employees to comply with any such laws in performing any of the work provided under this Agreement.

5.2 EQUAL EMPLOYMENT OPPORTUNITY

During the performance of this Agreement, the Consultant agrees as follows:

- a. The Consultant will not discriminate against any employee or applicant for employment

because of race, creed, sex, color, national origin, handicap or familial status. The Consultant will take affirmative steps to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, creed, sex, color, national origin, handicap or familial status. Such action shall include, but not be limited to, the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms or compensation; and selection for training, including apprenticeship. The Consultant agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by the Village setting forth the provisions of this non-discrimination clause.

- b. The Consultant will, in all solicitations or advertisements for employees placed by or on behalf of the Consultant; state that all qualified applicants will receive consideration for employment without regard to race, creed, color, sex, national origin, handicap or familial status.
- c. The Consultant will cause the foregoing provisions to be inserted in all subcontracts for any work covered by this Agreement so that such provisions will be binding upon each sub-consultant, provided that the foregoing provisions shall not apply to contracts or subcontracts for standard commercial supplies or raw materials.

5.3 ILLINOIS HUMAN RIGHTS ACT (775 ILCS 5/1-101 ET SEQ.)

In carrying out the terms of this agreement, Consultant shall comply with all applicable provisions of the Illinois Human Rights Act, and rules and regulations promulgated by the Illinois Department of Human Rights, prohibiting unlawful discrimination in employment. Consultant's failure to comply with all applicable provisions of the Illinois Human Rights Act, or applicable rules and regulations promulgated thereunder, may result in a determination that Consultant is ineligible for future contracts or subcontracts with the state of Illinois or any of its political subdivisions or municipal corporations, and this agreement may be canceled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation.

5.4 ILLINOIS FREEDOM OF INFORMATION ACT, (5ILCS 140/4, AS AMENDED BY PUBLIC ACT 96-542, EFFECTIVE JANUARY 1, 2010)

The Consultant agrees to maintain all records and documents for projects of the Public Body of the Village of Carol Stream in compliance with the Freedom of Information Act (FOIA), 5ILCS 140/4 et seq. In addition, Consultant shall produce, without cost to the municipality, records which are responsive to a request received by the Public Body under the FOIA so that the Public Body may provide records to those requesting them within the timeframes required. If additional time is necessary to compile records in response to a request, then Consultant shall so notify the Public Body and if possible, the Public Body shall request an extension so as to comply with the FOIA. In the event that the Public Body is found to have not complied with the FOIA, based upon Consultant's failure to produce documents or otherwise appropriately respond to a request under the FOIA, then Consultant shall indemnify and hold harmless, and pay all amounts determined to be due including but not limited to fines, costs, attorney fees and penalties.

5.5 AUTHORIZED TO DO BUSINESS IN ILLINOIS

The Consultant certifies that it is a legal entity authorized to do business in Illinois prior to submission of a bid, offer, or proposal, 30 ILCS 500/1.15.8, 20-43.

5.6 CERTIFICATION TO ENTER INTO PUBLIC CONTRACTS – 720 ILCS 5/33E-1

The Consultant certifies that he/she/it is not barred from contracting with any unit of state or local government as a result of a violation of either Section 33E-3 or 33E-4 of the Illinois Criminal Code or violating the prohibition set forth in Section 50-10.5(e) of the Illinois Procurement Code, 30 ILCS 500/50-10.5e or any similar offense of any State of the United States which contains the same elements as the Illinois offenses of bid-rigging or bid rotating.

5.7 PAYMENTS TO ILLINOIS DEPARTMENT OF REVENUE – 65 ILCS 5/11-42.1

Consultant certifies that it is not delinquent in payment of any taxes to Illinois Department of Revenue.

5.8 SUBSTANCE ABUSE PREVENTION ON PUBLIC WORKS PROJECTS

Consultant certifies that it has in place a written program which meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act (Public Act 95-0635), and if requested will provide a copy thereof to the Village.

5.9 DEBARMENT

The Consultant certifies that neither it nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in the Agreement by any federal department or agency.

5.10 INTEREST OF MEMBERS OF THE VILLAGE

The Consultant certifies that no member of the governing body of the Village and no other officer, employee, or agent of the Village who exercises any functions or responsibilities in connection with the planning or carrying out of the project, has any personal financial interest, direct or indirect, in this Agreement; and the Consultant shall take appropriate steps to assure compliance.

5.11 INTEREST OF CONSULTANT AND EMPLOYEES

The Consultant covenants that he/she presently has no interest and shall not acquire interest, direct or indirect, in the various project areas or any parcels therein or any other interest which would conflict in any manner or degree with the performance of his/her services hereunder. The Consultant further covenants that in the performance of this Agreement, no person having such interest shall be employed.

5.12 AUDITS AND INSPECTIONS

The Village or their delegates shall have the right to review and monitor the financial and other components of the work and services provided and undertaken as part of the various projects and this Agreement, by whatever legal and reasonable means are deemed expedient by the Village.

6. GENERAL PROVISIONS.

6.1 AMENDMENT.

No amendment or modification to this Contract shall be effective until it is reduced to writing and approved and executed by the Village and Consultant in accordance with all applicable statutory procedures.

6.2 ASSIGNABILITY

The Consultant shall not assign any interest on this Agreement, and shall not transfer any interest on this Agreement (whether by assignment or notation), without prior written consent of the Village thereto: provided, however, that claims for money by the Consultant from the Village under this Agreement may be assigned to a bank, trust company, or other financial institution without such approval. Written notice of any intent to assign or transfer shall be furnished promptly to the Village by the Consultant.

6.3 SEVERABILITY

If any term or condition of this Agreement or the application thereof is held invalid, such invalidity shall not affect other terms, conditions, or applications which can be given effect without the invalid term, condition, or application; to this end the terms and conditions of this Agreement are declared severable.

6.4 VENUE AND GOVERNING LAW.

This Contract shall be governed by the laws of the State of Illinois and venue shall be fixed in the Eighteenth Judicial Circuit of DuPage County, Illinois.

6.5 ARBITRATION AND MEDIATION.

Notwithstanding any inconsistent or contrary provision in any other provision of the Contract Documents, no claim or dispute arising under this Contract shall be subject to arbitration unless the Parties mutually agree on a submission to arbitration, which submission shall be in writing and signed by the Parties and shall set forth a specific statement of the nature of the dispute and shall contain an express statement on the limitations of the powers of the arbitrator. The Parties mutually agree that in the absence of such submission, arbitration cannot be demanded or compelled by either party.

6.6 NO WAIVER BY PAYMENT.

Notwithstanding any language in the Contract Documents to the contrary, Village shall not be deemed to waive any claim or right to assert a claim by making any progress payment or final payment.

6.7 FREEDOM OF INFORMATION ACT.

The Illinois Freedom of Information Act (FOIA) has been amended and effective January 1, 2010, adds a new provision to Section 7 of the Act which applies to public records in the possession of a party with whom the Village has contracted. The Village will have only a very short period of time from receipt of a FOIA request to comply with the request, and there is a significant amount of work required to process a request including collating and reviewing the information. The Consultant acknowledges the requirements of FOIA and agrees to comply with all requests made by the Village for public records (as that term is defined by Section 2(c) of FOIA) in the undersigned's possession and to provide the requested public records to the Village within two (2) business days of the request being made by the Village. The undersigned agrees to indemnify and hold harmless the Village from all claims, costs, penalty, losses and injuries (including but not limited to, attorneys' fees, other professional fees, court costs and/or arbitration or other dispute resolution costs) arising out of or relating to its failure to provide the public records to the Village under this Contract.

6.8 LIMITATION OF LIABILITY PROVISIONS.

Notwithstanding any inconsistent or contrary provision in the Contract Documents, the Village shall not be deemed to have agreed to or consented to any limitation of liability provision applicable to the Consultant.

6.9 AUTHORITY TO EXECUTE.

6.9.1 THE VILLAGE.

The Village hereby warrants and represents to the Consultant that the persons executing this Contract on its behalf have been properly authorized to do so by its corporate authorities.

6.9.2 THE CONSULTANT.

The Consultant hereby warrants and represents to the Village that the persons executing this Contract on its behalf have the full and complete right, power, and authority to enter into this Contract and to agree to the terms, provisions, and conditions set forth in this Contract and that all legal actions needed to authorize the execution, delivery, and performance of this Contract have been taken.

6.10 ENTIRE AGREEMENT.

This is the complete Agreement between the Parties with respect to the subject matter and all prior discussions and negotiations are merged into this Agreement. This Agreement is entered into with neither party relying on any statement or representation made by the other party not embodied in this Agreement and there are no other agreements or understanding changing or modifying the terms. This Agreement shall become effective upon final statutory approval of the Village.

7. NOTICE.

7.1 NOTICES REQUIRED OR PERMITTED

All notices required or permitted to be given under this Contract shall be in writing and shall be delivered (1) personally, (2) by a reputable overnight courier, (3) by certified mail, return-receipt requested, and deposited in the U.S. Mail, postage prepaid, or (4) by electronic mail.

Unless otherwise expressly provided in this Contract, notices shall be deemed received upon the earlier of: (a) actual receipt; (b) one business day after deposit with an overnight courier, as evidenced by a receipt of deposit; or (c) four business days following deposit in the U.S. mail, as evidenced by a return receipt.

By notice complying with the requirements of this Section, each party shall have the right to change the address or the addressee, or both, for all future notices and communications to the other party, but no notice of a change of addressee or address shall be effective until actually received.

Notices and communications to the Village shall be addressed to, and delivered at, the following addresses:

Village of Carol Stream
500 N. Gary Avenue
Carol Stream, Illinois 60188
Attn: Director of Engineering Services
EngineeringServices@carolstream.org

Notices and communications to the Consultant shall be addressed and delivered to the person and address for the Consultant identified in their Proposal. To the extent the Consultant desires notices to be sent to a different person and/or address than set forth therein, any such alternative contact person and/or address shall be provided to the Village in writing.

8. TERMINATION.

If the Consultant fails to comply with the terms and conditions of this Agreement or to adequately perform any provisions of this Agreement, the Village may pursue such remedies as are legally available including, but not limited to, the termination of this Agreement in the manner specified herein.

8.1 TERMINATION FOR CAUSE.

If the Consultant fails to comply with the terms and conditions of this Agreement or to adequately perform any provisions of this Agreement, or whenever the Consultant is unable to substantiate full compliance with provisions of this Agreement, the Village may terminate the Agreement pending corrective actions or investigation, effective not less than fourteen (14) calendar days following written notification to the Consultant of its authorized representative. At the end of the fourteen (14) calendar days the Village may terminate the Agreement, in whole or in part, if the Consultant fails to adequately perform any provisions of this Agreement or comply with the terms and conditions of this Agreement and any of the following conditions exist:

- a. The lack of compliance with the provisions of this Agreement was of such scope and nature that the Village deems continuation of the Agreement to be substantially detrimental to the interest of the Village;
- b. The Consultant has failed to take satisfactory action as directed by the Village or its authorized representative within the time period specified by the Village;
- c. The Consultant has failed within the time specified by the Village or its authorized representative to satisfactorily substantiate its compliance with the terms and conditions of this Agreement;

and there upon shall notify the Consultant of termination, the reasons therefore, and the effective date provided such effective date, no charges incurred under any terminated portions of the Scope are allowable.

The Consultant shall continue performance of the Agreement to the extent it hasn't been terminated and shall be liable for all reasonable costs incurred by the Village to procure similar services. The exercising of its rights of termination shall not limit the Village's right to seek any other remedies allowed by law.

8.2 TERMINATION FOR OTHER GROUNDS

This Agreement may also be terminated in whole or in part:

- a. By the Village, when in the interest of the Village or for the convenience of the Village provided that the Village shall give fourteen (14) calendar days written notice of Agreement termination to the Consultant specifying what part(s) of the Agreement are being terminated and when it becomes effective. If the Agreement is terminated for the convenience of the Village as provided herein, the Consultant will be paid for the time

- provided and expenses incurred up to the termination date;
- b. By the Village, with the consent of the Consultant or by the Consultant with the consent of the Village, in which case the Parties shall devise by mutual agreement, the conditions of termination, including effective date and in case of termination in part, that portion to be terminated;
 - c. If the funds allocated by the Village via this Agreement are from anticipated sources of revenue, and if the anticipated sources of revenue do not become available for use in purchasing said services;
 - d. In the event the Village fails to pay the Consultant promptly or within sixty (60) days after invoices are properly rendered, the Village agrees that the Consultant shall have the right to consider said default a breach of this agreement terminated. In such event, the Village shall then promptly pay the Consultant for all services performed and all allowable expenses incurred.

***** END OF GENERAL TERMS AND CONDITIONS *****



June 2, 2021

Mr. Gregory Ulreich, P.E., CFM
Stormwater Administrator
Village of Carol Stream
500 North Gary Avenue
Carol Stream, IL 60188

RE: Proposal for Professional Design Services (Concept Design)
Klein Creek Streambank Stabilization – Section II and IEPA Grant
Klein Creek between Illini Drive to Thunderbird Trail, Carol Stream, IL

Dear Mr. Ulreich:

On behalf of V3 Companies, Ltd., we are pleased to submit this proposal for Professional Services on the above-referenced project. If you find this proposal to be acceptable, the executed copies of this letter, may be included as an attachment to the Village of Carol Stream's Form of Agreement, which includes all General Terms and Conditions.

PROJECT UNDERSTANDING

The Village of Carol Stream would like to pursue another IEPA Section 319 grant for streambank stabilization of Klein Creek Section II (Illini Drive to Thunderbird Trail) and the Mitchell Lakes Improvements. A concept plan for Mitchell Lakes Improvements was completed by V3 under a separate contract in early 2021, and a concept plan for Klein Creek Section II is now required as next step toward obtaining funding through the state.

In addition to the concept plan for Klein Creek Section II, V3 will also prepare the grant application to the Illinois Environmental Protection Agency for obtaining federal Section 319 funding for these water quality improvements. V3 will combine the Mitchell Lakes Improvements concept plan and Klein Creek Section II concept plan for this grant application. We understand that the application is due to the state by the grant application deadline of July 30, 2021.

SCOPE OF SERVICES

V3 will provide the following service(s) under this Agreement:

1. **Concept Engineering:** The concept engineering services will be focused on Klein Creek Section II between Illini Drive and Thunderbird Trail. This section of Klein Creek is approximately 2200 linear feet and completely contained within the backyards of single-family residential homes which front onto Silverleaf Blvd, Hiawatha Drive and Seminole Lane. Given the constraints of construction access and impact to residential properties, V3 will identify context sensitive stabilization solutions for this tight stretch of Klein Creek. Stabilization elements will be evaluated through a site investigation to determine specific constraints and conditions that would affect the constructability, impact to structures (garages & sheds) and fences, and removal of existing trees and shrubs. Note that no hydraulic modeling or preliminary engineering is included in this concept phase.

2. **Concept Report:** Deliverables will include a concept-level exhibit illustrating and labeling the various areas of "Outputs" accompanied by a narrative describing the expected construction sequence and a general description of methods and equipment anticipated for stabilization construction and long-term maintenance. Finally, a concept-level cost estimate that includes pricing for earthwork, stabilization measures and estimates for all other major items.
3. **Grant Application:** V3 will prepare the grant application documents, exhibits and funding estimates on behalf of the Village of Carol Stream. We understand that the Section 319 grants will fund up to 60% of total water quality improvement projects with a typical project value between \$80,000 and \$2,000,000. We also understand that the grant application is due to the IEPA by close of business on **June 30, 2021**.

COMPENSATION

V3 shall be compensated as follows for the service(s) described above:

SERVICE	Estimated Hours	Average Rate *	Total FEE
Concept Engineering & Report	50.0	\$150.00	\$7,500.00
Grant Application	30.0	\$150.00	\$4,500.00
Total Fee:			\$12,000.00

* Average rates are based on various personnel prorated in accordance with V3's billing rate schedule attached hereto.

If Additional Services are required, V3 shall be paid a fee based on the actual hours expended multiplied by V3's Billing Rate Schedule attached hereto or other negotiated fee.

CLIENT will be invoiced monthly for Professional Services and reimbursable expenses. The above financial arrangements are on the basis of prompt payment of invoices and the orderly and continuous progress of the Project through construction.

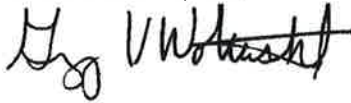
MISCELLANEOUS CONTRACTUAL ITEMS

V3 will initiate its services promptly upon the receipt of CLIENT's written acceptance of this proposal. The fee and completion schedule stated herein is valid for 30 days from the date of proposal. If the 30 days has expired, V3 reserves the right to renegotiate the fee and/or completion schedule with the CLIENT.

If CLIENT or other interested parties request digital files of design or other data, V3 shall be indemnified from any claims arising out of the accuracy, misuse or reuse by others of the data delivered in digital form.

We appreciate the opportunity to present this proposal and look forward to working with you on this project.

Sincerely,
V3 COMPANIES, LTD.



Gregory V. Wolterstorff, P.E.
Vice President
Director, Natural Resources



Mike Famiglietti, P.E.
Vice President

Attachments:
Exhibit A: Billing Rates

Accepted For:
Village of Carol Stream

By: _____

Title: _____

Date: _____



**V3 COMPANIES
BILLING RATE SCHEDULE**

(Rates effective January 1, 2021 through December 31, 2021)

<u>Description</u>	<u>Hourly Rate</u>
Principal/Director	210.00
Senior Project Manager	205.00
Senior Estimator	200.00
Resident Engineer II	190.00
Resident Construction Manager II	185.00
Superintendent	170.00
Project Manager II	170.00
Resident Construction Manager I	165.00
Project Manager I	155.00
Resident Engineer I	155.00
Construction Administrator III	150.00
Senior Project Engineer	145.00
Project Engineer II	140.00
Project Engineer I	135.00
Project Scientist II	130.00
Senior Construction Technician	130.00
Landscape Architect II	125.00
Project Scientist I	115.00
Landscape Architect I	115.00
Construction Technician III	115.00
Project Surveyor III	115.00
Survey Crew Chief	110.00
Engineer III	110.00
Project Surveyor I/II	110.00
Design Technician III	110.00
Construction Administrator II	105.00
Scientist III	105.00
Project Designer III	105.00
Engineer II	100.00
Engineer I	95.00
Instrument Operator	95.00
Scientist I/II	90.00
Project Designer I/II	90.00
Technician II	80.00
Estimating Technician	80.00
Project Coordinator	60.00
Technician I	60.00

AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO ALLOW FOR OUTDOOR ACTIVITIES AND OPERATIONS IN THE FORM OF THE STORAGE OF TRUCKS AND TRAILERS, SPECIAL USE PERMIT FOR A GARAGE OR PARKING LOT NOT INCIDENTAL TO A PERMITTED USE IN THE INDUSTRIAL DISTRICT, AND A VARIATION TO ALLOW THE PARKING OF TRUCKS IN THE FRONT YARD (MIDWEST STAR GROUP, 130 EASY STREET)

WHEREAS, Sergiy Zamula with Midwest Star Group, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit to allow for outdoor activities and operations in the form of the storage of trucks and trailers, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances; a Special Use Permit for a garage or parking lot for motor vehicles not incidental to a permitted use in the I Industrial District, as provided in Section 16-10-2 (B)(7) of the Carol Stream Code of Ordinances; and a Variation to allow the parking of trucks in the front yard, as provided in Section 16-10-2(E)(3) of the Carol Stream Code of Ordinances; on the property legally described in Section 2 herein and commonly known as 130 Easy Street, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-6 and 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on May 24, 2021, continued from April 26, 2021 and May 10, 2021, following proper legal notice of said public hearing, after which the Commission failed to recommend to the Mayor and Board of Trustees of the Village that the Special Use Permits and Variation be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permits and Variation with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permits, and the Findings and Recommendations of the Combined Plan Commission / Zoning Board of Appeals, have determined and find that the requested Special Use Permits:

1. Are deemed necessary for the public convenience at the location. *The Plan Commission/Zoning Board of Appeals believed that expanding an existing business in town is beneficial, but the majority of the members did not believe the proposal was necessary for the public convenience at the location on Easy Street.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The majority of the Plan Commission/Zoning Board of Appeals did not agree that the applicant demonstrated that an orderly flow of truck traffic would occur at the property, and could be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.*

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *While other properties within the Industrial District have received Special Use approval for outdoor storage and parking of vehicles not associated with an on-site business in the Industrial District, the majority of the Plan Commission/Zoning Board of Appeals did not feel that there would be no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood, based on increased semi-truck traffic on Easy Street and surrounding collector roadways.*
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The majority of the Plan Commission/Zoning Board of Appeals believed the proposed truck and trailer storage lot could impact surrounding properties and uses on said properties based on increased semi-truck traffic.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *The Plan Commission/Zoning Board of Appeals did not raise concerns on the adequacy of utilities or drainage, but voiced concerns on the adequacy of Easy Street and surrounding collector roads in conjunction with increased semi-truck traffic from the proposed truck storage lot.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The Plan Commission/Zoning Board of Appeals did not raise concerns that the proposal would not conform to applicable codes and requirements, but raised concerns regarding the proposal at this specific location along Easy Street.*

SECTION 2:

The Mayor and Board of Trustees of the Village, after examining the Petition for a Variation to allow for the parking of trucks in the front yard, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the requested Variation:

1. That the property in question, other than a single-family residential lot, cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located. *The Plan Commission/Zoning Board of Appeals did not raise concerns with parking of trucks in the front yard with proposed screening, but raised concerns with the increased semi-truck traffic associated with the proposal.*
2. The plight of the owner is due to unique circumstance. *The entire lot will be utilized for truck and trailer storage, thereby establishing a unique condition on the property.*

3. The variation, if granted, will not alter the essential character of the locality. *The Plan Commission/Zoning Board of Appeals did not believe the character of the industrial district will be altered with truck parking in the front yard, as long as both landscape screening and fencing is maintained, but raised concerns regarding the increase in semi-truck traffic on Easy Street and its potential effects on surrounding properties.*
4. That the plight of the owner is due to the failure of a previous owner of the property in question to follow then-applicable ordinances or regulations, and where the benefit to health, safety or appearance to be derived from correcting the nonconformity would not justify the cost or difficulty of the correction. The evidence must show that the current owner had no role in the creation of the nonconformity. *This provision is not applicable to this variation request.*
5. That the particular physical surroundings, shape, or topographical conditions of the specific property involved bring a particular hardship upon the owner as distinguished from a mere inconvenience. *There are no particular physical or topographical conditions which bring about a hardship, but since the entire property will be utilized for truck and trailer storage, there are limited alternatives for said storage areas.*
6. The conditions upon which the petition for the variation is based would not be applicable generally to other property within the same district. *In most instances, a property zoned for industrial use can be developed with truck parking located fully in the rear of the property. In the case of the proposed use of the property, a distinctive characteristic has been displayed with the entire lot proposed for truck and trailer storage, which the Plan Commission/Zoning Board of Appeals did not have an issue with.*
7. The granting of the variation will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located. *The Plan Commission/Zoning Board of Appeals raised concerns regarding the use of the property for truck storage and potential effects on surrounding properties with increased semi-truck traffic, but did not raise concerns that trucks parked in the front yard would be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located as given the proposed screening mechanisms.*

SECTION 3:

The Special Use Permits and Variation, as set forth in the above recitals, are hereby denied to Midwest Star Group, upon the real estate commonly known as 130 Easy Street, Carol Stream, Illinois, and legally described as follows:

LOTS 26, 27 AND 28 IN GARY – ST. CHARLES BUSINESS PARK, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 IF SECTION 5, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 24, 1980 AS DOCUMENT R80-35893 AND

CERTIFICATE OF CORRECTION RECORDED OCTOBER 10, 1980 AS DOCUMENT
R80-62291, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

SECTION 4:

PASSED AND APPROVED THIS 21st DAY OF JUNE, 2021.

AYES:

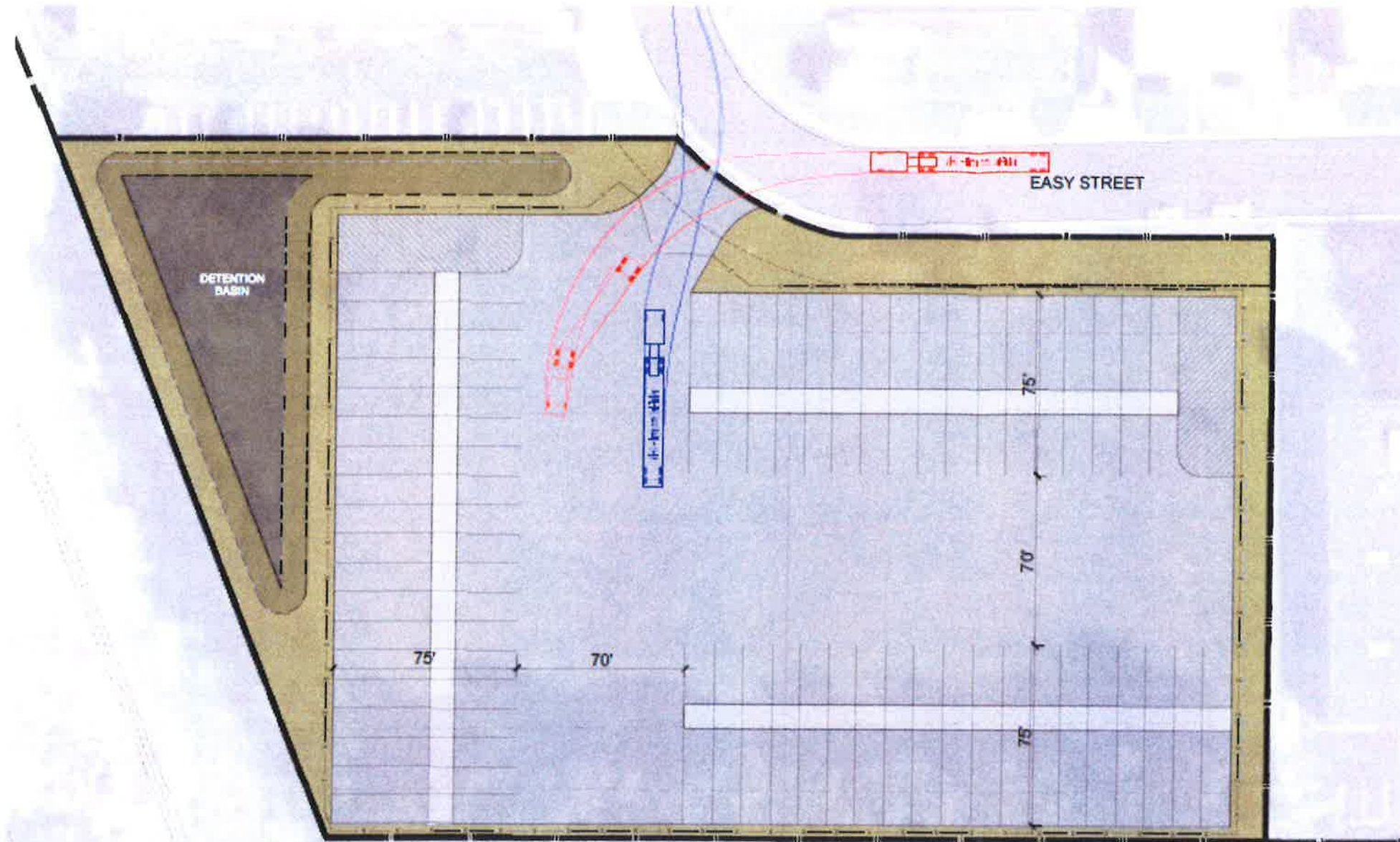
NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk



PROJECT DATA:

SITE AREA:	2.77 AC
GROSS:	120,812 SF
DEFENTION:	@ 10% 12,212 SF
NET:	2.49 AC 108,600 SF
TRAILER:	56 STALLS

DEVELOPMENT STANDARDS:

ZONING:	I
MAX. F.A.R.:	0.80
MAX. BLDG. HT.:	50 FT
BUILDING SETBACKS:	
FRONT:	60 FT
	40 FT
SIDE:	10 FT
REAR:	20 FT
LANDSCAPE SETBACKS:	
FRONT:	20 FT
LANDSCAPE REQ.:	10%
OFF-STREET PARKING:	
STANDARD:	9.5X18
DRIVE AISLE:	24 FT
FIRE LANE:	
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/1500 SF
OFFICE:	1/250 SF

- NOTES:**
- 1 60 feet from the right of way line of any existing or proposed street having a right-of-way width of 20 feet or more
 - 2 40 feet from the right of way line of any existing or proposed street having a right-of-way width of less than 20 feet
 - 3 30 ft side yard when adjoining a lot in a residential district
 - 4 Increased setbacks, front, side, and rear yards as required above shall be increased by one foot for each one foot of building height in excess of 25 feet.
 - 5 Four plus one per each 1,500 square feet of floor space over 1,200 square feet, or when the number of employees is specifically indicated, one per employee employed on the premises, whichever is greater, plus one per each vehicle stored on the premises.
 - 6 The storage of building, construction, manufacturing material and equipment and the parking of trucks shall not be permitted in any front yard or side yard adjoining a street.

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information and is intended merely to assist in exploring how the project might be developed.

Stormwater Management Design
AVERAGE REGIONAL REQUIRED
PROVIDED

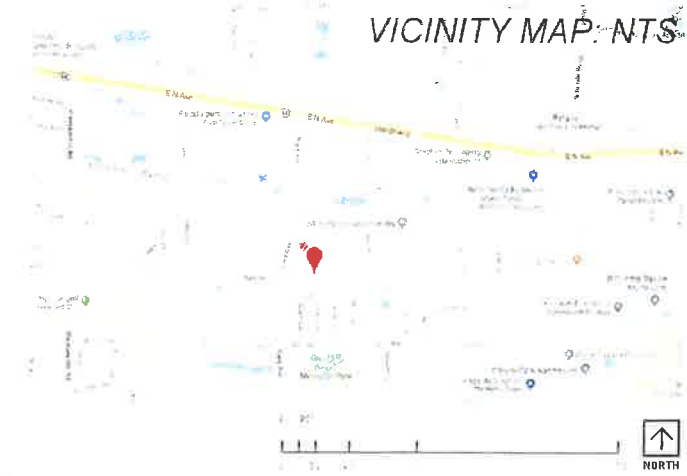


EXHIBIT A

REVISIONS

RECEIVED
MAR 29 2017

COMMUNITY DEVELOPMENT

DEP

IF THIS PLAN IS NOT 24" x 36" IN SIZE, FROM IT IS A REPRODUCTION THAT MAY NOT BE Scaled

NO MOW NATIVE FESCUE

EASY STREET

Carol Stream, Illinois

NO MOW NATIVE FESCUE

EXISTING VEGETATION WITHIN COM ED EASEMENT CONSISTS OF NEW GROWTH TREES LIKELY CONSISTING OF:

BOXELDER
COTTONWOOD
SILVER MAPLE
BUCKTHORN
ETC.

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BUCKTHORN
ETC.

EXISTING VEGETATION WITHIN COM ED EASEMENT CONSISTS OF NEW GROWTH TREES LIKELY CONSISTING OF:

BOXELDER
COTTONWOOD
SILVER MAPLE
BUCKTHORN
ETC.

EXISTING VEGETATION WITHIN COM ED EASEMENT CONSISTS OF NEW GROWTH TREES LIKELY CONSISTING OF:

BOXELDER
COTTONWOOD
SILVER MAPLE
BUCKTHORN
ETC.

LEGEND

- EXISTING TREES
- 2.5" - PROPOSED DECIDUOUS SHADE TREES
- 6' - EVERGREEN TREES
- 2.0" or 6' - ORNAMENTAL TREES
- 30" to 36" - DECIDUOUS SHRUBS
- #3 - DECIDUOUS SHRUBS
- 24"/#5 - EVERGREEN SHRUBS
- #1 - ORNAMENTAL GRASSES
- #1 - PERENNIALS or from flats - GROUNDCOVERS
- TURF SEED w/ STRAW BLANKET
- NO MOW FESCUE w/ STRAW BLANKET
- NATIVE PRAIRIE GRASS SEED MIXES w/ STRAW BLANKET
- STORMWATER SEED MIX or EMERGENT AQUATIC PLUGS

ECONOMY PRAIRIE SEED MIX

Carbido (or equivalent) - Apply at 37.38 PLS pounds per acre

BOTANICAL / COMMON NAME PLS OZ/Ac

Andropogon gerardi (Big Bluestem)	16.00
Bouteloua curtipendula (Side Oats Gramma)	18.00
Carex spp. (Prairie Carex Mix)	1.00
Elymus canadensis (Canada Wild Rye)	16.00
Panicum virgatum (Prairie Switch Grass)	2.50
Schizachyrium scoparium (Lille Bluestem)	24.00
Sorghastrum nutans (Indian Grass)	18.00
TOTAL	65.50

PERMANENT MATRIX:	
Andropogon gerardi (Big Bluestem)	16.00
Bouteloua curtipendula (Side Oats Gramma)	18.00
Carex spp. (Prairie Carex Mix)	1.00
Elymus canadensis (Canada Wild Rye)	16.00
Panicum virgatum (Prairie Switch Grass)	2.50
Schizachyrium scoparium (Lille Bluestem)	24.00
Sorghastrum nutans (Indian Grass)	18.00
TOTAL	65.50

TEMPORARY COVER:

Avena sativa (Seed Oats)	360.00
Lotium multiflorum (Annual Rye)	100.00
TOTAL	460.00

FORBS:

Asclepias syriaca (Common Milkweed)	1.00
Asclepias tuberosa (Butterfly Weed)	1.00
Aster laevis (Smooth Blue Aster)	0.50
Aster novae-angliae (New England Aster)	0.75
Chamaecrista fasciculata (Partridge Pea)	9.00
Coneopsis lanceolata (Sand Coneopsis)	5.00
Echinacea purpurea (Purple Coneflower)	7.50
Helopsis helianthoides (False Sunflower)	0.25
Lupinus perennis (Wild Lupine)	1.00
Monarda fistulosa (Wild Bergamot)	0.50
Panicum capillare (Wild Quinine)	1.00
Pycnanthemum virginicum (Common Mountain Mint)	0.50
Rudbeckia hirta (Black-Eyed Susan)	2.50
Rudbeckia hirta (Black-Eyed Susan)	8.00
Solidago speciosa (Showy Goldenrod)	1.00
TOTAL	40.50

STORMWATER SEED MIX

Carbido - Apply @ 32.6 PLS pounds per acre

BOTANICAL / COMMON NAME PLS OZ/Ac

Avena sativa (Seed Oats)	360.00
Lotium multiflorum (Annual Rye)	100.00
TOTAL	460.00

PERMANENT MATRIX:	
Avena sativa (Seed Oats)	1.00
Carex luctida (Bottlebrush Sedge)	2.00
Carex lupulina (Brown Fox Sedge)	6.00
Elymus virginicus (Virginia Wild Rye)	12.00
Glyceria simulata (Fowl Manna Grass)	1.25
Juncus effusus (Common Rush)	1.00
Juncus torreyi (Torrey's Rush)	0.25
Lernaea oryzoides (Rice Cut Grass)	1.00
Panicum virgatum (Switch Grass)	8.00
Scirpus atrovirens (Dark Green Bulrush)	1.00
Scirpus cyperinus (Wood Grass)	0.50
Scirpus rostratus (Rice Rush)	0.25
Scirpus validus (Great Bulrush)	6.00
TOTAL	40.50

TEMPORARY COVER:

Avena sativa (Seed Oats)	360.00
Lotium multiflorum (Annual Rye)	100.00
TOTAL	460.00

FORBS:

Alisma spp. (Water Plantain Mix)	4.25
Asclepias incarnata (Swamp Milkweed)	1.50
Bidens spp. (Bidens Mix)	2.00
Helenium autumnale (Sneezeweed)	2.50
Lycopersicon esculentum (Common Water Horehound)	0.25
Mimulus ringens (Monkey Flower)	1.00
Penthorum sedoides (Ditch Stonecrop)	0.50
Polygonum persicaria (Pinkweed)	4.00
Rudbeckia hirta (Black-Eyed Susan)	1.00
Sagittaria latifolia (Common Arrowhead)	1.00
Senna hebecarpa (Wild Senna)	1.00
Thalictrum dasycarpum (Purple Meadow Rue)	2.00
TOTAL	26.90

WET-TO-MESIC PRAIRIE SEED MIX

Carbido - Apply @ 36.75 PLS pounds per acre

BOTANICAL / COMMON NAME PLS OZ/Ac

Andropogon gerardi (Big Bluestem)	26.00
Calamagrostis canadensis (Bluejoint Grass)	1.00
Carex spp. (Prairie Sedge Mix)	4.00
Carex luctida (Bottlebrush Sedge)	3.00
Carex lupulina (Brown Fox Sedge)	1.00
Elymus virginicus (Virginia Wild Rye)	24.00
Panicum virgatum (Switch Grass)	2.00
Scirpus cyperinus (Wood Grass)	0.50
Sorghastrum nutans (Indian Grass)	6.00
Spartina pectinata (Prairie Cord Grass)	3.00
TOTAL	64.50

TEMPORARY COVER:

Avena sativa (Seed Oats)	360.00
Lotium multiflorum (Annual Rye)	100.00
TOTAL	460.00

FORBS:

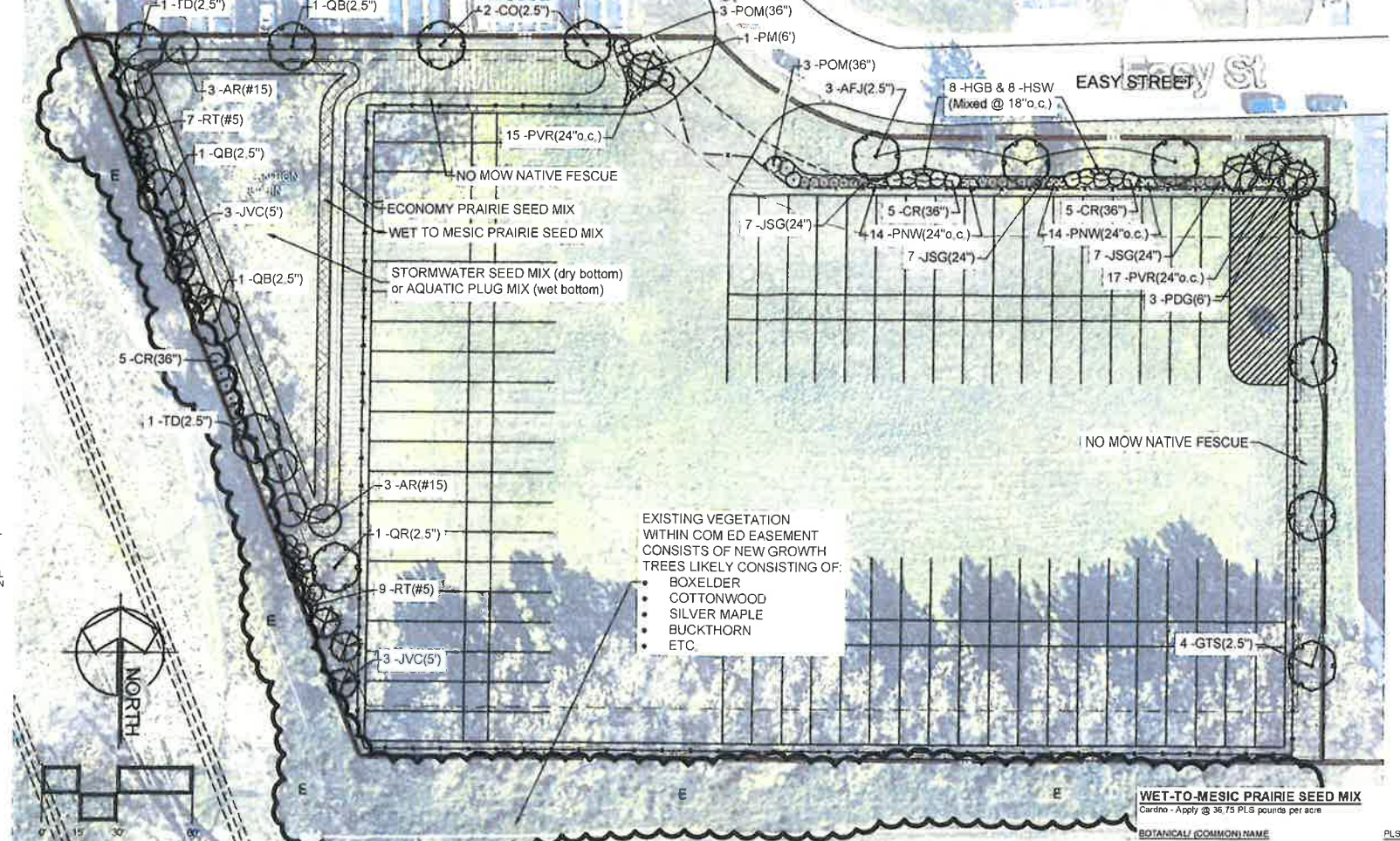
Asclepias syriaca (Common Milkweed)	2.00
Aster rosae-anglicae (New England Aster)	0.25
Baptisia lactea (White Wild Indigo)	0.75
Chamaecrista fasciculata (Partridge Pea)	12.00
Coneopsis lanceolata (Sand Coneopsis)	3.50
Coreopsis lutea (Tail Coneopsis)	3.00
Desmodium illinoense (Illinois Tick Trefoil)	0.50
Echinacea purpurea (Purple Coneflower)	3.50
Eryngium yuccifolium (Rattlesnake Master)	2.00
Helenium autumnale (Sneezeweed)	2.50
Helianthus scaberrimus (Smooth Sunflower)	0.50
Lespedeza capitata (Round-Headed Bush Clover)	1.50
Liatris spicata (Whip-Blazing Star)	1.00
Monarda fistulosa (Wild Bergamot)	1.00
Parthenium integrifolium (Wild Quinine)	0.25
Physostegia virginiana (Coedent Plant)	0.25
Pycnanthemum virginicum (Common Mountain Mint)	1.00
Ratibida pinnata (Yellow Coneflower)	5.00
Rudbeckia hirta (Black-Eyed Susan)	4.00
Rudbeckia laciniata (Wild Golden Glow)	1.00
Rudbeckia subtomentosa (Sweet Black-Eyed Susan)	0.50
Senna hebecarpa (Wild Senna)	2.25
Siphium integrifolium (Rosin Weed)	1.00
Siphium laciniatum (Compass Plant)	2.00
Siphium perfoliatum (Cup Plant)	1.00
Siphium teratophyllum (Pineapple Dock)	6.00
Solidago juncea (Early Goldenrod)	0.25
Solidago rigida (Stiff Goldenrod)	1.00
Solidago rugosa (Rough Goldenrod)	0.25
Tridax asarifolia (Common Spineflower)	1.25
Veronica spp. (Ironweed Mix)	3.00
Veronica spp. (Ironweed Mix)	0.25
Xizic aurea (Golden Alexanders)	0.50
TOTAL	63.50

NO MOW FESCUE SEED MIX

Prairie Nursery Westfield, WI

COMMON NAME	PERCENT	GERMINATION
SR5100 Chewings Fescue	23.52%	85%
Sheep Fescue	23.52%	85%
Dawson Red Fescue	11.76%	85%
SR100 Hard Fescue	11.76%	85%
Scalps Head Fescue	11.76%	85%
Crawling Red Fescue	11.70%	85%
Annual Ryegrass	3.98%	50%

Seed Rate 5 lbs per 100 sq ft or 220 lbs per acre



GENERAL NOTES:

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (c.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Under no circumstances should these plans be used for construction purposes without examining actual locations of utilities on site, and reviewing all related documents mentioned herein, including related documents prepared by the project Civil Engineer and Architect.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top-dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a n. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of Jch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

s and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed in areas and other such areas which do not receive natural rainfall.

e of planting shall extend a minimum of two feet (2') beyond the center of a shrub.

saucers shall require a hand spaded edge between lawn and mulched areas.

slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

PLANT LIST

KEY QTY BOTANICAL NAME COMMON NAME SIZE/TYPE

DECIDUOUS SHADE TREES

AFJ	3	Acer 'Johannesd'	Autumn Blaze Freeman Maple	2.5' BB
CO	2	Callis occidentalis	Hackberry	2.5' BB
GTS	4	Gleditsia l. 'Skyline'	Skyline Honeylocust	2.5' BB
QB	3	Quercus bicolor	Sweep White Oak	2.5' BB
QR	1	Quercus rubra	Red Oak	2.5' BB
OD	2	Taxodium distichum	Bald Cypress	2.5' BB

EVERGREEN TREES

JVC	8	Juniperus v. 'Canadensis'	Canadensis Red Cedar	5' BB
PDG	3	Picea g. 'Densa3'	Black Hills Spruce	6' BB
PM	1	Pseudotsuga menziesii	Douglas Fir	6' BB

DECIDUOUS ORNAMENTAL TREES

AR	8	Ailurus incana subsp rugosa	Speckled Alder	#15
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DECIDUOUS SHRUBS & SHRUB ROSES

CR	15	Comus racemosa	Grey Dogwood	3' BB
RT	18	Rhus l. 'Laciniata'	Culleaf Staghorn Sumac	#5
POM	6	Physocarpus o. 'Mandia'	Copperleaf Ninebark	#5

EVERGREEN SHRUBS

JSG	21	Juniperus c. 'Sea Green'	Sea Green Juniper	24"/#5
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ORNAMENTAL GRASS

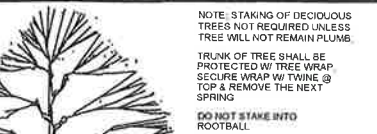
PNW	28	Panicum v. 'Northwind'	Northwind Switch Grass	#1
PVR	32	Panicum v. 'Roisrahbush'	Red Switch Grass	#1

PERENNIALS

HGB	8	Hemerocallis 'Going Bananas'	Going Bananas Daylily	#1
HSW	8	Hemerocallis 'Summer Wine'	Summer Wine Daylily	#1

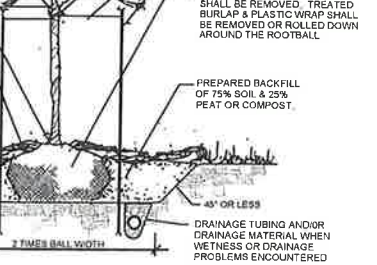
MATERIAL & LABOR LIST:

QTY	ITEM	DESCRIPTION
TBD	SY	Native Seed w/ Straw Blanket Stormwater Seed Mix
TBD	SY	Native Seed w/ Straw Blanket Wet to Mesic Prairie Seed Mix
TBD	SY	Native Seed w/ Straw Blanket Economy Prairie Seed Mix
TBD	SY	Native Seed w/ Straw Blanket No-Mow Fescue Seed Mix
TBD	SY	Native Seed w/ Straw Blanket Kanucky Bluegrass Blend w/ Perennial Rye
15	CY	Mulch Shredded Hardwood Bark
2	CY	Mulch Compost (Yard Waste or Mushroom)



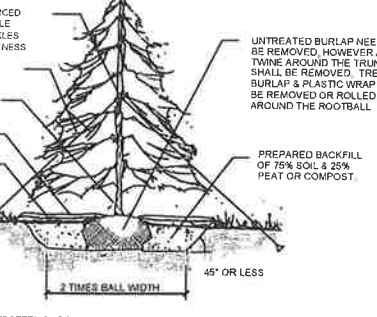
DECIDUOUS TREE

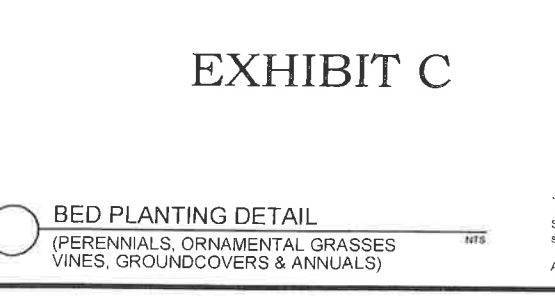
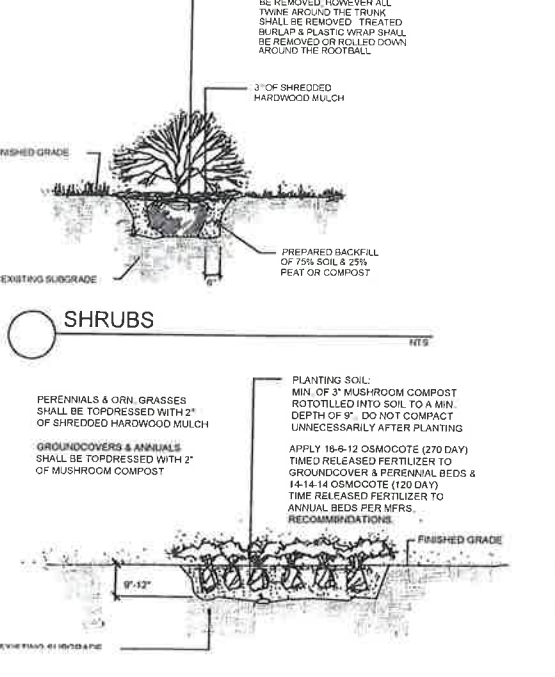
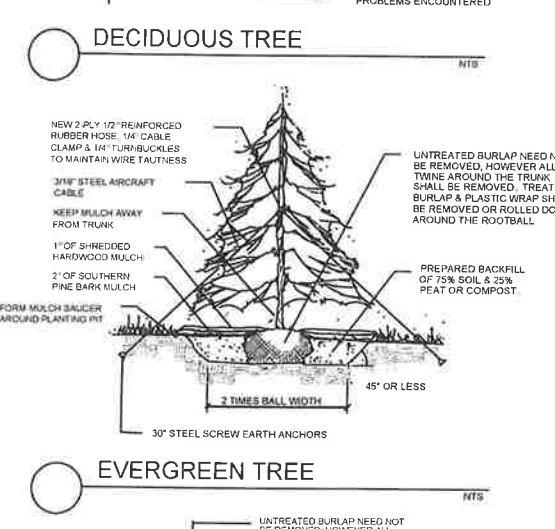
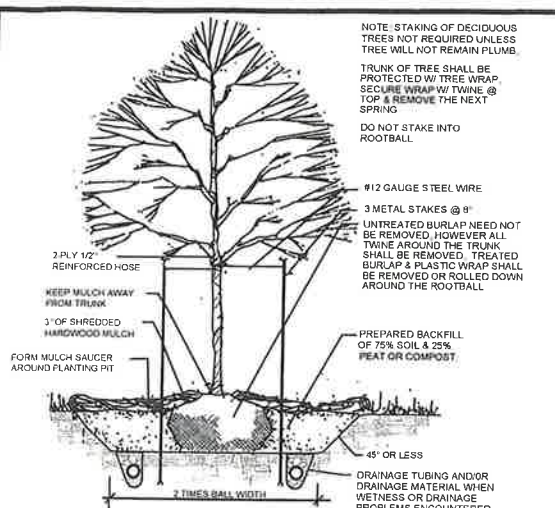
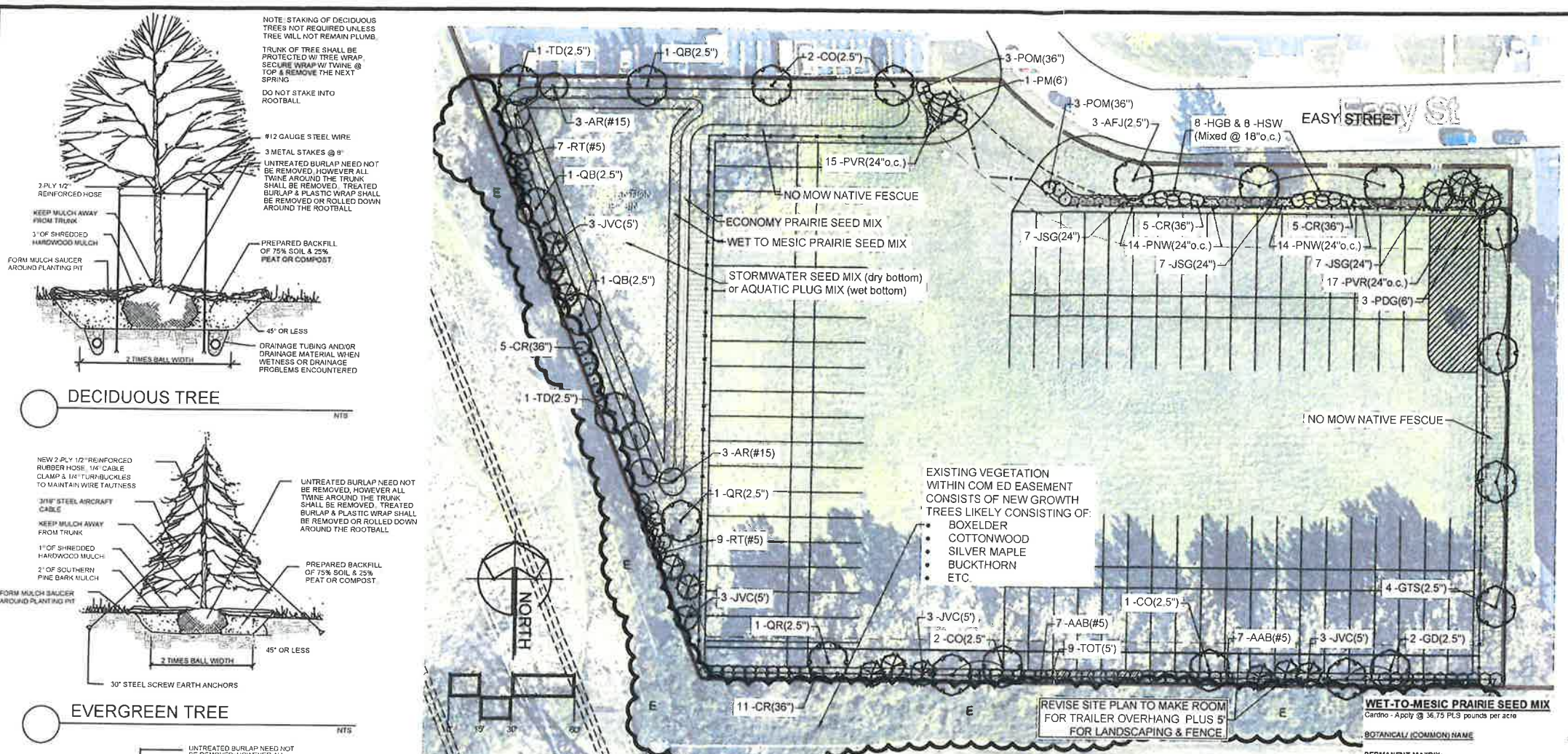
NOTE: STAKING OF DECIDUOUS TREES NOT REQUIRED UNLESS TREE WILL NOT REMAIN PLUMB. TRUNK OF TREE SHALL BE PROTECTED W/ TREE WRAP. SECURE WRAP W/ TWINE @ TOP & REMOVE THE NEXT SPRING. DO NOT STAKE INTO ROOTBALL.



EVERGREEN TREE

NOTE: STAKING OF DECIDUOUS TREES NOT REQUIRED UNLESS TREE WILL NOT REMAIN PLUMB. TRUNK OF TREE SHALL BE PROTECTED W/ TREE WRAP. SECURE WRAP W/ TWINE @ TOP & REMOVE THE NEXT SPRING. DO NOT STAKE INTO ROOTBALL.





GENERAL NOTES:
Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

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All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of the top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a t. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of mulch. Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

Bed and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch. Bed and tree saucers shall be mulched in their entirety to the building foundation. Plant material shall not be installed on and other such areas which do not receive natural rainfall. Bed and tree saucers shall extend a minimum of two feet (2') beyond the center of a shrub. Bed and tree saucers shall require a hand spaced edge between lawn and mulched areas. Bed and tree saucers shall be smooth and continuous. Positive drainage shall be provided in all areas. (See site plan for details) All plant material shall be guaranteed for one (1) year from the date of acceptance.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/TYPE
DECIDUOUS SHADE TREES				
AFJ	3	Acer glaberrimum	Autumn Blaze Freeman Maple	2.5" BB
CO	5	Celtis occidentalis	Hackberry	2.5" BB
GTS	4	Gleditsia triacanthos	Skyline Honeylocust	2.5" BB
GD	2	Gymnocladus dioica	Kentucky Coffee Tree	2.5" BB
QB	3	Quercus bicolor	Swamp White Oak	2.5" BB
QR	3	Quercus rubra	Red Oak	2.5" BB
TD	2	Taxodium distichum	Bald Cypress	2.5" BB
EVERGREEN TREES				
JVC	12	Juniperus v. 'Canada'	Canada Red Cedar	5' BB
PGD	3	Picea gl. 'Densa'	Black Hills Spruce	6' BB
PH	1	Pseudotsuga menziesii	Douglas Fir	6' BB
TOT	9	Thuja o. 'Tolmay'	Tolmay Arborvitae	5' BB
DECIDUOUS ORNAMENTAL TREES				
AR	6	Anus incana subsp. rugosa	Speckled Alder	#15
DECIDUOUS SHRUBS & SHRUB ROSES				
AFB	14	Aronia x. 'Bullandissima'	Red Chokeberry	#5/30"
CR	37	Cornus racemosa	Grey Dogwood	3" BB
RT	16	Rhus l. 'Laciniala'	Cuteaf Slaghoorn Sumac	#5
POM	8	Physocarpus o. 'Mandia'	Copperleaf Ninebark	#5
EVERGREEN SHRUBS				
JSG	21	Juniperus e. 'Sea Green'	Sea Green Juniper	24" #5
ORNAMENTAL GRASS				
PNW	28	Panicum v. 'Northwind'	Northwind Switch Grass	#1
PVR	32	Panicum v. 'Rostratibus'	Red Switch Grass	#1
PERENNIALS				
HGB	8	Hemerocallis 'Going Bananas'	Going Bananas Daylily	#1
HSW	8	Hemerocallis 'Summer Wine'	Summer Wine Daylily	#1
MATERIAL & LABOR LIST:				
QTY	ITEM	DESCRIPTION		
TBD	SY	Native Seed w/ Straw Blanket	Stormwater Seed Mix	
TBD	SY	Native Seed w/ Straw Blanket	S75 by North American Green (or equal)	
TBD	SY	Native Seed w/ Straw Blanket	Wet to Mesic Prairie Seed Mix	
TBD	SY	Native Seed w/ Straw Blanket	S75 by North American Green (or equal)	
TBD	SY	Native Seed w/ Straw Blanket	Economy Prairie Seed Mix	
TBD	SY	Native Seed w/ Straw Blanket	S75 by North American Green (or equal)	
TBD	SY	Native Seed w/ Straw Blanket	No-Mow Fescue Seed Mix	
TBD	SY	Native Seed w/ Straw Blanket	S75 by North American Green (or equal)	
TBD	SY	Seed w/ Straw Blanket	Kentucky Bluegrass Blend w/ Perennial Ryegrass	
TBD	SY	Seed w/ Straw Blanket	S75 by North American Green (or equal)	
23	CY	Mulch	Shredded Hardwood Bark	
2	CY	Mulch	Compost (Yard Waste or Mushroom)	

WET-TO-MESIC PRAIRIE SEED MIX

BOTANICAL / COMMON NAME	PLS OZ./A/C
PERMANENT MATRIX:	
Andropogon gerardi (Big Bluestem)	16.00
Coturnicostis canadensis (Bluejoint Grass)	16.00
Carex spp. (Prairie Sedge Mix)	4.00
Carex lunda (Bottlebrush Sedge)	3.00
Carex vulpinoidea (Brown Fox Sedge)	1.00
Elymus virginicus (Virginia Wild Rye)	24.00
Panicum virgatum (Switch Grass)	2.00
Scirpus cypripedium (Wool Grass)	0.50
Sorghastrum nutans (Indian Grass)	6.00
Spartina pectinata (Prairie Cord Grass)	3.00
TOTAL	64.50
TEMPORARY COVER:	
Avena sativa (Seed Oats)	360.00
Lolium multiflorum (Annual Rye)	100.00
TOTAL	460.00
FORBS:	
Asclepias syriaca (Common Milkweed)	2.00
Aster novae-angliae (New England Aster)	0.25
Baptisia tictoria (Whitie Wild Indigo)	0.75
Chamaecrista fasciculata (Partridge Pea)	12.00
Coreopsis lanceolata (Sand Coreopsis)	3.50
Coreopsis tripteris (Tall Coreopsis)	3.00
Desmodium illinoense (Illinois Tick Trefoil)	0.50
Echinacea purpurea (Purple Coneflower)	3.50
Eryngium yuccifolium (Petticoat Master)	2.00
Helenium autumnale (Sneezeweed)	2.50
Heliopsis scabra (Rattlesnake Head)	0.50
Lespedeza capitata (Round-Headed Bush Clover)	1.50
Liatris spicata (Marsh Blazing Star)	1.00
Monarda fistulosa (Wild Bergamot)	1.00
Parthenium integrifolium (Wild Quinine)	1.00
Physostegia virginiana (Coedent Plant)	0.25
Pycnanthemum virginianum (Common Mountain Mint)	1.00
Rubia pinnata (Yellow Coneflower)	5.00
Rudbeckia hirta (Black-Eyed Susan)	4.00
Rudbeckia laciniata (Wild Golden Glow)	1.00
Rudbeckia subtomentosa (Sweet Black-Eyed Susan)	0.50
Senna hebecarpa (Dark Green Bushbean)	2.25
Siphium integrifolium (Rosin Weed)	1.00
Siphium laciniatum (Compass Plant)	2.00
Siphium perfoliatum (Cup Plant)	1.00
Siphium taraxacifolium (Prairie Dock)	0.50
Solidago juncea (Early Goldenrod)	0.25
Solidago rigida (Stiff Goldenrod)	1.00
Solidago rugosa (Rough Goldenrod)	0.25
Tridacenia thersites (Common Spionwort)	1.25
Veronica sp. (Bronzed Milk)	3.00
Veronicastrum virginicum (Culver's Root)	0.25
Zizia aurea (Golden Alstroner)	0.50
TOTAL	83.50

NO MOW FESCUE SEED MIX

COMMON NAME	PERCENT	SERMINATION
SR9100 Chewings Fescue	23.52%	85%
Sheep Fescue	23.52%	85%
Kentucky Bluegrass	11.76%	85%
SR100 Hard Fescue	11.76%	85%
Scads Hard Fescue	11.76%	85%
Crested Red Fescue	11.76%	85%
Annual Ryegrass	3.88%	90%
Seeds Rate 5 lbs per 100 sq. ft. or 200 lbs per acre		

LEGEND

- EXISTING TREES
- 2.5" - PROPOSED DECIDUOUS SHADE TREES
- 6" - EVERGREEN TREES
- 2.0" or 6" - ORNAMENTAL TREES
- 30" to 36" - DECIDUOUS SHRUBS
- #3 - DECIDUOUS SHRUBS
- 24" #5 - EVERGREEN SHRUBS
- #1 - ORNAMENTAL GRASSES
- #1 - PERENNIALS or from flats - GROUNDCOVERS
- TURF SEED w/ STRAW BLANKET
- NO MOW FESCUE w/ STRAW BLANKET
- NATIVE PRAIRIE GRASS SEED MIXES w/ STRAW BLANKET
- STORMWATER SEED MIX or EMERGENT AQUATIC PLUGS

ECONOMY PRAIRIE SEED MIX

BOTANICAL / COMMON NAME	PLS OZ./A/C
PERMANENT MATRIX:	
Andropogon gerardi (Big Bluestem)	16.00
Bouteloua curtipendula (Side Oats Grama)	16.00
Carex spp. (Prairie Carex Mix)	1.00
Elymus canadensis (Canada Wild Rye)	16.00
Panicum virgatum (Prairie Switch Grass)	2.50
Schizachyrium scoparium (Little Bluestem)	24.00
Sorghastrum nutans (Indian Grass)	18.00
TOTAL	95.50
TEMPORARY COVER:	
Avena sativa (Seed Oats)	360.00
Lolium multiflorum (Annual Rye)	100.00
TOTAL	460.00
FORBS:	
Asclepias syriaca (Common Milk)	1.00
Asclepias tuberosa (Butterfly Weed)	1.00
Aster laevis (Smooth Blue Aster)	0.50
Aster novae-angliae (New England Aster)	0.75
Chamaecrista fasciculata (Partridge Pea)	9.00
Coreopsis lanceolata (Sand Coreopsis)	5.00
Echinacea purpurea (Purple Coneflower)	7.50
Heliopsis scabra (False Sunflower)	0.25
Lupinus perennis (Wild Lupine)	1.00
Monarda fistulosa (Wild Bergamot)	0.25
Panicum virgatum (Switch Grass)	1.00
Pycnanthemum virginianum (Common Mountain Mint)	0.50
Rubia pinnata (Yellow Coneflower)	3.50
Rudbeckia hirta (Black-Eyed Susan)	8.00
Solidago speciosa (Showy Goldenrod)	1.00
TOTAL	40.80

STORMWATER SEED MIX

BOTANICAL / COMMON NAME	PLS OZ./A/C
PERMANENT MATRIX:	
Carex cristata (Crested Oval Sedge)	1.00
Carex lunda (Bottlebrush Sedge)	2.00
Carex vulpinoidea (Brown Fox Sedge)	8.00
Elymus virginicus (Virginia Wild Rye)	12.00
Glyceria striata (Fowl Mann Grass)	1.25
Juncea sp. (Common Rush)	1.00
Juncus torreyi (Torrey's Rush)	0.25
Luzula oviflora (Wild Cut Grass)	1.00
Panicum virgatum (Switch Grass)	6.00
Scirpus atrovirens (Dark Green Bulrush)	1.00
Scirpus cypripedium (Wool Grass)	0.50
Scirpus robustus (River Rusk)	0.25
Scirpus setaceus (Great Bulrush)	0.50
TOTAL	48.25
TEMPORARY COVER:	
Avena sativa (Seed Oats)	360.00
Lolium multiflorum (Annual Rye)	100.00
TOTAL	460.00
FORBS:	
Aster novae-angliae (New England Aster)	4.25
Asclepias tuberosa (Swamp Milkweed)	1.50
Bidens app. (Bidens Mix)	2.00
Helenium autumnale (Sneezeweed)	2.00
Lycopus americanus (Common Water Horehound)	0.25
Manisuris anglica (Milkweed)	1.00
Parthenium sordidus (Ditch Sneezeweed)	0.50
Polygonum persicaria (Pinksweed)	4.00
Rudbeckia subtomentosa (Sweet Black-Eyed Susan)	1.00
Sagittaria latifolia (Common Arrowhead)	1.00
Senna hebecarpa (Swamp Milkweed)	1.00
Thalictrum dasycarpum (Purple Meadow Rue)	2.00
TOTAL	28.50

REVISIONS

RECEIVED

MAR 29 2021

COMMUNITY DEVELOPMENT DEPT

EASY STREET (WEST LOT)

Carol Stream, Illinois

SEAL

RANDY F. METZ

157-894422

STATE OF ILLINOIS

PRELIMINARY LANDSCAPE PLAN-OPTIONAL

PROJECT NO.: 20-137

DATE: 02-26-2021

SCALE: 1" = 30'

SHEET L-2

MEMORANDUM TO: Chris Mergenthaler
Darwin Realty

FROM: Brendan May, PE
Senior Consultant

Luay R. Aboona, PE, PTOE
Principal

DATE: June 2, 2021

SUBJECT: Traffic Impact Statement
Proposed Truck Parking Facility
Carol Stream, Illinois



This memorandum summarizes the results and findings of a site traffic evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed truck parking facility to be located at 130 Easy Street in Carol Stream, Illinois. The site, which is currently vacant, is located on the south side of Easy Street, approximately 700 feet south of St. Charles Road. As proposed, the site will be developed with a truck parking facility with approximately 60 parking spaces. Access to the parking lot will be provided off Easy Street. **Figure 1** shows an aerial view of the site. The purpose of this evaluation is to determine the impact of the traffic generated by the proposed industrial development on the area roadway system.

Existing Traffic Conditions

The following provides a detailed description of the physical characteristics of the roadways including geometry and traffic control, and average daily traffic volumes along the adjacent area roadways.

Gary Avenue is a north-south minor arterial roadway that in the vicinity of the site provides two travel lanes in each direction. At its signalized intersection with St. Charles Road, Gary Avenue provides an exclusive through lane and a shared through/right-turn lane on the northbound approach and an exclusive left-turn lane and two exclusive through lanes on the southbound approach. Gary Avenue is under the jurisdiction of DuDOT, carries an average daily traffic (ADT) volume of 23,100 vehicles north of St. Charles Road and an ADT volume of 18,700 vehicles south of St. Charles Road (DuDOT 2016), and has a posted speed limit of 45 miles per hour.

St. Charles Road is generally an east-west major collector roadway that in the vicinity of the site provides one travel lane in each direction. At its signalized intersection with Gary Avenue, St. Charles Road provides an exclusive left-turn and an exclusive right-turn lane. At its unsignalized intersections with Easy Street (both legs) St. Charles Road provides a shared through/right-turn lane on the eastbound approach and a shared through/left-turn lane on the westbound approach. St. Charles Road is under the jurisdiction of DuDOT, carries an ADT volume of 9,400 vehicles (DuDOT 2016), and has a posted speed limit of 25 miles per hour.



Aerial View of Site

Figure 1

Easy Street is a semi-circular local roadway that connects to Saint Charles Road approximately 400 feet east of Gary Avenue and 1,450 feet east of Gary Avenue. Easy Street provides one travel lane in each direction and currently serves approximately 22 industrial/manufacturing buildings. At its unsignalized intersections with St. Charles Road, Easy Street provides a shared left/right-turn lane that is under stop-sign control. Easy Street is under the jurisdiction of the Village of Carol Stream and has a posted speed limit of 25 miles per hour.

Traffic Characteristics of the Proposed Truck Parking Facility

The proposed truck parking facility will be an overflow truck/trailer parking lot to supplement the existing Midwest Star Group operations at 245 E. Fullerton Avenue in Carol Stream, approximately two miles north of the site on Gary Avenue. The site will provide approximately 60 truck/trailer parking spaces and access to the site will be provided via a full movement access drive off Easy Street approximately 575 feet south of St. Charles Road. A site plan illustrating the proposed truck parking facility is included in the Appendix.

Development Traffic Generation

The number of peak hour trips estimated to be generated by the proposed truck parking facility was based on vehicle trip generation rates developed from surveys of other similar type facilities within the Chicagoland area and based on information provided by the operator regarding the proposed operations of the lot. These surveys indicated that truck parking facilities have an average trip generation rate of 0.07 spaces per parking space during the weekday morning and weekday evening peak hours of adjacent street traffic and an average trip generation rate of 0.7 trips per parking space daily. When these trip generation rates are compared to the information provided by the operator, the estimated trip generation is consistent with the anticipated daily use of the proposed truck parking facility. It should be noted that based on the surveys, approximately 25 percent of the weekday morning and weekday evening peak hour trips generation, and approximately 50 percent of the daily trip generation will be trucks. **Table 1** shows the estimated vehicle trip generation for the weekday morning and weekday evening peak hours as well as daily traffic.

Table 1
ESTIMATED PEAK HOUR VEHICLE TRIP GENERATION

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	2	2	4	2	2	4	42
Passenger Vehicle Trips	2	1	3	1	2	3	22
Truck Trips	0	1	1	1	0	1	20

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.

Trip Generation Comparison

The volume of traffic estimated to be generated by the proposed truck parking facility was compared to the trip generation of other types of uses that can be developed on site. Based on the size of the site, it is our understanding that it can accommodate an approximately 45,000 square-foot warehouse/distribution building. The volume of traffic estimated to be generated by a 45,000 square-foot warehouse/distribution building was estimated based on trip generation data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 10th Edition. It should be noted that surveys conducted by ITE have shown that approximately 20 percent of trips generated by warehouse/distribution developments are made by trucks. **Table 2** summarizes the trip generation of the proposed truck parking facility, compared to a 45,000 square-foot warehouse/distribution building. **Table 3** summarizes the truck trip generation for the proposed truck parking facility compared to a 45,000 square-foot warehouse/distribution building. As can be seen from Table 2, the proposed truck parking facility is projected to generate 50 percent less trips than a warehouse/distribution building during the weekday morning and weekday evening peak hours, and approximately 65 percent less trips daily. As can be seen from Table 3, the proposed truck parking facility will generate a similar number of truck trips compared to a warehouse/distribution building during the peak hours and less trips on a daily basis.

Table 2
TRIP GENERATION COMPARISON – TOTAL TRIPS

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	2	2	4	2	2	4	42
Warehouse/Distribution ² 45,000 s.f.	<u>6</u>	<u>2</u>	<u>8</u>	<u>2</u>	<u>7</u>	<u>9</u>	<u>116</u>
Difference	-4	0	-4	0	-5	-5	-71

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.
2 – Trip generation based on ITE *Trip Generation Manual*, 10th Edition

Table 3
TRIP GENERATION COMPARISON – TRUCK TRIPS

Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Two-Way Traffic
	In	Out	Total	In	Out	Total	
Truck Parking Facility ¹ (60 Spaces)	0	1	1	1	0	1	20
Warehouse/Distribution ² 45,000 s.f.	<u>1</u>	<u>0</u>	<u>1</u>	<u>0</u>	<u>1</u>	<u>1</u>	<u>23</u>
Difference	-1	1	0	1	-1	0	-3

1 – Trip generation based on surveys of other similar type facilities within the Chicagoland area.
2 – Trip generation based on ITE *Trip Generation Manual*, 10th Edition

Evaluation

When the estimated daily traffic volumes anticipated to be generated by the proposed truck parking facility are compared to the existing daily traffic volumes along Gary Avenue and St. Charles Road, the following is determined:

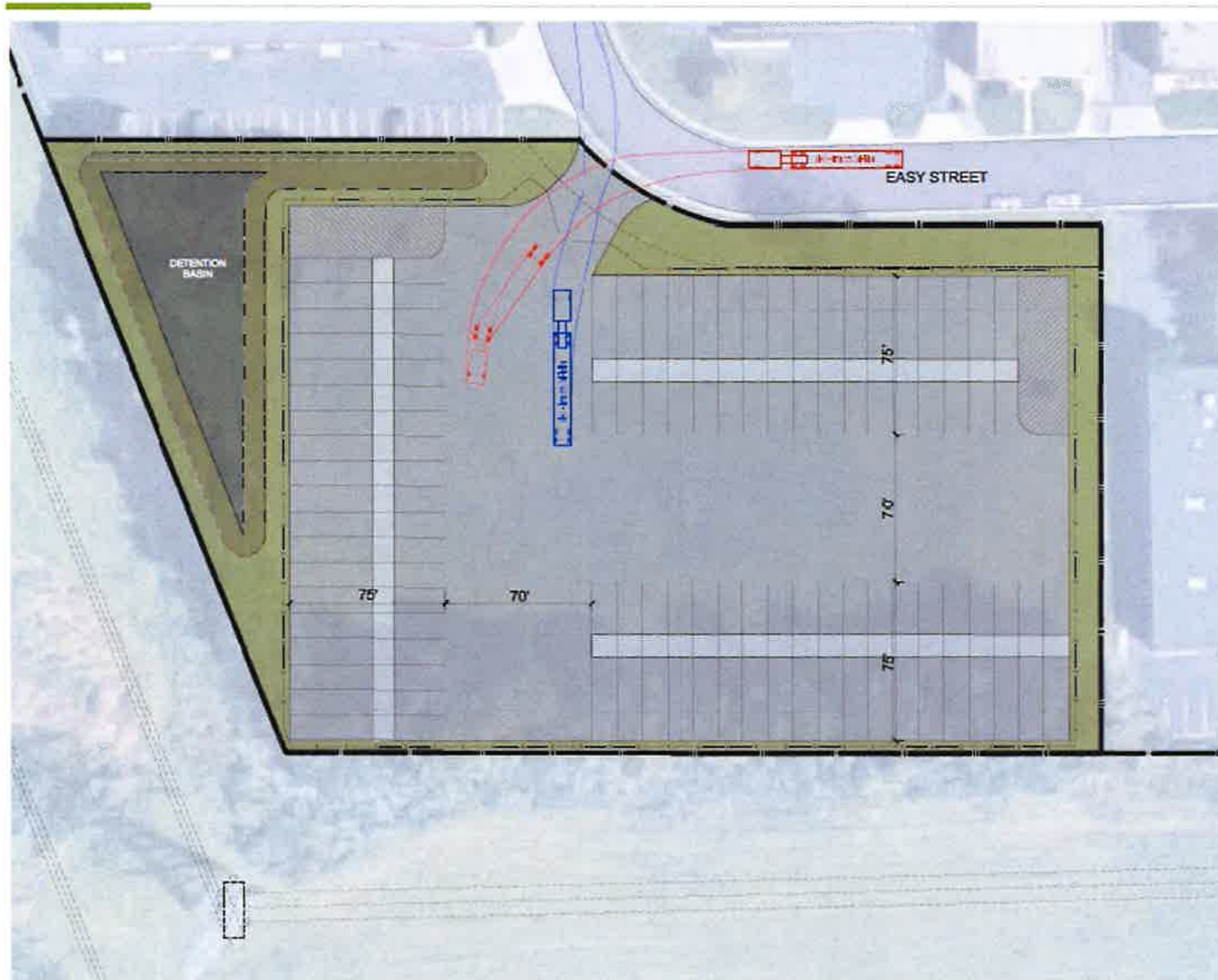
- Based on the existing ADT volumes within the area, it is anticipated that 45 percent of the site generated traffic will be to/from the north on Gary Avenue, 40 percent will be to/from the south on Gary Avenue, and 15 percent will be to/from the east on St. Charles Road
- The proposed facility will only generate approximately 42 daily trips. Of which, approximately 19 trips will be to/from the north on Gary Avenue, approximately 17 trips will be to/from the south on Gary Avenue, and approximately six (6) trips will be to/from the east on St. Charles Road.
- The site-generated trips will increase the daily two-way traffic volume along Gary Avenue and St. Charles Road by less than one-half percent.
- The proposed truck parking facility will generate 50 percent fewer total trips than a warehouse/distribution building during the weekday morning and weekday evening peak hours, and approximately 65 percent total less trips daily.
- The proposed truck parking facility will generate a similar number of truck trips compared to a warehouse/distribution building during the peak hours and less trips on a daily basis.

Conclusion

As can be seen from the above, based on the proposed plan, operations of the truck parking facility, and the preceding evaluation, the traffic to be generated by the proposed truck parking facility will not be significant, can be accommodated by the existing roadway system, and will result in an increase of less than one-half percent of the existing traffic volumes along Gary Avenue and St. Charles Road.

Appendix

Site Plan





RECEIVED
APR 21 2021
COMMUNITY DEVELOPMENT
DEPT

April 21, 2021

Village of Carol Stream
Attn: Mr. Tom Farace
500 N. Gary Ave.
Carol Stream, IL 60188

EXHIBIT E

Re: 130 Easy Street Fencing Specifications

Dear Tom:

Per the staff comment dated April 12th, 2021, we are including additional specifications on our fencing. Please see below:

Easy Street Frontage on the site will utilize a mesh material as pictured below, and recommended by Village Staff



Fencing around the remaining perimeter of the site will be decorative privacy slatted fencing detailed on the following page:

Decorative Privacy Fence Slats



EZ™ Slats

EZ Slats are fast, easy to install bottom locking, single wall slats and they are also one of the least expensive, chain link enhancement products available on the market today. The single wall "M" shaped slat will give you the visual screening and color enhancement you desire at a very affordable price.

Design – The unique shape of this compact and lightweight slat enables it to be self stacked. A package the size of a 2x4 contains enough material to cover approximately 10 linear feet, making this product easy to ship and efficient to store.

Installation – Insert the locking channel horizontally through the bottom of the fence, then simply slide the slats vertically from the top towards the bottom channel and they will automatically lock into place.

Standard Chain Link Fence Heights – 4 ft., 5 ft., 6 ft., 7 ft., 8 ft., 10 ft., and 12 ft. (*Special heights available upon request*)

Slat Length – 9 1/2" shorter than the standard chain link fence height

Wind Load and Privacy Factor – Approximately 85% (*Based on wire mesh used - stretch tension*)

Limited Warranty – 7 years pro-rata

Features and Benefits

Materials – SlatSource® slats are extruded from High-Density Polyethylene (HDPE), color pigments and ultra violet (UV) inhibitors specially formulated to retard the harmful effects of the sun and lengthen the life of the slats.

Durability – Our slats are also resistant to severe weather conditions, salt water, sand, road dirt, most acids, alcohol, alkaline, ammonia, petroleum distillates, and common environmental pollutants.

Maintenance – Our slats are nearly maintenance free. They may be pressure cleaned of surface contaminants with plain water.

Wind Load Disclaimer – We will not be held responsible for fence damage resulting from wind load conditions due to insufficient structural support.

Designations – Meets ASTM Designation: F9 000/ F9 000M

Specifications

Slat Name	Slat Width	Mesh Size	Wire Gauge	Coverage Area
EZ Slats	1 1/4"	2", 2 1/4" or 2 3/8"	8, 9, 11 or 11 1/2	10 Linear feet

Available Colors (colors are approximations)



Exact representation of colors in printing is difficult. Please refer to actual color samples for accurate matching. Samples available upon request.

HDPE Technical Properties

Property	Values
Melt Index	(3.5) Optimum extrusion processing conditions for fence slats
Density	(.945) Polyethylene ranges anywhere from .914 to .960 in density
Minimum Temp.	(-70° F) Under no stress, HDPE remains flexible at this temperature
Maximum Temp.	(180° F) Under no stress, HDPE will not distort at this temperature
Strength	(4,000 psi) HDPE will not distort at lesser loads or impacts



MADE IN USA



A PrivacyLink® Company

1.888.806.7528
www.eprivacylink.com
info@eprivacylink.com

Many colors and patterns pending.

ORDINANCE NO. 2021-____ -____
AN ORDINANCE APPROVING A ZONING MAP AMENDMENT
TO REZONE PROPERTY FROM THE B-2 GENERAL RETAIL DISTRICT
TO THE I INDUSTRIAL DISTRICT
(DYNAMIC INVESTMENTS, LLC, 680 E. NORTH AVENUE)

WHEREAS, Vasile Sorocean, CEO with Dynamic Investments, LLC, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Zoning Map Amendment to rezone the Property at 680 E. North Avenue, Carol Stream, from the B-2 General Retail District to the I Industrial District; and

WHEREAS, pursuant to Section 16-15-7 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals, at a regular meeting thereof, held a public hearing on the above petition on June 14, 2021, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that the Zoning Map Amendment be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Zoning Map Amendment with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1: The 2.55-acre parcel legally described below (the Property) is hereby granted a Zoning Map Amendment to rezone the Property to the I Industrial District.

LEGAL DESCRIPTION OF THE PROPERTY:

LOT 1A IN JON RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 2008 AS DOCUMENT NO. R2008-81663, IN DUPAGE COUNTY, ILLINOIS.

SECTION 2: This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

PASSED AND APPROVED THIS 21ST DAY OF JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk

AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR MOTOR VEHICLE SERVICE, SPECIAL USE PERMIT FOR OUTDOOR ACTIVITIES AND OPERATIONS – STORAGE OF TRAILERS, AND ZONING CODE VARIATION (DYNAMIC INVESTMENTS, LLC, 680 E. NORTH AVENUE)

WHEREAS, Vasile Sorocean, CEO with Dynamic Investments, LLC, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for Motor Vehicle Service, as provided in with Section 16-10-2(B)(12) of the Carol Stream Code of Ordinances; a Special Use Permit for Outdoor Activities and Operations for the storage of trailers, as provided in Section 16-10-2(B)(14) of the Carol Stream Code of Ordinances; and a Variation to reduce the front yard building setback from 100 feet to 77 feet, 11 inches in accordance with Section 16-5-6(J)(3) of the Carol Stream Code of Ordinances, on the property legally described in Section 3 herein and commonly known as 680 E. North Avenue, Carol Stream, Illinois; and

WHEREAS, pursuant to Section 16-15-6 and 16-15-8 of the Carol Stream Code of Ordinances, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on June 14, 2021 following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permits and Variation be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permits and Variation with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permit, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permits:

1. Are deemed necessary for the public convenience at the location. *Dynamic Investments is expanding its business onto a vacant Carol Stream property, which can be viewed as beneficial to the public.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *Since the storage lot is proposed to be screened with fencing and landscaping, this lot and outdoor activity should not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare. Likewise, the truck repair service shall be conducted completely within the building.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *Other properties classified with the*

Industrial designation have received Special Use approval for outdoor activities and operations, and for repairing of vehicles, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements will be put in place for the proposed development.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing is proposed to screen the property, and procedures will be put in place to assure that the storage lot and trailers within the lot are maintained and confined appropriately.*

SECTION 2:

The Mayor and Board of Trustees of the Village, after examining the Variation request, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the requested Variation:

1. That the property in question, other than a single-family residential lot, cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located. *The proposed use will provide an additional service for the community, while still maintaining an appropriate distance from North Avenue.*
2. The plight of the owner is due to unique circumstances. *Though there are no unique circumstances for the subject property, similar variation requests have been granted to allow deviations to the larger building setback requirement along the North Avenue Corridor for smaller buildings.*
3. The variations, if granted, will not alter the essential character of the locality. *If the variation is granted, it is not believed that the essential character of the locality will be altered with the reduced building setback given the proposed landscaping and spacing between the building and the North Avenue right-of-way.*
4. That the plight of the owner is due to the failure of a previous owner of the property in question to follow then-applicable ordinances or regulations, and where the benefit to health, safety or appearance to be derived from correcting the nonconformity would not justify the cost or difficulty of the correction. The evidence must show that the current owner had no role in the creation of the

nonconformity. *The plight of the owner is not due to the action of a previous property owner, and this criterion is not applicable.*

5. That the particular physical surroundings, shape, or topographical conditions of the specific property involved bring a particular hardship upon the owner as distinguished from a mere inconvenience. *Particular physical surroundings or topographical conditions do not necessarily bring about a hardship, but the building has been attractively designed along the Corridor, with landscaping to screen and beautify the building from its street view.*
6. The conditions upon which the petition for the variations are based would not be applicable generally to other property within the same district. *Other properties along the North Avenue Corridor have been granted building setback variations, normally geared toward smaller commercial or service buildings which are still appropriately spaced and screened from the adjacent roadway.*
7. The granting of the variations will not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located. *Staff does not believe the granting of the variation will be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood in which the property is located.*

SECTION 3:

The Special Use Permits and Variation, as set forth in the above recitals, are hereby approved and granted to Dynamic Investments, LLC subject to the conditions set forth in Section 4, upon the real estate commonly known as 680 E. North Avenue, Carol Stream, Illinois, and legally described as follows:

LOT 1A IN JON RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 19, 2008 AS DOCUMENT NO. R2008-81663, IN DUPAGE COUNTY, ILLINOIS

hereinafter referred to as the Subject Property.

SECTION 4:

The approval of the Special Use Permits and Variation granted in Sections 1 and 2 herein are subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, fencing and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits (except as may be amended to address recommended conditions herein);
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with

- dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all maintenance work shall occur inside the building, and not within the storage lot. Likewise, disabled trucks and trailers shall not be stored in the lot;
 4. That sleeping in trailers, cabs, or in the building shall not be allowed;
 5. That only trailers and trucks shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed in the storage lot;
 6. That no trucks or trailers shall be allowed to be stored in the front (automobile) parking area along North Avenue;
 7. That a Knox padlock or gate switch shall be provided on the security gate, and the Carol Stream Fire Protection District shall be provided keys to said gate for access onto the property;
 8. That the applicant shall obtain approval of an easement encroachment prior to the issuance of a sign permit for both the monument sign for the 680 E. North Avenue property and the relocation of the monument sign on the 690 E. North Avenue property;
 9. That all rooftop mounted mechanical equipment on all buildings associated with the development shall be fully screened by the parapet wall, or with supplemental screening if said parapet wall is not tall enough to screen the equipment;
 10. That the owner must install additional landscape materials in the future, subject to the approval of the Community Development Director, to screen yet-unknown ground-mounted mechanical and utility equipment; and
 11. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

SECTION 5:

The Special Use Permits and Variation are hereby approved and granted as set forth in the following plans and exhibits:

1. Site Plan (Exhibit A, dated June 1, 2021), prepared by Cornerstone Architects Ltd., 1152 Spring Lake Drive, Itasca, Illinois, 60143.
2. Landscape Plan (Exhibit B-1, dated March 23, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
3. Landscape Details (Exhibit B-2, dated June 3, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
4. Building Elevations (Exhibit C-1, dated May 10, 2021), prepared by Cornerstone Architects Ltd., 1152 Spring Lake Drive, Itasca, Illinois, 60143.
5. Building Rendering (Exhibit C-2, dated May 10, 2021), prepared by Cornerstone Architects Ltd., 1152 Spring Lake Drive, Itasca, Illinois, 60143.

6. Site Demolition Plan (Exhibit D-1, dated June 3, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
7. Site Geometry Plan (Exhibit D-2, dated June 3, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
8. Site Utility Plan (Exhibit D-3, dated June 3, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
9. Grading and Paving Plan (Exhibit D-4, dated June 3, 2021), prepared by Eriksson Engineering Associates, Ltd., 145 Commerce Drive, Suite A, Grayslake, Illinois, 60030.
10. Sign Detail (Exhibit E, dated June 3, 2021), prepared by Signarama, 220 Peterson Road, Libertyville, Illinois, 60048.
11. Fence Detail, (Exhibit F, received May 13, 2021).

SECTION 6:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 7:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 21st DAY OF JUNE, 2021.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk

I, Vasile Sorocean, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-17-7 A and B of the Carol Stream Code of Ordinances, and/or termination of the special use permit. Dynamic Investments, LLC further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

Date

Owner/Party In Interest

RECEIVED

JUN 03 2021

COMMUNITY DEVELOPMENT DEPT

NORTH AVENUE

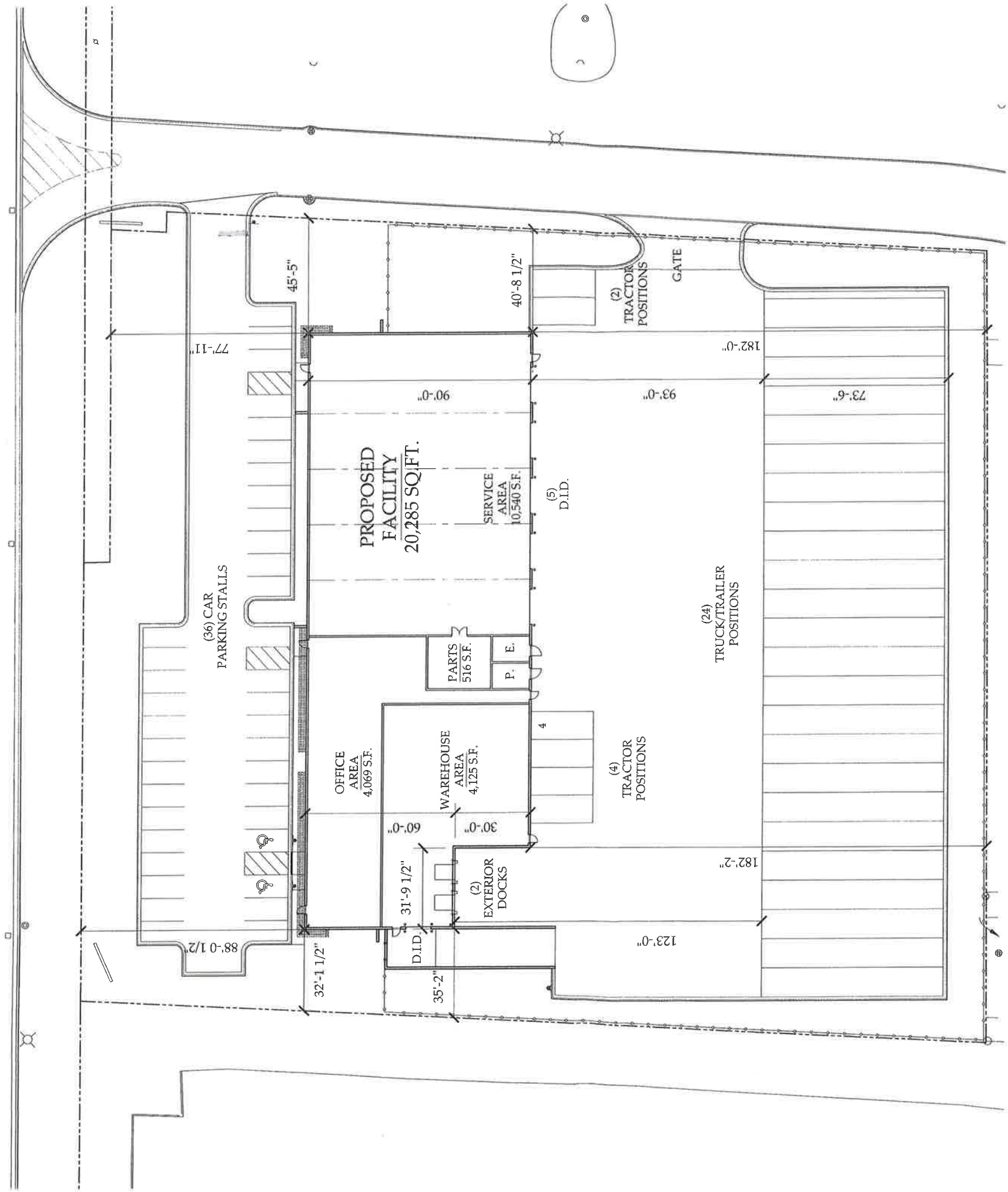


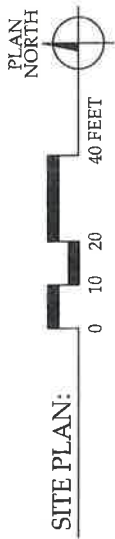
EXHIBIT A

DATA:

SITE AREA: ±111,217 SQ.FT. ±2.55 ACRES
 BUILDING AREA (GROSS): ±20,285 SQ.FT.
 EXTERIOR DOCKS: 2 DOCKS
 DRIVE-IN DOORS: 6 DOORS
 TRAILER POSITIONS: 24 POSITIONS
 TRACTOR POSITIONS: 6 POSITIONS
 CAR PARKING: 36 CARS
 CLEAR HEIGHT: 24 FEET
 F.A.R.: .18

DESIGN STANDARDS:

PROPOSED FACILITY	BUILDING SETBACK NORTH		BUILDING SETBACK SOUTH		BUILDING SETBACK EAST		BUILDING SETBACK WEST		BUILDING SETBACK (NORTH AVE CORRIDOR)		BUILDING SETBACK (NORTH AVE CORRIDOR)		PARKING SETBACK (NORTH AVE CORRIDOR)		MAXIMUM BUILDING HEIGHT	
	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL
	65'-0"	77'-11"	75'-0"	181'-11"	40'-0"	40'-3"	10'-0"	32'-4"	100'-0"	107'-1"	30'-0"	41'-2"	50'-0"	50'-0"	N/A	14.8%
	MAXIMUM F.A.R.		PARKING REQUIREMENTS		HANDICAP PARKING		GLAZING PERCENTAGE NORTH		GLAZING PERCENTAGE SOUTH		GLAZING PERCENTAGE EAST		GLAZING PERCENTAGE WEST			
	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL	REQUIRED	ACTUAL
	0.6	.18	34	36	2	2	N/A	13.2%	N/A	3.49%	N/A	3.11%	N/A	N/A	N/A	14.8%



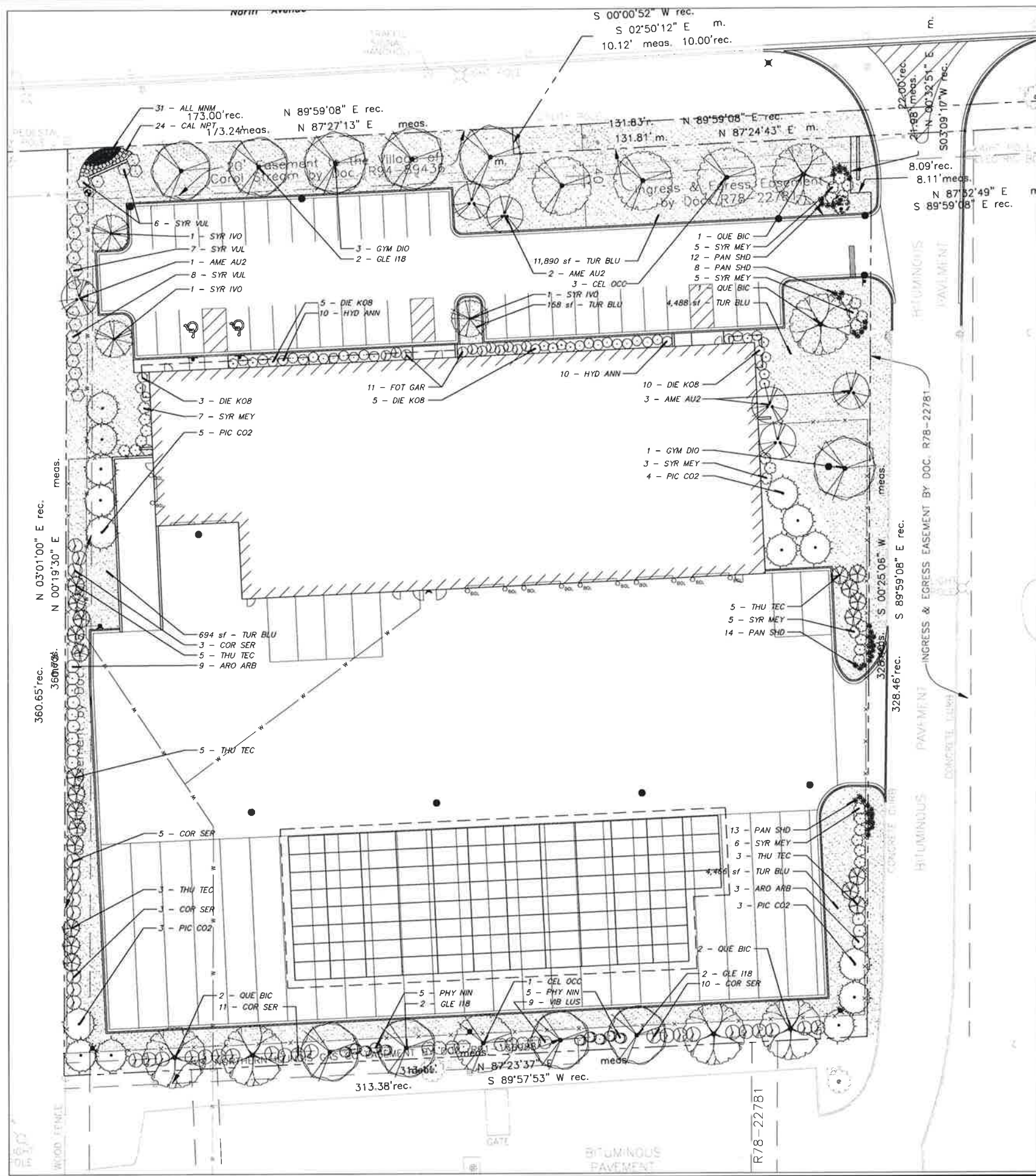
PROPOSED FACILITY

680 E. NORTH AVENUE, CAROL STREAM, ILLINOIS

JUNE 1, 2021 #20503

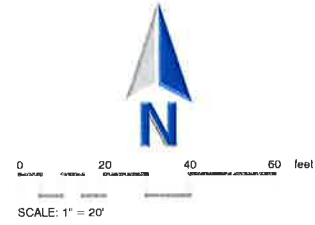
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REC'D
 JUN 17 2021

COMMUNITY DEVELOPMENT
 DEPT



PLANT SCHEDULE DYNAMIC MD

CATEGORY	BOTANICAL / COMMON NAME	CONT.	CAL.	QTY.	
CANOPY TREES	CEL OCC	<i>Celtis occidentalis</i> / Common Hackberry	B & B 2.5" Cal.	4	
	GLE I18	<i>Gleditsia triacanthos inermis</i> 'Styline' / Styline Honeylocust	B & B 2.5" Cal.	6	
	GYM DIO	<i>Gymnocladia dioica</i> 'Express' / Kentucky Coffeetree	B & B 2.5" Cal.	4	
	QUE BIC	<i>Quercus bicolor</i> / Swamp White Oak	B & B 2.5" Cal.	6	
EVERGREEN TREES	PIC CO2	<i>Picea pungens</i> 'Colorado Green' / Blue Spruce	B & B 8" Ht.	15	
	THU TEC	<i>Thuja occidentalis</i> 'Techny' / Techny Arborvitae	B & B 6" Ht.	21	
	UNDERSTORY TREES	AME AU2	<i>Amelanchier canadensis</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B 8" Ht.	5
	SYR IVO	<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B 2" Cal.	3	
ANNUALS/PERENNIALS	ALL MNM	<i>Allium x 'Millenium'</i> / Millenium Ornamental Onion	1 Gal.	31	
	CAL NPT	<i>Calamintha nepeta nepeta</i> / Lesser Calamint	1 Gal.	24	
DECIDUOUS SHRUBS	ARO ARB	<i>Aronia arbutifolia</i> 'Brilliantissima' / Brilliant Red Chokeberry	36" Ht.	12	
	COR SER	<i>Cornus sericea</i> 'Cardinal' / Cardinal Red Twig Dogwood	36" Ht.	32	
	DIE KOB	<i>Dierilla x Kodiak Orange</i> / Bush Honeysuckle Kodiak Orange	#5	23	
	FOT GAR	<i>Fothergilla gardenii</i> / Dwarf Fothergilla	36" Ht.	11	
	HYD ANN	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Smooth Hydrangea	36" Ht.	20	
	PHY NIN	<i>Physocarpus opulifolius</i> 'Summer Wine' / Summer Wine Ninebark	36" Ht.	10	
	SYR MEY	<i>Syringa meyeri</i> 'Robbia' / Dwarf Korean Lilac	36" Ht.	31	
	SYR VUL	<i>Syringa vulgaris</i> / Common Lilac	36" Ht.	21	
	VB LUS	<i>Viburnum dentatum</i> 'Chicago Luster' / Chicago Luster Arrowwood	36" Ht.	9	
	GRASSES	PAN SHD	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	1 Gal.	47
		TUR BLU	<i>Turf Sod Bluegrass</i> / Kentucky Bluegrass	ROLLED	21,696 sf

LANDSCAPE NOTES

- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL. NO MULCH TO BE PLACED IN NATIVE PLANTING AREAS.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SEED AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.

EXHIBIT B-1



145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES 04/30/2021

DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS

Reserved for Seal:

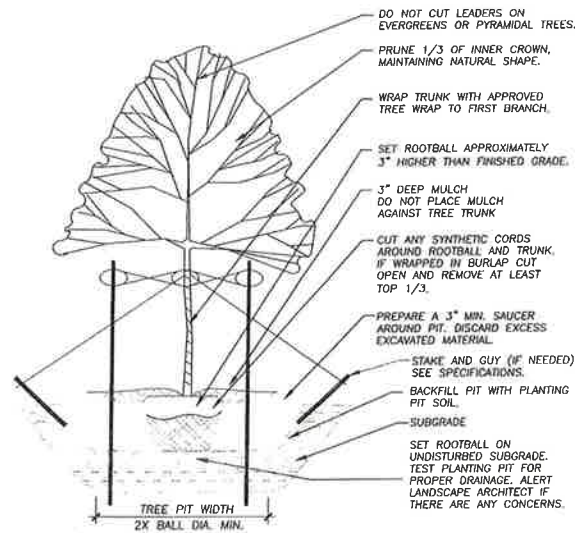
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DESIGNED BY: JG
 APPROVED BY: CK
 DATE: 03/19/21

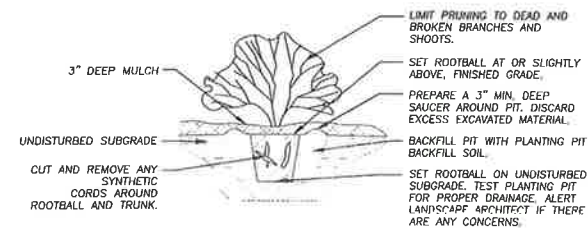
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SHEET NO.:
 L100

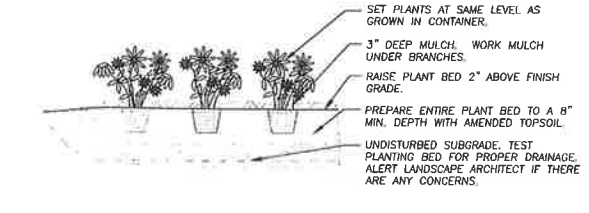
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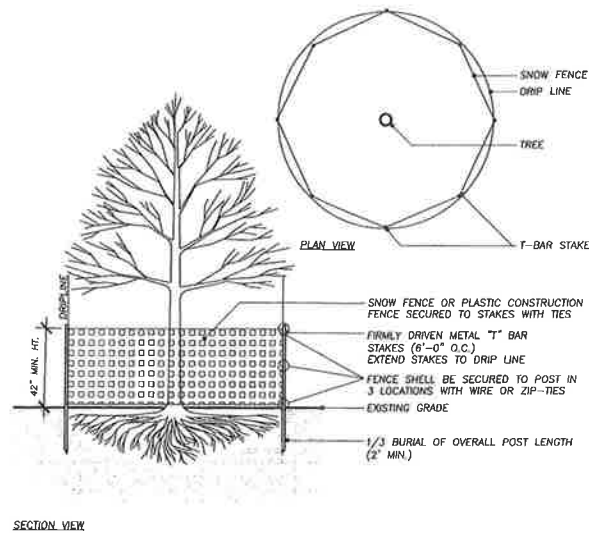
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2 SHRUB PLANTING DETAIL
 Not To Scale 329.333-01



3 ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL
 Not To Scale 329.301-03



4 TREE PROTECTION DETAIL
 Not To Scale 329.383-01



ERIKSSON ENGINEERING ASSOCIATES, LTD.

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 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

**DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS**

Reserved for Seal:

No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

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 Design By: JC Approved By: CK Date: 03/19/21

Sheet Title:
LANDSCAPE DETAILS

Sheet No:
L101

EXHIBIT B-2

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 JUN 03 2021
 COMMUNITY DEVELOPMENT
 DEPT

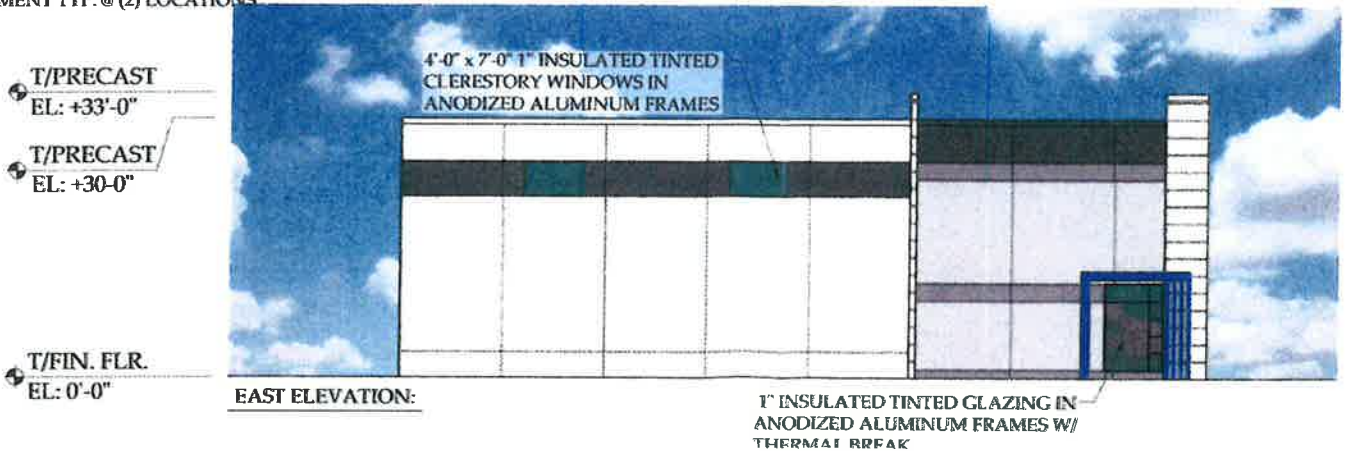
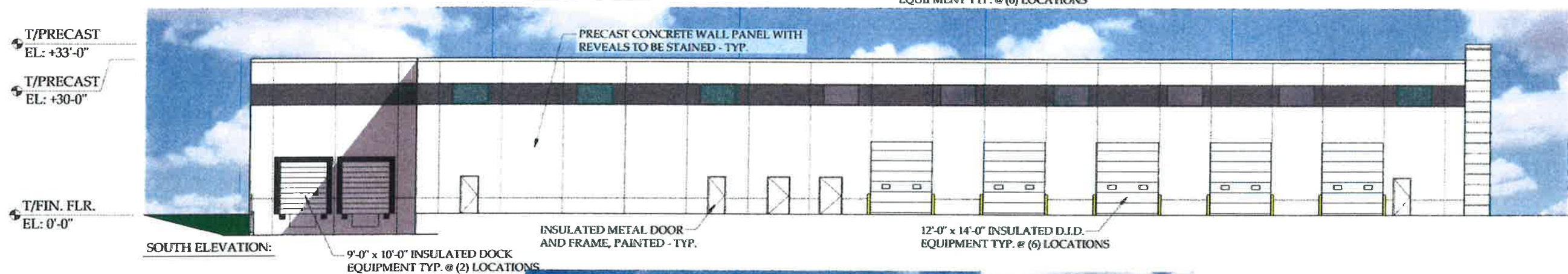
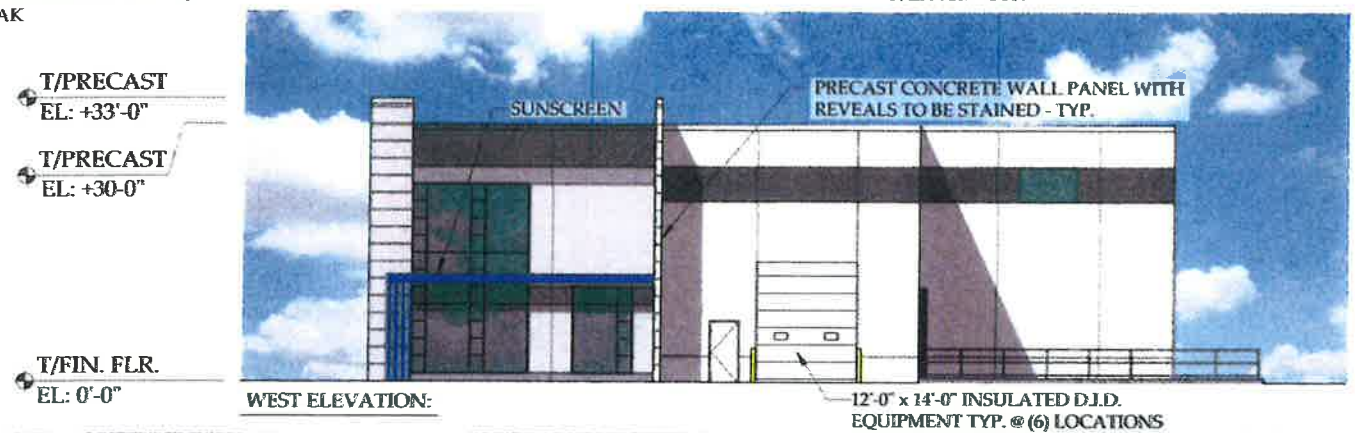
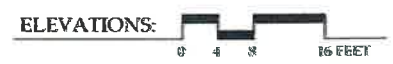


EXHIBIT C-1

	DARK FIELD COLOR: SHERWIN WILLIAMS CYBERSPACE SW7076
	MEDIUM FIELD COLOR: SHERWIN WILLIAMS SOFTWARE SW7074
	LIGHT FIELD COLOR: SHERWIN WILLIAMS ONLINE SW7072
	WHITE FIELD COLOR: SHERWIN WILLIAMS SITE WHITE SW7070
	ACCENT/CANOPY: DYNAMIC MD BLUE

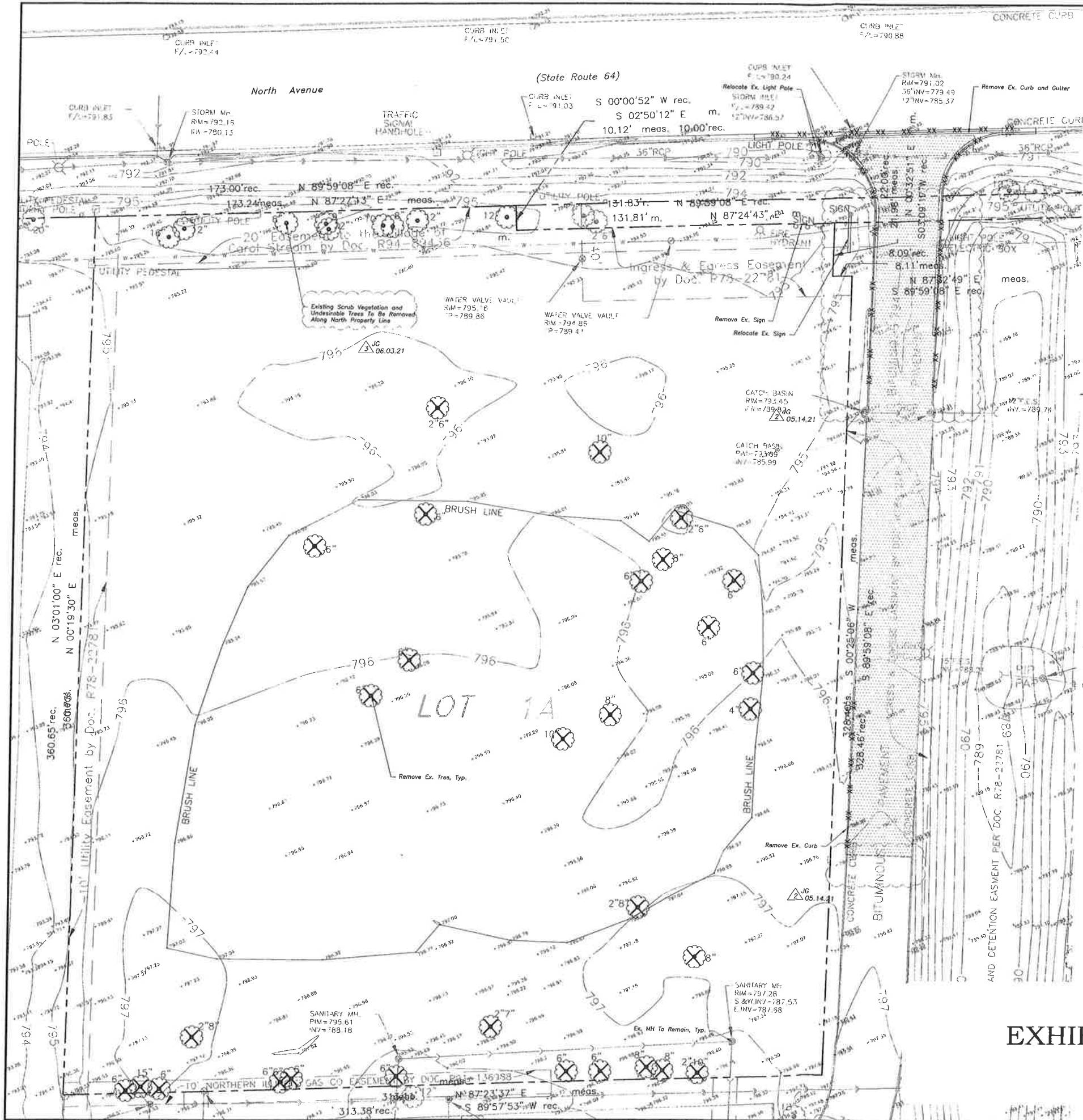


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JUN 03 2021
COMMUNITY DEVELOPMENT
DEPT



EXHIBIT C-2

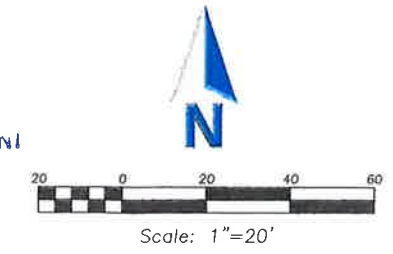
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 Plotted: 6/22/21 @ 1:30pm By: jgelamy



RECEIVED

JUN 03 2021

COMMUNITY DEVELOPMENT
DEPT



DEMOLITION LEGEND

- Utility Line Removal
- Bituminous Pavement Removal (Full Depth)
- Concrete Pavement Removal (Full Depth)
- Pavement Sawcut
- Curb & Gutter Removal
- Structure Removal
- Tree Removal

LEGEND

- | EXISTING | PROPOSED |
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DEMOLITION NOTES

- All Signs to be Removed shall be salvaged and stored in the Owner's Facility for Future Use as Applicable.
- Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- Coordinate Removal of Overhead Wires and Utility Poles with Authorities Having Jurisdiction and Respective Utility Providers.
- All Scavenging shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and may be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.
- Perform Tree Pruning in All Locations Where Proposed Pavement and/or Utility Installation Encroach Within the Existing Dip Line of Trees to Remain. All Trenching Within the Dip Line of Existing Trees to Remain shall be Done Radially Away From Trunk if Roots in Excess of 1" Diameter are Exposed. Roots must be Cut by Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval of the Architect Prior to Operations for a Variance From This Procedure.
- Coordinate Tree Removal with Landscape Architect. All Trees to be Removed shall be Removed in their Entirety and Stumps shall be Ground to Proposed Substrate. Use as Much for Proposed Landscaping Where Applicable and Acceptable to Architect.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermains, Sewers, Gas Lines, Etc., as Shown on the Plans, has been Determined from the Best Available Information and is Given for the Convenience of the Contractor. However, the Owner and the Engineer do Not Assume Responsibility for the Accuracy of the Location of Existing Utilities Other than Those Shown. Utilities May be Encountered, and that the Actual Location of Those Which are Shown may be Different from the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different than Shown on the Drawings.
- Notify the Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify the Owner, Engineer and the Village of Carol Stream a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon shall be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show that Damaged Areas were Not Disturbed by Construction Operations.
- These Drawings Assume that the Contractor will Utilize an Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person may Utilize the Information Contained Within these Drawings Without Written Approval from Eriksson Engineering Associates, Ltd.
- The Engineer is Furnishing these Drawings for Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of This Media shall Verify All Dimensions and Locations of Buildings with the Foundation Drawings and Architectural Site Plans, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist the User of This Information shall Contact the Engineer Immediately.
- Provide an As-Built Survey Prepared by a Licensed Professional Land Surveyor in Accordance with the Authorities Having Jurisdiction which shall include as a Minimum All Detention Basins and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations for the Basin(s), Watermain and Valve and Appurtenance Locations.
- The Illinois Department of Transportation Standard Specifications for Road and Bridge Construction Latest Edition, and All Addenda Therein, shall Govern the Earthwork and Paving Work Under this Contract Unless Noted Otherwise.

EXHIBIT D-1



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4854
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

**DYNAMIC MD
CAROL STREAM**
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS

Reserved for Seal:

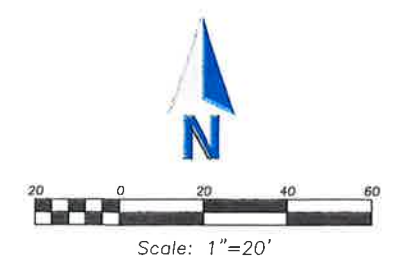
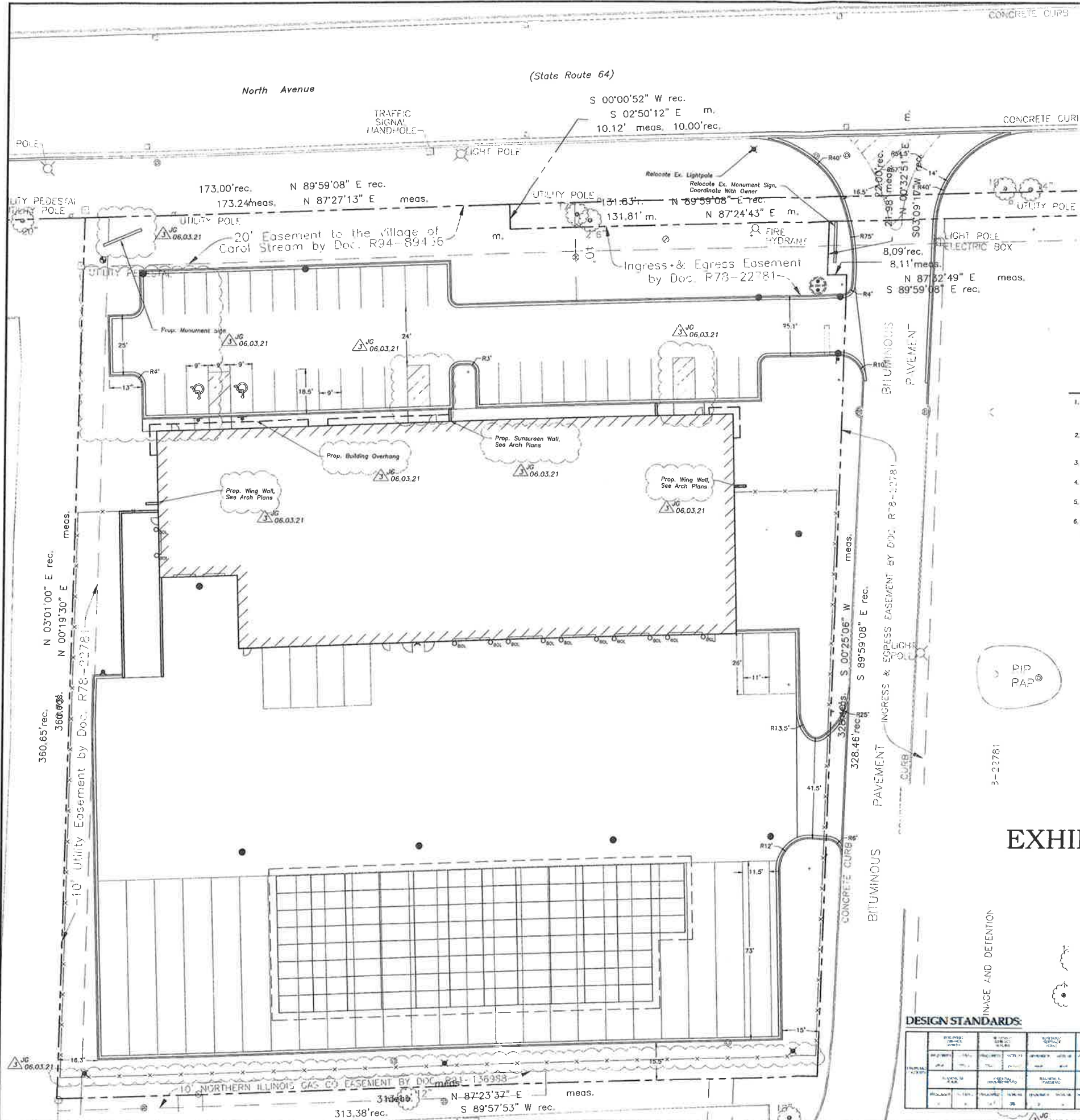
No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

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Design By:	Approved By:	Date:
JG	CK	03/19/21

SHEET TITLE:
**SITE DEMOLITION
PLAN**

SHEET NO:
C100

E:\Process\Dynamic MD - 680 E North Avenue\Drawings\680 E North Ave - Site Plan\680.dwg
 Plotted: 02/21/21 @ 1:37pm by jgsumner



LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Emergency Cables (Buried)	Emergency Cables (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Center Line	Center Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Bushline	Bushline
Tree Protection	Tree Protection
Fencing at Drip Line	Fencing at Drip Line

- GEOMETRY NOTES**
- All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center Of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
 - All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications, Two Coats For Lotex Points. All Cross Hatch Striping Shall Be 4" At 2'-0" Centers.
 - All Accessible Parking Signs (R7-B) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
 - Refer to Architectural Drawings for Exact Locations of All Buildings.
 - Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
 - Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-lb/ft, 1 1/2 Gauge Steel, Embedded 42" Minimum Into Ground.

- GENERAL NOTES**
- The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
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 - Notify The Owner, Engineer and The Village of Carol Stream A Minimum of 48 Hours in Advance of Performing Any Work.
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 - These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
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 - Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
 - The Illinois Department of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

EXHIBIT D-2

DESIGN STANDARDS

ITEM NO.	DESCRIPTION	STANDARD
1	MINIMUM CLEARANCE HEIGHT	14 FT
2	MINIMUM CLEARANCE WIDTH	10 FT
3	MINIMUM CLEARANCE LENGTH	10 FT
4	MINIMUM CLEARANCE AREA	10 FT x 10 FT
5	MINIMUM CLEARANCE VOLUME	1000 CU FT
6	MINIMUM CLEARANCE WEIGHT	1000 LB
7	MINIMUM CLEARANCE STRENGTH	1000 PSI
8	MINIMUM CLEARANCE DENSITY	1000 PCF
9	MINIMUM CLEARANCE PERMEABILITY	1000 GPM
10	MINIMUM CLEARANCE VISIBILITY	1000 FT
11	MINIMUM CLEARANCE SOUND	1000 DB
12	MINIMUM CLEARANCE TEMPERATURE	1000 DEG F
13	MINIMUM CLEARANCE HUMIDITY	1000 %
14	MINIMUM CLEARANCE WIND SPEED	1000 MPH
15	MINIMUM CLEARANCE RAINFALL	1000 IN
16	MINIMUM CLEARANCE SNOWFALL	1000 IN
17	MINIMUM CLEARANCE ICEFALL	1000 IN
18	MINIMUM CLEARANCE HAILFALL	1000 IN
19	MINIMUM CLEARANCE SLEETFALL	1000 IN
20	MINIMUM CLEARANCE DUSTFALL	1000 IN

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 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
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 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

DYNAMIC MD
CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS

Reserved for Seal:

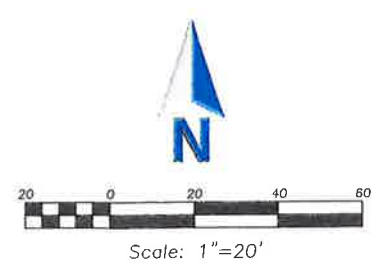
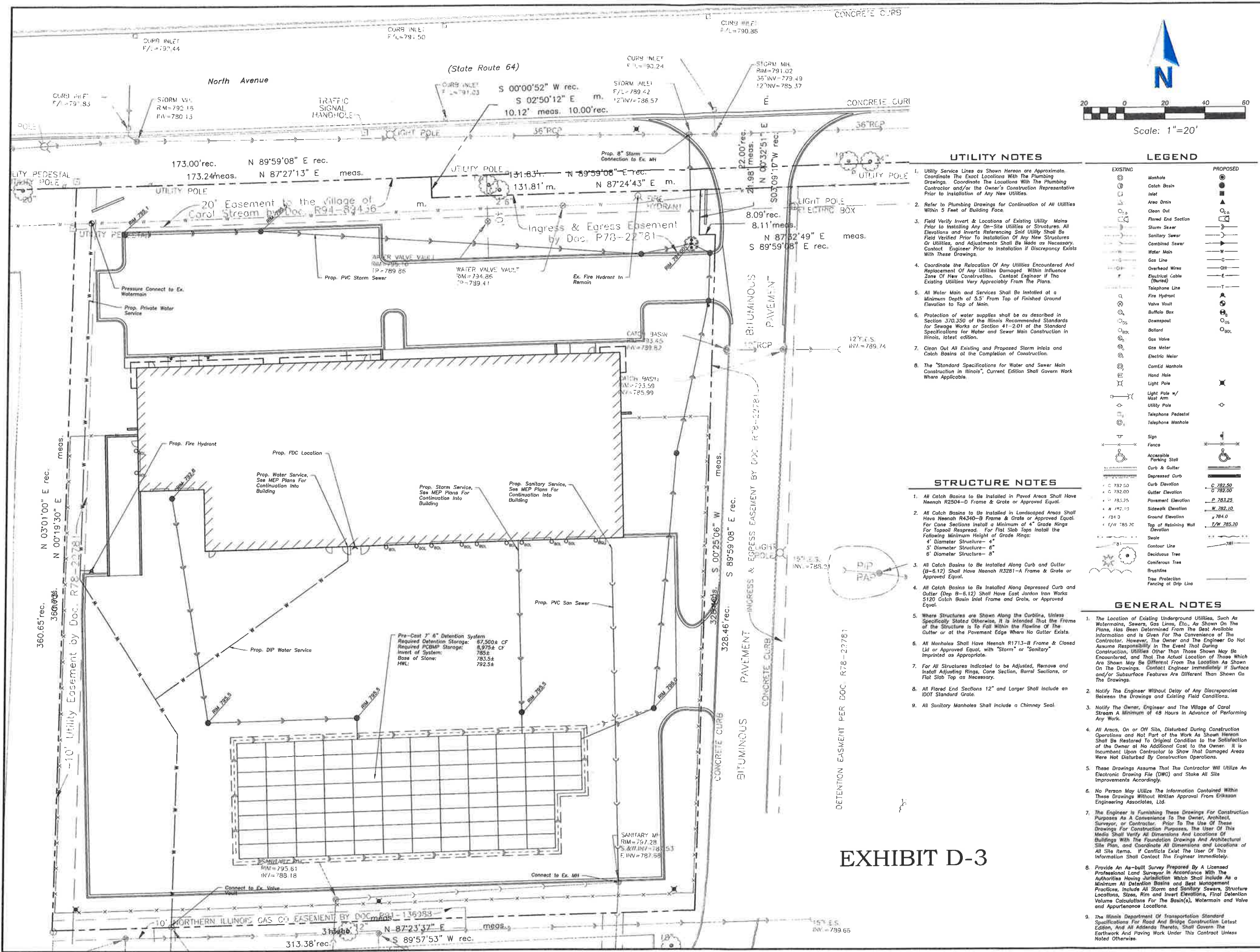
No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

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Design By:	Approved By:	Date:
JG	CK	03/19/21

Sheet Title:
SITE GEOMETRY PLAN
 Sheet No:
C200

\\projects\dynamic\md - 680 E North Avenue\Drawings\680 E North Ave - Site Plan\K30.dwg
 Plotted: 07/22/21 @ 11:49m Svl: jgalmeyer



- ### UTILITY NOTES
- Utility Service Lines as Shown Hereon are Approximate. Coordinate The Exact Locations With The Plumbing Drawings. Coordinate The Locations With The Plumbing Contractor and/or the Owner's Construction Representative Prior to Installation of Any New Utilities.
 - Refer to Plumbing Drawings for Continuation of All Utilities Within 5 Feet of Building Face.
 - Field Verify Invert & Locations of Existing Utility Mains Prior to Installing Any On-Site Utilities or Structures. All Elevations and Inverts Referencing Said Utility Shall Be Field Verified Prior to Installation of Any New Structures or Utilities, and Adjustments Shall Be Made as Necessary. Contact Engineer Prior to Installation if Discrepancy Exists With These Drawings.
 - Coordinate the Relocation of Any Utilities Encountered and Replacement of Any Utilities Damaged Within Influence Zone of New Construction. Contact Engineer if the Existing Utilities Vary Appreciably From The Plans.
 - All Water Main and Services Shall Be Installed at a Minimum Depth of 5.5' From Top of Finished Ground Elevation to Top of Main.
 - Protection of water supplies shall be as described in Section 370.350 of the Illinois Recommended Standards for Sewage Works or Section 41-2.01 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition.
 - Clean Out All Existing and Proposed Storm Inlets and Catch Basins at the Completion of Construction.
 - The "Standard Specifications for Water and Sewer Main Construction in Illinois", Current Edition Shall Govern Work Where Applicable.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Saver	Storm Saver
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffalo Box	Buffalo Box
Downspout	Downspout
Ballard	Ballard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Coned Manhole	Coned Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Light Pole w/ Mast Arm	Light Pole w/ Mast Arm
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Gutter Elevation	Gutter Elevation
Pavement Elevation	Pavement Elevation
Sidewalk Elevation	Sidewalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Swale	Swale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection Fencing at Dip Line	Tree Protection Fencing at Dip Line

- ### STRUCTURE NOTES
- All Catch Basins to be Installed in Paved Areas Shall Have Neenah R2504-B Frame & Grate or Approved Equal.
 - All Catch Basins to be Installed in Landscaped Areas Shall Have Neenah R4340-B Frame & Grate or Approved Equal. For Cone Sections Install a Minimum of 4" Grade Rings For Topsoil Retention. For Flat Slab Tops Install the Following Minimum Height of Grade Rings:
 4" Diameter Structure - 4"
 5" Diameter Structure - 6"
 6" Diameter Structure - 8"
 - All Catch Basins to be Installed Along Curb and Gutter (B-6.12) Shall Have Neenah R3281-A Frame & Grate or Approved Equal.
 - All Catch Basins to be Installed Along Depressed Curb and Gutter (Dep B-6.12) Shall Have East Jordan Iron Works S120 Catch Basin Inlet Frame and Grate, or Approved Equal.
 - Where Structures are Shown Along the Curbside, Unless Specifically Stated Otherwise, It is Intended that the Frame of the Structure is to Fall Within the Flowline of the Gutter or at the Pavement Edge Where No Gutter Exists.
 - All Manholes Shall Have Neenah R1713-B Frame & Closed Lid or Approved Equal, with "Storm" or "Sanitary" Imprinted as Appropriate.
 - For All Structures Indicated to be Adjusted, Remove and Install Adjusting Rings, Cone Section, Barrel Sections, or Flat Slab Top as Necessary.
 - All Flared End Sections 12" and Larger Shall include an IDOT Standard Grate.
 - All Sanitary Manholes Shall include a Chimney Seal.

- ### GENERAL NOTES
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 LICENSE NO. 184-03320
 EXPIRES: 04/30/2021

DYNAMIC MD
CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS

Reserved for Seal:

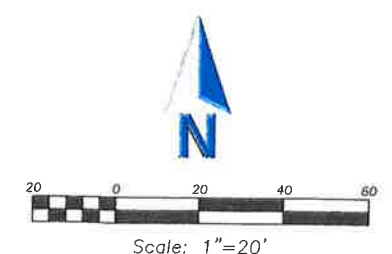
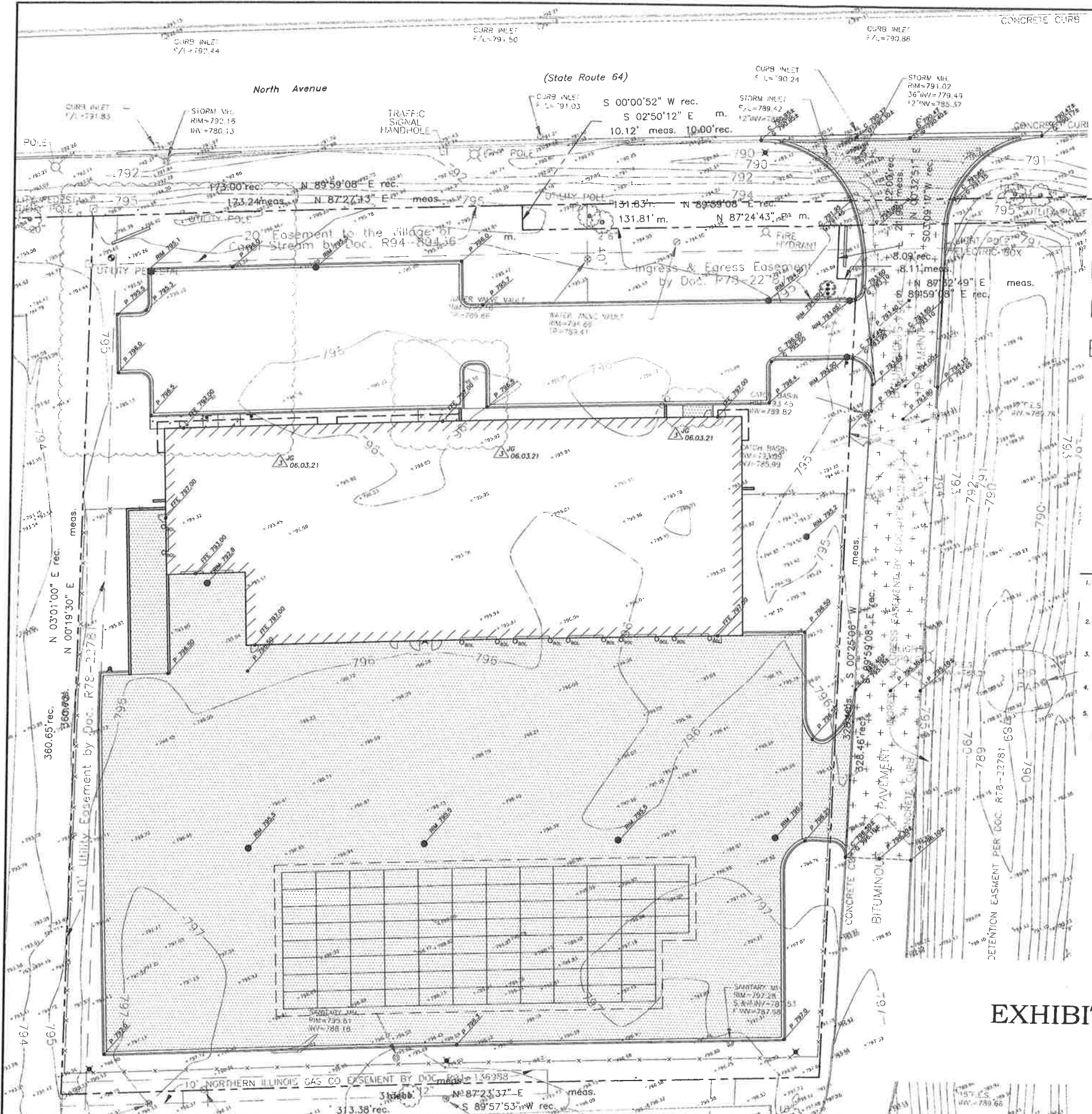
No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

DESIGN BY: JG APPROVED BY: CK DATE: 03/19/21

SHEET TITLE: **SITE UTILITY PLAN**
 SHEET NO: **C300**

EXHIBIT D-3

ES: - LA\Projects\Dynamic MD - 680 E North Avenue\Drawings\680 E North Ave - Site Plan_M-D.dwg
 Plotter: 0/2/2021 @ 1:40pm by jglaurya



PAVING & SURFACE LEGEND

	Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NSD 2 1/2" Hot Mix Asphalt, E-19.0, NSD Prime Coat (0.25 gal/sq yd) 8" Aggregate Base Course, Type B, Crushed, CA-6
	Concrete Driveway Section 8" Portland Cement Concrete 6"x6" W2.9xW2.9 Welded Wire Fabric 6" Aggregate Base Course, Type B, Crushed
	Concrete Sidewalk Section 8" Portland Cement Concrete 6"x6" W1.4xW1.4 Welded Wire Fabric 4" Aggregate Base Course, Type B, Crushed
	Heavy-Duty Asphalt Pavement Section 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NSD 3 1/2" Hot Mix Asphalt, E-19.0, NSD Prime Coat (0.25 gal/sq yd) 10" Aggregate Base Course, Type B, Crushed, CA-6

LEGEND

EXISTING	PROPOSED

- GRADING NOTES**
1. Install and Maintain Silt Fence at the Perimeter of the Construction Zone. Install Hay Bale Erosion Control Around All Proposed and Existing Structures Receiving Drainage From Disturbed Areas. Silt Fabric Under the Lid is Not an Acceptable Alternative in Landscaped Areas.
 2. The Grading and Construction of Proposed Improvements Shall Be Done in a Manner Which Will Allow for Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
 3. All Landscaped Areas Disturbed by Construction Shall Be Reseeded with 6 inches (Min.) to 12 inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise on the Landscape Drawings.
 4. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
 5. Accessible Parking Spaces and Loading Spaces Shall Be Sloped of Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slope Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall be 4.3%. Contact Engineer if Conflicts Exist.

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 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003230
 EXPIRES: 04/30/2021

**DYNAMIC MD
 CAROL STREAM
 680 E NORTH AVE
 CAROL STREAM, ILLINOIS**

Reserved for Seal:

No.	Date	Description
1	03/23/21	PRELIMINARY ENGINEERING
2	05/14/21	ZONING REVISIONS
3	06/03/21	ZONING REVISIONS

Design By:	Approved By:	Date:
JG	CK	03/19/21

Sheet Title:
GRADING AND PAVING PLAN

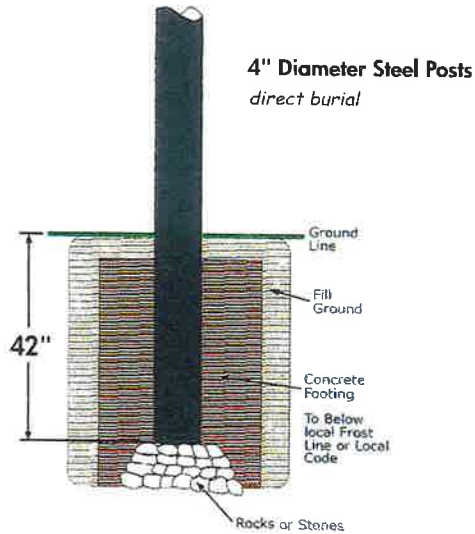
Sheet No:
C400

EXHIBIT D-4

DATE/TIME/PROOF	JOB/PROJECT	CUSTOMER INFO
6/3/21	Dynamic MD 680 N. Ave Carol Stream, IL 60116	Name: Vasile Sorocean Phone: 251-609-2430 Fax: E-Mail: vasile@dynamiccmd.net
PROOF#	File Name: Dynamic Sign Permit.fs	
Directory Name: Shared/Current Work		



Double sided UL listed monument sign
 All Aluminum Construction
 60" w x 120" h x 16" deep overall Area
 Logo is illuminated push thru acrylic
 White led edge illumination
 Pantone 300c (light blue text/swoosh),
 Face panels is painted mathews brushed aluminum
 Installed – 2 –Direct Burial 4" dia. Steel Poles with concrete



TO ASSURE SAFETY AND QUALITY OUR PRODUCTS IS (UL) LISTED

THIS RENDERING IS INTENDED AS A SAMPLE ONLY. COLOR, TEXTURE, MEASUREMENTS, AND ACTUAL APPEARANCE MAY VARY SLIGHT

Please check layout (artwork, spelling, dimensions) and fax back with signature. Production cannot begin until written approval is received. Additional charges will be applied for any changes that are needed after approval is received. SIGNARAMA is not responsible for any errors in spelling, layout, or dimensions that have been approved by the customer. The proof is for listed items only.

50% DEPOSIT DUE AT TIME OF ORDER (full amount if under \$100), balance due upon time of installation or pick up. I HAVE READ AND AGREE TO ALL TERMS. INITIAL _____

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 Phone: 847-680-0004 Fax: 847-680-6644
 Email: graphics@libertyvillesigns.com

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EXHIBIT E

Galveston

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MAY 13 2021

COMMUNITY DEVELOPMENT



Improved midrail design
for easier installation.
Note: new design available in
Texture and Smooth

Galveston CertaGrain Texture in Sierra Blend



Galveston CertaGrain® Texture STC 21

Available in 7' and 8' heights,
Galveston — our tallest privacy fence offers
the ultimate in complete privacy and is
suitable for commercial applications.

Heights: 7' & 8'
Picket Style: 7/8" x 7" Tongue & Groove
Steel Reinforced Top, Mid & Bottom Rail

EXHIBIT F

CAROL STREAM PUBLIC LIBRARY

616 Hiawatha Drive • Carol Stream, IL 60188
(630)-653-0755 www.cslibrary.org

May 19, 2021

To: The Honorable Mayor Frank Saverino and
Members of the Board of Trustees of the
Village of Carol Stream

Cc: Bob Mellor, Village Manager

Re: Board of Library Trustees of the Village of Carol Stream
Annual Report 2020-2021

Pursuant to the Local Library Act (75 ILCS 5/4-10), the Board of Library Trustees of the Village of Carol Stream submits the following Annual Report for the Fiscal Year ending April 30, 2021 on the condition of its trust.

- Part I — Itemized Statement of the various funds received from the library fund and from other sources (subject to annual audit)-Exhibit 1
- Part II — Itemized statement of the objects and purposes for which those sums of money have been expended (subject to annual audit)-Exhibit 2
- Part III — a statement of the number of books and periodicals available for use, and the number and character thereof circulated
- Part IV — A statement of the real and personal property acquired by legacy, purchase, gift or otherwise
- Part V — A statement of the character of any extensions of library service which have been undertaken
- Part VI - Blank (This amendment to 75 ILCS 5/4-10, passed August 22, 2017.)
- Part VII — A statement as to the amount of accumulations and the reasons thereof (subject to annual audit)
- Part VIII — A statement as to any outstanding liabilities including those for bonds still outstanding or amounts due for judgements, settlements, liability insurance, or for amounts due under a certificate of the board
- Part IX — Any other statistics, information and suggestions that may be of interest

Part III

Total number of books (including audiobooks, eBooks and eAudiobooks) is 156,388. The Library subscribes to 24 newspapers, 132 print magazines and has 3397 downloadable eMagazine subscriptions. Paper copies of print back issues of six months to one year are available. The Library circulated 202,941 items during FY 20/21.

Part IV

The Library did not acquire any property over the past year.

Part V

FY20/21 has been an interesting and challenging year for the Library. We have adapted our services and practices in response to the COVID-19 pandemic. Staff have responded to these changes with a positive attitude and creative thinking, finding a variety of ways to continue our Library patron relationships and providing as many services as possible and implementing new ones.

- The Youth Services Department offered 197 virtual programs with 2,984 attendees. The Adult Services Department offered 81 virtual programs with 1,129 attendees. 70 Teen programs were offered with 522 attendees. To provide additional options for patrons, the three departments provided a large variety of passive programming utilizing take and make crafts and individually customized Binge Boxes that were comprised of books, activities, tchotchkes and a snack. These are available by request for patrons of all ages. Youth Services had 636 passive programs with 7,531 participants, Adult Services had 144 passive programs with 2,836 participants, and Teen Services had 12 passive programs with 80 participants.
- Two new collections were added to the library in FY21. We now circulate Nintendo Switch video games. We also circulate Launch Pads in the Youth Services department. Launch Pads are preloaded tablets for children of various ages with educational games, stories and more. A Carol Stream Authors section has been added to our Spotlight Collection area, featuring books written and/or illustrated by local residents.
- *Press Reader* is a new online magazine/newspaper database that we have added to our online resources. It contains over 7000 newspapers and magazines that can be read instantly or downloaded for later and can be translated instantly in up to sixteen different languages. There are publications from over 120 countries and in more than 60 different languages that provide our patrons with instant access to content from home, and from around the world. With Carol Stream being such a diverse community comprised of residents from around the world, we are very happy to be able to provide them with this new online service to provide them with a connection to their former home, culture and heritage.
- The Library resumed monthly Homebound deliveries of Library materials to local senior centers and individual patrons in September 2020.
- The Library provided online virtual Library card registration so that patrons would be able to access our online collections and databases while the building was closed to the public.
- The Library installed curbside pick-up service for the public while the building was closed. In the summer of 2020 permanent curbside pick-up parking stalls were added at the front of the building. Curbside pick-up service is now a permanent service that we will be providing to the community. Patrons can reserve materials online, text the staff when they arrive, and their bag of materials is brought out to their vehicle. 13,403 curbside transactions took place in FY21.
- In addition to Library materials, the Library has provided complimentary printing, faxing and scanning services for curbside or in-person pick-up throughout the year.
- The Library often works with local community organizations to provide additional information and services. During the pandemic, the Library hosted three mobile blood drives in the parking lot. In addition, the Library worked with the Wheaton League of Women Voters to provide drive-up voter registration and voter information in the parking lot and in

front of the building on several occasions during the past year's election cycles. The Library was a polling location in November and April.

- The Library installed an additional Wi-Fi router to the outside of the building, to extend internet access farther into the parking lot.
- The Library's Website, www.cslibrary.org, offers patrons 24/7 service with the opportunity to download eAudiobooks, eBooks, eMagazines, streaming video and music, access to online subscription databases, as well as the ability to register for programs through their home computers and other electronic devices.
- The Library has a mobile application for patrons to access the Library with their smartphones and other devices. The application was accessed 36,325 times during FY 20/21.
- Live online chat and texting with librarians is available during regular Library hours to immediately respond to patrons' informational needs. Portable chargers are available for check out for patrons who need to charge their electronic devices. Bike locks are available for check out for riders to secure their bicycles.
- The Library's newsletter is delivered every month to the residents of Carol Stream to inform them of Library collections, services and programs. The in-print newsletter was suspended for most of FY21, with the focus on information mailers and our e-newsletter. In fall 2021 we are planning to resume the publication of the monthly newsletter.
- The Library offers patrons the opportunity to subscribe to an e-newsletter.

Part VI No longer required.

Part VII

The Library Board continues to implement, within its financial plan, the accumulation of funds for the purpose of completing capital improvement projects, making major repairs, providing for catastrophic emergency, and special projects. This past fiscal year the Library had \$400,646 (subject to audit) remaining in the General Fund to add to the Library's Reserve. In anticipation of this surplus, \$250,000 of that amount was transferred in April to two of the Library's Special Funds (\$150,000 to CM&R Fund and \$100,000 to the Building Renovation Loan Fund). The surplus this year was a result of staffing adjustments, staff vacancies, new vendor contracts and reductions in some of our yearly expenses.

Part VIII

In FY 2019 the Library Board entered into an Intergovernmental Loan Agreement (ILA) with the Village of Carol Stream for \$2,000,000 for ten years. The annual loan repayment is \$234,461.

Part IX

Part IX

- Percentage of population (39,711) registered with Library cards is 45 % (18,044 cardholders)
- Digital Services: There were 121,955 visits to the Library's Web page and remote access to the Library's subscription databases via the Web page numbered 45,425 (16.8% increase). 65,732 eAudiobooks, eBooks, and music CDs were downloaded through the Library's subscription services via the Library web page and mobile application (52% increase). 6087 videos were streamed from the Library's online streaming service Hoopla (116.5% increase). 7,015 eMagazines were downloaded with the Library's downloadable online magazine service RBdigital

(27% increase). Being able to provide expanded patron access to our downloadable/virtual collections has been a great benefit to the residents of the community during the pandemic.

- Social Media: The Library's Facebook page has 2,356 Followers and received 49,130 Engagements (Likes) and had 503,110 Impressions (Views) in FY20/21. Instagram has 926 followers and had 1,500 Engagements (Likes) and 58,261 Impressions (Views) of posts in FY 20/21. Twitter has 1347 followers and had 47,628 Engagements (Likes) and 339,900 Impressions (Views) of posts in FY 20/21.
- The number of homebound patrons currently being served is 36. The Library made 177 deliveries and delivered 1,107 items to our homebound patrons during FY 20/21.
- Adult reference staff answered 10,831 questions and Youth reference staff answered 3,572 questions for a total of 14,403.
- The Library's study rooms and meeting rooms were not available to the public during the pandemic. They are being utilized for staff workspace and breaks to provide social distancing.

CERTIFICATION

This Annual Report is filed by the Carol Stream Public Library pursuant to the Local Library Act (75 ILCS 5/4-10) for the fiscal year commencing May 1, 2020 and ending April 30, 2021.

Signed:



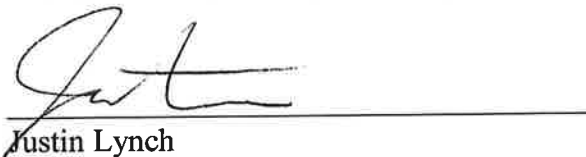
Susan Westgate
Library Director

Attest:

I, the undersigned President of the Board of Library Trustees of the Village of Carol Stream, hereby state that the foregoing entitled:

BOARD OF LIBRARY TRUSTEES OF THE VILLAGE OF CAROL STREAM ANNUAL REPORT 2020-2021

is a true and accurate report of the activities of the Carol Stream Public Library for the year stated.



Justin Lynch
President
Board of Library Trustees

(Seal)

EXHIBIT 1 - FY 21 Income Received (subject to audit)

ACCT #	Account Name	
	GENERAL FUND REVENUES	
	Property Taxes	
	Property Tax -- Current	3,137,348
	Property Tax -- Non-Current	0
	PPR Taxes	38,733
	Interest Income	
	Interest Income -- Taxes	
	Interest Income -- Investments	4,574
	Patron Payments	
	Fines & Fees	3,189
	Public Copier Payments	1,364
	Non-Resident Card Fees	400
	Sale Items	0
	Donations	760
	Developer Contributions	0
	RBP/ILL Reimbursements	79
	Grants	
	Per Capita Grant	49,639
	Other Grants/Awards	0
	Other Income	314
	TOTAL GENERAL FUND REVENUE	3,236,400
	SPECIAL FUND REVENUES	
	IMRF Fund	
	Property Tax -- Current	171,188
	Property Tax -- Non-Current	-
	Interest Income Taxes	0
	Interest Income Investments	278
	FICA Fund	
	Property Tax -- Current	141,994
	Property Tax -- Non-Current	0
	Interest Income Taxes	0
	Interest Income Investments	231
	Liability Fund	
	Property Tax -- Current	1,327
	Property Tax -- Non-Current	0
	Interest Income Taxes	0
	Interest Income Investments	83

EXHIBIT 1 - FY 21 Income Received (subject to audit)

ACCT #	Account Name		
	Audit Fund		
	Property Tax -- Current	13,270	
	Property Tax -- Non-Current	0	
	Interest Income Taxes	0	
	Interest Income Investments	16	
	Capital Maint. & Repair		
	Interest Income Investments	5,243	
	Working Cash Fund		
	Interest Income Investments	126	
	Debt Service Fund		
	Property Tax -- Current	235,992	
	Property Tax -- Non-Current	0	
	Interet Income Taxes	0	
	interest Income Investments	5	
	TOTAL SPECIAL FUND REVENUES	569,753	
	TOTAL INCOME FY 2021	\$3,806,153	

EXHIBIT 2 - FY 21 EXPENSES (subject to audit)

ACCT #	Account Name		
	GENERAL FUND EXPENDITURES		
5100	SALARIES		
5101	EXEMPT STAFF SALARIES	584,758	
5102	NON-EXEMPT STAFF SALARIES	1,106,200	
5103	CUSTODIAL SALARIES	72,145	
5104	BENEFITS-MED/LIFE/DENTAL		
5105	Professional Education	5,685	
5106	Memberships	3,647	
5107	Benefits -- Life insurance	1,778	
5108	Benefits -- Health Insurance	208,506	
5109	Benefits -- Other	1,427	
5110	Trustee Development	2,146	
	TOTAL	1,986,292	
5200	PLANT MAINTENANCE		
5201	SUPPLIES	17,888	
5202	MAINTENANCE/REPAIR	6,227	
5203	MAINTENANCE CONTRACTS	39,785	
5204	LANDSCAPE MAINTENANCE	11,227	
5205	FURNITURE/EQUIPMENT	10,496	
5206	ELECTRIC - COMM EDISON	44,300	
5207	WATER/SEWER	3,924	
5208	INSURANCE (PROPERTY)	9,929	
	TOTAL	143,776	
5300	BUSINESS EXPENSE		
5301	POSTAGE	1,599	
5302	OFFICE&EQUIPMENT SUPPLIES	3,123	
5303	PRINTER SUPPLIES	219	
5304	EQUIPMENT LEASING	19,106	
5305	MILEAGE REIMBURSEMENT	171	
5306	LEGAL NOTICES	504	
5308	BUSINESS PHONE	10,822	
5309	ACCOUNTING SERVICE	13,426	
5310	MATERIAL RECOVERY FEES	0	
5311	PAYROLL SERVICE	6,963	
5312	ATTORNEY FEES	2,640	
5314	OTHER CONSULTANTS	0	
5315	OTHER EXPENDITURES	17,912	
5317	BANK FEES	40	
5319	SECURITY SERVICE	338	


EXHIBIT 2 - FY 21 EXPENSES (subject to audit)

ACCT #	Account Name		
5320	Donation Received Expense	450	
5321	Human Resources	6,660	
	TOTAL	83,973	
5400	CIRCULATION & MATERIALS PROCESSING, INCLUDING AUTOMATED SERVICES		
5401	Automation Hardware	15,578	
5402	ISP and Web Page Hosting	5,534	
5403	Computer Software	8,139	
5404	LAN and Hardware Maintenance	14,526	
5405	Technical Services Supplies	2,722	
5406	Circulation Supplies	5,133	
5408	Tech Services Online Resources	14,824	
5409	RBP/ILL Expenses	471	
5410	SWAN Consortium	46,861	
5411	Village IT Services	93,248	
	TOTAL	207,036	
5500	SERVICES		
5501	Youth Services Programs	31,052	
5503	Adult Programs	15,700	
5505	Library Newsletter	13,878	
5509	Library Publicity and Promotion	7,169	
	TOTAL	67,799	
5600	COLLECTION DEVELOPMENT		
5601	Youth Services Books	42,733	
5606	Youth Services Media	14,274	
5630	Adult Books	62,254	
5634	Online Resources	35,044	
5635	Magazines & Newspapers	11,594	
5637	Adult Media	29,853	
5651	Digital Media	101,417	
5652	Grant/Award Expense (Databases)	49,639	
	TOTAL	346,808	
	GENERAL FUND EXPENDITURES		
5100	SALARIES	1,986,292	
5200	PLANT MAINTENANCE	143,776	
5300	BUSINESS EXPENSE	83,973	
5400	CIRCULATION & MATERIAL Proc....	207,036	
5500	SERVICES	67,799	

EXHIBIT 2 - FY 21 EXPENSES (subject to audit)

ACCT #	Account Name		
5600	COLLECTION DEVELOPMENT	346,808	
	TOTAL	2,835,684	
	SPECIAL FUND EXPENDITURES		
	Account Name		
	LIABILITY INSURANCE FUND	23,649	
	FICA FUND	128,636	
	IMRF FUND	198,464	
	AUDIT FUND	12,065	
	Capital Maintenance & Repair Fund	71,416	
	Special Capital Projects in CM&R Fund	558,593	
	Debt Service Fund	234,461	
	TOTAL	1,227,284	
	General Fund Expenditures	2,835,864	
	Special Fund Expenditures	1,227,284	
	Total Expenditures	\$ 4,063,148	

Village of Carol Stream
Interdepartmental Memo

TO: Bob Mellor, Village Manager
FROM: Ann Delort, Administration Secretary 
DATE: June 9, 2021
RE: **2021 Raffle License Application - American Legion Post 76**

The American Legion Post 76 has submitted a Raffle License Application for their 2021 annual license to conduct weekly raffles at their hall.

They have paid the license fee of \$100 and are asking to have the Fidelity Bond fee waived. The application, Certificate of Liability Insurance and the Articles of Incorporation are available for viewing in the Administration office.

The American Legion is a non-for-profit organization with proceeds from the raffles donated to various local charities, scouts and ball teams, which benefit the residents of the Village of Carol Stream.

Please place this on the agenda for Monday, June 21, 2021 for Board review and approval of the raffle license.

Thank you,

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

AGENDA ITEM
L-1 6/21/21

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
ACCURATE OFFICE SUPPLY CO					
EMPLOYEE RECOGNITION	45.44	01600000-52242	EMPLOYEE RECOGNITION	543525	
OFFICE SUPPLIES	14.12	01600000-53314	OFFICE SUPPLIES	544781	
OFFICE SUPPLIES	24.42	01600000-53314	OFFICE SUPPLIES	544594	
COPY PAPER, SUPPLIES	643.43	01590000-53317	OPERATING SUPPLIES	541060	
OFFICE SUPPLIES	75.06	01640100-53317	OPERATING SUPPLIES	540727	
	<u>802.47</u>				
ADVANTAGE TRAILERS & HITCHES					
AP PLUG	19.98	01696200-53354	PARTS PURCHASED	68182	
	<u>19.98</u>				
AIR ONE EQUIPMENT INC					
GLOVE TESTING	40.00	01670300-53317	OPERATING SUPPLIES	167940	
	<u>40.00</u>				
AIRLINE PURCHASE MASTERCARD					
AIRFARE DRE CONFERENCE 08/13-08/21/21	296.96	01660100-52223	TRAINING	47ZD4W	
BACIDORE DISCOUNTED AIRFARE	44.01	01660100-52223	TRAINING	47ZD4W	
RUDELICH AIRFARE DRE CONFERENC	296.96	01660100-52223	TRAINING	47ZD4W	
	<u>637.93</u>				
ALLEGIANT FIRE PROTECTION					
FARMHOUSE-FIRE SPRINKLER TEST	185.00	01680000-52244	MAINTENANCE & REPAIR	SO22081	
	<u>185.00</u>				
ALLIED 100 LLC					
INV 1895214-TAX REFUND	-30.04	01662700-53317	OPERATING SUPPLIES	1895214-REF	
	<u>-30.04</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
AMAZON.COM					
#30 UPFIT	76.29	10670000-54415	VEHICLES	1028262	
#30 UPFIT	335.85	10670000-54415	VEHICLES	1584261	
AMR ZIP TIES	37.98	04201400-53333	NEW METERS	5445842	
ANGLE GRINDER	144.00	04201600-53316	TOOLS	4103437	
ANGLE GRINDER BLADES	28.79	04201600-53316	TOOLS	5460232	
BLANK MEDIA	176.91	01662700-53317	OPERATING SUPPLIES	5527451	
CARHARTT LIGHTWEIGHT BIBS	159.98	04200100-53324	UNIFORMS	2253013	
CD WIRELESS DISPLAY ADAPTER	41.99	01652800-53317	OPERATING SUPPLIES	3957838	
COFFEE MAKER	549.14	01620100-53350	SMALL EQUIPMENT EXPENSE	4554657	
DIGITAL EVIDENCE SUPPLIES	86.90	01662700-53317	OPERATING SUPPLIES	1357068	
DOOR HANGER STOCK	23.90	01620100-53317	OPERATING SUPPLIES	1037862	
DOOR HANGER STOCK	47.80	01620100-53317	OPERATING SUPPLIES	6081000	
GPU POWER CABLE	17.77	01652800-53317	OPERATING SUPPLIES	5409848	
HANDHELD CHLORINE ANALYZERS	934.92	04201600-53350	SMALL EQUIPMENT EXPENSE	4494633	
HDD TRAYS	82.14	01652800-53317	OPERATING SUPPLIES	8756227	
HDMI EXTENSION CABLE	85.90	01652800-53317	OPERATING SUPPLIES	8639415	
ID HOLDERS	13.95	01660100-53317	OPERATING SUPPLIES	1543408	
MA BALL VALVE	91.91	01696200-53354	PARTS PURCHASED	3220237	
MA CARB	45.72	01696200-53354	PARTS PURCHASED	7410642	
MA CARBURETOR	36.98	01696200-53354	PARTS PURCHASED	4653039	
MA FLOAT	25.98	01696200-53354	PARTS PURCHASED	4946641	
MA HARNESS	35.79	01696200-53354	PARTS PURCHASED	4661007	
MA MIRRORS	175.15	01696200-53354	PARTS PURCHASED	6293020	
MA VALVE	46.46	01696200-53354	PARTS PURCHASED	7903435	
MISC COMPUTER EQUIPMENT	335.68	01652800-53317	OPERATING SUPPLIES	6867452	
MONITORS FOR KELLY LALLY	378.00	01652800-53317	OPERATING SUPPLIES	7548259	
MOURNING BANDS	10.49	01662700-53324	UNIFORMS	9582616	
MOURNING BANDS	203.00	01662700-53324	UNIFORMS	8998639	
PAPER TOWELS	67.28	01662700-53317	OPERATING SUPPLIES	9266641	
PATROL CAMERA CASES	70.14	01662700-53317	OPERATING SUPPLIES	0705823	

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
RECORDS CFS DISPLAY	1,477.76	02385200-53317	OPERATING SUPPLIES	4922654	
RETURN	-47.40	01696200-53317	OPERATING SUPPLIES	4967430REF	
ROLL PAPER TOWELS	159.16	01670400-53317	OPERATING SUPPLIES	5050619	
SD FOR TEST CLUSTER	134.91	01652800-53317	OPERATING SUPPLIES	1018645	
SERVICE WRENCH SET	85.99	01696200-53316	TOOLS	5633833	
SHORTS-JAMES DILLON	134.97	01670100-53324	UNIFORMS	6841816	
SPLIT LOOM, FLEX SPLIT	27.47	01696200-53317	OPERATING SUPPLIES	9500208	
SUPERMICRO CARD-SSD	146.70	01652800-53317	OPERATING SUPPLIES	8368269	
TERA PUMP	47.40	01696200-53317	OPERATING SUPPLIES	4967430	
TIRE CHANGER PLACTIC HEAD	31.50	01696200-53317	OPERATING SUPPLIES	0878614	
TV STAND MOUNT	79.98	01670400-53317	OPERATING SUPPLIES	6793010	
UNIFORM-C WEIGAND, JEANS, AMR ZIPTIES	84.96	04100100-53324	UNIFORMS	5445842	
AP BLADES	80.00	01696200-53354	PARTS PURCHASED	2221804	
AP DECK WHEELS	99.98	01696200-53354	PARTS PURCHASED	2550627	
AP GASKETS	155.45	01696200-53354	PARTS PURCHASED	6176241	
DIGITAL EVIDENCE SUPPLIES	278.99	01662700-53350	SMALL EQUIPMENT EXPENSE	6614612	
EYEWASH STATION-FLUID	25.84	01670100-53317	OPERATING SUPPLIES	3428247	
EYEWASH STATION-FLUID	25.85	04201600-53317	OPERATING SUPPLIES	3428247	
MONITOR	169.84	02385200-54413	COMPUTER EQUIPMENT	0087463	
PATROL SUPPLIES	587.59	01662700-53350	SMALL EQUIPMENT EXPENSE	5232244	
SUPPLIES	125.43	01696200-53317	OPERATING SUPPLIES	0852260	
UNIFORM-TURNER, JEANS	116.85	01670100-53324	UNIFORMS	7962659	
VIDEO SUPPLIES	199.95	01664700-53317	OPERATING SUPPLIES	2909022	
	8,595.96				
AMER PLANNING ASSN					
PC CHAIRPERSON DUES 05/03/21	189.00	01530000-52234	DUES & SUBSCRIPTIONS	038844-2144	
	189.00				
AMERAPRODUCTS INC					
CABINET DOOR	55.56	01670400-53317	OPERATING SUPPLIES	IVC00000109019	
	55.56				

**Village of Carol Stream
Schedule of Bills
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<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
AMERICAN PUBLIC WORKS ASSOCIATION					
E/I TRAINING 05/05-05/06/21	450.00	01670200-52223	TRAINING	CYS2J55X	
	<u>450.00</u>				
AMERICAN WATER WORKS ASSOCIATION					
TRAINING REFUND-CODY WEIGAND	-36.00	04200100-52223	TRAINING	45782360	
	<u>-36.00</u>				
AQUA SCIENCE					
WELL CAP	51.00	01620100-53350	SMALL EQUIPMENT EXPENSE	100036551	
	<u>51.00</u>				
ARMBRUST PLUMBING & HEATING INC					
HYDRANT RPZ REPAIR	959.95	04201600-52244	MAINTENANCE & REPAIR	18676067	
	<u>959.95</u>				
AVI SYSTEMS INC					
BOARDROOM MIC REPAIR	580.00	01652800-54418	CATV/ PEG EXPENSES	88729915	
	<u>580.00</u>				
B & F CONSTRUCTION CODE SERVICES, INC					
FIRE ALARM REVIEW-425 GENEVA RD, 21-1942-F	200.00	01643700-52253	CONSULTANT	56495	
FIRE ALARM SYSTEM-521 SCHMALE RD, 21-1990	200.00	01643700-52253	CONSULTANT	56503	
	<u>400.00</u>				
BADGERLAND BADGE & SIGN COMPANY INC					
BADGE-BERGER	10.41	01520000-53315	PRINTED MATERIALS	74476	
BADGE-MCCARTHY	10.50	01520000-53315	PRINTED MATERIALS	74467	
	<u>20.91</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
BARCODES INC					
HONEYWELL XENON BARCODE SCANNER	102.44	04103100-52255	SOFTWARE MAINTENANCE	CC6420751	
HONEYWELL XENON BARCODE SCANNER	102.44	04203100-52255	SOFTWARE MAINTENANCE	CC6420751	
HONEYWELL XENON BARCODE SCANNER	307.32	01610100-52255	SOFTWARE MAINTENANCE	CC6420751	
	<u>512.20</u>				
BAXTER & WOODMAN INC					
RISK, RESILIENCE ASSESSMENT	1,500.00	04200100-52253	CONSULTANT	0223642 PO-3868	
WRC CONSTRUCTION -DEWATERING	2,503.34	04101100-54480	CONSTRUCTION	0223758 PO-3906	
WRC DEWATERING	1,390.00	04101100-54480	CONSTRUCTION	0223757 PO-3906	
	<u>5,393.34</u>				
BEARY LANDSCAPING					
LANDSCAPE MAINT-MAY 2020	4,162.50	01670400-52272	PROPERTY MAINTENANCE	162497 PO-3787	
	<u>4,162.50</u>				
BLOOMING COLOR OF ST CHARLES					
BUS CARDS-CIESLOWSKI	38.12	01660100-53317	OPERATING SUPPLIES	271927	
BUSINESS CARDS-KRIESE	38.12	01660100-53317	OPERATING SUPPLIES	271281	
	<u>76.24</u>				
BLOOMINGDALE TOWNSHIP					
MOSQUITO ABATEMENT-MAY 2021	8,833.00	01670100-52269	MOSQUITO ABATEMENT	7102 PO-3879	
MOSQUITO ABATEMENT	8,833.00	01670100-52269	MOSQUITO ABATEMENT	7002 PO-3790	
	<u>17,666.00</u>				
BROTHERS ASPHALT PAVING INC					
FLEX PAVEMENT PROJECT	-80,604.16	06-21451	RETAINAGE - BROTHERS ASPHALT	34908	
FLEX PAVEMENT PROJECT	806,041.61	06320000-54470	STREET RESURFACING	34908	
	<u>725,437.45</u>				

**Village of Carol Stream
Schedule of Bills
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<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
BRUCE WALSTAD					
GYPSY/TRAVELERS CRIME CLASS	150.00	01660100-52223	TRAINING	033259	
	<u>150.00</u>				
C S FIRE PROTECTION DISTRICT					
PERMITS-MAY 2021	1,320.00	01-24416	DEPOSIT-FIRE DISTRICT PERMIT	PERMITS MAY 2021	
	<u>1,320.00</u>				
C S PUBLIC LIBRARY					
PPRT MAY 2021	13,544.90	01000000-41102	PERSONAL PROPERTY REPLAC TAXPPRT MAY 2021		
	<u>13,544.90</u>				
CALIBRE PRESS LLC					
PROMOTIONAL CLASS-BUCHOLZ 06/23/21	129.00	01660100-52223	TRAINING	37070	
	<u>129.00</u>				
CANON FINANCIAL SERVICES INC					
ADMIN COPIER-APR 2021	968.65	01652800-52226	OFFICE EQUIPMENT MAINTENAN	26627144	
	<u>968.65</u>				
CANON SOLUTIONS AMERICA					
COPIER-MAINTENANCE	4,166.76	01652800-52226	OFFICE EQUIPMENT MAINTENAN	036082040	
MFD STAPLE CARTRIDGE-ADMIN	104.94	01652800-52226	OFFICE EQUIPMENT MAINTENAN	147261768	
MFD-SVC, MAR-JUN 2021	1,533.93	01652800-52226	OFFICE EQUIPMENT MAINTENAN	035788224	
OFFICE EQUIP-MFD USE DEC-MAR 2021	2,698.78	01652800-52226	OFFICE EQUIPMENT MAINTENAN	035793128	
STAPLES FOR MFD-MAINTENANCE, ADMIN	104.00	01652800-52226	OFFICE EQUIPMENT MAINTENAN	147256564	
	<u>8,608.41</u>				
CAPUTO'S NEW FARM PRODUCE- CAROL STREAM INC					
SWEARING IN CEREMONY 5/3/21	63.87	01520000-52222	MEETINGS	00206822	
NOTE PAYMENT 06/30/21	61,980.01	22490000-56491	LOAN INTEREST	NOTE PAYMNT 06/30/21	
NOTE PAYMENT 06/30/21	94,289.31	22490000-56490	LOAN PRINCIPAL	NOTE PAYMNT 06/30/21	
	<u>156,333.19</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
CAROL STREAM PARK DISTRICT					
PARK PASSES-MAY 2021	190.00	01-24236	BARK PARK MEMBERSHIP	PARK PASSES MAY 2021	
	<u>190.00</u>				
CARQUEST AUTO PARTS					
MA ALTERNATOR	298.07	01696200-53354	PARTS PURCHASED	2420-494348	
MA BATTERY	172.74	01696200-53354	PARTS PURCHASED	2420-493788	
MA BRAKE CHAMBER	45.10	01696200-53354	PARTS PURCHASED	2420-493242	
MA CLAMPS	11.52	01696200-53354	PARTS PURCHASED	2420-493456	
MA FITTINGS	13.32	01696200-53354	PARTS PURCHASED	2420-493440	
MA FITTINGS	27.80	01696200-53354	PARTS PURCHASED	2420-494362	
MA FITTINGS	69.18	01696200-53354	PARTS PURCHASED	2420-493886	
MA HYDRAULIC FITTING	58.27	01696200-53354	PARTS PURCHASED	2420-493873	
MA HYDRAULIC FITTING	74.22	01696200-53354	PARTS PURCHASED	2420-493934	
MA PUMP	827.49	01696200-53354	PARTS PURCHASED	2420-494321	
MA RETURN	-275.00	01696200-53354	PARTS PURCHASED	2420-494460	
WASHER SOLVENT	110.39	01696200-53317	OPERATING SUPPLIES	2420-493443	
AP BATTERIES	305.28	01696200-53354	PARTS PURCHASED	2420-492384	
AP BATTERY	133.99	01696200-53354	PARTS PURCHASED	2420-492479	
AP CLAMPS	268.75	01696200-53354	PARTS PURCHASED	2420-492773	
AP CORE	-44.00	01696200-53354	PARTS PURCHASED	2420-492394	
AP PIN	19.73	01696200-53354	PARTS PURCHASED	2420-492695	
AP RETURNS-INV.492773	-260.77	01696200-53354	PARTS PURCHASED	2420-492985	
AP U JOINTS	118.36	01696200-53354	PARTS PURCHASED	2420-492780	
	<u>1,974.44</u>				
CH2MHILL OMI					
WRC-JUL 2021	160,352.42	04101100-52262	WRC CONTRACT	351199-25-03 PO-3904	
	<u>160,352.42</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
CHICAGO FILTER SUPPLY					
VH-AIR FILTER	610.22	01680000-53319	MAINTENANCE SUPPLIES	50724	
	<u>610.22</u>				
CHICAGO TRIBUNE-REDEYE					
DIGITAL ACCESS 04/23-05/20/21	15.96	01590000-52234	DUES & SUBSCRIPTIONS	204437289 MAY-2021	
DIGITAL ACCESS 05/21-06/23/21	15.96	01590000-52234	DUES & SUBSCRIPTIONS	204437289 JUN-2021	
	<u>31.92</u>				
CHRISTOPHER B BURKE ENGR LTD					
SALT DOME 04/25-05/29/21	3,717.50	11740000-55487	FACILITY CAPITAL IMPROVEMENT	166870 PO-3891	
WATER TANK-PAINTING, REPAIRS 04/25-05/29/21	4,387.11	04201600-52253	CONSULTANT	166869 PO-3867	
	<u>8,104.61</u>				
CLARK BAIRD SMITH LLP					
LABOR COUNSEL-MAY 2021	1,020.00	01570000-52238	LEGAL FEES	14113	
	<u>1,020.00</u>				
COMCAST CABLE					
ELEVATOR PHONE SVC 04/20-05/19/21	87.56	01652800-52230	TELEPHONE	0010112 04/16/21	
MTHLY FEE 04/20-05/19/20	89.95	01664700-53330	INVESTIGATION FUND	0483228 04/16/21	
	<u>177.51</u>				
COMMERCIAL RECREATION SPECIALISTS					
TC-LIGHTING DETECTION 01/01-12/31/21	2,000.00	01670400-52244	MAINTENANCE & REPAIR	0016535	
	<u>2,000.00</u>				
CONSTELLATION NEW ENERGY					
106 GOLDENHILL-20251966801 04/22-05/21/21	24.08	01670600-53210	ELECTRICITY	7280332-24 05/24/21	
	<u>24.08</u>				

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CONSULTING AUDIOLOGY ASSOCIATES LLC					
ANNUAL HEARING TEST	100.00	01696200-52223	TRAINING	3214	
ANNUAL HEARING TEST	167.00	04200100-52223	TRAINING	3214	
ANNUAL HEARING TEST	168.00	04100100-52223	TRAINING	3214	
ANNUAL HEARING TEST	360.00	01670100-52223	TRAINING	3214	
HEARTING RETEST-FARIAS 04/21/21	37.00	04100100-52223	TRAINING	3213	
HEARTING RETEST-FARIAS 04/21/21	38.00	04200100-52223	TRAINING	3213	
	870.00				
CORE & MAIN LP					
PVC PIPE	146.22	01620100-53350	SMALL EQUIPMENT EXPENSE	0141193	
	146.22				
COUNTY COURT REPORTERS INC					
PC MEETING 04/12/21	200.00	01530000-52241	COURT REPORTER FEES	129468	
	200.00				
COVERALL NORTH AMERICA INC					
PWC JANITORIAL-JUN 2021	1,422.00	01670100-52276	JANITORIAL SERVICES	1010678949 PO-3889	
	1,422.00				
CRAINS CHICAGO BUSINESS					
CRAINS SUBSCRIPTION 1 YEAR	99.00	01590000-52234	DUES & SUBSCRIPTIONS	D1797864	
	99.00				
CYBERSOURCE CORP					
AUTHNET CC FEES-JUN 2021	30.00	01610100-52256	BANKING SERVICES	AUTHNET 06/30/21	
CYBER SOURCE FEE-MAY 2021	9.99	01610100-52256	BANKING SERVICES	CYBER SRC 05/31/21	
	39.99				
DELL MARKETING LP					
MICROSOFT EA AGREEMENT 2-YR	33,788.74	01652800-52255	SOFTWARE MAINTENANCE	10493754301 PO-1931	
	33,788.74				

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DOCUMENT IMAGING DIMENSIONS, INC					
PD TONER	410.00	01652800-52226	OFFICE EQUIPMENT MAINTENANC	2097	
COVID 19-PRINTER RENTAL	600.00	01560000-53391	VACCINE EVENT 2021 COVID 19	2057	
PD TONER	89.00	01652800-52226	OFFICE EQUIPMENT MAINTENANC	2086	
	<u>1,099.00</u>				
DULUTH TRADING CO					
TAX REFUND	-8.69	01670100-53324	UNIFORMS		SO024450643
	<u>-8.69</u>				
DUPAGE CHRYSLER DODGE JEEP					
MA HOSE	53.67	01696200-53354	PARTS PURCHASED		84928
MA PURGE VALVE	48.78	01696200-53354	PARTS PURCHASED		85186
AP ADDITIVE	25.24	01696200-53354	PARTS PURCHASED		84792
AP CONDENSER	237.93	01696200-53354	PARTS PURCHASED		84833
AP FUEL PUMP	184.11	01696200-53354	PARTS PURCHASED		84841
AP SWITCH	184.11	01696200-53354	PARTS PURCHASED		84790
OUTSOURCING SVC	116.40	01696200-53354	PARTS PURCHASED		219271
OUTSOURCING SVC	435.77	01696200-53354	PARTS PURCHASED		219937
	<u>1,286.01</u>				
DUPAGE COUNTY RECORDER					
RECORDING R2021-082831, R2021-082832	167.00	01520000-52233	RECORDING FEES		40303799
RECORDING R2021-082841, R2021-082842, R20:	171.00	01520000-52233	RECORDING FEES		40303830
RECORDING R2021-085927, R2021-085928, R20:	171.00	01520000-52233	RECORDING FEES		40306057
	<u>509.00</u>				
DUPAGE MATERIALS COMPANY					
ASPHALT REP	82.13	01670500-52286	PAVEMENT RESTORATION		13792
	<u>82.13</u>				

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DUPAGE MAYORS AND MANAGERS CONFERENCE					
2021-2022 DMMC DUES	35,263.37	01520000-52234	DUES & SUBSCRIPTIONS	11082A	
	<u>35,263.37</u>				
DUPAGE RIVER SALT CREEK WRKGRP					
MEMBERSHIP DUES 03/01/21-02/28/22	16,071.00	01620100-52234	DUES & SUBSCRIPTIONS	344 PO-462652	
MEMBERSHIP DUES 03/01/21-02/28/22	94,542.00	04100100-52234	DUES & SUBSCRIPTIONS	344 PO-462652	
	<u>110,613.00</u>				
DUPAGE WATER COMMISSION					
WATER PURCHASE-APR 2021	414,095.43	04201600-52283	DUPAGE CTY WATER COMMISSION	03/31/21-04/30/21	
	<u>414,095.43</u>				
ELEVATOR INSPECTION SERVICES					
ELEVATOR INSPECTION	350.00	01680000-52244	MAINTENANCE & REPAIR	95940	
	<u>350.00</u>				
EMERGENT SAFETY SUPPLY					
GLOVES-SANITARY CLEANING	390.00	04101500-53317	OPERATING SUPPLIES	1902727495	
SEWER GLOVES	585.00	04101500-53317	OPERATING SUPPLIES	1902727398	
	<u>975.00</u>				
ENGINEERING RESOURCE ASSOCIATES INC					
PHASE III CLEARWATER CT-APR 2021	1,022.70	11740000-55488	STORMWATER UTILITIES	191026CE.02 PO-632	
	<u>1,022.70</u>				
EXAMINER PUBLICATIONS INC					
CASE-#21-0018, 21-0020 05/05/21	217.50	01530000-52240	PUBLIC NOTICES/INFORMATION	55555	
	<u>217.50</u>				
FBI NATIONAL ACADEMY ASSOCIATES OF ILLINOIS, INC					
FBI TRAINING-HOLMER 06/23/21	25.00	01660100-52223	TRAINING	FBINAA-IL 06/23/21	
	<u>25.00</u>				

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FGM ARCHITECTS					
EOC DESIGN SVC 05/01-05/28/21	3,147.50	01560000-55487	FACILITY CAPITAL IMPROVEMENT 21-3073.02-2 PO-2167		
PWC FRONT ENTRY-ARCHITECT SVC	1,365.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 20-3014.02-1		
	<u>4,512.50</u>				
FLOOD BROTHERS DISPOSAL					
YW 18252501-18253000	1,115.00	01-14120	YARD WASTE STICKERS	5547451	
	<u>1,115.00</u>				
FMCSA DRUG & ALCOHOL CLEARINGHOUSE					
ANNUAL QUERY-20 CDL DRIVERS	25.00	01600000-52228	PERSONNEL HIRING	77478B8E96	
ANNUAL QUERY-20 CDL DRIVERS	25.00	01600000-52228	PERSONNEL HIRING	FD4183A7F2	
	<u>50.00</u>				
GALLS LLC					
UNIFORM-EAGAN	126.92	01660100-53324	UNIFORMS	018221677	
UNIFORM-EAGAN	356.61	01660100-53324	UNIFORMS	018200311	
UNIFORM-GUZMAN	51.92	01660100-53324	UNIFORMS	018069068	
UNIFORM-GUZMAN	60.20	01660100-53324	UNIFORMS	018123354	
	<u>595.65</u>				
GARVEY'S OFFICE SUPPLIES					
OFFICE SUPPLIES	79.94	01662600-53314	OFFICE SUPPLIES	PINV2076822	
OFFICE SUPPLIES	81.73	01662600-53314	OFFICE SUPPLIES	PINV2075545	
OFFICE SUPPLIES	99.13	01662600-53314	OFFICE SUPPLIES	PINV2077582	
NAMEPLATE-BERGER	16.50	01520000-53315	PRINTED MATERIALS	PINV2071305	
OFFICE SUPPLIES	32.40	01662600-53315	PRINTED MATERIALS	PINV2073518	
OFFICE SUPPLIES	47.14	01662600-53314	OFFICE SUPPLIES	PINV2072756	
OFFICE SUPPLIES	258.51	01662600-53315	PRINTED MATERIALS	PINV2073066	
	<u>615.35</u>				

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GOVTEMPSUSA LLC					
ACCOUNTS CLERK-A RETSKE 05/23, 05/30/21	1,234.80	04103100-52253	CONSULTANT	3742790	
ACCOUNTS CLERK-A RETSKE 05/23, 05/30/21	1,234.80	04203100-52253	CONSULTANT	3742790	
LIBRARY TECH-N BOYD 05/23, 05/30/21	3,699.20	01652800-52253	CONSULTANT	3742789 PO-1925	
OFFICE MANAGER-D KALKE 05/23, 05/30/21	3,266.40	01590000-52253	CONSULTANT	3742788	
PROPERTY INSPECTOR-E HERZOG 05/23/21	551.25	01643700-52253	CONSULTANT	3742787	
	<u>9,986.45</u>				
GRAINGER					
MA PUMP	149.15	01696200-53354	PARTS PURCHASED	9903229376	
ROLL PAPER TOWEL	54.90	01670400-53317	OPERATING SUPPLIES	9899512967	
AIR HOSE SUPPLIES	14.57	01696200-53317	OPERATING SUPPLIES	9878653337	
COVID 19-CORD PROTECTORS	482.80	01560000-53391	VACCINE EVENT 2021 COVID 19	9848437860	
	<u>701.42</u>				
GRANITE TELECOMMUNICATIONS					
TELCO 06/01-06/30/21	878.72	01652800-52230	TELEPHONE	522223827	
	<u>878.72</u>				
GREENSCAPES HOME AND GARDEN PROD					
TREE WATERING BAGS	1,214.64	01670700-52268	TREE MAINTENANCE	081-79412	
	<u>1,214.64</u>				
HAWK FORD OF ST CHARLES					
OUTSOURCING SVC	273.00	01696200-53354	PARTS PURCHASED	148244	
	<u>273.00</u>				
HEARTLAND RECYCLING-AURORA CCDD,LLC					
SPOIL HAULING	1,569.00	04201600-52265	HAULING	0000023074	
	<u>1,569.00</u>				

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HOME DEPOT					
#30 UPFIT	117.92	10670000-54415	VEHICLES	2083261	
2 GAL SPRAYER	14.97	01680000-53319	MAINTENANCE SUPPLIES	5083575	
30 GAL LAWN BAGS	8.01	01680000-53319	MAINTENANCE SUPPLIES	8011052	
CONCRETE FOR STORM SEWERS	341.59	01670600-53317	OPERATING SUPPLIES	9340270	
ENGINE OIL, SPARK PLUG	14.34	01680000-53319	MAINTENANCE SUPPLIES	7024314	
OUTLET	15.97	01670400-53317	OPERATING SUPPLIES	8024153	
SCREW,SPRING,COUPLING	35.70	01620100-53317	OPERATING SUPPLIES	9083420	
SOUTH GARAGE ORGANIZERS	285.90	01670400-53317	OPERATING SUPPLIES	5523634	
TRANSFER SHOVEL	31.96	01680000-53319	MAINTENANCE SUPPLIES	1020045	
WOOD SUPPLIES	39.06	01670500-53317	OPERATING SUPPLIES	5021042	
2" SHACKLE	18.92	01620100-53317	OPERATING SUPPLIES	2192365	
AIR HOSE REPAIR	7.16	01670400-53317	OPERATING SUPPLIES	1613181	
AP STEEL	14.73	01696200-53354	PARTS PURCHASED	0082336	
EXHAUST FAN REPAIR	81.41	01670400-53317	OPERATING SUPPLIES	0521499	
HANGER STRAP	70.73	01620100-53317	OPERATING SUPPLIES	4340125	
REPLACEMENT TOOLS, TAPE	50.00	04201400-53333	NEW METERS	9014711	
REPLACEMENT TOOLS, TAPE	80.00	04201600-53317	OPERATING SUPPLIES	9014711	
REPLACEMENT TOOLS, TAPE	578.06	04201600-53316	TOOLS	9014711	
TC-SWANS	22.38	01670400-53317	OPERATING SUPPLIES	1513064	
WEEDS AND GRASS KILLER	37.47	01680000-53319	MAINTENANCE SUPPLIES	0521500	
WIRE-RETURN	-78.42	01670400-53317	OPERATING SUPPLIES	0202525	
WS-SUPPLIES, TOOLS	54.70	04201600-53317	OPERATING SUPPLIES	2023556	
WS-SUPPLIES, TOOLS	100.00	04201600-53316	TOOLS	2023556	
	1,942.56				
HOSTMONSTER INC					
HOSTING SERVICES 05/24/21-05/27/22	251.76	01652800-52255	SOFTWARE MAINTENANCE	12547780	
	251.76				

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IRMA					
CLOSED CLAIMS-APR 2020	2,507.00	01590000-52215	INSURANCE DEDUCTIBLES	SALES0019171	
CLOSED CLAIMS-APR 2021	24,622.70	01590000-52215	INSURANCE DEDUCTIBLES	SALES0019224	
DEDUCTIBLE-APR 2021	-20.00	01590000-52215	INSURANCE DEDUCTIBLES	CREDT0003030	
	<u>27,109.70</u>				
ILLINOIS CITY /COUNTY MANAGEMENT ASSN					
MEMBERSHIP DUES-SAM BARGHI	170.50	01670100-52234	DUES & SUBSCRIPTIONS	14023	
MEMBERSHIP-PHIL MODAFF	198.50	01670100-52234	DUES & SUBSCRIPTIONS	13988	
	<u>369.00</u>				
ILLINOIS CITY COUNTY MANAGEMENT ASSN					
IAMMA & ILCMA MEMBERSHIPS	178.00	01590000-52234	DUES & SUBSCRIPTIONS	13925	
ILCMA WORKSHOP 04/28/21	15.00	01590000-52222	MEETINGS	85651-255-1-B1F2	
	<u>193.00</u>				
ILLINOIS PHLEBOTOMY SERVICES LLC					
PHLEBOTOMY SVC-CSPC2100893, CSPC2101014	850.00	01662300-53317	OPERATING SUPPLIES	1339	
	<u>850.00</u>				
ILLINOIS SECRETARY OF STATE					
PLATE RENEWAL, #632	154.40	01662700-52244	MAINTENANCE & REPAIR	Q321850 06/30/21	
PLATE RENEWAL, #685	154.40	01662700-52244	MAINTENANCE & REPAIR	R744000 06/30/21	
TITLE, PD PLATES-SQUAD 601	158.00	01662700-52244	MAINTENANCE & REPAIR	SQUAD 601	
TITLE, PD PLATES-SQUAD 602	158.00	01662700-52244	MAINTENANCE & REPAIR	SQUAD 602	
	<u>624.80</u>				
ILLINOIS STATE POLICE/DIRECTOR					
COURT ORDERED PAYMENT	800.00	01-24238	IL STATE POLICE ASSET FORFEIT	21MR490/CSPC2100911	
	<u>800.00</u>				

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INTERGOVERNMENTAL PERSONNEL BENEFIT COOPERATIVE					
JUN 2021 INSURANCE	671.71	01643600-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	767.58	01641700-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	811.85	01670500-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,082.41	01670300-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,113.15	01640100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,262.86	04100100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,353.03	01670200-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,353.03	01670700-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,775.29	01642100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,804.04	04101500-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,804.04	04201400-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	1,894.26	01670600-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	2,111.19	01680000-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	2,302.14	01662500-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	2,782.74	04103100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	2,782.74	04203100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	3,015.39	01652800-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	3,116.32	01590000-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	3,156.97	01643700-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	5,682.78	01670400-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	6,314.18	04200100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	6,717.05	01610100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	6,765.19	01696200-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	6,855.41	04201600-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	8,015.16	01620100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	8,118.27	01670100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	9,001.89	01662600-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	10,555.94	01662400-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	11,131.47	01662300-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	15,783.44	01664700-51111	GROUP INSURANCE	06012021	

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JUN 2021 INSURANCE	30,043.11	01660100-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	44,904.10	01600000-51111	GROUP INSURANCE	06012021	
JUN 2021 INSURANCE	55,512.83	01662700-51111	GROUP INSURANCE	06012021	
	260,361.56				
INTERNATIONAL ASSN OF CHIEF OF POLICE					
DRE COFERENCE-RUDELICH 08/14/21	575.00	01660100-52223	TRAINING	0104082	
DRE CONFERENCE-BACIDORE 08/14/21	575.00	01660100-52223	TRAINING	0104086	
DRE CONFERENCE-STAFIEJ 08/14/21	375.00	01660100-52223	TRAINING	0104066	
MEMBERSHIP DUES-COOPER	190.00	01660100-52234	DUES & SUBSCRIPTIONS	1923618	
	1,715.00				
INTERNET PURCHASE MASTERCARD					
SURPLUS LISTING-COMMAND VEH.	295.00	01660100-52234	DUES & SUBSCRIPTIONS	001508	
UNIFORM-MCINTYRE, SWAT TACTICAL GLOVES	37.13	01660100-53324	UNIFORMS	613468	
UNIFORM-MCINTYRE, SWAT TASK FORCE BELT	204.00	01660100-53324	UNIFORMS	1016346106	
UNIFORM-MCINTYRE, TAX REFUND	-2.18	01660100-53324	UNIFORMS	613468-REF	
	533.95				
INTOXIMETERS INC					
DRY GAS TANK	386.00	01662300-53317	OPERATING SUPPLIES	134501	
	386.00				
IT GLUE					
IT DOC SOFTWARE 04/09-05/09/21	114.00	01652800-52255	SOFTWARE MAINTENANCE	236503084	
	114.00				
JET BRITE CAR WASH INC					
CAR WASH 05/01-05/31/21	213.00	01662700-52244	MAINTENANCE & REPAIR	4270	
	213.00				

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JOE COTTON FORD					
CREDIT	-72.97	01696200-53354	PARTS PURCHASED	6568	
MA SENSOR	436.63	01696200-53354	PARTS PURCHASED	6520	
MA TUBES	330.15	01696200-53354	PARTS PURCHASED	6467	
	<u>693.81</u>				
JOHN L FIOTI					
ADJUDICATION-JUN 2021	525.00	01570000-52238	LEGAL FEES	CS 06-21	
	<u>525.00</u>				
KAMMES AUTO & TRUCK REPAIR INC					
OUTSOURCING SVC	440.00	01696200-53353	OUTSOURCING SERVICES	133826	
	<u>440.00</u>				
KIEFT BROTHERS INC					
STORM SEWER ADJ RING	231.76	01670600-53317	OPERATING SUPPLIES	242705	
WATER VAULT, STORM SWR ADJ RING	127.34	04201600-52244	MAINTENANCE & REPAIR	242705	
	<u>359.10</u>				
KLEIN, THORPE & JENKINS, LTD					
GENERAL COUNSEL-MAY 2021	64.50	04100100-52238	LEGAL FEES	218407	
GENERAL COUNSEL-MAY 2021	219.50	04200100-52238	LEGAL FEES	218407	
GENERAL COUNSEL-MAY 2021	924.50	11740000-52238	LEGAL FEES	218407	
GENERAL COUNSEL-MAY 2021	6,493.00	01570000-52238	LEGAL FEES	218407	
	<u>7,701.50</u>				
KOHL'S					
JEANS-JEREMY MENCHACA	307.75	04100100-53324	UNIFORMS	094411	
UNIFORM-DAVENPORT, SHORTS	114.96	01670100-53324	UNIFORMS	092563	
	<u>422.71</u>				

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LANDSCAPE MATERIAL & FIREWOOD SALES INC					
RESTOS	437.00	01670400-53317	OPERATING SUPPLIES	46608	
TOP SOIL	332.00	01670400-53317	OPERATING SUPPLIES	46298	
	769.00				
LECHNER & SONS					
MATS, TOWELS, WIPES 05/05/21	79.94	01670100-53317	OPERATING SUPPLIES	2905046	
TOWELS/WIPES - 5/5/21	30.26	01696200-53317	OPERATING SUPPLIES	2905046	
MATS, TOWELS, WIPES 04/21/21	30.26	01696200-53317	OPERATING SUPPLIES	2898597	
MATS, TOWELS, WIPES 04/21/21	79.94	01670100-53317	OPERATING SUPPLIES	2898597	
	220.40				
LEXISNEXIS					
MTHLY FEE-APR 2021	215.38	01662400-53330	INVESTIGATION FUND	20210430	
	215.38				
LIVE VIEW GPS INC					
MTHLY FEE-MAY 2021	119.85	01664700-53330	INVESTIGATION FUND	415517	
	119.85				
LOWE'S HOME CENTERS					
WOOD	25.64	01670500-53317	OPERATING SUPPLIES	88449805	
HAND TRUCK, SHOVEL	301.90	04201600-53317	OPERATING SUPPLIES	9194275	
WS SUPPLIES	142.92	04201600-53317	OPERATING SUPPLIES	8809935	
	470.46				
LRS HOLDINGS LLC					
MAY SWEEP-124 GERZEVSKE 05/17/21	9,045.88	01670600-52272	PROPERTY MAINTENANCE	PS374054 PO-3870	
PORTA JOHN-280 KUHN RD 05/07-06/03/21	50.00	01670400-52264	EQUIPMENT RENTAL	PS374726	
PORTA JOHN-280 KUHN RD 05/07-06/03/21	50.00	04201600-52264	EQUIPMENT RENTAL	PS374726	
	9,145.88				

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LULU PRESS INC					
CORPORAL, OIC MANUALS	99.40	01662700-53318	REFERENCE MATERIALS	603496	
OFFICER FTO MANUAL-INV. 554779 TAX REFUND	-3.20	01662700-53318	REFERENCE MATERIALS	554779-REF	
	<u>96.20</u>				
MARK E RADABAUGH					
TAPING, EDITING 06/07/21	100.00	01590000-52253	CONSULTANT	21-0179	
	<u>100.00</u>				
MENARDS					
STORAGE UNIT AT PW	197.65	02385200-54412	OTHER EQUIPMENT	075542	
	<u>197.65</u>				
MGB HOME IMPROVEMENT GROUP INC					
EVIDENCE STORAGE SHED	1,700.00	02385200-52244	MAINTENANCE & REPAIR	0002 PO-4663063	
EVIDENCE STORAGE SHED-SEALING, CAULKING	450.00	02385200-52244	MAINTENANCE & REPAIR	0003 PO-4663063	
	<u>2,150.00</u>				
MID AMERICAN WATER INC					
CUT-IN SLEEVES	906.00	04201600-53317	OPERATING SUPPLIES	188149A	
	<u>906.00</u>				
MIDWEST FUEL INJECTION					
MA INJECTION PUMP	1,201.03	01696200-53354	PARTS PURCHASED	N572047	
	<u>1,201.03</u>				

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MNJ TECHNOLOGIES DIRECT					
COMMISSIONERS-IPADS	1,163.42	01652800-54418	CATV/ PEG EXPENSES	0003778325 PO-1921	
DELL DOCK	227.96	01652800-54412	OTHER EQUIPMENT	0003778985	
MFA KEYS	4,988.78	01652800-54412	OTHER EQUIPMENT	0003779249 PO-1923	
PW-LAPTOPS	1,612.06	01652800-54413	COMPUTER EQUIPMENT	0003778986	
BACKUP STORAGE EXPANSION	4,738.50	01652800-54412	OTHER EQUIPMENT	0003774048 PO-1914	
POLICE VEHICLE LAPTOPS, EQUIP	2,619.12	01652800-54413	COMPUTER EQUIPMENT	0003775609 PO-1911	
	15,349.84				
MUNICIPAL CLERKS OF DUPAGE CO					
DUES-SCHWARZE 06/01/21-05/31/21	20.00	01520000-52234	DUES & SUBSCRIPTIONS	MCDC 2021-2022	
	20.00				
MUNICIPAL GIS PARTNERS INC					
MGP GIS-MAY 2021	12,158.42	01652800-52257	GIS SYSTEM	5518	
	12,158.42				
N P E L R A					
TRAINING-C REBHOLZ 05/26/21	99.00	01600000-52223	TRAINING	CRA03C7A78	
	99.00				
NATIONAL ENGRAVERS					
RETIREMENT PLAQUES	158.00	01660100-53317	OPERATING SUPPLIES	83852	
	158.00				
NEENAH FOUNDRY COMPANY					
SANI MANHOLE FRAME	134.00	04101500-53317	OPERATING SUPPLIES	411915	
STORM SEWER FRAME	582.00	01670600-53317	OPERATING SUPPLIES	412327	
	716.00				
NETWORK SOLUTIONS INC					
COVID 19-DOMAIN REGISTRATION	15.96	01560000-53391	VACCINE EVENT 2021 COVID 19	40607698	
	15.96				

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NMI					
CC GATEWAY FEES-MAY 2021	113.35	04103100-52221	UTILITY BILL PROCESSING	277037682	
CC GATEWAY FEES-MAY 2021	113.35	04203100-52221	UTILITY BILL PROCESSING	277037682	
	<u>226.70</u>				
NOTARY PUBLIC ASSOCIATION OF IL					
NOTARY RENEWAL-JAGERS	54.00	01660100-52234	DUES & SUBSCRIPTIONS	22395	
	<u>54.00</u>				
O'REILLY AUTO PARTS					
MA HOUSING	438.34	01696200-53354	PARTS PURCHASED	5514-253793	
	<u>438.34</u>				
OFFICE DEPOT					
PODIUM-NEW TRAINING ROOM/EOC	329.99	11740000-55487	FACILITY CAPITAL IMPROVEMENT	171927367-001	
	<u>329.99</u>				
P F PETTIBONE & CO					
CITATIONS	577.80	01662600-53315	PRINTED MATERIALS	180315	
CITATIONS	700.00	01662600-53315	PRINTED MATERIALS	180315	
	<u>1,277.80</u>				
PHYSICIANS IMMEDIATE CARE-CHICAGO					
PRE-EMPLOYMENT PHYSICAL-RECORDS CLERK	113.00	01600000-52225	EMPLOYMENT PHYSICALS	4209564	
	<u>113.00</u>				
PILOT STORE					
GENERATOR FUEL	204.04	04201600-53312	PWC DIESEL FUEL	5058468	
	<u>204.04</u>				
PJ'S CAMERA & PHOTO					
PHOTO-ESTRADA	1.50	01660100-53317	OPERATING SUPPLIES	29801502	
PHOTO-MCGUIRE	5.80	01660100-53317	OPERATING SUPPLIES	29784534	
	<u>7.30</u>				

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POMPS TIRE SERVICE					
MA TIRES	587.88	01696200-53354	PARTS PURCHASED	410862715	
MA TIRES	1,147.96	01696200-53354	PARTS PURCHASED	280120692	
MA TIRES	1,224.06	01696200-53354	PARTS PURCHASED	280120788	
RETURN-TWEELS	-848.00	10670000-54415	VEHICLES	410861654	
TWEELS EX-MARK	848.00	10670000-54415	VEHICLES	410861655	
TWEEL	848.00	10670000-54415	VEHICLES	410859068	
	<u>3,807.90</u>				
PRIME LANDSCAPING GROUP, LLC					
LANDSCAPE BEDS 05/01-05/31/21	3,114.54	01670400-52272	PROPERTY MAINTENANCE	1400 PO-3865	
LANDSCAPE MOWING 05/01-05/31/21	6,419.50	01670400-52272	PROPERTY MAINTENANCE	1399 PO-3873	
	<u>9,534.04</u>				
PRO TRAIN INC					
STOPS INSTRUCTOR RECERT-INCROCCI	375.00	01660100-52223	TRAINING	PTI202100040	
	<u>375.00</u>				

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RAY O'HERRON CO					
UNIFORM-BUCHOLZ	40.94	01660100-53324	UNIFORMS	2113297	
UNIFORM-GATES	21.95	01660100-53324	UNIFORMS	2113293	
UNIFORM-KALINOWICZ	250.85	01660100-53324	UNIFORMS	2112083	
UNIFORM-LARSEN	125.00	01660100-53324	UNIFORMS	2112458	
UNIFORM-MCGOVERN	23.95	01660100-53324	UNIFORMS	2113290	
UNIFORM-MCGOVERN	49.99	01660100-53324	UNIFORMS	2110908	
UNIFORM-PLUMB	147.50	01660100-53324	UNIFORMS	2113162	
UNIFORM-PLUMB	179.00	01660100-53324	UNIFORMS	2113198	
UNIFORM-SYMES	21.95	01660100-53324	UNIFORMS	2113295	
UNIFORM-SYMES	100.00	01660100-53324	UNIFORMS	2113200	
UNIFORM-WALKER	309.97	01660100-53324	UNIFORMS	2112567	
UNIFORM-WILLIS	50.00	01660100-53324	UNIFORMS	2113287	
UNIFORM-ANDREJEVIC	434.96	01660100-53324	UNIFORMS	2106243	
UNIFORM-BOGUSZEWSKI	986.96	01660100-53324	UNIFORMS	2109277	
UNIFORM-BUCHOLZ	6.99	01660100-53324	UNIFORMS	2105720	
UNIFORM-BUCHOLZ	41.65	01660100-53324	UNIFORMS	2109528	
UNIFORM-CASTRO, MERIT	179.98	01660100-53324	UNIFORMS	2109285	
UNIFORM-COOPER	20.00	01660100-53324	UNIFORMS	2110426	
UNIFORM-COOPER	49.99	01660100-53324	UNIFORMS	2108666	
UNIFORM-FINTZEN	29.99	01660100-53324	UNIFORMS	2109275	
UNIFORM-FINTZEN	88.91	01660100-53324	UNIFORMS	2107129	
UNIFORM-FINTZEN	158.12	01660100-53324	UNIFORMS	2108394	
UNIFORM-FINTZEN	522.00	01660100-53324	UNIFORMS	2106587	
UNIFORM-FINTZEN	799.37	01660100-53324	UNIFORMS	2105649	
UNIFORM-FRY	941.00	01660100-53324	UNIFORMS	2103125	
UNIFORM-GATES	49.99	01660100-53324	UNIFORMS	2109529	
UNIFORM-INCROCCI	74.00	01660100-53324	UNIFORMS	2105654	
UNIFORM-INCROCCI	112.00	01660100-53324	UNIFORMS	2109284	
UNIFORM-LOPEZ	168.00	01660100-53324	UNIFORMS	2109271	
UNIFORM-MCGOVERN	43.50	01660100-53324	UNIFORMS	2109276	

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UNIFORM-NIELSEN	260.95	01660100-53324	UNIFORMS	2110556	
UNIFORM-PIEKARZ	49.99	01660100-53324	UNIFORMS	2106544	
UNIFORM-PLUMB	44.99	01660100-53324	UNIFORMS	3069237	
UNIFORM-PLUMB	49.99	01660100-53324	UNIFORMS	3072096	
UNIFORM-POLO SHIRTS	2,578.58	01660100-53324	UNIFORMS	2110427	
UNIFORM-RANGE SHIRTS	185.10	01660100-53324	UNIFORMS	2110424	
UNIFORM-SYMES	49.99	01660100-53324	UNIFORMS	2110001	
UNIFORM-SYMES	59.99	01660100-53324	UNIFORMS	2106458	
	9,308.09				
RED WING SHOE STORE					
UNIFORM-J CARNEY, BOOTS	220.49	04200100-53324	UNIFORMS	067670	
BOOTS	297.48	01696200-53324	UNIFORMS	20210510089928	
BOOTS	1,427.92	01670100-53324	UNIFORMS	20210510089928	
BOOTS	1,453.42	04200100-53324	UNIFORMS	20210510089928	
UNIFORM-OSPINA, BOOTS	203.99	01680000-53324	UNIFORMS	123-99-033360	
	3,603.30				
REFUNDS MISC					
21-1883-PLMB, #2460898, 849 W LIES RD-REFUN	371.02	01000000-42307	BUILDING PERMITS	849 LIES RD-2021	
TICKET 245385, DOUBLE PAYMENT-REFUND	30.00	01000000-45402	ORDINANCE VIOLATIONS	TICKET 245385	
	401.02				

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REFUNDS PRESERVATION BONDS					
20-0950-DRVW, #2327278, 1056 OAKWOOD-REF	300.00	01-24302	ESCROW - GRADING	1056 OAKWOOD-2021	
21-1698-DRVW, #2451142, 524 YARDLEY-REFUN	300.00	01-24302	ESCROW - GRADING	524 YARDLEY DR-2021	
21-1717-DRVW, #2452566, 1339 BIG HORN-REFI	300.00	01-24302	ESCROW - GRADING	1339 BIG HORN-2021	
21-1771-DRVW, #2454104, 654 WILLOW-REFUN	300.00	01-24302	ESCROW - GRADING	654 WILLOW-2021	
21-1798-DRVW, #2456902, 1157 ROBIN DR-REFL	300.00	01-24302	ESCROW - GRADING	1157 ROBIN DR-2021	
21-1858-DRVW, #2459771, 360 CEDAR CT-REFUI	300.00	01-24302	ESCROW - GRADING	360 CEDAR CT-2021	
21-1865-DRVW, #2460218, 925 GLENLAKE-REFU	300.00	01-24302	ESCROW - GRADING	925 GLENLAKE DR-2021	
21-4/-DRVW, #2454321, 840 TAMARAC DR-REFU	300.00	01-24302	ESCROW - GRADING	840 TAMARAC DR-2021	
	2,400.00				
RESTAURANT-MASTERCARD					
CPA-GRADUATION DINNER 04/22/21	296.86	01664700-53325	COMMUNITY RELATIONS	TEXAS ROAD 04/22/21	
PEER SUPPORT TRAINING-BREAKFAST 04/26/21	166.00	01660100-52223	TRAINING	CHRISSYS 04/26/21	
RETIREMENT-ESTRADA, CHARKIES 04/20/21	312.00	01600000-52242	EMPLOYEE RECOGNITION	CHARKIES 04/20/21	
	774.86				
RINGCENTRAL, INC					
COVID 19-CALL CENTER SOFTWARE	913.21	01560000-53391	VACCINE EVENT 2021 COVID 19	3009239002	
	913.21				
ROCKAUTO					
MA EXHAUST	406.46	01696200-53354	PARTS PURCHASED	174281131	
	406.46				

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RUSH TRUCK CENTERS					
JN CLAMPS	27.60	01696200-53354	PARTS PURCHASED	3023737446	
JN FILTER	1,899.18	01696200-53354	PARTS PURCHASED	3023627558	
JN MANIFOLD	1,539.93	01696200-53354	PARTS PURCHASED	3023625559	
JN SENSOR	60.45	01696200-53354	PARTS PURCHASED	3023637468	
JN SHROUD	557.66	01696200-53354	PARTS PURCHASED	3023571147	
JN SPACER	98.48	01696200-53354	PARTS PURCHASED	3023624312	
JN TANK STRAPS	417.88	01696200-53354	PARTS PURCHASED	3023668428	
JN TUBE	215.85	01696200-53354	PARTS PURCHASED	3023677740	
JN WASHERS	22.56	01696200-53354	PARTS PURCHASED	3023714667	
JN WASHERS-RETURN, INV.3023714667	-12.00	01696200-53354	PARTS PURCHASED	3023705501	
MA BRAKES	308.80	01696200-53354	PARTS PURCHASED	3023590747	
MA CRANK SEAL	53.16	01696200-53354	PARTS PURCHASED	3023558298	
MA EVAPORATOR	391.79	01696200-53354	PARTS PURCHASED	3023578801	
MA FUEL FILTER	17.89	01696200-53354	PARTS PURCHASED	3023566199	
MA OIL FILTER	66.13	01696200-53354	PARTS PURCHASED	3023555697	
MA THERMISTOR	140.00	01696200-53354	PARTS PURCHASED	3023588611	
MA VALVE	207.47	01696200-53354	PARTS PURCHASED	3023526840	
	6,012.83				
RUSSO POWER EQUIPMENT					
MA PULLEY	62.77	01696200-53354	PARTS PURCHASED	SPPI0364753	
SMALL EQUIP	1,356.93	01670400-53350	SMALL EQUIPMENT EXPENSE	SPI10673604	
	1,419.70				
SAFEKIDS WORLDWIDE					
BORNEMANN CPS RECERT	55.00	01660100-52223	TRAINING	16850	
	55.00				

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SEAM GROUP					
	1,166.00	01670100-52253	CONSULTANT	PS-047028 PO-3847	
	1,167.00	04200100-52253	CONSULTANT	PS-047028 PO-3847	
	1,167.00	04101500-52253	CONSULTANT	PS-047028 PO-3847	
	<u>3,500.00</u>				
SERVERSUPPLY					
HARD DRIVE FOR BACKUP	2,084.94	01652800-53317	OPERATING SUPPLIES	3760459	
	<u>2,084.94</u>				
SNAP ON INDUSTRIAL					
B-BOX SOCKETS	60.00	04201600-53316	TOOLS	ARV/47914207	
	<u>60.00</u>				
SQUEEGEE BROS INC					
DARE SHIRTS	1,812.50	01664700-53325	COMMUNITY RELATIONS	419	
	<u>1,812.50</u>				
STANDARD INDUSTRIAL & AUTO EQUIP INC					
LIFT INSPECTION 12/2020	910.00	01696200-52284	EQUIPMENT MAINTENANCE	WO-6530	
	<u>910.00</u>				
STROBES N MORE					
#30 UPFIT	494.87	10670000-54415	VEHICLES	227602	
	<u>494.87</u>				
SUBURBAN DRIVELINE INC					
AP PINS	275.00	01696200-53354	PARTS PURCHASED	00156113	
AP PLOW PARTS	239.94	01696200-53354	PARTS PURCHASED	00156505	
	<u>514.94</u>				
SUBURBAN LABORATORIES INC					
WATER SAMPLES	1,231.25	04201600-52279	LAB SERVICES	188041 PO-3817	
	<u>1,231.25</u>				

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TACTICAL GEAR					
SWAT GEAR-MCINTYRE	550.87	01660100-53324	UNIFORMS	3645435	
	<u>550.87</u>				
TEAM WENDY LLC					
SWAT GEAR	963.67	01660100-53324	UNIFORMS	CD970040609	
	<u>963.67</u>				
TELCOM INNOVATIONS GROUP LLC					
ANNUAL SOFTWARE MAINTENANCE 05/01/21-0	4,932.04	01652800-52255	SOFTWARE MAINTENANCE	A56860 PO-1924	
	<u>4,932.04</u>				
TESTING SERVICE CORP					
CONSTRUCTION MATERIAL ENGINEERING	1,682.00	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	N119864 PO-462646	
	<u>1,682.00</u>				
THE DAVENPORT GROUP USA LTD					
3 LAMA LICENSES, ENGINEERING	5,250.00	01643700-52255	SOFTWARE MAINTENANCE	2105-ILCS-11	
	<u>5,250.00</u>				
THE SAFARILAND GROUP					
SWAT GEAR-MCINTYRE	150.88	01660100-53324	UNIFORMS	SAF61521	
	<u>150.88</u>				
THIRD MILLENIUUM ASSOCIATES INCORPORATED					
BILL PRINTING 05/27/21	1,214.76	04103100-52221	UTILITY BILL PROCESSING	26336	
BILL PRINTING 05/27/21	1,214.77	04203100-52221	UTILITY BILL PROCESSING	26336	
GREEN PAY FEE-MAY 2021	225.00	04103100-52221	UTILITY BILL PROCESSING	26337	
GREEN PAY FEE-MAY 2021	225.00	04203100-52221	UTILITY BILL PROCESSING	26337	
	<u>2,879.53</u>				
THOMAS ENGINEERING GROUP, LLC					
PHASE III ENG-SCHMALE RD WTR MAIN THRU 05	31,083.64	04201600-54480	CONSTRUCTION	21-147 PO-462624	
	<u>31,083.64</u>				

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TITAN SUPPLY INC					
JANITORIAL SUPPLIES	789.40	01680000-53320	JANITORIAL SUPPLIES	3742	
	<u>789.40</u>				
TRAFFIC CONTROL & PROTECTION					
SIGNS	110.40	01670300-53344	STREET SIGNS	106969	
	<u>110.40</u>				
TRANS UNION LLC					
MNTHLY CREDIT CHECK 03/26-04/25/21	90.00	01662400-53330	INVESTIGATION FUND	04100327	
	<u>90.00</u>				
TRISOURCE SOLUTIONS LLC					
TRISOURCE CC FEES-MAY 2021	220.52	04103100-52221	UTILITY BILL PROCESSING	1420 06/02/21	
TRISOURCE CC FEES-MAY 2021	220.52	04203100-52221	UTILITY BILL PROCESSING	1420 06/02/21	
TRISOURCE CC FEES-MAY 2021	1,323.14	01610100-52256	BANKING SERVICES	1420 06/02/21	
TRISOURCE FEES-MAY 2021	2,229.28	04103100-52221	UTILITY BILL PROCESSING	7833 06/02/21	
TRISOURCE FEES-MAY 2021	2,229.28	04203100-52221	UTILITY BILL PROCESSING	7833 06/02/21	
	<u>6,222.74</u>				
TYCO FIRE & SECURITY (US)MGMT INC					
FARMHOUSE-ALARM SVC 01/01-03/31/21	38.70	01590000-52230	TELEPHONE	35237665	
FARMHOUSE-ALARM SVC 04/01-06/30/21	38.70	01590000-52230	TELEPHONE	35620728	
TC-ALARM SVC 01/01/-03/31/21	51.51	01590000-52230	TELEPHONE	35237666	
TC-ALARM SVC 04/01-06/30/21	51.51	01590000-52230	TELEPHONE	35620729	
	<u>180.42</u>				
TYLER TECHNOLOGIES INC					
TYLER CASHIERING PO.460-1811	130.40	04103100-52255	SOFTWARE MAINTENANCE	045-338290 PO-1811	
TYLER CASHIERING PO.460-1811	130.40	04203100-52255	SOFTWARE MAINTENANCE	045-338290 PO-1811	
TYLER CASHIERING PO.460-1811	391.20	01610100-52255	SOFTWARE MAINTENANCE	045-338290 PO-1811	
	<u>652.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
U S POSTMASTER					
POSTAGE WATER BILLS-MAY 2021	2,215.55	04203100-52229	POSTAGE	1529 05/27/21	
POSTAGE WATER BILLS-MAY 2021	2,215.56	04103100-52229	POSTAGE	1529 05/27/21	
	4,431.11				
UPS GROUND SERVICE					
DUI KITS	11.36	01662400-53317	OPERATING SUPPLIES	090758	
DUI KITS TO AFTL	11.36	01662400-53317	OPERATING SUPPLIES	015741	
PATCHES TO GALES	27.10	01662700-53317	OPERATING SUPPLIES	090758	
DUI KITS	12.76	01662400-53317	OPERATING SUPPLIES	0020007113	
	62.58				
US POSTMASTER					
ILETSP RECORDS-POSTAGE	7.70	01660100-52223	TRAINING	032005	
	7.70				
USA BLUE BOOK					
WATER SUPPLIES	521.84	04201600-53317	OPERATING SUPPLIES	582562	
	521.84				
V3 COMPANIES OF ILLINOIS LTD					
SURVEY-KLEIN CREEK STREAMBANK	5,850.00	11740000-55488	STORMWATER UTILITIES	521159 PO-462644	
	5,850.00				
V3 CONSTRUCTION GROUP LTD					
KEHOE BLVD STABILIZATION	8,600.00	11740000-55488	STORMWATER UTILITIES	2 PO-462626	
	8,600.00				
VAR CO					
3" PVC DISCHARGE HOSE	302.17	04101500-53317	OPERATING SUPPLIES	441574A	
	302.17				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
VELAN SOLUTIONS, LLC					
	1,440.00	01660100-52234	DUES & SUBSCRIPTIONS	281	
	1,440.00				
VERIZON WIRELESS					
EMAG SERVICE 03/03-04/02/21	1.78	01652800-52230	TELEPHONE	9876830295	
	1.78				
VILLAGE TAVERN & GRILL					
NATIONAL POLICE WEEK 05/13-05/14/21	800.00	01660100-53317	OPERATING SUPPLIES	067849	
	800.00				
VISTAPRINT.COM					
BUSINESS CARDS-ULREICH	29.00	01620100-53317	OPERATING SUPPLIES	K7JJR-H6A64	
	29.00				
VODOTECH INC					
MUNICIPAL CAMERA 10 REPAIR	200.00	01652800-52253	CONSULTANT	1010	
PW-CAMERA REPLACEMENT, ENTRANCE	398.00	01652800-52253	CONSULTANT	1006	
	598.00				
WAL MART					
NATIONAL POLICE WEEK	104.13	01660100-53317	OPERATING SUPPLIES	033849	
CPA-DRINKS, PLATES 04/22/21	21.48	01664700-53325	COMMUNITY RELATIONS	081132	
CPA-GRADUATION SUPPLIES	17.84	01664700-53325	COMMUNITY RELATIONS	011192	
	143.45				
WEST SIDE TRACTOR SALES					
JN ELBOW	11.07	01696200-53354	PARTS PURCHASED	N07333	
	11.07				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
WESTMORE SUPPLY CO					
CONCRETE-1148 HILLCREST 05/18/21	433.63	01670500-53317	OPERATING SUPPLIES	R105284	
CONCRETE-1409 VIOLET 05/25/21	467.00	01670500-53317	OPERATING SUPPLIES	R105452	
CONCRETE-375 CEDAR CT 05/21/21	694.00	01670500-53317	OPERATING SUPPLIES	R105412	
CONCRETE-933 ROCKY VALLEY WAY 05/27/21	533.75	01670500-53317	OPERATING SUPPLIES	R105646	
	2,128.38				
WEX BANK					
FUEL 04/30/21	-262.24	01000000-47407	MISCELLANEOUS REVENUE	71610974 04/30/21	
FUEL 04/30/21	35.18	04101100-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	37.23	01680000-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	88.61	04200100-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	220.84	01670100-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	220.84	01670300-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	264.99	01640100-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	276.05	01670600-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	276.05	01670700-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	331.26	01670500-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	367.86	01620100-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	469.29	01670400-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	588.74	04101500-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	620.28	04201400-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	966.18	01670200-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	1,063.34	04201600-53313	AUTO GAS & OIL	71610974 04/30/21	
FUEL 04/30/21	12,381.90	01662700-53313	AUTO GAS & OIL	71610974 04/30/21	
	17,946.40				
WEX HEALTH, INC.					
FLEX SPENDING ADMIN-MAY 2021	180.00	01600000-52273	EMPLOYEE SERVICES	0001346104-IN	
	180.00				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on JUNE 21,2021**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
WINDSHIELD PROS INC					
OUTSOURCING SVC	369.54	01696200-53353	OUTSOURCING SERVICES	WP0009206	
	<u>369.54</u>				
WINDY CITY CLEANING EQUIP & SUPPLIES					
PRESSURE WASHER NORTH GARAGE	6,597.98	01670200-53350	SMALL EQUIPMENT EXPENSE	002896 PO-3862	
	<u>6,597.98</u>				
ZEUS BATTERY PRODUCT					
BATTERY FOR CHARGER UPS	16.95	04101500-53317	OPERATING SUPPLIES	00252844	
	<u>16.95</u>				
ZOOM VIDEO COMMUNICATIONS LLC					
ZOOM CONFERENCING	202.24	01652800-52255	SOFTWARE MAINTENANCE	87038535	
	<u>202.24</u>				
GRAND TOTAL	<u><u>\$2,253,080.31</u></u>				

The preceding list of bills payable totaling \$2,253,080.31 was reviewed and approved for payment.

Approved by:

Robert Mellor
Bob Mellor - Village Manager

Date: 6/18/21

Authorized by:

Frank Saverino Sr-Mayor

Julia Schwarze- Village Clerk

ADDENDUM WARRANTS
JUNE 08, 2021 Thru JUNE 21, 2021

Fund	Check #	Vendor	Description	Amount
General	A C H	Wheaton Bank & Trust	Payroll May 31, 2021 thru June 13, 2021	577,728.34
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll May 31, 2021 thru June 13, 2021	62,149.20
				<u>639,877.54</u>

Approved this _____ day of _____, 2021

By: _____
 Frank Saverino Sr-Mayor

 Julia Schwarze - Village Clerk

Village of Carol Stream
General Fund Budget Summary
For the Month Ended May 31, 2021

	MONTH				YTD				BUDGET				
	Last Year May	Current Year May	Monthly Variance		Last Year YTD	Current Year YTD	YTD Variance		Annual Budget	YTD Budget	YTD Actual	Variance	
			\$	%			\$	%				\$	%
REVENUES													
Property Tax	\$ 30,682	\$ 196,275	\$ 165,593	540%	\$ 30,682	\$ 196,275	\$ 165,593	540%	\$ 3,825,000	\$ -	\$ 196,275	\$ 196,275	100%
Sales Tax	451,773	543,139	91,366	20%	451,773	543,139	91,366	20%	7,490,000	530,565	543,139	12,573	2%
Home Rule Sales Tax	298,342	395,377	97,035	33%	298,342	395,377	97,035	33%	5,330,000	377,559	395,377	17,819	5%
State Income Tax	400,368	668,220	267,852	67%	400,368	668,220	267,852	67%	4,404,000	701,882	668,220	(33,662)	-5%
Fines (Court, Ord., ATLE, Towing)	76,364	88,658	12,293	16%	76,364	88,658	12,293	16%	1,382,000	117,080	88,658	(28,422)	-24%
Natural Gas Use Tax	55,503	51,332	(4,171)	-8%	55,503	51,332	(4,171)	-8%	610,000	58,158	51,332	(6,826)	-12%
Other Taxes (Use, Hotel, PPRT Video Gaming, Alcohol)	154,612	213,139	58,527	38%	154,612	213,139	58,527	38%	2,464,100	167,412	213,139	45,727	27%
Licenses (Vehicle, Liquor, etc.)	587,495	3,483	(584,012)	-99%	587,495	3,483	(584,012)	-99%	214,200	2,910	3,483	573	20%
Cable Franchise Fees	109,001	109,387	386	0%	109,001	109,387	386	0%	506,200	42,183	109,387	67,204	159%
Building Permits	44,566	62,662	18,096	41%	44,566	62,662	18,096	41%	638,000	148,500	62,662	(85,838)	-58%
Fees for Services	63,002	52,679	(10,322)	-16%	63,002	52,679	(10,322)	-16%	684,500	69,792	52,679	(17,112)	-25%
Interest Income	6,169	332	(5,838)	-95%	6,169	332	(5,838)	-95%	105,000	8,750	332	(8,418)	-96%
All Other / Miscellaneous	50,983	88,044	37,060	73%	50,983	88,044	37,060	73%	1,087,000	101,667	88,044	(13,623)	-13%
Revenue Totals	\$ 2,328,861	\$ 2,472,728	\$ 143,866	6%	\$ 2,328,861	\$ 2,472,728	\$ 143,866	6%	\$ 28,740,000	\$ 2,326,459	\$ 2,472,728	\$ 146,268	6%
EXPENDITURES													
Fire & Police Commission	\$ 1,092	\$ 14,153	\$ 13,061	1196%	\$ 1,092	\$ 14,153	\$ 13,061	1196%	\$ 38,696	\$ 3,225	\$ 14,153	\$ 10,928	339%
Village Board & Clerk	8,468	19,467	10,999	130%	8,468	19,467	10,999	130%	170,863	14,239	19,467	5,228	37%
Plan Commission & ZBA	-	650	650	100%	-	650	650	100%	6,225	519	650	131	25%
Emergency Services	3,930	30,360	26,430	672%	3,930	30,360	26,430	672%	58,000	4,833	30,360	25,527	528%
Legal Services	11,475	22,486	11,011	96%	11,475	22,486	11,011	96%	275,700	22,975	22,486	(489)	-2%
Administration	89,748	75,418	(14,330)	-16%	89,748	75,418	(14,330)	-16%	932,666	77,722	75,418	(2,304)	-3%
Employee Relations	37,217	35,661	(1,556)	-4%	37,217	35,661	(1,556)	-4%	475,184	39,599	35,661	(3,937)	-10%
Financial Management	45,635	55,953	10,319	23%	45,635	55,953	10,319	23%	725,836	60,486	55,953	(4,533)	-7%
Engineering Services	83,675	77,671	(6,004)	-7%	83,675	77,671	(6,004)	-7%	1,114,420	92,868	77,671	(15,198)	-16%
Community Development	93,340	70,795	(22,545)	-24%	93,340	70,795	(22,545)	-24%	1,066,446	88,871	70,795	(18,075)	-20%
Information Technology	70,641	251,910	181,269	257%	70,641	251,910	181,269	257%	1,406,695	117,225	251,910	134,685	115%
Police	1,362,134	1,231,239	(130,895)	-10%	1,362,134	1,231,239	(130,895)	-10%	17,704,197	1,475,350	1,231,239	(244,110)	-17%
Public Works	237,533	311,691	74,158	31%	237,533	311,691	74,158	31%	3,692,038	307,670	311,691	4,021	1%
Municipal Building	25,753	16,891	(8,862)	-34%	25,753	16,891	(8,862)	-34%	396,394	33,033	16,891	(16,142)	-49%
Municipal Garage	(18,495)	(16,947)	1,548	-8%	(18,495)	(16,947)	1,548	-8%	-	-	(16,947)	(16,947)	100%
Transfers and Agreements	8,246	9,781	1,535	19%	8,246	9,781	1,535	19%	644,000	8,666	9,781	1,115	13%
Special Events	-	-	-	0%	-	-	-	0%	32,640	-	-	-	0%
Expenditure Totals	\$ 2,060,392	\$ 2,207,180	\$ 146,789	7%	\$ 2,060,392	\$ 2,207,180	\$ 146,789	7%	\$ 28,740,000	\$ 2,347,279	\$ 2,207,180	\$ (140,099)	-6%
Net Increase / (Decrease)	\$ 268,470	\$ 265,547	\$ (2,923)		\$ 268,470	\$ 265,547	\$ (2,923)		\$ -	\$ (20,820)	\$ 265,547	\$ 286,367	

Village of Carol Stream
Water and Sewer Fund Budget Summary
For the Month Ended May 31, 2021

	MONTH				YTD				BUDGET					
	Last Year May	Current Year May	Monthly Variance		Last Year YTD	Current Year YTD	YTD Variance		Annual Budget	YTD Budget	YTD Actual	Variance		
			\$	%			\$	%				\$	%	
REVENUES														
Water Billings	\$ 662,612	\$ 721,837	\$ 59,225	9%	\$ 662,612	\$ 721,837	\$ 59,225	9%	\$ 9,042,000	\$ 678,017	\$ 721,837	\$ 43,820	6%	
Sewer Billings	303,658	324,553	20,895	7%	303,658	324,553	20,895	7%	4,080,000	305,940	324,553	18,613	6%	
Penalties/Admin Fees	(224)	12,105	12,329	-5505%	(224)	12,105	12,329	-5505%	178,000	14,833	12,105	(2,728)	-18%	
Connection/Expansion Fees	-	-	-	0%	-	-	-	0%	28,000	2,333	-	(2,333)	-100%	
Interest Income	6,530	444	(6,085)	-93%	6,530	444	(6,085)	-93%	10,000	833	444	(389)	-47%	
Rental Income	13,054	10,907	(2,148)	-16%	13,054	10,907	(2,148)	-16%	164,000	13,667	10,907	(2,760)	-20%	
All Other / Miscellaneous	639	11,448	10,809	1691%	639	11,448	10,809	1691%	88,000	2,833	11,448	8,614	304%	
Revenue Totals	\$ 986,269	\$ 1,081,294	\$ 95,025	10%	\$ 986,269	\$ 1,081,294	\$ 95,025	10%	\$ 13,590,000	\$ 1,018,457	\$ 1,081,294	\$ 62,837	6%	
EXPENDITURES														
Salaries & Benefits	\$ 138,504	\$ 141,580	\$ 3,077	2%	\$ 138,504	\$ 141,580	\$ 3,077	2%	\$ 2,055,428	\$ 158,110	\$ 141,580	\$ (16,530)	-10%	
Purchase of Water	434,294	429,428	(4,866)	-1%	434,294	429,428	(4,866)	-1%	5,715,000	428,541	429,428	887	0%	
WRC Operating Contract	300,126	6,533	(293,593)	-98%	300,126	6,533	(293,593)	-98%	2,049,229	170,769	6,533	(164,236)	-96%	
Maintenance & Operating	78,280	125,538	47,259	60%	78,280	125,538	47,259	60%	2,943,826	245,319	125,538	(119,780)	-49%	
IEPA Loan P&I	-	-	-	0%	-	-	-	0%	428,650	-	-	-	0%	
DWC Loan P&I	-	-	-	0%	-	-	-	0%	53,948	-	-	-	0%	
Capital Outlay	34,614	41,554	6,940	20%	34,614	41,554	6,940	20%	6,366,000	500,000	41,554	(458,446)	-92%	
Expenditure Totals	\$ 985,818	\$ 744,633	\$ (241,184)	-24%	\$ 985,818	\$ 744,633	\$ (241,184)	-24%	\$ 19,612,081	\$ 1,502,739	\$ 744,633	\$ (758,106)	-50%	
Net Increase / (Decrease)	\$ 452	\$ 336,661	\$ 336,209		\$ 452	\$ 336,661	\$ 336,209		\$ (6,022,081)	\$ (484,282)	\$ 336,661	\$ 820,943		

Village of Carol Stream
Capital Budget Summary
For the Month Ended May 31, 2021

	MONTH				YTD				BUDGET*		
	Last Year May	Current Year May	Monthly Variance		Last Year YTD	Current Year YTD	YTD Variance		Annual Budget	YTD Actual	% of Total
			\$	%			\$	%			
CAPITAL PROJECTS FUND											
REVENUES											
Electricity Use Tax	\$ -	\$ 129,324	\$ 129,324	100%	\$ -	\$ 129,324	\$ 129,324	100%	\$ 1,825,000	\$ 129,324	7%
Real Estate Transfer Tax	46,923	62,423	15,500	33%	46,923	62,423	15,500	33%	750,000	62,423	8%
Telecommunications Tax	-	52,306	52,306	100%	-	52,306	52,306	100%	636,000	52,306	8%
Local Motor Fuel Tax	44,822	54,683	9,861	22%	44,822	54,683	9,861	22%	760,000	54,683	7%
Capital Grants	-	26,491	26,491	100%	-	26,491	26,491	100%	323,600	26,491	8%
Interest Income	4,061	358	(3,703)	-91%	4,061	358	(3,703)	-91%	15,000	358	2%
All Other / Miscellaneous	-	-	-	0%	-	-	-	0%	-	-	0%
Revenue Totals	\$ 95,806	\$ 325,585	\$ 229,779	240%	\$ 95,806	\$ 325,585	\$ 229,779	240%	\$ 4,309,600	\$ 325,585	8%
EXPENDITURES											
Roadway Improvements	\$ 5,650	\$ -	\$ (5,650)	-100%	\$ 5,650	\$ -	\$ (5,650)	-100%	\$ 1,104,000	\$ -	0%
Facility Improvements	-	-	-	0%	-	-	-	0%	1,157,000	-	0%
Stormwater Improvements	2,043	34,058	32,015	1567%	2,043	34,058	32,015	1567%	622,000	34,058	5%
Miscellaneous	-	-	-	0%	-	-	-	0%	1,000	-	0%
Expenditure Totals	\$ 7,692	\$ 34,058	\$ 26,365	343%	\$ 7,692	\$ 34,058	\$ 26,365	343%	\$ 2,884,000	\$ 34,058	1%
Net Increase / (Decrease)	\$ 88,113	\$ 291,527	\$ 203,414	231%	\$ 88,113	\$ 291,527	\$ 203,414	231%	\$ 1,425,600	\$ 291,527	20%

MFT FUND

REVENUES											
Motor Fuel Tax Allotments	\$ 117,778	\$ 130,820	\$ 13,042	11%	\$ 117,778	\$ 130,820	\$ 13,042	11%	\$ 1,563,000	\$ 130,820	8%
Capital Grants	436,185	436,185	-	0%	436,185	436,185	-	0%	872,370	436,185	50%
Interest Income	1,359	111	(1,249)	-92%	1,359	111	(1,249)	-92%	5,000	111	2%
Revenue Totals	\$ 555,322	\$ 567,116	\$ 11,793	2%	\$ 555,322	\$ 567,116	\$ 11,793	2%	\$ 2,440,370	\$ 567,116	23%
EXPENDITURES											
Street Resurfacing - Capital	\$ 340	\$ -	\$ (340)	-100%	\$ 340	\$ -	\$ (340)	-100%	\$ 3,255,000	\$ -	0%
Crack Filling	-	-	-	0%	-	-	-	0%	100,000	-	0%
Expenditure Totals	\$ 340	\$ -	\$ (340)	-100%	\$ 340	\$ -	\$ (340)	-100%	\$ 3,355,000	\$ -	0%
Net Increase / (Decrease)	\$ 554,982	\$ 567,116	\$ 12,133	2%	\$ 554,982	\$ 567,116	\$ 12,133	2%	\$ (914,630)	\$ 567,116	-62%

* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream
TIF Fund Budget Summary
 For the Month Ended May 31, 2021

NORTH/SCHMALE TIF	MONTH				YTD				BUDGET					
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance		
	May	May	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%	
REVENUES														
TIF Property Taxes	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ 385,000	\$ -	\$ -	\$ -	0%	
Sales Taxes	8,246	9,781	1,535	19%	8,246	9,781	1,535	19%	130,000	10,833	9,781	(1,052)	-10%	
Interest Income	297	18	(279)	-94%	297	18	(279)	-94%	1,000	83	18	(65)	-78%	
Village Contribution	-	-	-	0%	-	-	-	0%	-	-	-	-	0%	
Revenue Totals	8,544	9,800	1,256	15%	8,544	9,800	1,256	15%	516,000	10,917	9,800	(1,117)	-10%	
EXPENDITURES														
Legal Fees	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ 1,500	\$ 125	\$ -	\$ (125)	-100%	
Consulting Fees	-	-	-	0%	-	-	-	0%	-	-	-	-	0%	
Other Expenses	-	-	-	0%	-	-	-	0%	287,000					
Expenditure Totals	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ 288,500	\$ 125	\$ -	\$ (125)	-100%	
Net Increase / (Decrease)	\$ 8,544	\$ 9,800	\$ 1,256		\$ 8,544	\$ 9,800	\$ 1,256		\$ 227,500	\$ 10,792	\$ 9,800	\$ (992)		

Village of Carol Stream
Police Pension Fund Budget Summary
For the Month Ended May 31, 2021

POLICE PENSION FUND	MONTH				YTD				BUDGET				
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance	
	May	May	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%
REVENUES													
Investment Income	\$ 90	\$ 4	(85)	-95%	\$ 90	\$ 4	(85)	-95%	\$ 4,000,000	\$ 333,333	\$ 4	(333,329)	-100%
Employee Contributions	47,228	48,604	1,376	3%	47,228	48,604	1,376	3%	650,000	54,167	48,604	(5,563)	-10%
Village Contribution	237,529	254,244	16,715	7%	237,529	254,244	16,715	7%	3,050,927	254,244	254,244	0	0%
Other Revenues	-	-	-	0%	-	-	-	0%	-	-	-	-	0%
Revenue Totals	\$ 284,846	\$ 302,852	\$ 18,006	6%	\$ 284,846	\$ 302,852	\$ 18,006	6%	\$ 7,700,927	\$ 641,744	\$ 302,852	\$ (338,892)	-53%
EXPENDITURES													
Investment and Admin Fees	\$ -	\$ 2,075	2,075	100%	\$ -	\$ 2,075	2,075	100%	\$ 164,900	\$ 13,742	\$ 2,075	(11,667)	-85%
Participant Benefit Payments	304,037	323,641	19,604	6%	304,037	323,641	19,604	6%	4,457,000	324,000	323,641	(359)	0%
Expenditure Totals	\$ 304,037	\$ 325,716	\$ 21,679	7%	\$ 304,037	\$ 325,716	\$ 21,679	7%	\$ 4,621,900	\$ 337,742	\$ 325,716	\$ (12,026)	-4%
Net Increase / (Decrease)	\$ (19,190)	\$ (22,864)	\$ (3,674)		\$ (19,190)	\$ (22,864)	\$ (3,674)		\$ 3,079,027	\$ 304,002	\$ (22,864)	\$ (326,866)	

Village of Carol Stream
State and Federal Asset Seizure Fund Summary
For the Month Ended May 31, 2021

	MONTH				YTD				BUDGET*		
	Last Year May	Current Year May	Monthly Variance		Last Year YTD	Current Year YTD	YTD Variance		Annual Budget	YTD Actual	% of Total
			\$	%			\$	%			
State Asset Seizure Fund											
REVENUES											
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%
State Drug Seizure	-	761	761	100%	-	761	761	100%	-	761	0%
State Money Laundering	-	-	-	0%	-	-	-	0%	-	-	0%
State Vehicle Seizure	1,365	79	(1,286)	-94%	1,365	79	(1,286)	-94%	-	79	100%
Revenue Totals	\$ 1,365	\$ 840	\$ (525)	-38%	\$ 1,365	\$ 840	\$ (525)	100%	\$ -	\$ 840	100%
EXPENDITURES											
State Drug Seizure	-	3,708	3,708	100%	-	3,708	3,708	100%	87,150	3,708	4%
State Money Laundering	-	-	-	0%	-	-	-	0%	17,500	-	0%
State Vehicle Seizure	-	-	-	0%	-	-	-	0%	-	-	0%
Expenditure Totals	\$ -	\$ 3,708	\$ 3,708	100%	\$ -	\$ 3,708	\$ 3,708	100%	\$ 104,650	\$ 3,708	100%
Net Increase / (Decrease)	\$ 1,365	\$ (2,869)	\$ (4,234)	-310%	\$ 1,365	\$ (2,869)	\$ (4,234)	100%	\$ (104,650)	\$ (2,869)	100%
Federal Asset Seizure Fund											
REVENUES											
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	100%
Federal DOJ Seizure	-	-	-	0%	-	-	-	0%	-	-	100%
Federal Treasury Seizure	-	-	-	0%	-	-	-	0%	-	-	100%
Revenue Totals	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	100%
EXPENDITURES											
Federal DOJ	\$ 194	\$ 246	\$ 52	27%	194	246	52	27%	\$ 8,500	\$ 246	100%
Federal Treasury	-	-	-	0%	-	-	-	0%	-	-	0%
Expenditure Totals	\$ 194	\$ 246	\$ 52	27%	\$ 194	\$ 246	\$ 52	100%	\$ 8,500	\$ 246	100%
Net Increase / (Decrease)	\$ (194)	\$ (246)	\$ (52)	27%	\$ (194)	\$ (246)	\$ (52)	100%	\$ (8,500)	\$ (246)	100%

* Due to the uncertainty of timing of revenues and expenditures, no YTD budget estimates are shown.

Village of Carol Stream
Equipment Replacement Fund Budget Summary
 For the Month Ended May 31, 2021

EQUIPMENT REPLACEMENT FUND	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	May	May	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
REVENUES											
Transfer - Engineering	\$ -	\$ -	-	0%	\$ -	\$ -	-	0%	\$ -	\$ -	0%
Transfer - Community Dev.	-	-	-	0%	-	-	-	0%	-	-	0%
Transfer - Police	-	-	-	0%	-	-	-	0%	-	-	0%
Transfer - PW Streets	-	-	-	0%	-	-	-	0%	-	-	0%
Transfer - Municipal Building	-	-	-	0%	-	-	-	0%	-	-	0%
Transfer - WRC	-	-	-	0%	-	-	-	0%	-	-	0%
Transfer - Water	-	-	-	0%	-	-	-	0%	-	-	0%
Revenue Totals	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%
EXPENDITURES											
Vehicles - Engineering	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%
Vehicles - Community Dev.	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - Police	-	61,646	61,646	100%	-	61,646	61,646	100%	128,000	61,646	48%
Vehicles - PW Streets	35,408	49,552	14,144	40%	35,408	49,552	14,144	40%	131,000	49,552	38%
Vehicles - Municipal Building	-	-	-	0%	-	-	-	0%	30,000	-	0%
Vehicles - WRC	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - Water	-	-	-	0%	-	-	-	0%	-	-	0%
Expenditure Totals	\$ 35,408	\$ 111,198	\$ 75,790	214%	\$ 35,408	\$ 111,198	\$ 75,790	214%	\$ 289,000	\$ 111,198	38%
Net Increase / (Decrease)	\$ (35,408)	\$ (111,198)	\$ (75,790)		\$ (35,408)	\$ (111,198)	\$ (75,790)		\$ (289,000)	\$ (111,198)	

* Due to the uncertainty of timing of vehicle purchases, no YTD budget estimates are shown.

Village of Carol Stream
Schedule of Cash and Investment Balances
 May 31, 2021

FUND	CASH	LGIPs*	INVESTMENTS	TOTAL CASH & INVESTMENTS	LAST YEAR 5/31/2020
GENERAL FUND	\$ 678,684.54	\$ 8,934,287.70	\$ -	\$ 9,612,972.24	\$ 9,324,641.88
WATER & SEWER FUND	817,882.11	11,965,532.21	-	12,783,414.32	12,192,568.51
CAPITAL PROJECTS FUND	1,597,435.73	12,313,693.46	-	13,911,129.19	6,674,300.09
MFT FUND	-	3,726,129.59	-	3,726,129.59	2,255,987.40
EQUIPMENT REPL. FUND	-	4,731,199.06	-	4,731,199.06	3,979,582.00
NORTH/SCHMALE TIF FUND	351,586.58	621,071.06	-	972,657.64	793,778.00
POLICE PENSION FUND	321,840.64	143,944.53	64,204,716.31	64,670,501.48	52,789,639.74
STATE ASSET SEIZURE FUND	227,266.14	-	-	227,266.14	272,569.82
FEDERAL ASSET SEIZURE FUND	145,171.95	-	-	145,171.95	154,570.53
TOTAL	<u>\$ 4,139,867.69</u>	<u>\$ 42,435,857.61</u>	<u>\$ 64,204,716.31</u>	<u>\$ 110,780,441.61</u>	<u>\$ 88,437,637.97</u>

* Local Government Investment Pools (LGIP) include the Illinois Funds and IMET.