

Village of Carol Stream

AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, OCTOBER 25, 2021 AT 6:00 P.M.

ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON

- I. Roll Call: Present:
Absent:
- II. Approval of Minutes: October 11, 2021
- III. Public Hearing:
 - A. **21-0051 – Chicago Exotic Exchange Club – 575 Randy Road**
Special Use Permit for Vehicle Sales
Special Use Permit for Outdoor Vehicle Storage
Fence Variation
 - B. **21-0053 – Gerzevske Lane/Concordia Wireless – 265 Gerzevske Lane**
Special Use Permit for Outdoor Activities and Operations
Special Use Permit for Repair Service
Height Variation
Temporary Parking Lot Variation
Lankbanked Parking Variation
- IV. Presentation:

21-0054–Route 64, LLC–27W174 North Avenue & 2N441 County Farm Road
Plat of Consolidation
- V. Old Business:
- VI. New Business:
- VII. Report of Officers:
- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
October 11, 2021.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Christopher, Morris, Petella, Tucek and Chairman Parisi

Absent: 2 Commissioner Battisto and Meneghini

Also Present: Tom Farace, Planning and Economic Development Manager; Patty Battaglia, Planning and Permitting Assistant

MINUTES:

Commissioner Christopher moved and Commissioner Petella seconded the motion to approve the minutes of the Regular Meeting held on September 13, 2021.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Battisto and Meneghini

The motion passed by a unanimous vote.

PRESENTATION

Case #21-0050- Bartel's Auto Clinic Quick Lube – 190 S. Gary Avenue – Gary Avenue Corridor Review – New Monument Sign

Chairman Parisi asked for the applicant to give his presentation.

Mr. Robby Whitehead, from Olympik Sign Company, stated this sign will be a standard monument sign with a digital sign display all controlled wirelessly. As far as setbacks and utilities are concerned, we will try to stay out of those and abide by city code. Screen is as shown and can be programed every way and the base ties into their corporate specs. The base is not illuminated and is aluminum.

Chairman Parisi asked Mr. Farace to provide a Staff Report.

Mr. Farace stated the applicant is seeking Gary Avenue Corridor Review approval for the sign. It does meet requirements for height and square footage. The sign is in two separate sections or panels. The upper portion has the wording for the business itself and the middle portion will be the electronic message board sign with the bottom being a monument type style base with color bands that match the

color bands on the building. The cladding on the base also matches the precast on the building and there will be landscaping around the base of the sign which is required. There were a couple of evergreens that were removed along the Gary Avenue frontage, but ownership has agreed to replace those with new evergreens. Therefore, staff is recommending approval.

Chairman Parisi asked for comments or questions from the Commission. Chairman Parisi asked the only question which was if the display was a Watchfire LED that adjusts to the outside light.

Mr. Whitehead stated it is a Watchfire LED so you can adjust it to be as light or as dark as you want. This is controlled in the software and automatically adjusts.

Commissioner Tucek moved and Commissioner Christopher seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Morris, Petella, Tucek and Chairman Parisi
Nays: 0
Abstain: 0
Absent: 2 Commissioner Battisto and Meneghini

The motion passed by unanimous vote.

NEW BUSINESS:

OLD BUSINESS:

OTHER BUSINESS:

ADJOURNMENT:

At 6:08 p.m. Commissioner Petella moved and Commissioner Morris seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Morris, Petella, Tucek and Chairman Parisi
Nays: 0
Abstain: 0
Absent: 2 Commissioners Battisto and Meneghini

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

October 25, 2021

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- A Special Use Permit for Vehicle Sales in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance
- A Special Use Permit for Outdoor Vehicle Storage in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance
- A Variation from Section 16-5-8 (F)(2) of the UDO to allow a fence in the exterior side yard

APPLICANT/ CONTACT:

Dr. Syed Naveed
228 Kacie Court
Westmont, IL 60559



CASE #: 21-0051

LOCATION: 575 Randy Road

PROJECT NAME: Dr. Syed Naveed / Chicago Exotic Exchange Club



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	I Industrial District	Industrial (formerly Norlux)	Industrial
North	I Industrial District	Industrial (Dynamic MD)	Industrial
South	I Industrial District	Industrial (Rental Max)	Industrial
East	Village of Glendale Heights Industrial Planned Development	Industrial (Glendale Lakes Business Park)	Industrial
West	I Industrial District	Industrial (Proposed Hultgren Funeral Home)	Industrial

The property highlighted above is located at the northwest corner of Randy Road and Schmale Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses according to the Village's 2016 Comprehensive Plan, and is also located along the Schmale Road Corridor. The proposed car dealership will provide another commercial enterprise along the Corridor.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Variation Application, Special Use Application, Cover Letter received September 30, 2021, Public Notice, Site Plan (Exhibit A), Floor Plan (Exhibit

B), Building Elevation Renderings (Exhibits C-1 through C-3), Landscape Plan and Details (Exhibits D-1 through D-3) and Fence Detail (Exhibit E).

BACKGROUND:

The applicant, Dr. Syed Naveed, requests approval of a Special Use Permit for vehicle sales for a high-end used car dealership (Chicago Exotic Exchange Club) to be located at 575 Randy Road. In addition, a Special Use Permit is requested for outdoor vehicle storage, and a Variation is requested to allow a fence along the Schmale Road property frontage. Dr. Naveed has operated dealerships in other communities (Naperville and Downers Grove). The subject property contains a vacant 12,000 square foot office/warehouse building, and approximately 60 parking spaces.

Staff Analysis

SPECIAL USE PERMITS – VEHICLE SALES AND OUTDOOR VEHICLE STORAGE

Special Use approval is requested for vehicle sales and outdoor storage of said vehicles.

- The proposed dealership will allow for both on-site and online sales. Approximately 25 vehicles are proposed on-site, stored outside in parking spaces north of the building which will be designated as the sales lot, and about a dozen spaces designated inside the building as well.
- Vehicle deliveries will be made from other operators that the applicant has collaborated with, and customers will be able to view vehicles either in the sales lot, within the indoor showroom, or online. Customer parking is proposed on the east side of the property, and employee parking is proposed along the north side of the building. Parking for the subject property is calculated as follows:

Business	Area of Use	Code Requirement	Spaces Required
Chicago Exotic Exchange Club 12,000 s.f.			
3,000 s.f. office space	Office Space	One space per 250 S.F. of NFA	10 spaces
5,000 s.f. vehicle sales space	Vehicle Sales	0.5 spaces per 250 S.F. of NFA	10 spaces
2,000 s.f. repair space	Vehicle Repair	0.5 spaces per 250 S.F. of NFA plus 1 space per service bay	4 spaces
10,000 s.f. outdoor vehicle storage	Outdoor Storage	0.25 spaces per 250 S.F. of NFA	10 spaces
Parking Spaces Required:			34 spaces
Parking Spaces Provided:			60 spaces

With 60 on-site spaces provided and 34 spaces required for the proposed business, there is more than adequate parking for the dealership.

- As proposed, hours of operation will be 10:00am to 8:00pm during the week, and 10:00am to 5:00pm on Saturdays, and there will be 10 employees.
- The applicant proposes site, landscaping and building improvements, including the following:
 - All pavement will be resurfaced and parking spaces will be restriped accordingly. New lighting is also proposed.
 - New landscaping is proposed along the north and east property lines to provide parking lot/vehicle storage screening. Landscaping includes shrubs, grasses, and perennials. Existing plant material along the south side of the building will be trimmed.
 - Fencing is proposed along the north and east property lines. Additional information will be provided on fencing in the variation section of the staff report.
 - Façade upgrades include the addition of composite cement panels on the east side of building to enhance the existing masonry building material, along with the addition of new windows to display the indoor vehicle showroom along Schmale and bring natural light into the building.
 - New channel letter wall signage is proposed along the east façade, along with a monument sign along Schmale Road. Said signage will need to meet all regulations within the UDO.

Staff believes the proposed improvements will greatly enhance the property and the building, and supports the vehicle sales use and associated outdoor storage of vehicles.

SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use requests must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed vehicle sales business with outdoor storage will provide an amenity to members of the community and others interested in purchasing a vehicle.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed business will operate in a manner that should not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

With proposed fencing, landscaping, and other enhancements, the proposed use should not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor diminish or impair property values within the area.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

FENCE VARIATION

The UDO requires that fences on lots within the Industrial District be limited to the rear and interior side yard only. In this case, a variation is requested to place a fence along the east property line facing Schmale Road, which is considered the exterior side yard for property. A five-foot tall open-style aluminum fence is proposed for partial screening of the vehicle storage area, and will also provide security measures around the property. Given the location of the fencing along the east side of the property, a variation is required for the fence to extend into the exterior side yard. Staff supports the variation in this instance to allow for partial screening and for security of the vehicle storage areas along the roadway, and does not believe the open style fence will have a negative visual impact on motorists. It should be noted that eight-foot fences are allowed in the Industrial District, but as previously mentioned, the proposed fence will only be five feet in height.

VARIATION FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K) of the Carol Stream Code of Ordinances:

1. The requested variation arises from an exceptional situation related to topography, surroundings or conditions of a specific piece of property, or by reason of exceptional narrowness or shallowness.

While there is no topographic or condition specific to the property to give rise to grant the variation, staff does not believe the open style fence will produce a negative impact to surrounding properties and will provide security for the proposed outdoor vehicle storage area.

2. There are difficulties or a particular hardship in the way of carrying out the strict letter of the fence standards.

The proposed fence would not be allowed to extend past the east wall of the building according to fence standards, which would disallow the added protection of fencing for the proposed dealership.

3. The fence will not impair an adequate supply of light and air to adjacent property.

The open style of the proposed fence will not impair light or air to adjacent properties.

4. The fence will not endanger the public safety.

The proposed fence will not endanger the public safety given its open style and limited height.

5. The fence will not unreasonably diminish or impair established property values within the surrounding area.

Staff believes the proposed fence, in conjunction with other site and landscaping improvements, will increase property values within the surrounding area.

6. The fence will not impair the public health, safety, comfort, morals or welfare of the inhabitants of the village.

Staff does not believe the fence along the east side of the property will impair the public health, safety, comfort, morals or welfare of the inhabitants of the village.

Recommendation

Staff has reviewed the requests and supports the proposed use. Therefore, staff recommends approval of a Special Use Permit for vehicle sales, Special Use Permit for outdoor vehicle storage, and Fence Variation for Chicago Exotic Exchange Club at 575 Randy Road, Case No. 21-0051, subject to the following conditions:

1. That all improvements, including but limited to the parking lot, landscaping, building façade, and fencing upgrades, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all potential maintenance work shall occur inside the building, and not within the storage lot. Likewise, any disabled vehicles shall not be stored in the lot;
4. That only vehicles associated with the business shall be allowed to be stored in the storage lot or inside the building, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed in the storage lot or inside the building;
5. That vehicles and trailers shall not be allowed to back into the property from Schmale Road;
6. That the applicant must obtain the required sign permits prior to the installation of any new signage; and that the existing sign cabinet on the east side of the building shall be removed in conjunction with façade improvements; and
7. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

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RECEIVED

AUG 20 2021

COMMUNITY DEVELOPMENT DEPT

Do Not Write in This Space

Date Submitted: 8-20-21

Fee Submitted: \$800.00

File Number: 21-0051

Meeting Date: 10/25/21

Public Hearing Required:

Village of Carol Stream

500 N. Gary Avenue ■ Carol Stream, IL 60188

PHONE 630.871.6230 ■ FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant SYED NAVEED Phone 630 776 5027
 Address 228 KACIE CT Fax _____
WESTMONT IL 60559
 E-Mail Address SYED NAVEED MD @ GMAIL.COM
 (required)
 Name of Attorney (JUD LOFCHIE) Phone 630 215 7081
 (if represented)
 Address _____ Fax _____

Name of Owner CATHERINE Phone _____
 (required if other than applicant)
 Address 630 698 4066 Fax _____
CITONG

Name of Architect LASZLO SIMON Phone 773 908 9222
 (if applicable)
 Address _____ Fax 773 338 2225

2. *Common Address/Location of Property 575 RANDY RD
CAROL STREAM IL

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision - Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation - Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input checked="" type="checkbox"/> Variation - Sign (requires Form B-2)
<input type="checkbox"/> Planned Development - Final	<input checked="" type="checkbox"/> Variation - Fence (requires Form B-3)
<input type="checkbox"/> Planned Development - Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action _____

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 800

Annexation approvals:	
New development	\$2,000
Other	\$800
Annexation Agreement Amendment	\$800
Appearance fee for approvals required by the UDO but not listed herein	\$500
Courtesy Review	\$240
Development Staff Review	\$640
Easement Encroachment	\$300
Gary/North Avenue Corridor Review:	
New or replacement monument sign	\$500
One discipline (site design, architecture or landscaping)	\$500
Two disciplines	\$1,000
Three disciplines	\$1,500
New development	\$1,500
Outdoor Dining Permit	\$120
Planned Development:	
Existing Planned Development, minor change	\$500
Existing Planned Development, major change	\$1,000
New Planned Development	\$1,500
Rezoning (Zoning Map Amendment)	\$640
Shared Parking Facility Permit	\$500
Site Plan Review	\$640
Special Use:	
First	\$800
Each additional	\$200
Special Use Amendment	\$800
Staff Adjustment	\$240
Subdivision:	
Major	\$700
Minor	\$400
Temporary Building, Structure or Use	\$120
Temporary Waiver to the Code of Ordinances	\$120
Text Amendment:	
Building Codes	\$240
Unified Development Ordinance	\$640
Variation:	
First	\$640
Each additional	\$200
Zoning verification letter	\$80


5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Syed Naveed. MD

Print Name


Signature
8/9/21

Date

Revised 07/21



FORM B-3

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OCT 06 2021
COMMUNITY DEVELOPMENT
DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org ▪ website: www.carolstream.org

FENCE VARIATION

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Fence Variations.

In accordance with the applicable statutes of the State of Illinois, no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the UDO and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

The Zoning Board of Appeals may vary the provisions of the Fence Code after making findings based upon the evidence presented with regards to the following conditions: (Please respond to each of the following as it relates to your request.)

1. An exceptional situation related to topography, surroundings or conditions of a specific piece of property, or by reason of exceptional narrowness or shallowness.

Not applicable

2. Difficulties or particular hardship in the way of carrying out the strict letter of the Fence Standards.

In order to secure the fence has to be in front area

3. The fence will not impair an adequate supply of light and air to adjacent property.

See photo of concept

4. The fence will not endanger the public safety.

No it wouldn't

5. The fence will not unreasonably diminish or impair established property values within the surrounding area.

Not at all

6. The fence will not impair the public health, safety, comfort, morals or welfare of the inhabitants of the village.

No

7. Other pertinent information or reason for the request.

For security purposes



FORM C

RECEIVED

AUG 20 2021

COMMUNITY DEVELOPMENT DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

YES

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

YES

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

THE USE WILL PROVIDE A

TOTAL MAKEOVER OF VACANT PROPERTY

2 SIGNIFICANTLY IMPROVE THE VALUE

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

YES

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

YES

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

YES

7. Other pertinent information or reason for request.

We are proposing a very high end classic car auto dealership & club to cater to high end customers & collectors like (eg) Chicago Motor Cars

We will have 10 Million dollar worth of inventory each car is around 200K. We are expecting a turn over of 50. Million dollars in first year & 100 Million dollar next year and it will bring significant tax revenue to the city & state.

T:\Informational Handouts\Planning\Current\Word\FORM C (specialuse).doc

I am proud owner of
& we can
make it happen

Revised 1/18

JAMES MORAN
10 JAMES MORAN
5400 N. DUNCAN

Tom Farace
Planning & Economic Development Manager
Village of Carol Stream
500 N. Gary Ave.
Carol Stream, IL 60188
P: 630.871.6234
E: tfarace@carolstream.org

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

RE: Special Use Permit: 575 Randy Rd - Carol Stream

Dear Plan Commission/Zoning Board of Appeals:

It is with pleasure that we assemble this application for presentation and your review. My name is Dr. Sayed Naveed. As a long active practitioner of medicine, I am a car enthusiast to which this property will be utilized.

The facility will be utilized for a car dealership with vehicle sales being both online (50%) as well as at the location itself (50%). We plan to have about 10 full time employees and there will be about 25 cars parked on site at any given time. It will be combination of both parking inside the building/showroom as well as outside in the lot.

I have successfully started several other car dealerships similar to the dealership I am proposing the subject property be used for. One of the dealerships I have since sold while the other I remain a partner of. You can find them still in operation both in Naperville (Gold Coast Motors at 1570 W Ogden Ave) and in Downers Grove (Downers Grove Motor Sales at 700 Ogden Ave).

We are a high end, luxury auto dealership that will bring high tax revenues to the city. On average, our cars will sell for about \$120,000. The automobiles are classic in nature and appeal to very high net worth individuals. We anticipate our dealership will generate revenues of \$30 million in the first year and quickly escalate to \$50 million the following year and beyond.

I plan to deliver the vehicles to another operation that I or one of partners currently oversees. It is from those dealerships that cars will be driven to this new location in Carol Stream. The customers will have access to the lot for viewing and test driving. The lot will be secured with a gate and only accessible to the customers during our hours of operation. Hours will be weekdays from 10 AM – 8 PM and Saturdays from 10 AM – 5 PM.

The property's accessibility and current location provide value to my business. We are seeking to obtain your approval for the use of an automobile dealership and look forward to working with the village to beautify the property, provide a service to the community and generate tax revenues to be utilized for local projects within your village. The building has been sitting idle for quite some time and we look forward to putting this piece of real estate to good work. We think that the upgrades to the parking lot, the landscaping and lighting will completely overhaul the property making it more aesthetically pleasing both to our target market and to the village as whole.

Specifically:

1. The parking lot will be completely resurfaced and striped to follow the specific looped striping detail required by Carol Stream for customer and employee parking.
2. We will plan to install village approved lighting throughout the parking lot and along the building façade.
3. We will plan to upgrade the current window-line facing east along Schmale Rd to more properly showcase the showroom and vehicle inventory stored inside the property.
4. Appropriate landscaping and screening will be planted per an approved plan by the village. In addition, we intend to eliminate and trim the existing landscaping as it has become overgrown and unbecoming of the image, we feel the village deserves along with our customer base.
5. Fencing along with a security gate will be installed along the perimeter of the parking surfaces to secure the vehicles and deter crime from occurring.
6. New signage proposals will be submitted to the village for approval for both a monument and building sign to assure the signage is in line with village requirements.

We would like to thank you once again in advance for your time and consideration. We are excited about this journey and look forward taking these next steps in Carol Stream.

Respectfully,

Dr. Syed Naveed, M.D.


Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on October 6, 2021 and the last publication of the notice was made in the newspaper dated and published on October 6, 2021. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on October 6, 2021.

Examiner Publications, Inc.

By: Publisher 
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 9th day of October, A.D. 2021.

Notary Public



PUBLIC NOTICE FILE #21-0051

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, October 25, 2021, at 6:00 p.m. to consider an application from Dr. Syed Naveed/Chicago Exotic Exchange Club for the following actions:

A Special Use Permit for Vehicle Sales in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance;

A Special Use Permit for Outdoor Vehicle Storage in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance; and

A Variation from Section 16-5-8 (F)(2) of the Carol Stream Unified Development Ordinance to allow a fence within the front yard.

For the property at 575 Randy Road (PIN 02-33-300-32).

The hearing will be held in-person and via a web conference meeting. All persons desiring to be heard will be given the opportunity to be heard. The web conference will allow the public to view the meeting online. Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

https://us02web.zoom.us/join/zoom/register/WN_2bbxY7dcQcS8Gj0Zws_y8g

Description: This is an audio only meeting. Those members of the public wishing to be heard with respect to this matter, must pre-register or complete the public comment form at <http://carolstre.am/pc> by 4pm the day of the public hearing

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 646 558 8656 or +1 301 715 8592

Webinar ID: 813 5582 9066

International numbers available:
<https://zoom.us/j/adsnXEZQK>

The application is available for public inspection on the Village's website at www.carolstream.org. The public may provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfarace@carolstream.org by 4:00pm on October 25, 2021. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* Oct. 6, 2021 1006

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SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

SALES LOT - 36

EMPLOYEE PARKING - 7

CUSTOMER PARKING - 17 + 1 ACC

NEW 5'-0" TALL FENCE AT PERIMETER OF PARKING. MATERIAL TO ADHERE TO VILLAGE STANDARDS

NEW STOP SIGN & NEW PAINTED STOP BAR

NEW MONUMENT SIGN PER VILLAGE STANDARDS

LANDSCAPE IS REPRESENTATION - SEE LANDSCAPE PLAN FOR MORE INFORMATION

EXISTING PARKING LOT TO BE RESURFACED AND RESTRIPE PER VILLAGE STANDARDS

EXHIBIT A

 SITE PLAN - NTS

designhaus inc.
architecture

860 lively blvd. elk grove village, illinois 60007
p: 847.593.5010 f: 847.593.5012 www.dhausarch.com

575 Randy Rd.
Carol Stream IL 60188

project: 21.183
date: 09.29.21
revision: 01

RE1.3

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

*Red indicates parking stalls inside the building

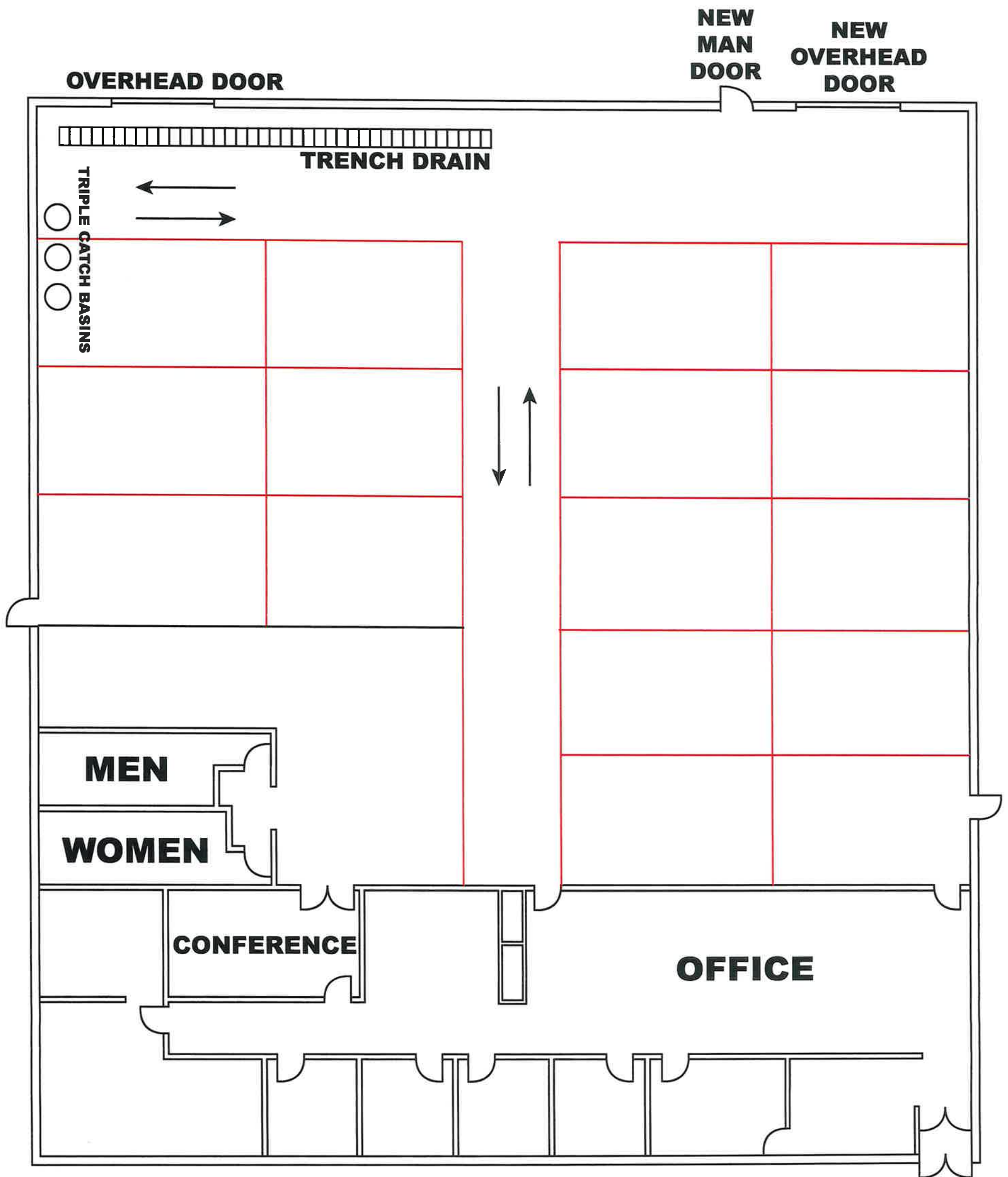


EXHIBIT B

NEW 5'-0" TALL FENCE,
MATERIAL TO ADHERE TO
VILLAGE STANDARDS

NEW COMPOSITE
CEMENT PANELS
OVER EXISTING BRICK

EXISTING WINDOWS
TO REMAIN

NEW FIBER CEMENT
PANELS OVER
EXISTING BRICK

NEW WINDOWS FOR VEHICLE
DISPLAY

BUILDING
NUMBER

NEW COMPANY
SIGNAGE

NEW COMPOSITE
CEMENT PANELS
OVER EXISTING BRICK

NEW DOOR IN
EXISTING OPENING

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

575

Company Sign

EXHIBIT C-1

designhaus inc.
architecture

880 Maple Blvd. | 312.992.5019
312.992.5019 | 880 Maple Blvd. | www.designhaus.com

575 Randy Rd.
Carol Stream IL 60188

DATE: 09.22.21
REVISED: 09.22.21

RE1.0

EXISTING SIDEWALK
TO REMAIN

EXISTING TREES
TO REMAIN

NEW STOP SIGN & NEW
PAINTED STOP BAR

NEW MONUMENT SIGN
PER VILLAGE STANDARDS

EXISTING PARKING LOT
TO BE RESURFACED
AND RESTRIPE PER
VILLAGE STANDARDS

NEW MAN DOOR &
DRIVE-IN-DOOR

LANDSCAPE IS
REPRESENTATION - SEE
LANDSCAPE PLAN FOR
MORE INFORMATION

NEW SECURITY
GATE

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

EXHIBIT C-2

designhaus
architectural

950 Lakeside Dr. | 4th Floor | Carol Stream, IL 60188
Tel: 630.583.8110 | Fax: 630.583.8111 | www.designhaus.com

575 Randy Rd.
Carol Stream IL 60188

EXISTING WINDOWS
TO REMAIN

NEW WINDOWS FOR
VEHICLE DISPLAY

NEW COMPANY
SIGNAGE

NEW COMPOSITE
CEMENT PANELS
OVER EXSTING
BRICK

LANDSCAPE IS
REPRESENTATION - SEE
LANDSCAPE PLAN FOR
MORE INFORMATION

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

Company Sign

11' 6" 11' 6" 11' 6" 11' 6"

148' 6"

10' 10"

EXHIBIT C-3

designhaus inc.
architecture

860 lively Blvd. Elk Grove Village, Illinois 60007
p: 847.593.5010 f: 847.593.5012 www.dhausarch.com

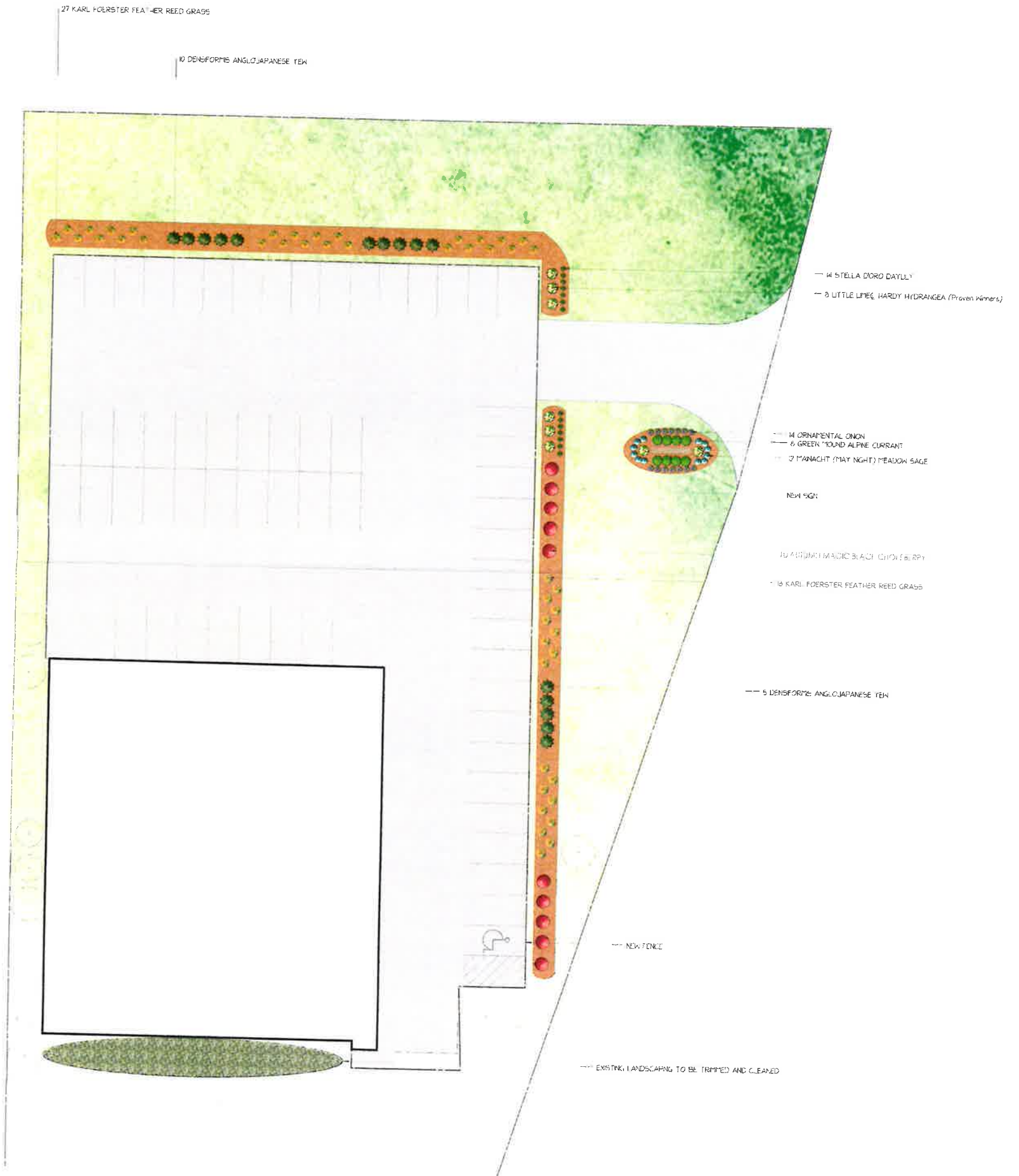
575 Randy Rd.
Carol Stream IL 60188

project: 21-183
date: 09.29.21
revision: 01

RE1.2

Qty	Botanical Name	Common Name	Size/Condition
Shrubs			
0	<i>Aronia melanocarpa</i> 'Autumn Magic'	AUTUMN BLACK CHOKEBERRY	36"
8	<i>Hydrangea paniculata</i> 'Jane' pp#22,330, cbr#3914 (Proven Winners)	LITTLE LIME HARDY HYDRANGEA (Proven Winners)	#3
8	<i>Ribes alpinum</i> 'Green Mound'	GREEN MOUND ALPINE CURRANT	18"
5	<i>Taxus x media</i> 'Densiflora'	DENSIFORMIS ANGLO-JAPANESE YEW	24"
Ornamental Grasses			
45	<i>Calamagrostis x acutiflora</i> Karl Foerster	KARL FOERSTER FEATHER REED GRASS	1G
Perennials and Annuals			
14	<i>Allium nebulosum</i>	ORNAMENTAL ONION	1G
14	<i>Hemerocallis</i> 'Stella d'Oro'	STELLA D'ORO DAYLILY	1G
2	<i>Salvia nemorosa</i> 'Mainacht (May Night)'	MANACHT (MAY NIGHT) MEADOW SAGE	1G

RECEIVED
OCT 07 2021
COMMUNITY DEVELOPMENT
DEPT



575 RANDY RD.		
575 RANDY RD. CAROL STREAM		
client:		
scale:	1"=16'	revision:
date:	9.25.2021	revision:
drawn by:	MATT MLYNSKI	checked by:
checked by:		drawing #:
		2

A GARDEN GUY, INC.
LANDSCAPE DESIGN
www.ogardenguylandscaping.com

EXHIBIT D-1

975 RANDY RD

RECEIVED
OCT 06 2021
COMMUNITY DEVELOPMENT



©2016 Hortycopia, Inc.

ORNAMENTAL ONION
Allium rebdonense



©2016 Hortycopia, Inc.

AUTUMN MAGIC BLACK CHOKEBERRY
Aronia melanocarpa 'Autumn Magic'



©2016 Hortycopia, Inc.

KARL FOERSTER FEATHER REED GRASS
Calamagrostis x acutiflora 'Karl Foerster'



©2016 Hortycopia, Inc.

STELLA D'ORO DAYLILY
Hemerocallis 'Stella d'Oro'



Proven Winners® ColorChoice

LITTLE LIME® HARDY HYDRANGEA (Proven Winner
Hydrangea paniculata 'Jane' pp#22,330, cbr#3914



©2016 Hortycopia, Inc.

GREEN MOUND ALPINE CURRANT
Ribes alpinum 'Green Mound'



©2016 Horticipia, Inc.

MAINACHT (MAY NIGHT) MEADOW SAGE
Salvia nemorosa 'Mainacht (May Night)'



©2016 Horticipia, Inc.

DENSIFORMIS ANGLOJAPANESE YEW
Taxus x media 'Densiformis'

EXHIBIT D-3

RECEIVED
SEP 30 2021
COMMUNITY DEVELOPMENT
DEPT

Conceptual Fencing Design and Style



EXHIBIT E

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT
October 25, 2021

TO:
Chairman and Plan Commissioners

FROM:
Community Development Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting approval of
the following:

- A Special Use Permit for Outdoor Activities and Operations – Storage of Equipment, Materials, and Vehicles, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance
- A Special Use Permit for Vehicle Repair and Service in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance
- A Variation from Section 16-4-15 (E) of the Carol Stream Unified Development Ordinance to allow an antenna tower to exceed 55 feet in height
- A Variation from Section 16-5-2 (B)(3)(c) of the of the Carol Stream Unified Development Ordinance to allow a temporary parking lot to remain for longer than 18 months
- A Variation from Section 16-5-2 (B)(4)(b)(iii) of the Carol Stream Unified Development Ordinance to allow the landbanking of parking spaces, and to allow said landbanked spaces to be in a paved area instead of greenspace

APPLICANT/ CONTACT:
Mr. G.M. Sadat
Gerzevske Lane, LLC
361 Randy Road
Carol Stream, IL 60188



CASE #: 21-0053

LOCATION: 265 Gerzevske Lane

PROJECT NAME: Gerzevske Lane LLC / Concordia Wireless



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	I Industrial District	Industrial (vacant, gravel storage lot)	Industrial
North	I Industrial District	Industrial (Davies Molding)	Industrial
South	I Industrial District	Industrial (Multi-Tenant Building)	Industrial
East	I Industrial District	Industrial (Patriot Transport)	Industrial
West	I Industrial District	Industrial (Accurate Office Supply)	Industrial

The industrial property highlighted above is located on the east side of Gerzevske Lane and south of Kehoe Boulevard.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses according to the Village's 2016 Comprehensive Plan. The proposed office/warehouse building is appropriate within this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Variation Applications, Special Use Application, Cover Letter received September 29, 2021, Parking Summary received October 1, 2021, Public Notice, Cover Sheet (Exhibit A), Demolition Plan (Exhibit B), Geometry Plan (Exhibit C), Utility Plan (Exhibit D), Grading and Erosion Control Plan (Exhibit E), Landscape Plan (Exhibit F), Floor Plans (Exhibits G-1 through G-4), Elevations (Exhibits H-1 through H-3), Renderings (Exhibits I-1 and I-2), and Antenna Tower Drawing, (Exhibit J).

BACKGROUND:

Mr. G.M. Sadat, Director of Concordia Wireless, requests approval of the following in conjunction with the development of the property at 265 Gerzevske Lane:

- A Special Use Permit for Outdoor Activities and Operations for the storage of equipment, materials, and vehicles
- A Special Use Permit for Vehicle Repair and Service
- A Variation to allow an antenna tower to exceed 55 feet in height
- A Variation to allow a temporary parking lot to remain for longer than 18 months, and
- A Variation to allow the landbanking of parking spaces, and to allow said landbanked spaces to be in a paved area instead of greenspace

Concordia Wireless occupies a tenant space in the multi-tenant building at 361 Randy Road, which is located directly south of the subject property. Concordia has been in the 361 Randy building since 2012, and parked trucks and trailers associated with the business on the 361 Randy property and within a gravel area that encroached onto the 265 Gerzevske property. In 2019, Concordia purchased the 265 Gerzevske property, in anticipation of constructing a building for their business and including a storage area. In May 2020, the applicant came before the PC/ZBA for a request to remove the gravel that was installed on the 265 Gerzevske and 361 Randy properties, and construct a temporary gravel parking and storage lot on the subject property for a maximum of 18 months until the completion of a newly constructed building and hard-surfaced parking/storage yard. The PC/ZBA recommended approval of the project, and the Village Board approved the request under Ordinance No. 2020-05-16.

At this time, Mr. Sadat is requesting approval of special use permits and variations associated with the development of the subject property. Proposed development will include the construction of a 66,364 square foot office/warehouse building for Concordia Wireless and additional smaller tenants, a rear outdoor storage lot for trailers, equipment, and steel materials, and a 90-foot tall training antenna tower.

Staff Analysis

SPECIAL USE PERMITS – OUTDOOR ACTIVITIES AND OPERATIONS, REPAIR AND SERVICE

Concordia is a company that specializes in the design, construction, and maintenance of wireless telecommunication facilities and associated land surveying projects. The company has grown from 17 employees in 2012 to over 100 employees in 2021, which necessitates the proposed building.

- The office/warehouse building will be 66,364 square feet, with two full stories and mezzanine space.
- Access will be provided by a driveway at the northwest end of the property, with parking on the north, south, and west sides of the property. Additional information on parking demand will be discussed in the landbanked parking variation section of this report. It should be noted

that there is an existing agreement that allows for parking spaces on the subject property for the property to the north (Davies Molding). However, these existing parking spaces will be removed with the development of the property, and per the agreement, Davies Molding will be notified of said modification.

- Landscaping is proposed along the west foundation of the building, within transition or bufferyard areas for parking lot screening purposes, and within parking lot islands. Proposed landscaping meets requirements within the UDO.
- As mentioned, the proposed building will be two stories with a mezzanine level, with the first floor containing warehouse, staging, repair, and office space for Concordia, and four smaller tenant spaces measuring 2,400 to 2,700 square feet each. The applicant proposes to construct the second floor of the building in two phases, with the majority of office and conference room space constructed in the first phase, and additional office and space for amenities (game room, breakroom, workout room) constructed in the second phase. The mezzanine level will contain additional office and amenities space.
- The exterior of the building will be constructed of white and gray precast panels, with panels with applied stone also proposed on the west (front) side of the building facing Gerzevske. Metal canopies over the building entrance and front windows are also proposed along the west side of the building, and windows are also proposed on all sides of the building. Staff had concerns about the appearance of the second level of the building during the first phase of the project, and whether it would have a “finished” appearance on its south and east sides. However, the project architect has indicated that the rear portion of the upper building wall will be painted to match the rest of the building until such time as the second phase of the project is completed and the second story is fully constructed. Staff supports the building architecture and believes the design will present a contemporary building within the Village’s industrial park.
- The outdoor storage area will occupy approximately 21,000 square feet in the rear of the property, and provide space for the storage of generators, steel materials, trucks, and trailers associated with Concordia. The storage area will also provide potential parking for employees (to be discussed in the landbanked parking section of the report) and a training antenna tower. The storage area will be screened by a six-foot tall fence, and will be gated for security purposes. Staff recommends that the fence be eight feet tall, which is the maximum allowable fence height in the Industrial District, to provide the greatest screening of the storage area. Staff also recommends that a detail of the fence and gate, denoting height, style, and material, be provided to the Community Development Department for review and approval prior to Village Board review of the project.
- As previously mentioned, special use for repair and service is requested. A mechanic’s shop is proposed on the first floor of the building to maintain Concordia’s fleet. Staff does not believe the repair and service component will have any negative impacts on surrounding properties and supports the request, and we also support the request for outdoor storage given that the trailers, equipment, and materials will be properly screened from view in the rear of the property. Further analysis of the outdoor storage area will be discussed in the landbanked parking section of the report.

SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use requests must be based on the evaluation criteria set forth in the UDO. As stated in Section 16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed office/warehouse building with outdoor storage and repair services will provide an expanded facility for an existing business in town.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed business will operate in a manner that should not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

With proposed fencing, landscaping, and other enhancements, the proposed use should not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor diminish or impair property values within the area.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

HEIGHT VARIATION

The applicant is requesting three variations in conjunction with the office/warehouse project. The first variation request is to increase the allowable height of a proposed training tower from 55

feet to 90 feet. An antenna tower is proposed in the rear of the property, within the storage area, and will be used for training purposes by Concordia technicians. As illustrated in the submitted drawing, the proposed tower will be a monopole style design, with two antenna platforms at 80 and 90-foot intervals. According to the UDO, antenna towers are allowed to be 55 feet in height, without the need for formal zoning approvals. However, the applicant requests a taller tower height so that technicians will have the full training experience of working with and replacing antenna panels on a tower.

It should be noted that while the antennas will have “live” transmissions for brief periods for training purposes, they will not be generally available for public usage. In addition, the applicant has discussed his proposal with the Carol Stream Fire Protection District, who finds the proposal acceptable as long as the District has access to the rear of the property should an emergency arise. Village staff can also support the request, given that the antenna tower is in the rear of the property and is located within the Industrial District and not within close proximity of a residential or commercial area. Other antenna towers at Industrial-zoned properties have been approved at similar heights, including towers at 505 E. North Avenue and 290 E. Fullerton Avenue.

GRAVEL PARKING LOT VARIATION

The second variation request pertains to the existing gravel parking/storage lot on the subject property. Section 16-5-2 (B)(3)(c) of the UDO states that following:

Temporary parking lots. The Village Board may grant approval for the construction of a temporary parking lot. Such temporary parking lot shall be located outside of all required landscape areas and constructed of such material including, but not limited to, gravel, which shall be approved by the Engineering Services Director as providing a firm base to vehicles, and such temporary parking lot shall be adequately drained. A permit to maintain a temporary parking lot shall be granted only under those circumstances which would make the construction of a permanent parking lot an economic hardship upon the applicant. Temporary parking lot permits shall be valid for a maximum of 18 months, and shall not be renewable.

As previously stated, the applicant relocated vehicles, equipment, and materials from the 361 Randy property to the subject property temporarily on gravel until such time as the proposed office/warehouse and associated outdoor storage project moved forward. The initial approval for the temporary gravel parking/storage lot is for 18 months, or until November 18, 2021, and normally cannot be renewed. However, the applicant requests a one-year extension for the gravel parking/storage lot at this time. While staff would normally not be in favor of allowing an extension for a gravel parking lot, we can support the request in this instance. The applicant is moving forward through the zoning approval process for the office/warehouse project, and earlier this year obtained approval to terminate an easement over a southern portion of the property with the Chicago Central & Pacific Railroad Company where a railway spur used to be located. Once the easement was vacated and terminated, the entire property was able to be fully developed, and the applicant moved forward with preparing plans for the office/warehouse project.

If the project receives positive recommendations from the PC/ZBA and Village Board, and as long as the applicant continues to work diligently during winter months on permit drawings, staff supports granting the variation to allow the gravel parking/storage lot to remain until November 18, 2022 if not already removed as part of the development of the 265 Gerzevske property. If the proposed project does not move forward, staff recommends that the existing gravel parking lot and fencing be removed, equipment and trailers be relocated, and the site be restored to its original condition by November 18, 2022.

LANDBANKED PARKING VARIATION

The third variation request is to allow the landbanking of required parking spaces. Section 16-5-2 (B)(4)(b)(iii) of the UDO states the following:

Landbanking of required parking spaces as greenspace may be permitted when approved as a variation, provided the owner of the property demonstrates through employee counts that the total number of parking spaces required using the square footage parking requirements outlined herein are not necessary and there is sufficient usable land area available on the subject property to provide the required parking spaces if deemed necessary by the village in the future.

Using the methodology for calculating required parking as set forth in the UDO, the required number of parking spaces for the proposed office/warehouse building is as follows:

Use of Space	Parking Factor	Square Feet of Use*	Parking Required
Office	One space per 250 S.F. of NFA	23,119 s.f.	93 spaces
Warehouse	One space per 1,500 S.F. of NFA	18,051 s.f.	12 spaces
Total Number of Spaces Required:			105 spaces
Total Actual Spaces (including storage area):			125 spaces
Total Proposed Spaces outside of storage area:			77 spaces
Total Number of Proposed Landbanked Spaces (inside storage area):			28 spaces

As illustrated in the above parking chart, the subject property is required to provide 105 parking spaces. 77 parking spaces will be provided, and an additional 48 spaces can be provided in the rear storage area, totaling 125 spaces. At this time, the applicant is requesting to only utilize the 77 spaces for employee parking (and limited visitor parking), thereby creating a deficit of about 28 spaces.

As is common in many places of employment in the past 1 ½ years, several Concordia employees are now telecommuting or working from home. This trend does not seem to be going away, and the applicant feels confident that the proposed 77 parking spaces will accommodate demand for Concordia employees and employees in the smaller tenant spaces, and is requesting that the additional 28 required parking spaces be “landbanked” or set aside within the rear storage area until such time as needed.

Staff can support the landbanked parking request. However, staff recommends that the landbanked parking approval include a condition that additional employee and/or visitor parking must be provided should there be evidence of a parking shortage in the future (thereby reducing the amount of outdoor storage provided in the rear of the property).

Section 16-5-2 (B)(4)(b)(iii) of the UDO also states that landbanked parking should be provided as a greenspace area, instead of constructing parking that will not be utilized. The intent of the landbanked parking provisions was to preserve greenspace areas instead of requiring large, unnecessary parking lots, particularly during the construction of a new building. It should be noted, however, that the PC/ZBA has recommended approval to allow landbanked parking spaces at industrial properties to be provided on existing paved areas, including at Demar Logistics at 910 Kimberly Drive, Banner Service Corporation at 494 E. Lies Road, and 3 Phase Line at 300 Westgate Drive.

Staff is recommending, however, that should the variations be approved, they should be granted to Concordia Wireless only, and not to the property, as a subsequent business in the building would very likely have different employee counts and operational considerations that will result in different parking demand characteristics. Variations typically “run with the land,” which means that they continue to exist in perpetuity, even for future property owners. In this particular case, the factors that allow staff to support landbanked parking are unique to this particular business and its operations, and this is why staff recommends that the variations be granted to the business and not the property.

VARIATIONS FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K) of the Carol Stream Code of Ordinances:

1. The requested variations arise from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action.

Height variations have been granted to other antenna towers in the Village similar to the proposed training tower, and other properties in the Village have also been granted landbanked parking variations to allow reduced on-site parking based on current employee demand. The extension to allow a gravel parking/storage lot to remain longer than 18 months is somewhat unique, but can be supported in this instance given the applicant working diligently on the office/warehouse project.

2. The variations to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

If the variations are granted, staff does not believe the essential character of the locality will be altered with the training tower, landbanked parking, or gravel parking lot extension given the industrial nature of the surrounding properties. Likewise, the gravel parking lot will eventually be removed once the development project moves forward.

3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

The training tower, at a 90 foot height, will provide technicians with a genuine experience of working on antennas and equipment, as compared to constructing a tower at a reduced height. Similarly, an increase in telecommuting allows the applicant to utilize a reduced number of on-site parking spaces for employees for the development. In regards to the gravel parking lot, the 18-month timeframe is requested to be extended for an additional year, but the gravel lot will be removed once the development project commences.

4. The variations are the minimum action necessary to alleviate the hardship and observes the spirit of this UDO.

Staff believes that spirit of the UDO will be maintained with the taller training tower, which is similar to other antenna towers in the Village, and similar landbanked parking variation requests have been approved at other locations in the Village as well. The gravel parking lot extension allows the storage of equipment and trailers to remain while the applicant obtains permits for the development project, but the lot will be removed once construction begins on the project.

5. The variations desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of the UDO or the comprehensive plan.

Staff does not believe the requested variations will adversely affect the public health, safety, or general welfare or impair the purposes or intent of the UDO or the comprehensive plan.

Recommendation

Staff has reviewed the requests and supports the proposed use and associated variations. Therefore, staff recommends approval of a Special Use Permit for Outdoor Activities and Operations, a Special Use Permit for Repair and Service, a Variation to allow an antenna tower to exceed 55 feet in height, a Variation to allow a temporary parking lot to remain for longer than 18 months, and a Variation to allow the landbanking of parking spaces, and to allow said landbanked spaces to be in a paved area instead of greenspace, for Gerzevske Lane LLC/Concordia Wireless at 265 Gerzevske Lane, Case No. 21-0053, subject to the following conditions:

1. That all improvements, including but limited to the parking lot, landscaping, building façade, and fencing upgrades, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all potential maintenance work shall occur inside the building, and not within the storage lot or parking lot. Likewise, any disabled vehicles shall not be stored outside of the building;
4. That only vehicles associated with the business shall be allowed to be stored in the storage lot or inside the building, and the storage of recreational vehicles and other equipment not associated with the business shall not be allowed in the storage lot or inside the building;
5. That vehicles and trailers shall not be allowed to back into the property from Gerzevske Lane;
6. That the temporary gravel parking lot and fencing shall be removed and restored to its original condition by November 18, 2022 if not already removed as part of the development of the 265 Gerzevske property;
7. That all rooftop mounted mechanical equipment on all buildings associated with the development shall be fully screened by the parapet wall, or with supplemental screening if said parapet wall is not tall enough to screen the equipment;
8. That the owner must install additional landscape materials in the future, subject to the approval of the Community Development Director, to screen yet-unknown ground-mounted mechanical and utility equipment;
9. That Knox padlocks will be provided on the gates around the property, and the Fire Protection District and Village Police Department will be provided keys to said padlocks for access onto the property;
10. That a detail of the fence and gate, denoting height, style, and material, be provided to the Community Development Department for review and approval prior to Village Board review of the project;
11. That if there is evidence in the future that there is insufficient on-site employee/visitor parking, then additional on-site parking shall be required to be provided and outdoor storage shall be reduced, and that the Village shall work with the business in determining how many additional parking spaces shall need to be provided;
12. That the landbanked parking variations shall be specifically granted to Gerzevske Lane LLC/Concordia Wireless and not to the property, and that at the time that a new main tenant enters the building, the property owner shall either apply for a reaffirmation of the

landbanked parking variations, which will require review by the Plan Commission/Zoning Board of Appeals and final approval by the Village Board, or they shall provide the number of parking spaces required by the Unified Development Ordinance based upon the use of space of the building tenant(s);

13. That the applicant must obtain building permits for all of the proposed work, and that building permit plans shall denote that the antenna tower shall be constructed of galvanized steel and shall be a natural metal color, and maintained as such;
14. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c);
15. That the applicant must obtain the required sign permits prior to the installation of any new signage; and
16. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.



Do Not Write in This Space
 Date Submitted: 8/30/21
 Fee Submitted: \$ 2,080
 File Number: 21-0053
 Meeting Date: 10/25/21
 Public Hearing Required: Y

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

**GENERAL APPLICATION
 PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant GERZEVSKE LANE LLC Phone 847-637-7829
 Address 361 Randy Road, Suite 101, Carol Stream, IL 60188 Fax 847-589-0643
 E-Mail Address gmsadat@concordiawireless.com
 (required)
 Name of Attorney _____ Phone _____
 (if represented)
 Address _____ Fax _____
 Name of Owner _____ Phone _____
 (required if other than applicant)
 Address _____ Fax _____
 Name of Architect Charles Vincent George Architects Phone 630.357.2023
 (if applicable)
 Address _____ Fax 630.357.2662

2. *Common Address/Location of Property Parcel of Land North of 361 Randy Road, Carol Stream, IL 60188

3. Requested Action (check all that apply)
- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Gary/North Avenue Corridor Review |
| <input type="checkbox"/> Planned Unit Development – Preliminary | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> Planned Unit Development – Final | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input checked="" type="checkbox"/> Special Use Permit (requires Form C) | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input type="checkbox"/> Subdivision – Preliminary | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Subdivision – Final | <input type="checkbox"/> Zoning Change |
| | <input type="checkbox"/> Other |

Describe requested action Seeking Approval for Development of a new 29,400 Square foot Warehouse / office

building with a new Ingress & Egress entrance off Gerzveske Lane (see site plans). Special use Request for 1. Fenced-in
outdoor Storage / parking area (approx. 21,260 SF). Area will be in the back of the property and screened & paved for storage
of outdoor materials, 3 storage containers & will have Parking Stalls for semi-trailers & standard parking spaces. Area to be
uncealed. 2. Training Facility and 3. Mechanic Shop to repair our fleet. Zoning Variation Request for Training Tower height

4. After referring to the specific process handout(s) relevant to this application, please indicate below the items that are included with the submittal.

- | | |
|-------------------|---|
| <u> x </u> | General Application (Form A) |
| <u> </u> | General Variation Application (Form B-1) |
| <u> </u> | Sign Code Variation Application (Form B-2) |
| <u> </u> | Fence Code Variation Application (Form B-3) |
| <u> x </u> | Special Use Application (Form C) |
| <u> </u> | Application for Development Approval (Form D) |
| <u> </u> | Gary/North Avenue Corridor Application (Form E) |
| <u> x </u> | Plat of Survey with Legal Description |
| <u> x </u> | Site Plan |
| <u> x </u> | Landscape Plan |
| <u> </u> | Plat of Annexation |
| <u> </u> | Preliminary Subdivision Plat |
| <u> </u> | Final Subdivision Plat |
| <u> </u> | Preliminary Planned Unit Development Plan |
| <u> </u> | Final Planned Unit Development Plan |
| <u> </u> | Drawings of Proposed Signs |
| <u> </u> | Horizontal Building Elevations |
| <u> </u> | Floor Plan |
| <u> x </u> | Proof of Ownership or Written Consent From Property Owner |
| <u> x </u> | Project Narrative/Cover Letter |
| <u> x </u> | Total Application Fee \$ _____ |

Please submit three (3) full size drawings and one legible 11 by 17 inch reduced reproducible copy of full size drawings, along with a USB flash drive with plans and associated documents saved as pdf or zip files. Additional sets of plans may be required for certain applications. Please contact Village staff with any questions concerning the submittal requirements. **Full size drawings should be folded not rolled.**

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

G.M. Sadat, PE

Print Name

 G.M. Sadat

Signature

 08/25/2021

Date



FORM B-1

RECEIVED

SEP 29 2021

COMMUNITY DEVELOPMENT
DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

GENERAL VARIATIONS

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Variations.

In accordance with the applicable statutes of the State of Illinois, no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Unified Development Ordinance (UDO) and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following conditions: (Please respond to each of these standards in writing below as it relates to your request.)

1. The requested Variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional actions.

A height variation is requested for the proposed training tower from 50 feet to 90 feet

2. That the Variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

The character of the site will not change, as the tower

will be behind the building and will have minimal sight as

seen by the public.

3. That the conditions of a Variation will constitute of an unnecessary physical hardship (not economic hardship), in which the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

**The required tower is needed for training new staff
and for proper training for safety practices**

4. The Variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO

**This only occurs in the fenced area and is the
minimum action needed.**

5. The Variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the Comprehensive Plan.

**This reduction does not affect public health, safety, or
welfare, nor impact the UDO intent or comprehensive plan.**

6. Other pertinent information or reason for the request.

N/A



FORM B-1

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org ▪ website: www.carolstream.org

GENERAL VARIATIONS

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Variations.

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Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Unified Development Ordinance (UDO) and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following conditions: (Please respond to each of these standards in writing below as it relates to your request.)

1. The requested Variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional actions.

We are requesting a land banking variation whereas the number of total stalls within the property shall meet the required stall count set forth by the City Zoning Ordinances, however due to the unique nature of the development and having a primarily remote workforce, many of the required stalls will not be needed at this time. We are requesting that 28 of the required 105 parking stalls be allowed to be located within an outdoor storage area while Concordia Wireless is the main tenant of the facility. At a future time when a new tennant takes over the building or the need for Concordia Wireless to have additional stalls they exist on the site, but will reduce the amount of outdoor storage space.

2. That the Variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

The variation will not alter the character of the neighborhood as it only affects the number of available parking stalls for a private development. The parking stalls shall still be available if needed in the future.

3. That the conditions of a Variation will constitute of an unnecessary physical hardship (not economic hardship), in which the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

The amount of parking stalls required by the ordinance assumes a typical development that new world events have created new standards in working. Concordia Wireless encourages it's employees to work remotely and have been doing so successfully over the past few years. Providing physical parking spaces for employees that live all over the country is unnecessary. In the future if more parking is required the outdoor storage may be reduced or removed entirely to accommodate this.

4. The Variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO

Allowing 28 stalls to be land banked within the outdoor storage area is the minimum amount of extra stalls that need this dual purpose in order to complete the site.

5. The Variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the Comprehensive Plan.

This Variation will in no way adversely affect the public health, safety, or general welfare nor will it impair the purposes or intent of this UDO or the Comprehensive Plan.

6. Other pertinent information or reason for the request.

We would like to reiterate that this request still allows the required amount of parking stalls to be present on site and to exist on improved, paved, surfaces. The land banking is to allow the stalls to be used as outdoor storage space and to be enclosed within a screened in fence while Concordia Wireless is the main tenant as they do not have as many in-person employees that a typical development would have, and they have a need for outdoor storage space. If a time ever comes that in-person parking exceeds the need for outdoor storage, the area can be easily retrofitted without any additional pavement or construction to grant additional parking spaces.



FORM C

REC'D
SEP 29 2021

COMMUNITY DEVELOPMENT
DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

SPECIAL USE APPLICATION

The Zoning Code is based upon the division of the Village into different districts. Within these districts, certain uses are permitted outright and certain uses are special uses which must be approved by the Village Board after a recommendation is made by the Plan Commission. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

The requested special use is intended to improve the appearance of the property to the public. The current property is a vacant lot with a temporary parking lot with materials storage. The approval will allow moving the materials to the back of the

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The requested special use will not pose any danger to public health or safety.

It will enhance the comfort level of those attempting to park at the property and will drastically reduce the current load for on-street parking areas along Randy Road.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The requested special use will enhance the value of the adjoining properties as it will make the property more aesthetically pleasing and will organize material storage behind a concealed fence. It is allowing us to Develop the property to a better aesthetic

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The requested special use will enhance the orderly operation on the property.

It will also help improve the image of the industrial district of carol stream as it will provide a more aesthetically pleasing look and will organize all the vehicles and trailers on to the property and will avoid having on-street parking and clear all violations which have been occurring over the past several years. It will also help create new jobs in the community

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Please see proposed civil plans for more details. Yes facilities are being provided.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The requested special use is to make sure we conform with village regulations. We are seeking relief by Village Board to allow outdoor storage and training facility as well as mechanic repair ~~this will allow paving and fencing for the storage area and (3) Aesthetic Storage Containers~~

7. Other pertinent information or reason for request.

We are respectfully seeking relief by the village board to grant a special permit for

1. Storage of Outdoor Materials, (3) storage containers and Truck / Semi-Truck parking

2. Training facility to train our in-house and new staff

3. Mechanic facility to allow the repair of our fleet.

Gerzevske Plac, LLC

Concordia Wireless

Presented to

The Village of Carol Stream

Plan Commission / Zoning Board of Appeals

September 29, 2020

An Application for
A New 29,400 SF
Industrial Warehouse Facility

RECEIVED
SEP 29 2021
COMMUNITY DEVELOPMENT
DEPT

September 29, 2021

**Village of Carol Stream Zoning Board of Appeals
Carol Stream, I L 60188**

RE: Application for Zoning Approval, Special Use & Variance for New Industrial Facility @ 265 Gerzevske

Honorable Members of the Zoning Board of Appeals,

On behalf of Concordia wireless (tenants at 361 Randy Road) and on behalf of Gerzevske Place LLC (the owner of the land directly north of 361 Randy Road which is known as 265 Gerzevske Lane), both being Illinois Corporations and both held by the same Common Ownership ("Concordia"), we respectfully submit this application for zoning approval of a New Office / Warehouse Facility in the Industrial District.

Attached hereto is an application on forms A, B-1 and forms C, per your zoning code to support a request for the following items:

- 1) The Development of a New Class A 29,400 Square foot Multi-Tenant Industrial Building which is being built over 2 phases (Phase 1 and Phase 2). The proposed Building shall have the following elements:
 - a. A Ground Floor with 5 Tenants (with Concordia occupying over 60% of the proposed floor)
 - b. A Second floor to house Concordia's engineering group
 - c. A Parking Lot consisting of 120 Parking Spaces
 - d. A Fenced-off area on the far side of the property to house Outdoor Storage, Trucks & Trailers for overnight parking (approx. 21,260 SF / 0.5 acres)
 - e. A Mini Training Facility

- 2) An Extension of 12-months (or less) of the current Temporary parking area that has accommodated outdoor storage of our trucks, trailers and critical materials consisting of:
 - a. Tandem spaces on the existing gravel area along the western property line of 265 Gerzevske Lane for an additional temporary period of 12 months while the building is being erected and finalized; and
 - b. (3) three storage containers which shall be fenced in; and
 - c. 2500 square feet asphalt area for the purposes of outside storage or materials. This area has been completely concealed behind the proposed fence & screening to provide secured storage of construction materials; as well as
 - d. A temporary access driveway to our land off of Gerzevske Lane to accommodate construction access.
 - e. The extension would expire as soon as construction commences at the east side of the property in order to facilitate the move of the existing trucks and containers and outdoor materials to its final destination.

Project Description

The proposed facility sits on an approximately a 3.0988 Acres site undeveloped site. The proposed facility is a 2-floor industrial warehouse facility with 29,400 Square footprint with 120 parking space.

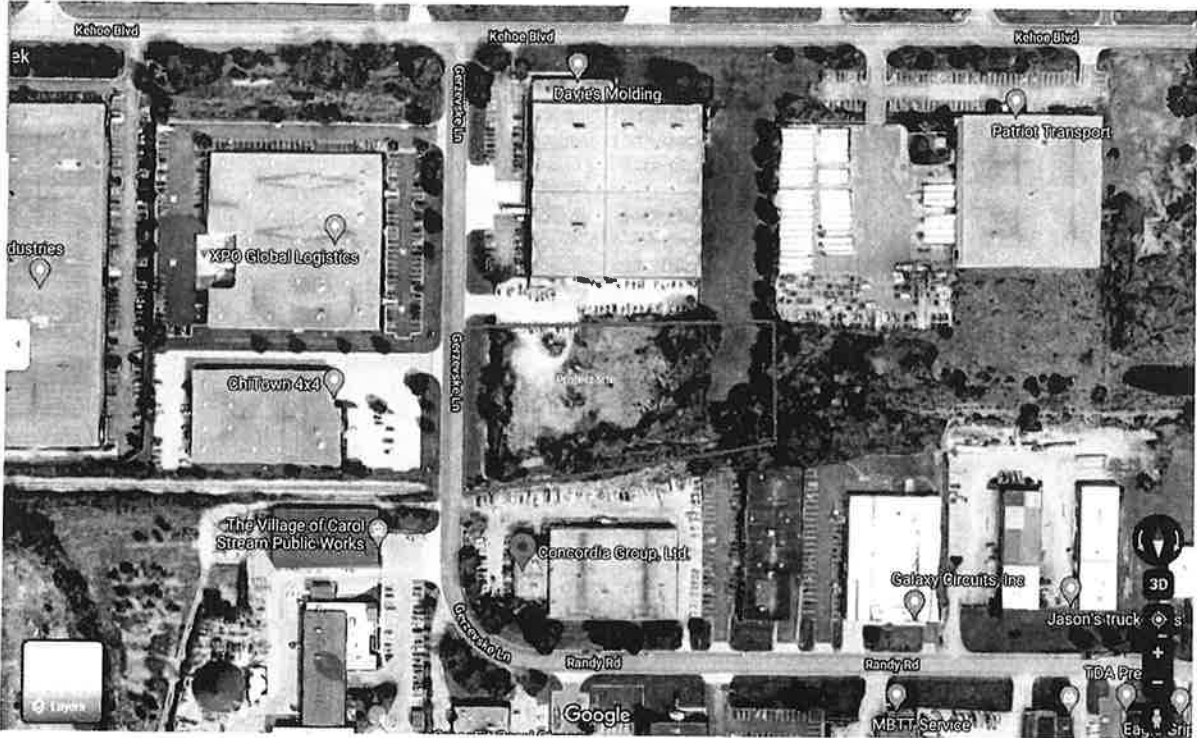


Plate A: Concordia Group's Current Main Headquarters & Proposed Project Site

The Main floor is to house 5 Tenants with 60% of the main floor are being dedicated to the owner occupant (Concordia). Concordia shall use the building primarily in the operation of its Engineering & Construction operations that are primarily in the wireless telecommunications space.

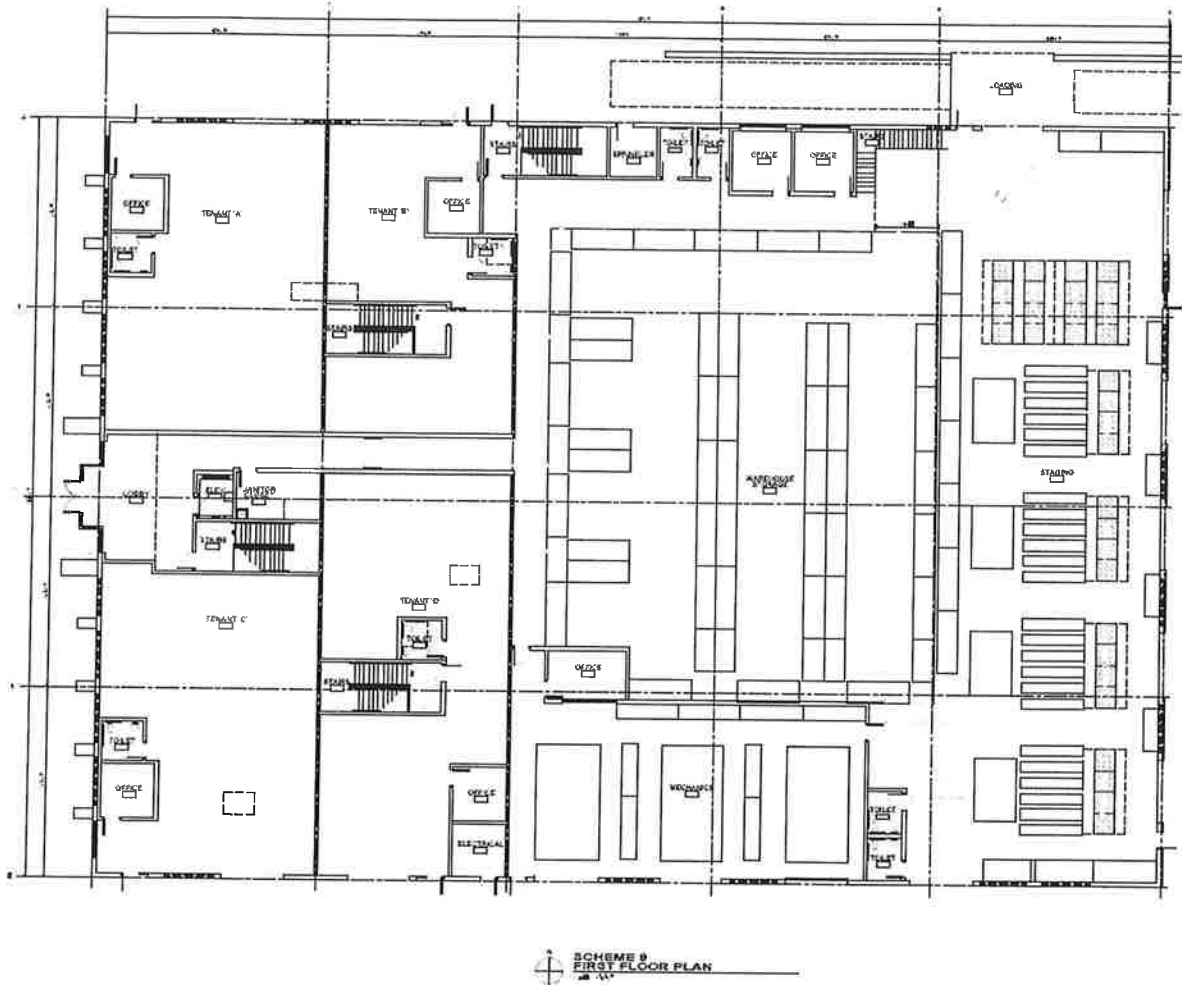
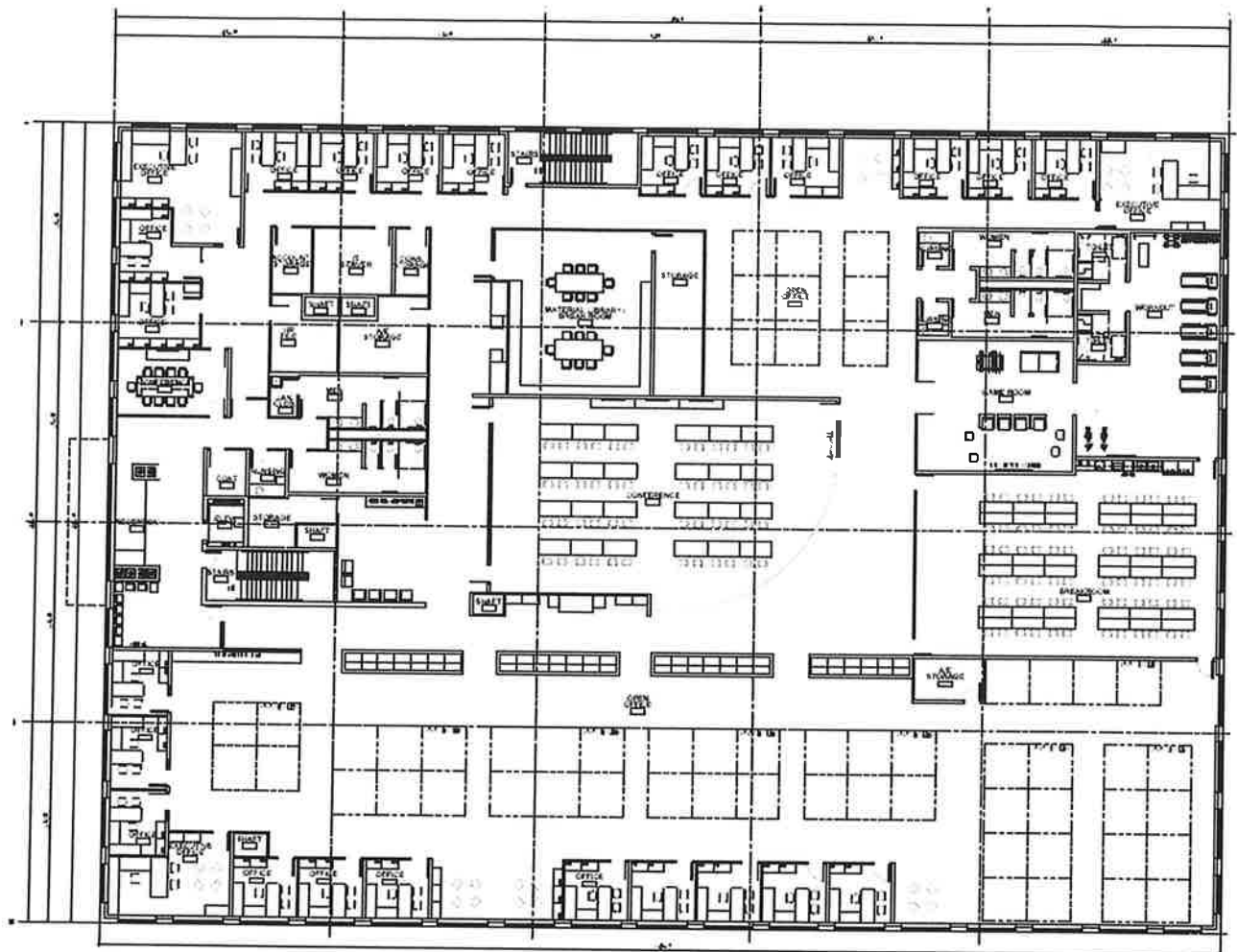


Plate C: Main Floor Plan

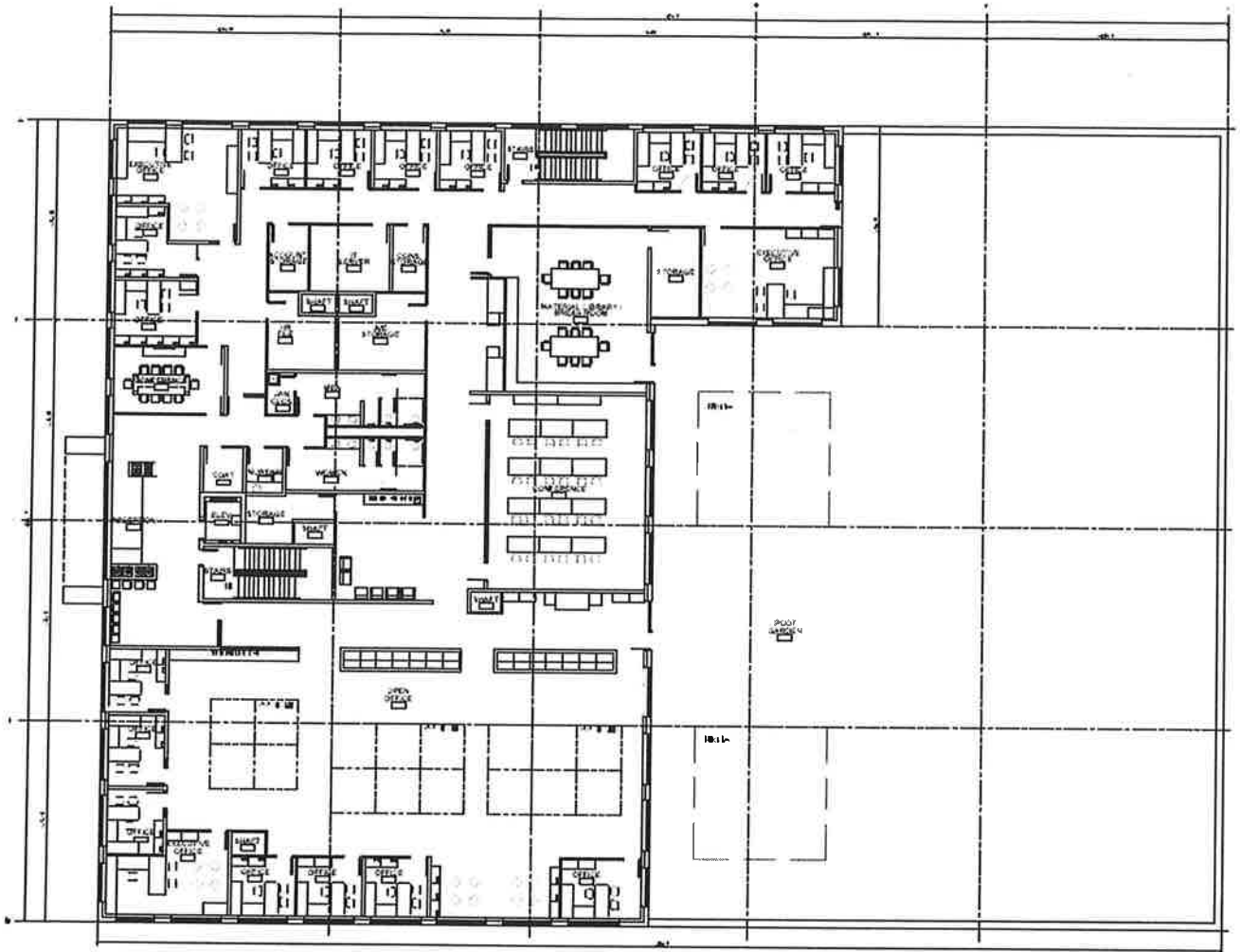
The Second floor will serve the engineering staff as well as professional staff (i.e HR, IT, Accounting & Administration as well as Construction Management Executive staff).



SCHEME B
SECOND FLOOR PLAN - PHASE II

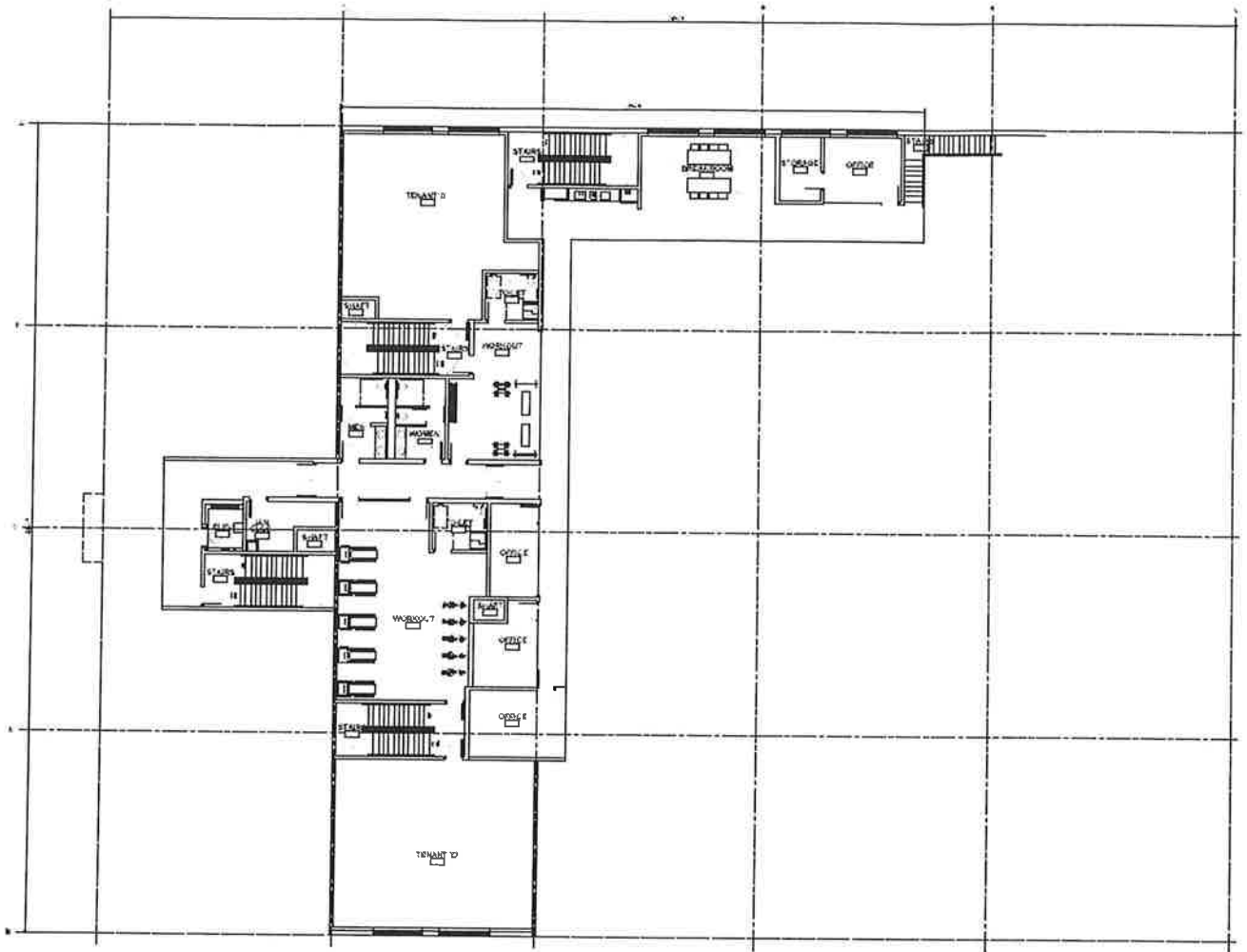
Plate D: Second Floor Plan (Phase 2)

The Second Floor plan shall be constructed over two Phases (Phase 1 and Phase 2)



SCHEME B
SECOND FLOOR PLAN - PHASE I

Plate E: Second Floor Plan (Phase 1 / Remote Environment)

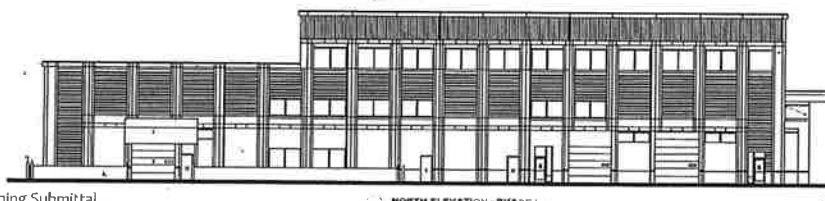
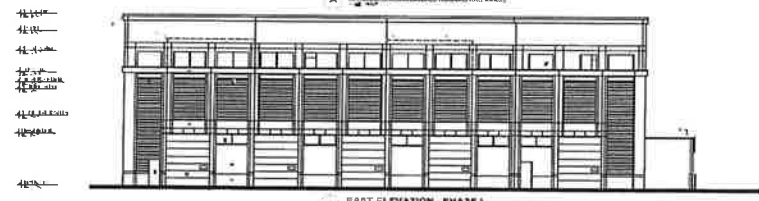
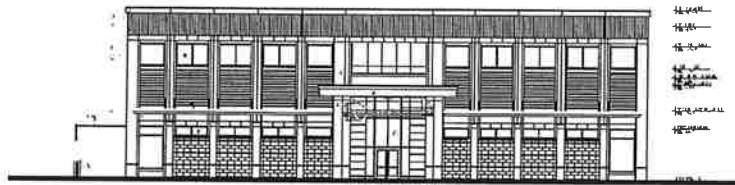



 SCHEME 8
 MEZZANINE LEVEL
 1/8" = 1'-0"

Plate F: Mezzanine Level Plan (Warehouse management / Gym)



- 1. CONCORDIA WIRELESS - ZONING SUBMITTAL
- 2. 265 GERZEVSKE LANE - CAROL STREAM, IL
- 3. AUGUST 2021 PROJECT 20201958



Concordia Wireless - Zoning Submittal
 265 Gerzevske Lane - Carol Stream, IL
 August 2021 | Project 20201958

obditer vincent george
 ARCHITECTS
 1100 W. 11th Street, Suite 100
 Chicago, IL 60604

Plate G: Proposed Site Elevations (Phase 1) & Artist Rendering

Permitted Use for The Parcel's Current Zone (Industrial I) :

- + New Industrial Facility with Contractor / Construction Business
- + New Wireless Facility Support Structure

A. Special Use Request for:

1. Training Facility

1.1. Reason: For training of our in-house tower climbing staff who need to practice on the assembly of cellular facilities as well as the rigging and climbing on cell towers. Due to the severe labor shortage, Concordia is hiring and training staff organically. By focusing on the development of entry level staff, we are constantly creating job opportunities and bringing new talent to the telecommunications industry. This we hope will help improve job opportunities for the local community. A new short height tower is being proposed in the southeast corner of the property which will be used for training of new staff. It will consist of two platforms.

2. Outdoor Vehicle, Materials & Container Storage

2.1. Reason: Given the nature of our construction group, the company has grown to have a significant need for storing equipment outdoor.

2.2. This area would serve as dual use:

- For Outdoor Materials Storage and Parking: Generators as well as steel materials and trucks and trailers are stored currently behind a concealed fenced-in area that is setback in the back of the property away from the public eye.
- For overflow parking of Phase 2 future second floor expansion as well as the storage of our trucks and trailers overnight.

2.3. Timing: Upon construction start, we are proposing to eliminate the entire temporary parking and outdoor storage area as soon as the construction phase commences. All current equipment and trucks and temporary outdoor containers would be moved to the back of the property (i.e. the permanent location).

3. Repair and Service

3.1. Reason: As a construction firm, we have a mechanic shop to maintain our fleet. Thus, we respectfully ask for the allowance of using a portion of the building (as shown in the floor plan) for a mechanic repair facility which will service and maintain and repair our fleet. Additionally, we are contemplating the potential for other tenants that may be mechanical in nature.

B. Zoning Variance Request for:

- Height variance for the new training wireless facility structure (i.e. training tower) to raise the permitted structural height of 50 feet to 90 feet.

The above approval, if granted by your Board, would be vital for us to continue our current business operations here in Carol Stream (i.e. Concordia). Your approval is very vital step for us in developing the entire land parcel which will house the new office for our company thus allowing the continuance of the business operation and keeping the 100+ job white collar and blue collar work opportunities within Carol Stream's borders.

Historical Background

Below is a narrative explaining the background of this request:

In 2012, we rented the industrial building at 361 Randy Road, which had been vacant for over four years (previously occupied by Cookies by Design, Inc.) and improved it. Over time, after recovering from the financial fall out of the Great Recession, our company slowly recovered and grow from 17 full-time employees (2012) to 103 employees (2021).

One of the primary reasons that we chose 361 Randy Road for our office was because of what we had perceived as a parking area for our Construction Vehicles & Trailers. We were told that we were allowed to park our vehicles on a gravel strip of land that is located along the northern property line of 361 Randy Road. The parking area is gravel paved and is abutted by an abandoned Rail Road and a chain link fence.

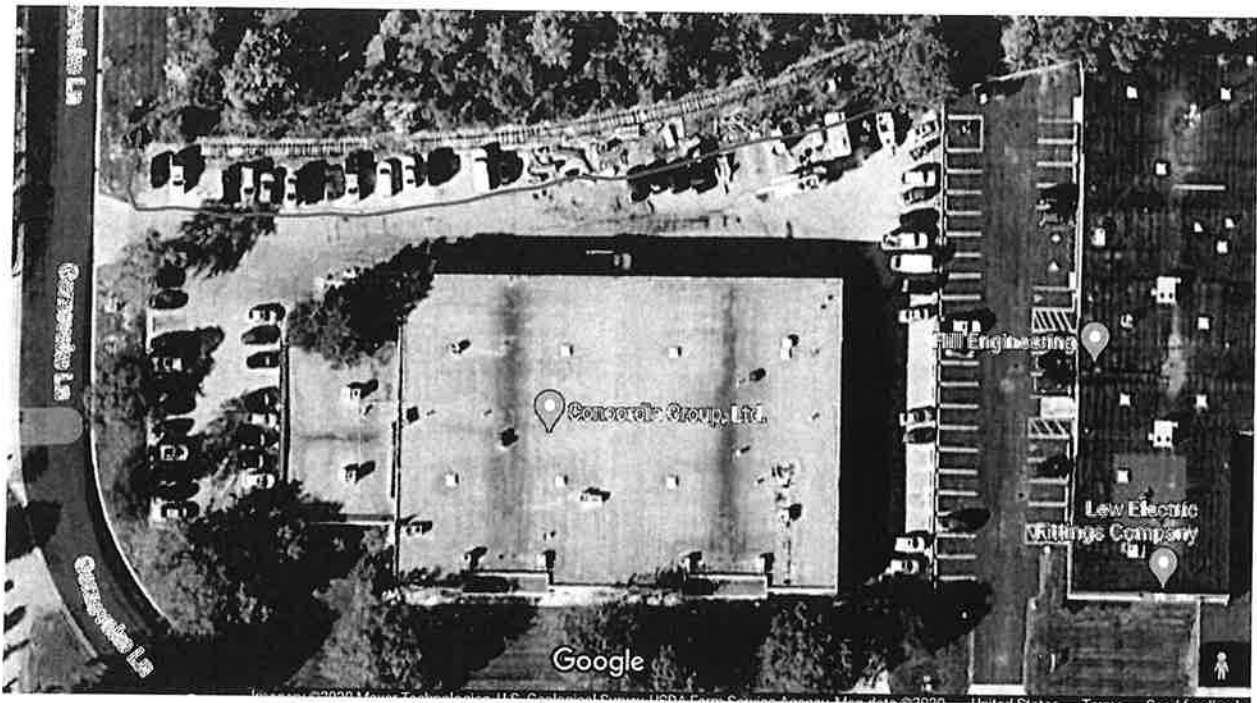


Photo 1: Pre-Improvement

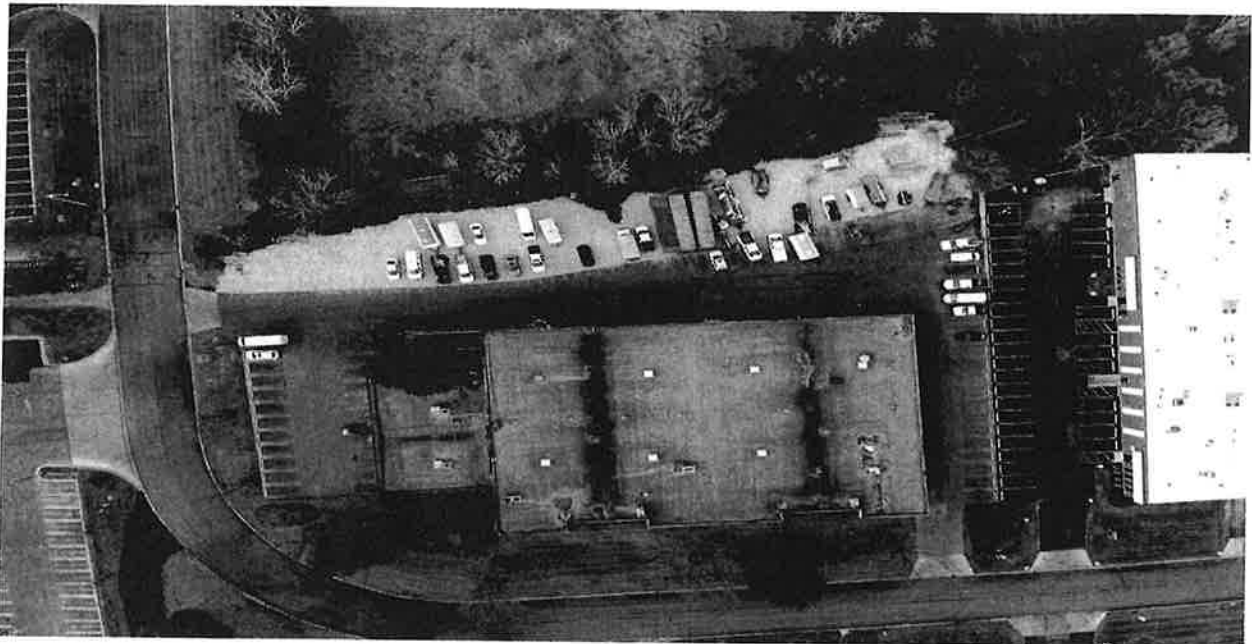
It was our understanding at the time that our landlord owned the land that has the abandoned railroad tracks. And from the Aerial photos dating back a few years all the way back to 2006, it was common practice to park the vehicles along that railroad gravel strip since it is abandoned and held no rail traffic. So, as we mentioned, In 2012, we rented the property because of this unique feature for the building. The building became the work place for our Engineers and Construction Staff and thus we began parking our trucks and equipment on the gravel strip.

Between 2014 & 2015, our landlord, the owner of 361 Randy, pulled a permit from the village to resurface their parking lot. During that operation, the Village staff uncovered that we had been parking outside the 361 Randy property lines and that the strip is actually owned by 265 Gerzveske Lane – which is owned by the Alter Group. The correct property owner was notified of our violations on their property, and we ended communicating with the rightful owner. The landlord was not too happy when they found out that we were parking our vehicles on their land without their permission. The choice was made very clearly and simply by the owner of 265 Gerzevske: Buy the land or move your vehicles off our property.

In 2017, we were able to close the purchase on the land. And thus, we continued parking our vehicles.

In 2018 we began working closely with the village of Carol stream's engineering department to fight the uphill battle with FEMA to overcome the floodplain issues on the parcel in order to allow us to build our future facility on the site. One of the biggest obstacles that slowed us down was obtaining FEMA's approval to remove the floodplain designation. This was also the reason the parcel remained undeveloped for 50 years. In the meantime, we cleaned up the railroad area and patched the gravel and placed engineered rip rap base to prepare for the future development of the site. Our assumption was that once we finished the build out, we would asphalt pave the southern strip and fence it off.

In 2019 however, we received a citation from the village regarding our parking on the gravel area and regarding our improvements of the abandoned railroad and the village requested that we remove all of our vehicles – immediately.



Photos 2: Southern Strip Improvements

This placed Concordia in a very difficult position: Moving out meant detrimental financial consequences. There are very few facilities close by that can accommodate a professional office space image along with a professional warehouse and provide ample parking for both our construction vehicles as well as our professional staff. Moving out of Carol Stream meant that we would lose our most critical Asset: **Our Employees**. Additionally, we have invested in the purchase of the land next door with the assumption that we are remaining in Carol Stream for the long term.

The good news is that we finally received FEMA's approval to remove the floodplain designation off the entire parcel of 265 Gerzevske Lane. We can now commence the process of developing the land.

We worked with Carol Stream's Staff and explained to them the critical moment that we were facing. And so together, we came up with a solution that satisfied all parties: Obtain the 18 month temporary parking in order to

- a. allow us to continue our business operation; and in the meantime
- b. allow us to use the temporary area for staging while we build out the new building.

On May 11 of 2020, in the first virtual zoning meeting of 2020, we were the first case to be heard and were given the ZBA's kind approval for the 18-month Temporary Parking Area and outdoor storage area.

Sometime in June of 2020, we received the formal village ordinance permitting the Temporary Parking and storage.

In July of 2020, Concordia suffered a major down turn in our business due to the worldwide Covid-19 pandemic which almost crippled our ability to proceed forward with the full project. In the meantime, ERA, our civil engineering partner, continued development of the site plan to create a reasonable flow through the facility as well as establish a footprint for the proposed building for an Architect to begin designing.

In January of 2021, Concordia engaged CVG Architects to begin Development of the building plans for the new facility. This was a major challenge and took longer than expected due to several factors:

1. Concordia's desire to find the right Architectural Partner who would take into careful consideration and have the attention to detail to resolve the many competing interests within the company's staff and working groups.
2. The competing interests between
 - a. The new UDO Zoning code requirements (we made sure to continually consult with the village staff to make sure that we are developing a concept that is reasonable to the village and to the interest of the public).
 - b. Our Engineering Group's requirements for a professional office space vs.
 - c. Our Construction Group's requirements for a robust warehouse and flexible outside materials storage and truck/trailer parking vs.
 - d. Our Marketing Group's requirements to have a Class A facility that is presentable to our clients vs.
 - e. As well as the reality of keeping the facility financially viable without too much cost overruns due to any over-designs.

In May of 2021, the railroad released its rights over the existing easement and thus the property can now fully be developed without any conflicts with the railroad.



KATHLEEN V. CARROLL, RECORDER
DUPAGE COUNTY ILLINOIS
05/03/2021 12:33 PM
RSEP

DOCUMENT # R2021-035759

Prepared by and Return to:
(Benjamin, Gussin & Associates)
Attn: Adam M. Heiman
801 Skokie Boulevard
Suite 100
Northbrook, Illinois 60062

[Recorder's Use Above This Line]

STATE OF ILLINOIS

COUNTY OF DUPAGE

Permanent Index Number: 02-33-300-035-0000

**RELEASE AND TERMINATION OF
RAILROAD EASEMENT**

This Release and Termination of Railroad Easement ("Termination Agreement") is made and entered into this 19th day of May, 2021, by and between Gerzevske Lane LLC, an Illinois limited liability company, as successor-in interest to LaSalle National Bank, as Trustee under Trust Agreement dated July 18, 1967 and known as trust number 36792, (the "Grantor") and Chicago Central & Pacific Railroad Company, a Delaware corporation, as successor-in-interest to Illinois Central Gulf Railroad Company, with an address of 17641 South Ashland Avenue, Homewood, Illinois 60430 ("Grantee").

RECITALS

WHEREAS, Grantor is the owner and holder of legal title of that certain real property in the Village of Carol Stream, County of DuPage, State of Illinois, commonly referred to as 350 Kehoc Boulevard, and which legal description thereof is attached hereto as Exhibit 'A' (the "Premises");

WHEREAS, pursuant to the terms and conditions of a Railroad Easement dated February 24, 1978 and recorded April 6, 1978 as document R78-28569 (the "Easement"), Grantee was granted an easement for railroad purposes (including drainage and other rights incident to the operation of a railroad) with respect to the Premises, as more particularly described in Exhibit 'B' attached hereto (the "Easement Premises"); and

WHEREAS, the parties hereto desire to release and terminate the Easement.

NOW THEREFORE, in consideration of the mutual promise of the parties hereto, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **Recitals.** The foregoing recitals are true and correct and are hereby incorporated into, and form a part of, this Agreement.

2. **Release and Termination.** Grantee does hereby release and discharge that certain Railroad Easement for the Premises.

3. **Effect of Termination.** This Termination Agreement hereby forever terminates the Easement and such termination shall inure to the benefit of, and be binding on, the future owners of the Premises, and each of their respective grantees, mortgagees, purchasers, and tenants, and their respective heirs, successors, personal representatives or assigns. The Easement is of no further force and effect.

IN WITNESS WHEREOF, the parties have executed this Release and Termination of Railroad Easement as of the date first written above.

Gerzyske Lane LLC, an Illinois limited liability company

By: *Ghazwan M. Sadat*
Ghazwan M. Sadat, Manager

Subscribed and Sworn to before me this
19th day of May, 2021.

Eneraida Cruz
Notary Public



Chicago Central & Pacific Railroad Company, a Delaware corporation

By: *James V. Fountain*
JAMES V. FOUNTAIN
Its: SENIOR MANAGER REAL ESTATE

Subscribed and Sworn to before me this
3 day of MAY, 2021.

William J. Russo
Notary Public



2

In July of 2021, we were ready to submit for the initial zoning. However, after taking an unofficial survey, we discovered that 90% of our engineering staff voted for a 100% remote environment. 10% voted for a hybrid type of environment. Thus, this made the development of the full entire second floor for the engineering staff very redundant. We still believed in the near future that businesses would return back to formal offices. After consulting with the Village staff on this dilemma, we came up with a 2 Phase concept. We divided the second floor into two phases (Phase 1: a partial floor and a Phase 2: a full floor

that can accommodate the entire office staff). While it was a longer than expected design journey, we did finally arrive at a concept that truly satisfies many of the operational needs for the company.

As of today, August 27th, we are very happy to present to you the finalized development plans (after many internal revisions). Please kindly review the attached plans. As mentioned, we did our best to continually consult with the village staff to make sure that the ever changing concepts that were being developed were reasonable to the village and to the interest of the public.

We hope that our office staff will ultimately be convinced to come back to work once the health concerns of widespread infection have subsided. After all, we are designing a facility for the long term. Please note that our HR, our IT, our Accounting and our Construction staff are still actively coming to the office every day – while maintaining compliance with the CDC social distancing guidelines.

Below is a rendering of the proposed Facility combining all the above elements needed for the operation of the business.



Please forgive us for this lengthy letter. We wanted to share with you the history of this site which would help explain how we came to this point and why we are seeking zoning relief on some of the items that are listed as special use or variations. We hope that we can gain your sympathetic support of our situation.

We want to also thank your village staff as they helped us get on the same page with them. I think that none of us can dispute that we are all working for the same cause:

1. To maintain the image of the village as well as Concordia's image in front of our employees, your residents as well as our clients who do occasionally visit our facility.
2. To always be in compliance with village ordinances while maintaining a good relationship with Carol stream.
3. To continue providing jobs for the local community; and
4. To Continue our investment in Carol stream's community and to accommodate the next steps necessary for developing the new facility.

Additionally, we would like to thank your board for your consideration of our request for this zoning approval. Our partnership with the Village of Carol Stream is one of the reasons we have stayed in Carol Stream for eight years --first as tenants and now hopefully as proud owners in your industrial community.

We hope to continue to the village's vision for this site to have a modern facility rather than keeping it the eye sore that is had been over 50 years. We also hope that we can continue our business operations during this challenging pandemic and beyond.

Should you have any questions or comments, please don't hesitate to contact me at 847-637-7829.

Respectfully Submitted,



GM Sadat, PE
Director of Concordia



Alicia Koujah
Member of Gerzveske Place, LLC

Concordia Warehouse
2020-156
OCTOBER 1 2021

SF Deduction Worksheet for parking
BASED ON SCHEME 9 - PHASE II

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OCT 01 2021

COMMUNITY DEVELOPMENT
DEPT



charles vincent george
ARCHITECTS

Level	Room	Floor Area Gross	Deductions (SF)	Floor Area Net	Parking Required
1st Floor Area - Concordia Warehouse and Tenant A,B,C,D (excluding offices)		28,949			1PS/1500 SF
Tenants A,B,C,D offices & Concordia Warehouse offices		940			1 PS/250 SF
1 st floor	Elevator		68		
1 st floor	Stairs		1,073		
1 st floor	Toilets		568		
1 st floor	Lobby		751		
1 st floor	Sprinkler		102		
1 st floor	Corridor		1,376		
1 st floor	Loading		1,083		
1 st floor	Staging		5,759		
1 st floor	Electrical Room		118		
Total 1st floor deductions			10,898		
Total 1st Floor after deductions at Concordia Warehouse and Tenant A,B,C,D (excluding offices)				18,051	12.03
Total first floor offices at Tenant A,B,C,D, and Concordia Warehouse Offices					3.76
Mezzanine Floor Area		8039			1 PS / 250 SF
Mezzanine	Break room		324		
Mezzanine	Shafts		86		
Mezzanine	Stairs		1152		
Mezzanine	Storage		107		
Mezzanine	Elevator		68		
Mezzanine	Restrooms		486		
Mezzanine	Corridor		1615		
Total Mezzanine deductions			3,838		
Total Mezzanine after deductions				4,201	18.804
2nd Floor Area		29,376			1 PS / 250 SF
2nd floor	Elevator		68		
2nd floor	West Stairs		239		
2nd floor	Restrooms and Nursing Rooms		1,231		
2nd floor	Small Conference		268		
2nd floor	Shaft		137		
2nd floor	Storage		1032		
2nd floor	East Stairs		251		
2nd floor	Large Conference		2151		
2nd floor	Breakroom		1965		
2nd floor	North Huddle		134		
2nd floor	South huddle		432		
2nd floor	Corridor		748		
2nd floor	North Corridor		1337		
2nd floor	West Corridor		465		
Total 2nd floor deductions			10,458		
Total 2nd floor after deductions				18,918	75.67
Total Building Area		66,364			
Total Parking Space Required					104.51

WAREHOUSE DEVELOPMENT

265 GERZEVSKE LANE, CAROL STREAM IL
 JOB NO. 161109.A0
 PRELIMINARY ENGINEERING: SEPTEMBER 29, 2021

RECEIVED
 SEP 28 2021
 COMMUNITY DEVELOPMENT
 DEPT

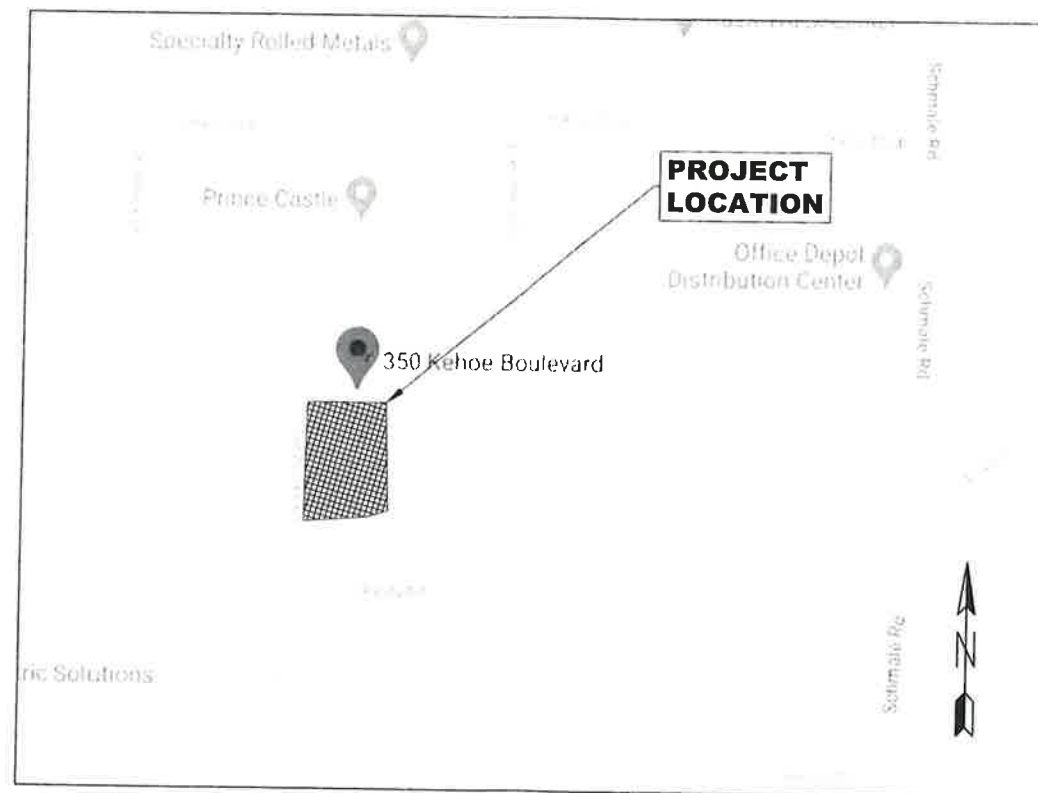


CONCORDIA WIRELESS
 361 RANDY ROAD, SUITE 101
 CAROL STREAM, IL 60188

WAREHOUSE DEVELOPMENT
 265 GERZEVSKE LANE, CAROL STREAM, IL
 PROJECT: 161109.A0

INDEX TO DRAWINGS

C-1.0	COVER
C-2.0	GENERAL NOTES
C-3.0	EXISTING CONDITIONS PLAN
C-4.0	DEMOLITION PLAN
C-5.0	GEOMETRY PLAN
C-6.0	UTILITY PLAN
C-7.0	GRADING & EROSION CONTROL PLAN
C-8.0 : C-8.2	CONSTRUCTION DETAILS
T-1.0 : T-1.2	AUTO-TURN ANALYSIS



AREA SUMMARY
 134,945 SF = 3.098 AC

PARCEL 02-33-300-035
 ZONING CLASSIFICATION
 I = INDUSTRIAL

LOCATION MAP



ENGINEERING
 RESOURCE ASSOCIATES

EXHIBIT A

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES, SO THAT THE DEVELOPMENT SHALL NOT ADVERSELY INCREASE FLOOD ELEVATIONS OR DECREASE FLOOD CONVEYANCE CAPACITY UPSTREAM OR DOWNSTREAM OF THE PROJECT AREA.

Engineer: _____
 Seal: _____



Timothy D. Frisbie
 IL. P.E. NO. 062-070610
 Expires November 30, 2021

PRELIMINARY SET (NOT FOR CONSTRUCTION)

C-1.0
 SHEET

It's smart It's free It's the law

Call Before You Dig
JULIE
 ILLINOIS ONE-CALL SYSTEM

Call before you dig
800.892.0123

2416 GALEN DRIVE
 CHAMPAIGN, ILLINOIS 61821
 PHONE (217) 351-6268
 FAX (217) 355-1902

3S701 WEST AVENUE, SUITE 150
 WARRENVILLE, ILLINOIS 60555
 PHONE (630) 393-3060
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
 CHICAGO, ILLINOIS 60606
 PHONE (312) 474-7841
 FAX (312) 474-6099



DATE	08-27-2021
PROJECT #	161109.A0
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	2021-08-23: REVISION #1
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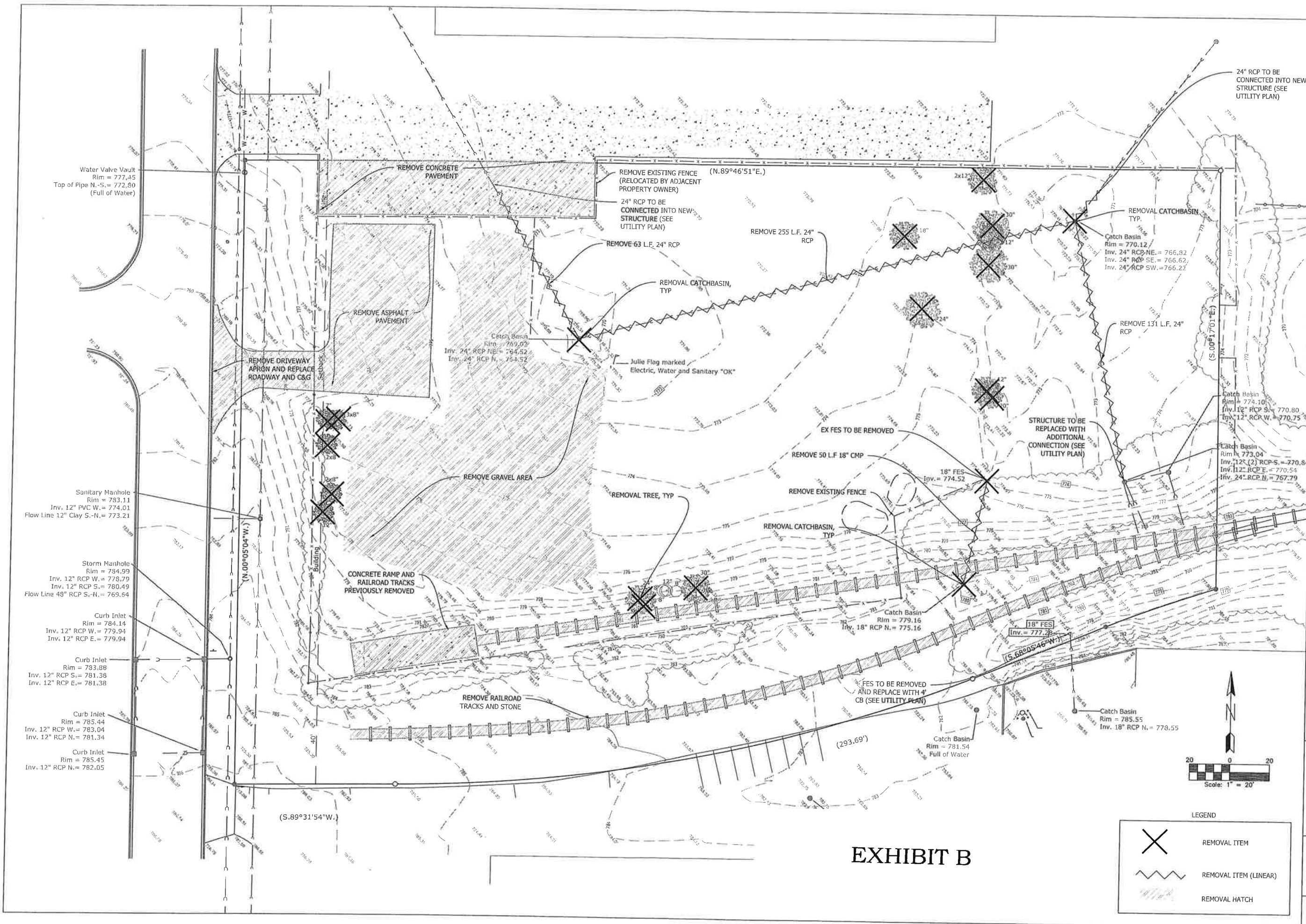
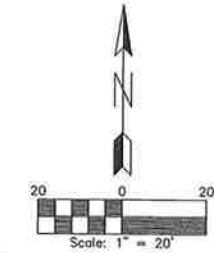


EXHIBIT B

LEGEND

- REMOVAL ITEM
- REMOVAL ITEM (LINEAR)
- REMOVAL HATCH

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 SEP 29 2021
 COMMUNITY DEVELOPMENT
 DEPT



ENGINEERING
 RESOURCE ASSOCIATES
 35701 WEST AVENUE, SUITE 150
 WILMINGTON, ILLINOIS 60055
 PHONE: (815) 398-1100
 FAX: (815) 398-2132
 www.eraonline.com

SEP 29 2021
 COMMUNITY DEVELOPMENT
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CONCORDIA WIRELESS
 361 RANDY ROAD, SUITE 101
 CAROL STREAM, IL 60188

WAREHOUSE DEVELOPMENT
 265 GERZEWSKI LANE, CAROL STREAM, IL
 PROJECT: 161109-A0

DATE : 08-27-2021
 PROJECT # : 161109-A0
 DESIGNED BY : TF
 DRAWN BY : TF
 CHECKED BY : NAV
 DESCRIPTION:
 2021-09-23: REVISION #1
 G:\PROJECTS\ConcordiaWireless\161109-A0_350KHz\Geo\161109-A0_SHT C-5.0_Geometry.dwg

GEOMETRY PLAN

C-5.0
 SHEET

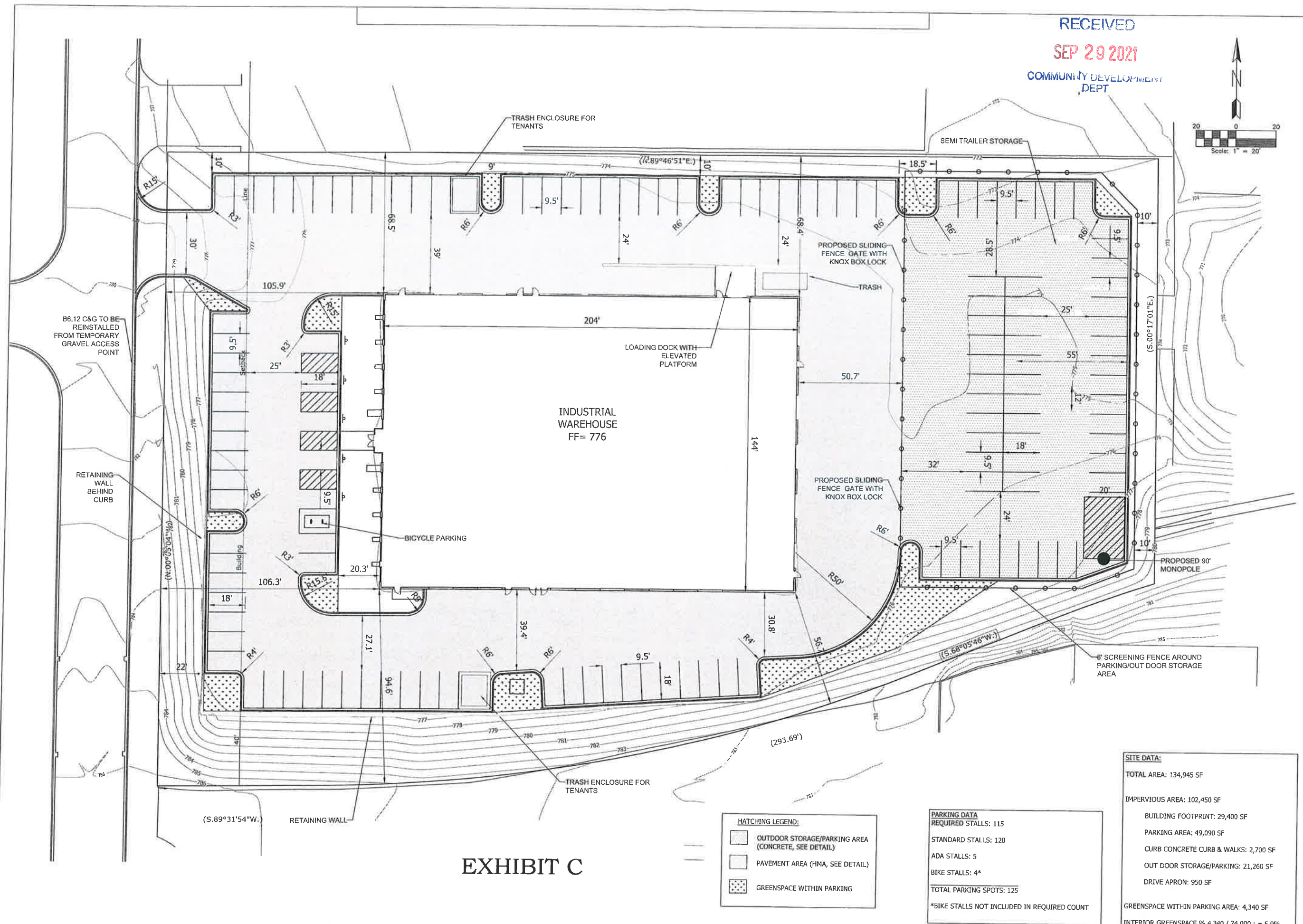


EXHIBIT C

HATCHING LEGEND:

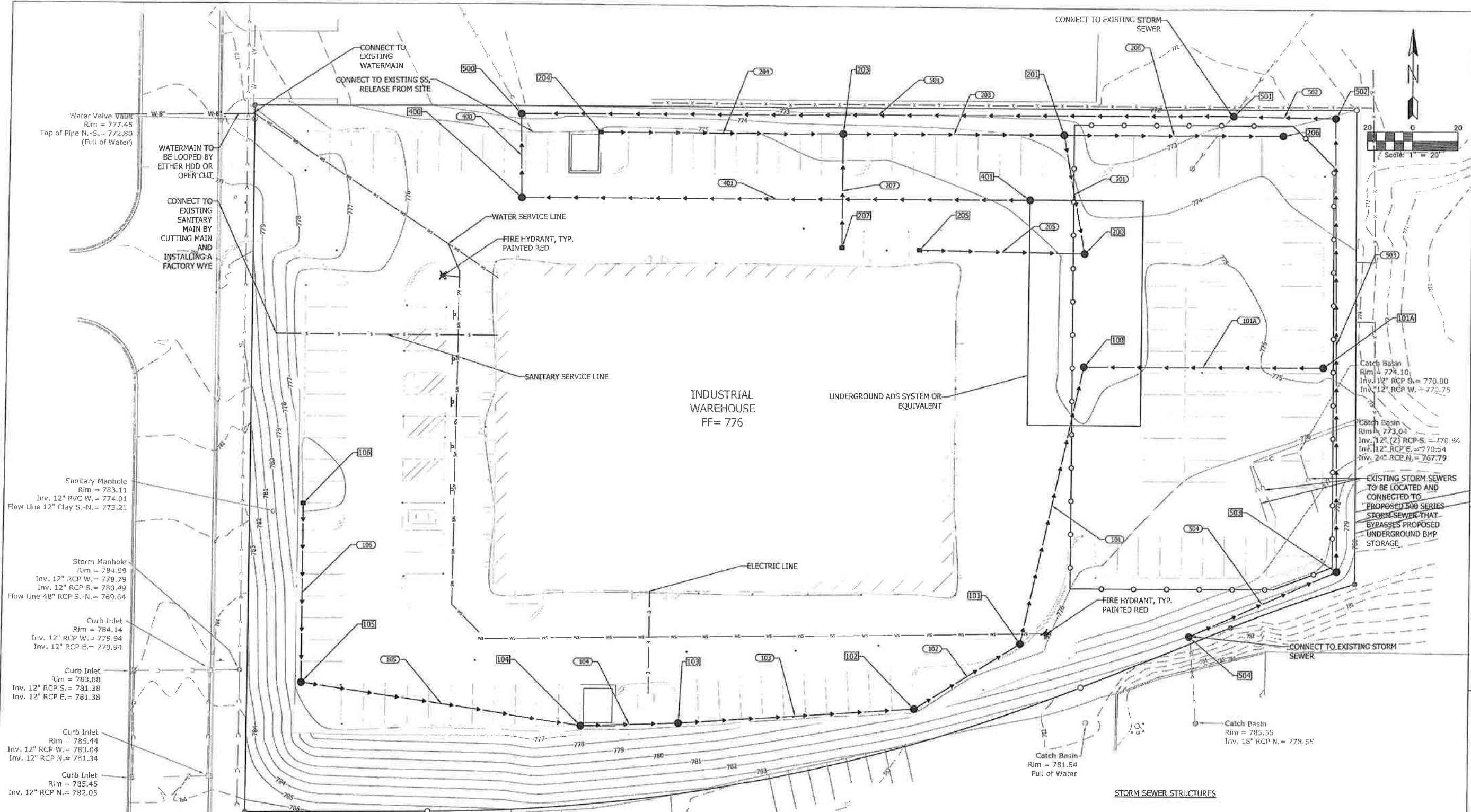
	OUTDOOR STORAGE/PARKING AREA (CONCRETE, SEE DETAIL)
	PAVEMENT AREA (HMA, SEE DETAIL)
	GREENSPACE WITHIN PARKING

PARKING DATA

REQUIRED STALLS: 115
STANDARD STALLS: 120
ADA STALLS: 5
BIKE STALLS: 4*
TOTAL PARKING SPOTS: 125
*BIKE STALLS NOT INCLUDED IN REQUIRED COUNT

SITE DATA:

TOTAL AREA: 134,945 SF
IMPERVIOUS AREA: 102,450 SF
BUILDING FOOTPRINT: 29,400 SF
PARKING AREA: 49,090 SF
CURB CONCRETE CURB & WALKS: 2,700 SF
OUT DOOR STORAGE/PARKING: 21,260 SF
DRIVE APRON: 950 SF
GREENSPACE WITHIN PARKING AREA: 4,340 SF
INTERIOR GREENSPACE % 4,340 / 74,000 = 5.9%



INDUSTRIAL WAREHOUSE
 FF= 776

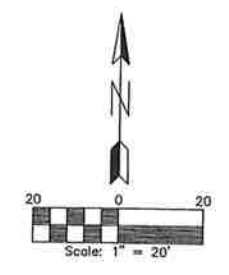
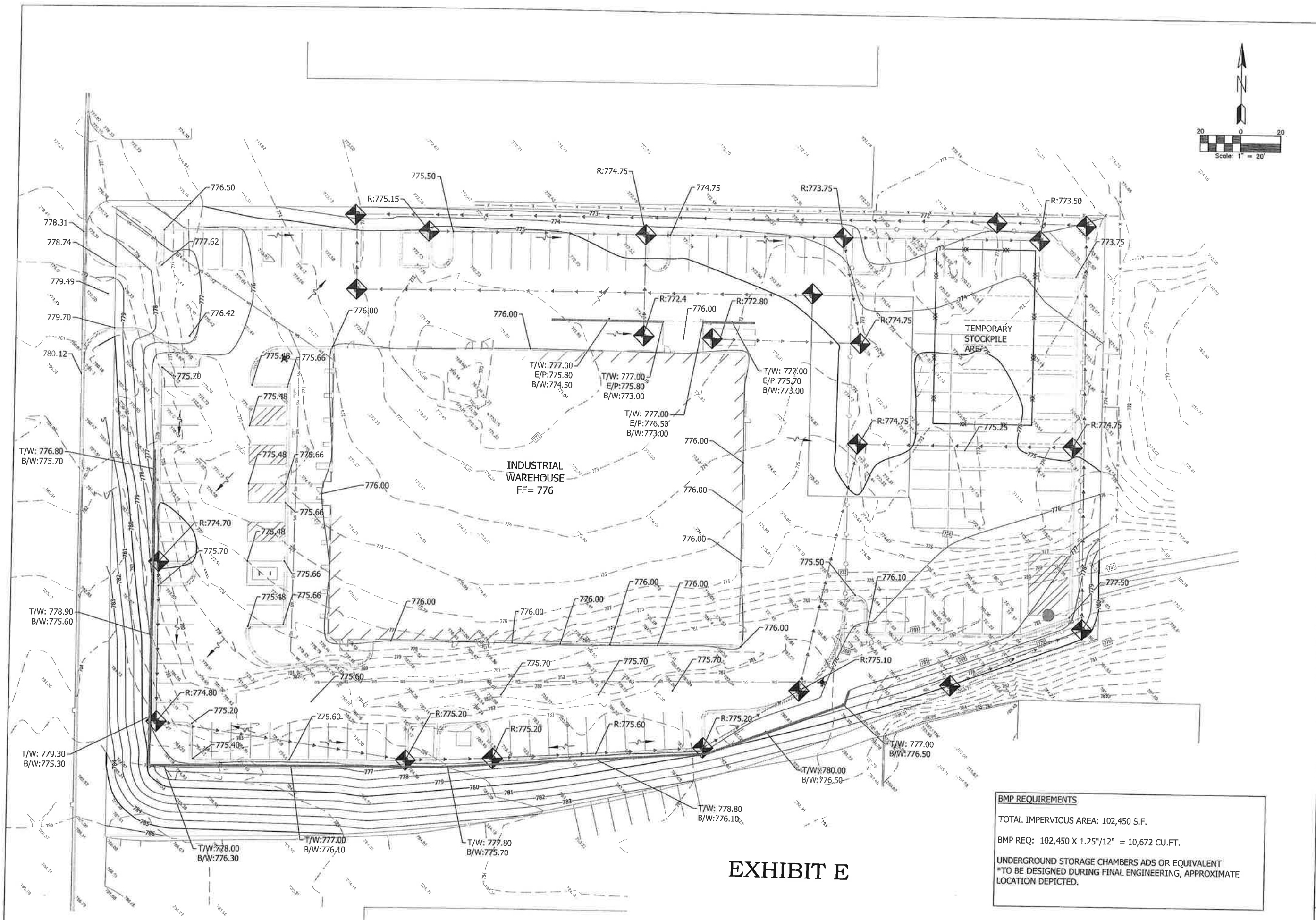
STORM SEWER PIPES

- | | | |
|---------------------------------------|--------------------------------------|--------------------------------------|
| 101: 124LF - 12" STORM SEWER @ 0.61% | 201: 53LF - 12" STORM SEWER @ 1.58% | 401: 224LF - 12" STORM SEWER @ 1.12% |
| 101A: 106LF - 12" STORM SEWER @ 0.49% | 203: 98LF - 12" STORM SEWER @ 1.10% | 501: 315LF - 18" STORM SEWER @ 1.01% |
| 102: 55LF - 12" STORM SEWER @ 2.81% | 204: 107LF - 12" STORM SEWER @ 1.00% | 502: 45LF - 18" STORM SEWER @ 0.98% |
| 103: 104LF - 12" STORM SEWER @ 1.00% | 205: 73LF - 12" STORM SEWER @ 1.00% | 503: 198LF - 18" STORM SEWER @ 1.02% |
| 104: 43LF - 12" STORM SEWER @ 0.31% | 206: 97LF - 12" STORM SEWER @ 0.53% | 504: 71LF - 18" STORM SEWER @ 1.06% |
| 105: 124LF - 12" STORM SEWER @ 0.30% | 207: 50LF - 12" STORM SEWER @ 1.00% | |
| 106: 78LF - 12" STORM SEWER @ 1.49% | 400: 37LF - 18" STORM SEWER @ 1.00% | |

STORM SEWER STRUCTURES

- | | | | | |
|--|--|---|---|--|
| 100
4' CB TY 8 F&G
RIM = 774.75
INV = 769.60 E 12.00
INV = 768.00 S 12.00 | 104
4' CB WJ TY 8 F&G
RIM = 775.45
INV = 771.45 W 12.00
INV = 771.45 E 12.00 | 203
4' CB TY 8 F&G
RIM = 774.75
INV = 769.59 W 12.00
INV = 769.59 S 12.00
INV = 769.59 E 12.00 | 400
4' MH CLOSED LID
RIM = 775.50
INV = 765.00 E 12.00
INV = 764.90 N 18.00 | 503
4' MH CLOSED LID
RIM = 779.00
INV = 768.75 SW 18.00
INV = 769.23 N 18.00 |
| 101
4' CB TY 11 F&G W/ BMP SNOOT
RIM = 775.10
INV = 768.75 SW 12.00
INV = 768.75 N 12.00 | 105
4' CB TY 11 F&G
RIM = 775.30
INV = 771.83 N 12.00
INV = 771.83 E 12.00 | 204
2' INLET TY 8 F&G
RIM = 775.15
INV = 770.66 E 12.00 | 401
4' CB TY 8 F&G W/ BMP SNOOT
RIM = 774.71
INV = 767.50 W 12.00 | 504
4' MH CLOSED LID
RIM = 780.12
INV = 769.50 NE 18.00 |
| 101a
4' CB TY 8 F&G W/ BMP SNOOT
RIM = 774.75
INV = 770.12 W 12.00 | 106
2' INLET TY 11 F&G
RIM = 774.77
INV = 772.99 S 12.00 | 205
2' Trench Inlet
RIM = 773.79
INV = 769.79 E 12.00 | 500
4' MH CLOSED LID
RIM = 769.07
INV = 763.41 E 18.00
INV = 764.53 S 18.00 | |
| 102
4' CB TY 11 F&G
RIM = 775.21
INV = 770.28 W 12.00
INV = 770.28 NE 12.00 | 200
4' CB TY 8 F&G W/ BMP SNOOT
RIM = 773.06
INV = 769.06 W 12.00
INV = 769.06 N 12.00 | 206
4' CB TY 11 F&G W/ BMP SNOOT
RIM = 773.50
INV = 768.00 W 12.00 | 501
4' MH CLOSED LID
RIM = 771.22
INV = 766.68 E 18.00
INV = 766.58 W 18.00 | |
| 103
4' CB TY 11 F&G
RIM = 775.21
INV = 771.32 W 12.00
INV = 771.32 E 12.00 | 201
4' CB TY 11 F&G
RIM = 773.74
INV = 768.52 W 12.00
INV = 769.89 S 12.00
INV = 768.52 E 12.00 | 207
2' INLET TY 8 F&G
RIM = 775.83
INV = 770.09 N 12.00 | 502
4' MH CLOSED LID
RIM = 771.77
INV = 767.23 S 18.00
INV = 767.13 W 18.00 | |

EXHIBIT D



DATE	08-27-2021
PROJECT #	161109.A0
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	2021-09-23: REVISION #1

DATE	08-27-2021
PROJECT #	161109.A0
DESIGNED BY	TF
DRAWN BY	TF
CHECKED BY	NAV
DESCRIPTION	2021-09-23: REVISION #1

BMP REQUIREMENTS

TOTAL IMPERVIOUS AREA: 102,450 S.F.

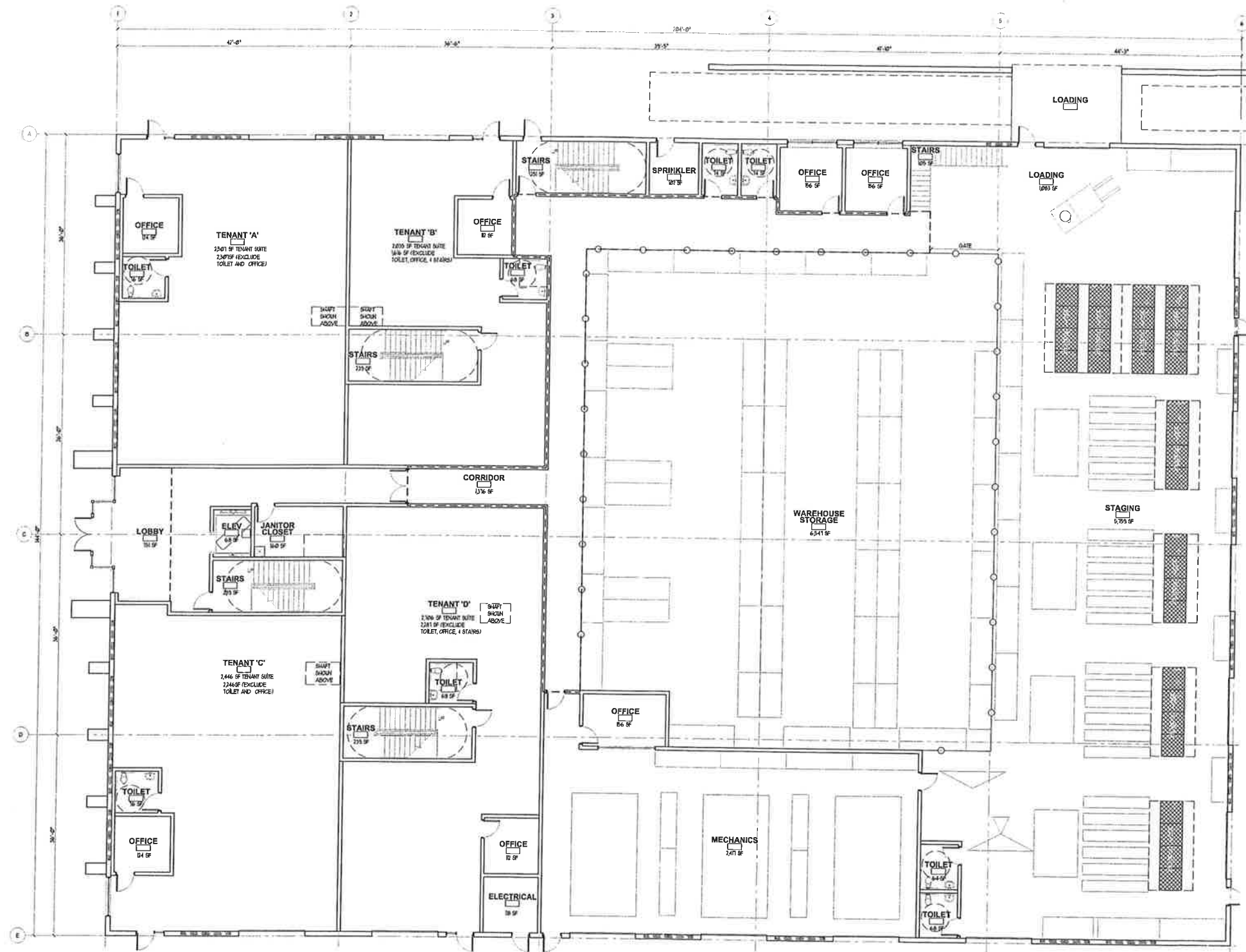
BMP REQ: 102,450 X 1.25"/12" = 10,672 CU.FT.

UNDERGROUND STORAGE CHAMBERS ADS OR EQUIVALENT
 *TO BE DESIGNED DURING FINAL ENGINEERING, APPROXIMATE
 LOCATION DEPICTED.

EXHIBIT E

G:\PROJECTS\ConcordiaWireless\161109.A0_3556\Keshel\GradingStream\CADD\SHEETS\161109.A0_SHT C-7.0 Grading Plan.dwg

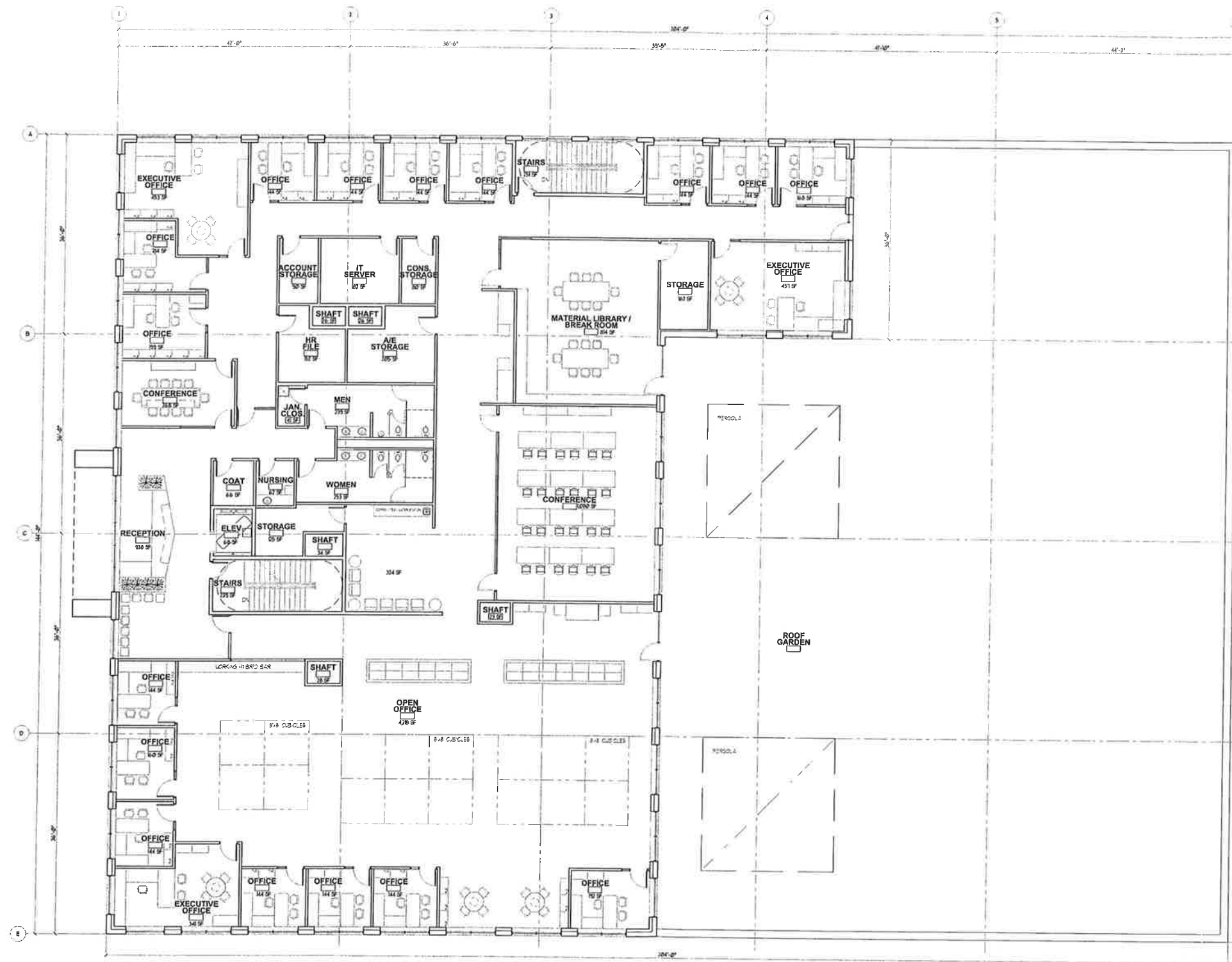
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N
SCHEME 9
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
75,481 SF
--- LINE TYPE INDICATES CORRIDOR AREA

EXHIBIT G-1

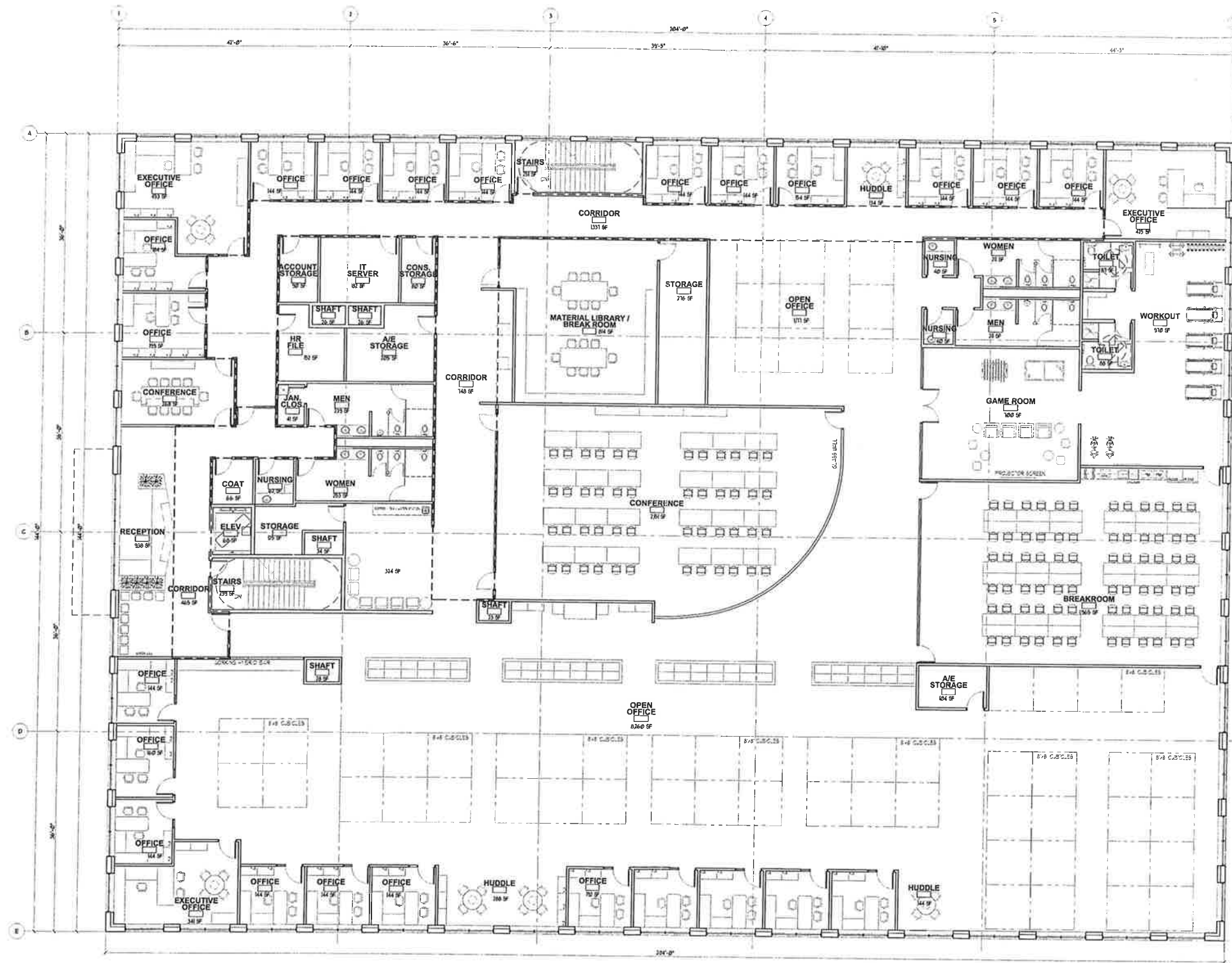
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COMMUNITY DEVELOPMENT
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N
SCHEME 9
SECOND FLOOR PLAN - PHASE I
SCALE: 1/8" = 1'-0"
7,623 SF

EXHIBIT G-2

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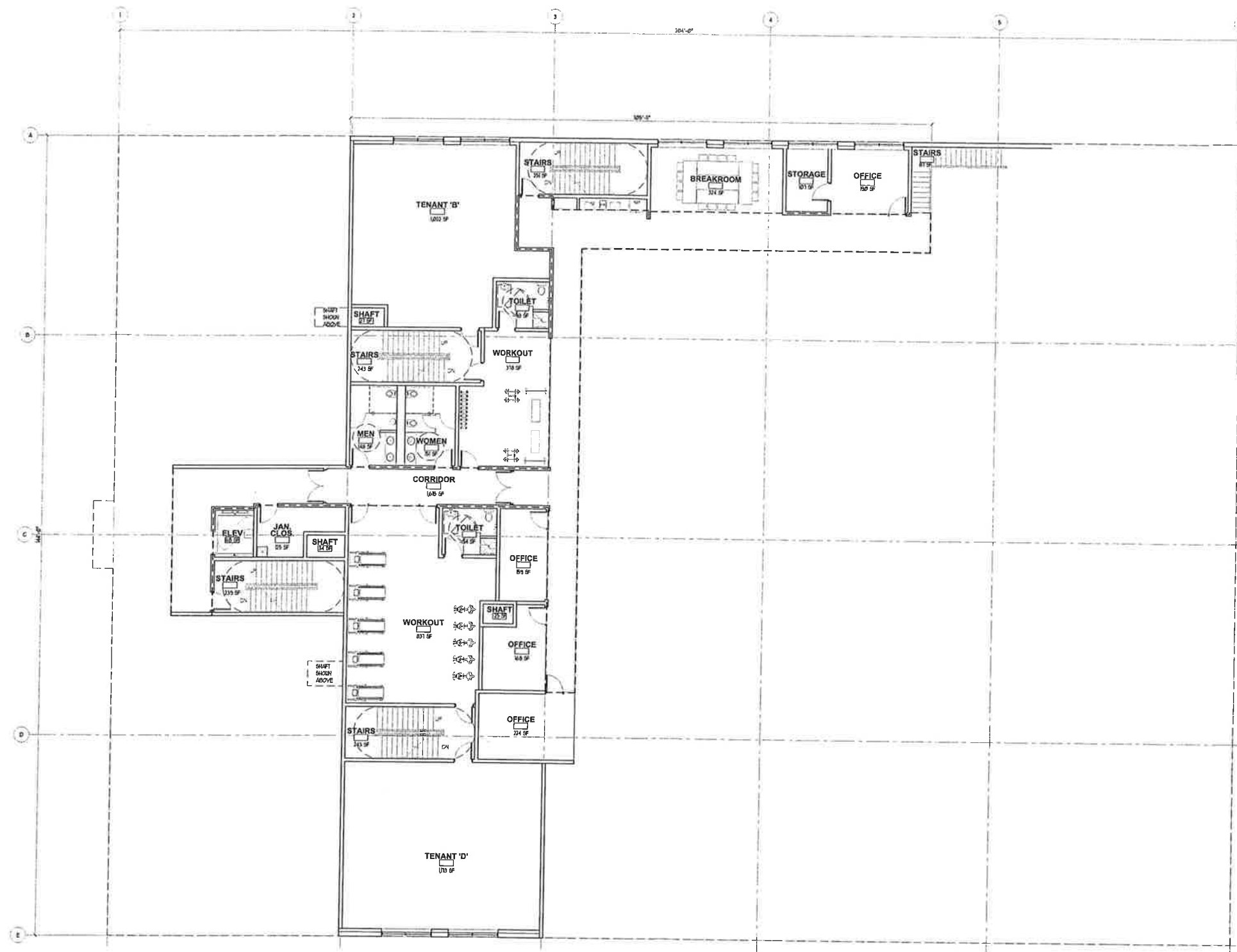
N
 SCHEME 9
 SECOND FLOOR PLAN - PHASE II
 SCALE: 1/8" = 1'-0"
 25,316 SF
 --- LINE TYPE DENOTES CORRIDOR AREA

EXHIBIT G-3

Concordia Wireless - Zoning Submittal
 265 Gerzevske Lane - Carol Stream, IL Owner: Gerzevske Lane LLC
 September 28, 2021 | project 2020-156


 charles vincent george
 ARCHITECTS
 1245 E. Diehl Rd. Suite 101 • Naperville, IL 60563
 P: 630.357.2023 • F: 630.357.2662

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COMMUNITY DEVELOPMENT
DEPT



**SCHEME 9
MEZZANINE LEVEL**
SCALE: 1/8" = 1'-0"
6,039 SF
--- LINE TYPE DENOTES CORRIDOR AREA

EXHIBIT G-4

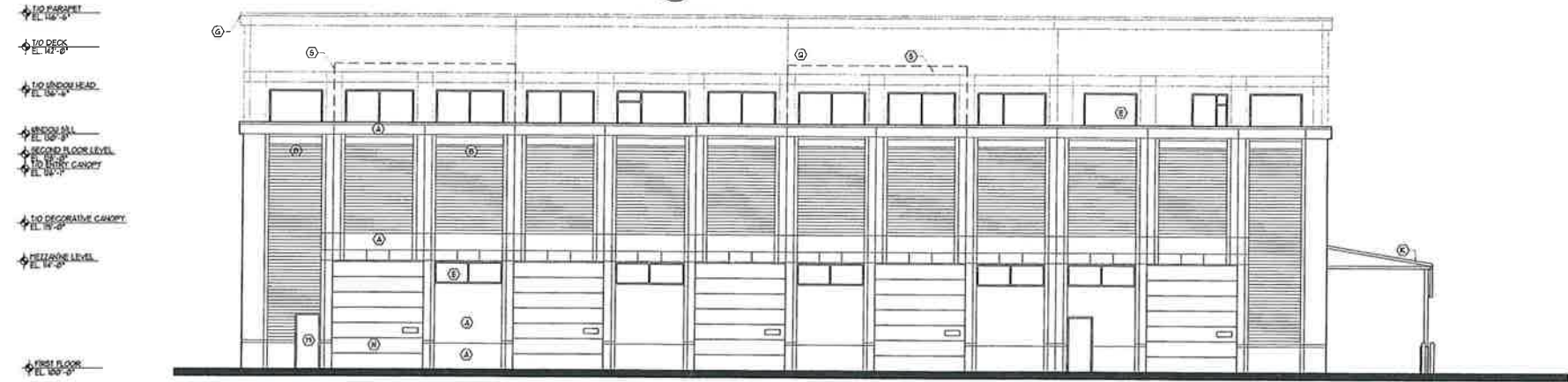
ELEVATION KEY NOTES

- ① PAINTED INSULATED PRECAST PANEL - COLOR TYPE A - BURNHAM MOORE, BRILLIANT WHITE OC-90
- ② PAINTED INSULATED PRECAST PANEL - COLOR TYPE B - BURNHAM MOORE, GRAY TRF 911
- ③ HIGH PERFORMANCE PAINTED STRUCTURAL STEEL
- ④ ALUMINUM FRAMED CURTAIN WALL AND 1" INSULATED GLAZING SYSTEM SOLARBAN XL 10
- ⑤ ALUMINUM FRAMED STOREFRONT AND 1" INSULATED GLAZING SYSTEM SOLARBAN XL 10
- ⑥ PRECAST PANEL WITH APPLIED STONE
- ⑦ PREFINISHED METAL COPING
- ⑧ PREFINISHED METAL PANEL
- ⑨ BOLLARDS
- ⑩ PREFINISHED STANDING SEAT ROOFING AT LOADING DOCK
- ⑪ PAINTED PRECAST RETAINING WALL
- ⑫ INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED
- ⑬ OVERHEAD DOOR
- ⑭ BUILDING SIGNAGE 4' X 6'
- ⑮ EPS - COLOR TO MATCH PRECAST PANELS
- ⑯ PERGOLA STRUCTURE



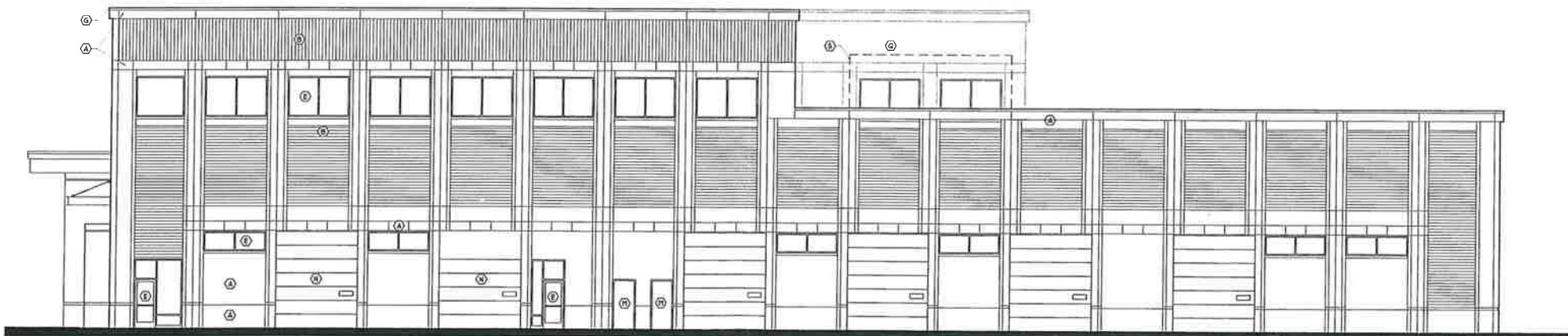
A WEST ELEVATION - PHASE I
SCALE: 1/8"=1'-0"

- ↑ TO PARAPET
EL. 66'-0"
- ↑ TO DECK
EL. 47'-0"
- ↑ TO WINDOW HEAD
EL. 35'-0"
- ↑ WINDOW SILL
EL. 28'-0"
- ↑ SECOND FLOOR LEVEL
EL. 20'-0"
- ↑ TO LOBBY CANOPY
EL. 17'-0"
- ↑ TO DECORATIVE CANOPY
EL. 14'-0"
- ↑ MEZZANINE LEVEL
EL. 11'-0"
- ↑ FIRST FLOOR
EL. 0'-0"



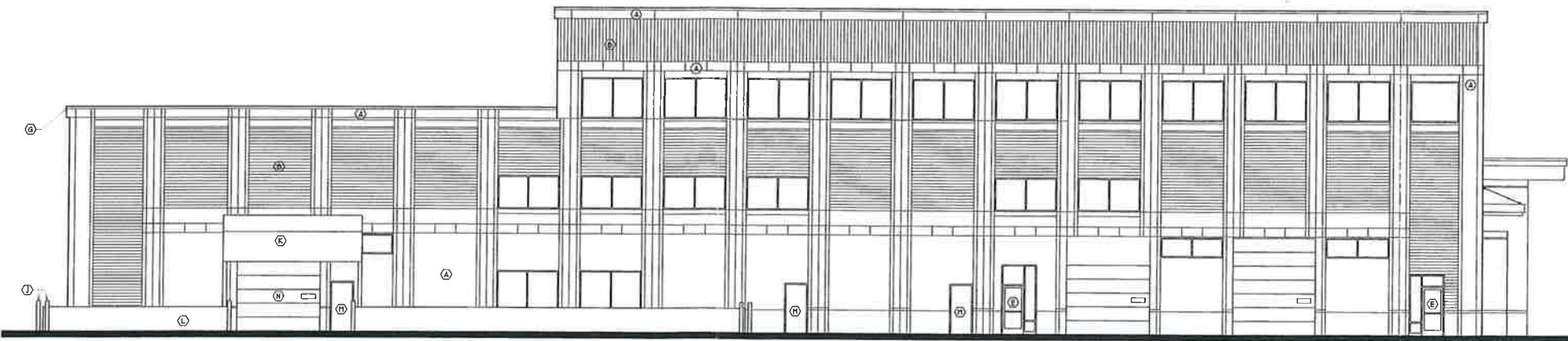
B EAST ELEVATION - PHASE I
SCALE: 1/8"=1'-0"

- ↑ TO PARAPET
EL. 66'-0"
- ↑ TO DECK
EL. 47'-0"
- ↑ TO WINDOW HEAD
EL. 35'-0"
- ↑ WINDOW SILL
EL. 28'-0"
- ↑ SECOND FLOOR LEVEL
EL. 20'-0"
- ↑ TO LOBBY CANOPY
EL. 17'-0"
- ↑ TO DECORATIVE CANOPY
EL. 14'-0"
- ↑ MEZZANINE LEVEL
EL. 11'-0"
- ↑ FIRST FLOOR
EL. 0'-0"



C SOUTH ELEVATION - PHASE I
SCALE: 1/8"=1'-0"

- ↑ TO PARAPET
EL. 66'-0"
- ↑ TO DECK
EL. 47'-0"
- ↑ TO WINDOW HEAD
EL. 35'-0"
- ↑ WINDOW SILL
EL. 28'-0"
- ↑ SECOND FLOOR LEVEL
EL. 20'-0"
- ↑ TO LOBBY CANOPY
EL. 17'-0"
- ↑ TO DECORATIVE CANOPY
EL. 14'-0"
- ↑ MEZZANINE LEVEL
EL. 11'-0"
- ↑ FIRST FLOOR
EL. 0'-0"



D NORTH ELEVATION - PHASE I
SCALE: 1/8"=1'-0"

- ↑ TO PARAPET
EL. 66'-0"
- ↑ TO DECK
EL. 47'-0"
- ↑ TO WINDOW HEAD
EL. 35'-0"
- ↑ WINDOW SILL
EL. 28'-0"
- ↑ SECOND FLOOR LEVEL
EL. 20'-0"
- ↑ TO LOBBY CANOPY
EL. 17'-0"
- ↑ TO DECORATIVE CANOPY
EL. 14'-0"
- ↑ MEZZANINE LEVEL
EL. 11'-0"
- ↑ FIRST FLOOR
EL. 0'-0"

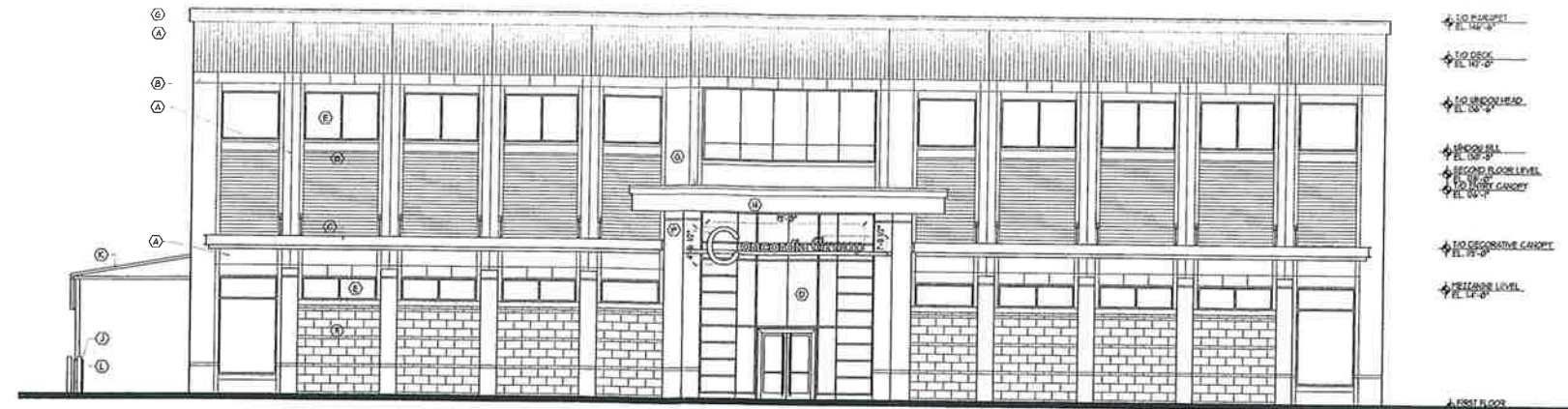
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SEP 28 2021
COMMUNITY DEVELOPMENT
DEPT

EXHIBIT H-1

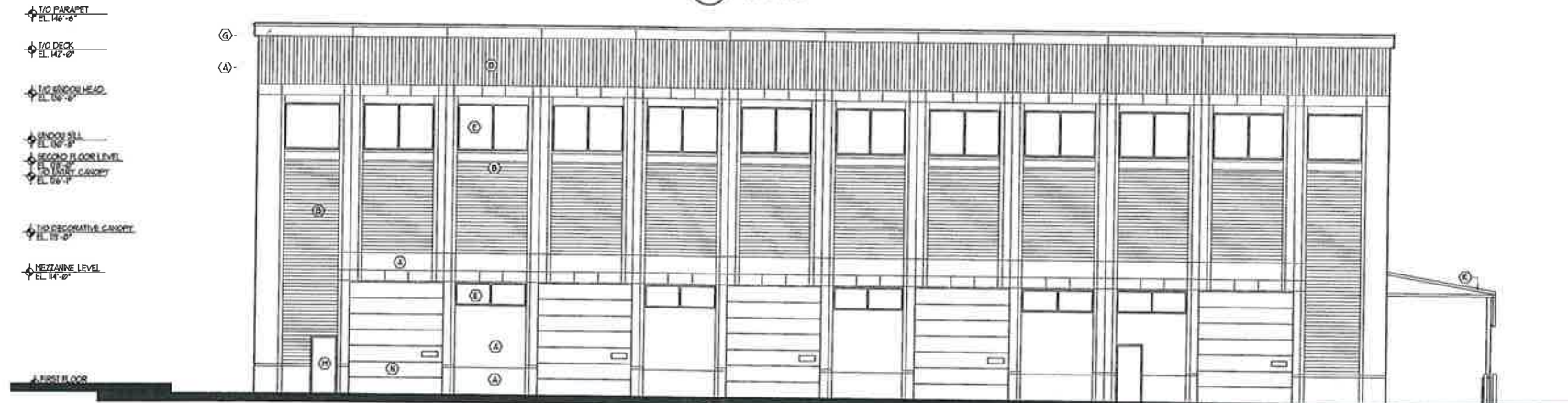


ELEVATION KEY NOTES

- ① PAINTED INSULATED PRECAST PANEL - COLOR TYPE A - BENJAMIN MOORE BRILLIANT WHITE OC 60
- ② PAINTED INSULATED PRECAST PANEL - COLOR TYPE B - BENJAMIN MOORE GRAY TINT 81
- ③ HIGH PERFORMANCE PAINTED STRUCTURAL STEEL
- ④ ALUMINUM FRAMED CURTAIN WALL AND 1" INSULATED GLAZING SYSTEM, SOLARBAN XL 10
- ⑤ ALUMINUM FRAMED STOREFRONT AND 1" INSULATED GLAZING SYSTEM, SOLARBAN XL 10
- ⑥ PRECAST PANEL WITH APPLIED STONE
- ⑦ PREFINISHED METAL COPING
- ⑧ PREFINISHED METAL PANEL
- ⑨ BOLLARDS
- ⑩ PREFINISHED STANDING SEAM ROOFING AT LOADING DOOR
- ⑪ PAINTED PRECAST RETAINING WALL
- ⑫ INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED
- ⑬ OVERHEAD DOOR
- ⑭ BUILDING STORAGE 4 ST.



A WEST ELEVATION - PHASE II
SCALE: 1/8"=1'-0"



B EAST ELEVATION - PHASE II
SCALE: 1/8"=1'-0"



C SOUTH ELEVATION - PHASE II
SCALE: 1/8"=1'-0"

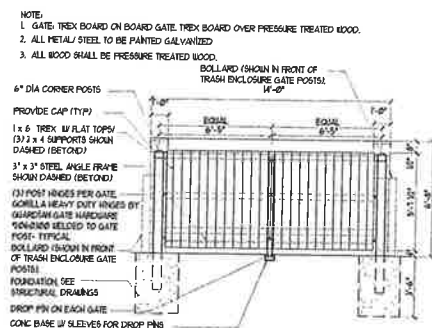


D NORTH ELEVATION - PHASE II
SCALE: 1/8"=1'-0"

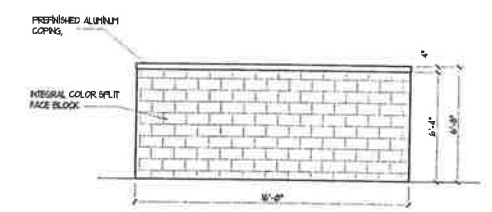
RECEIVED
SEP 28 2021
COMMUNITY DEVELOPMENT
DEPT

EXHIBIT H-2

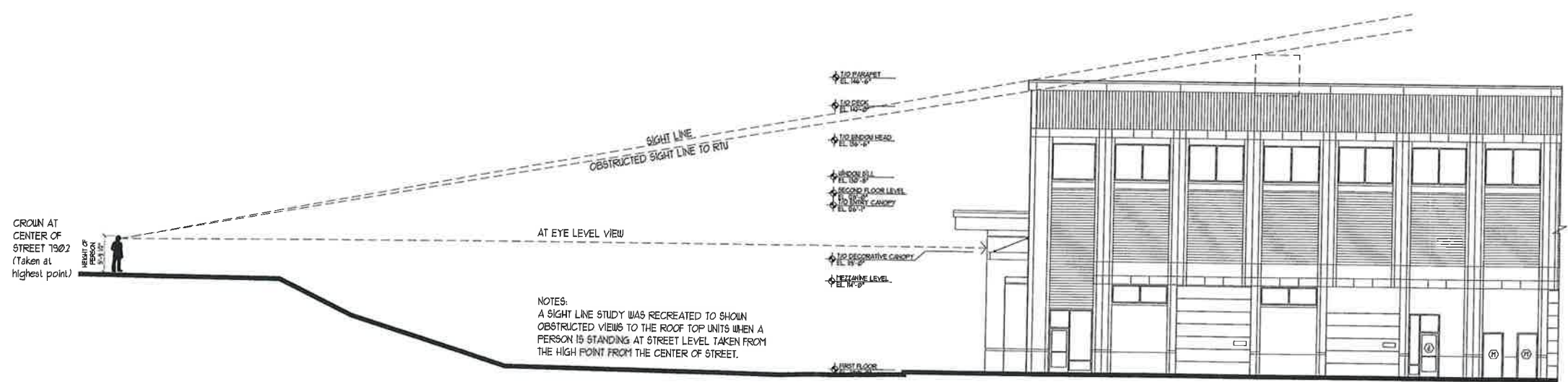




1 TRASH ENCLOSURE GATE ELEVATION
 SCALE: 1/4" = 1'-0"



2 TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"



3 SIGHT LINE STUDY DIAGRAM
 SCALE: 1/4" = 1'-0"

EXHIBIT H-3



Concordia Wireless Warehouse
265 Gerzevske Lane - Carol Stream, Illinois
September 28th, 2021 | Project 2020 - 156

EXHIBIT I-1



charles vincent george
ARCHITECTS



RECEIVED
SEP 28 2021
COMMUNITY DEVELOPMENT
DEPT

Concordia Wireless Warehouse
265 Gerzevske Lane - Carol Stream, Illinois
September 28th, 2021 | Project 2020 - 156

EXHIBIT I-2



charles vincent george
ARCHITECTS

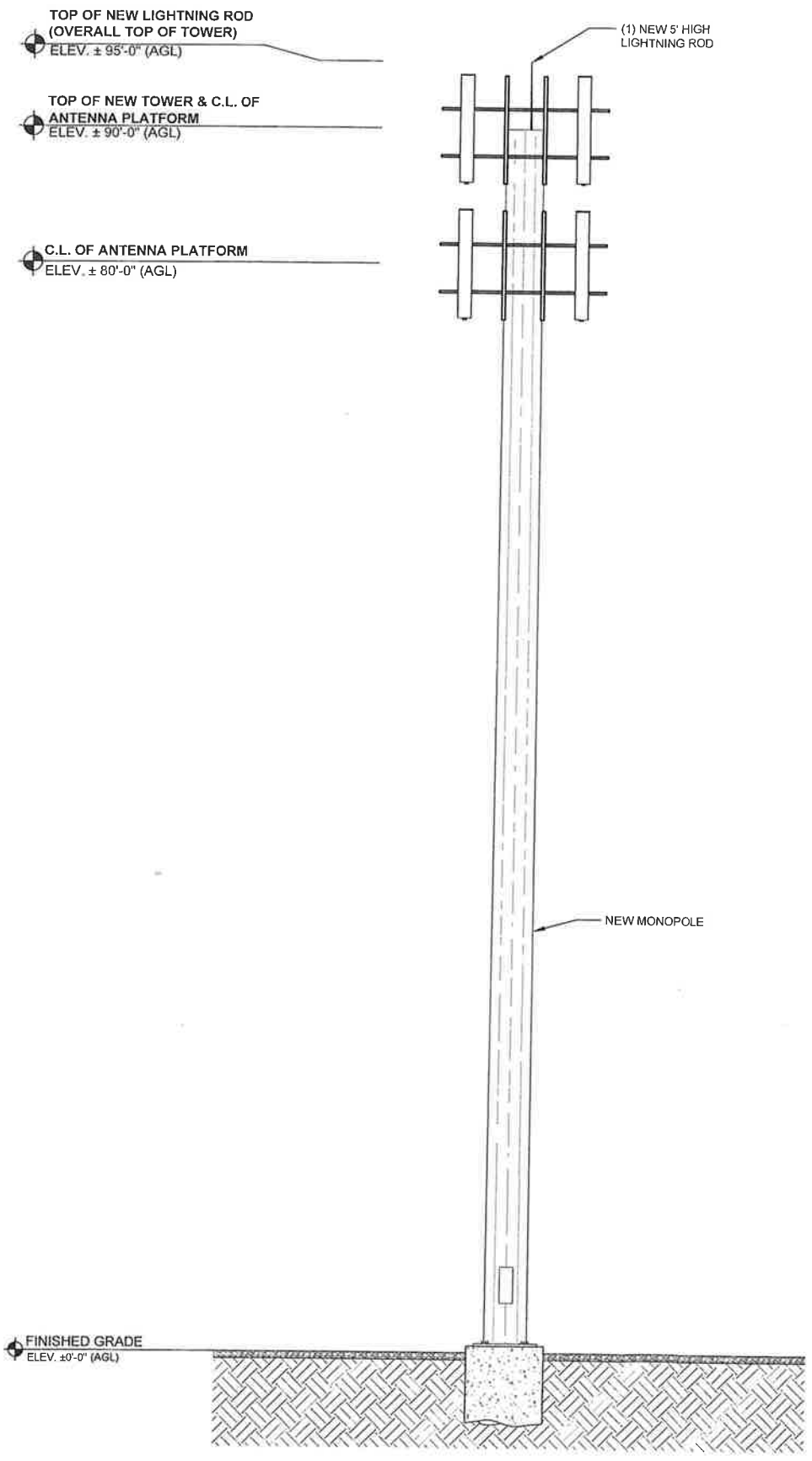


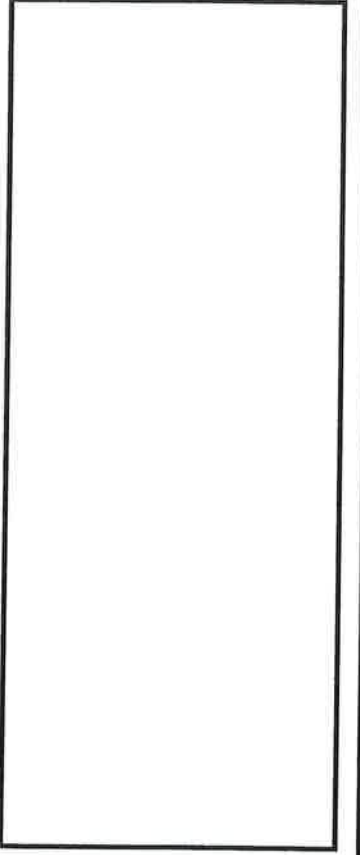
EXHIBIT J

1 TOWER ELEVATION
 SCALE: 1/8"=1'-0" (1/6"=2'-0" IF 11X17 SHEET SIZE)

RECEIVED
 SEP 29 2021
 COMMUNITY DEVELOPMENT
 DEPT


Concordia
 381 RANDY RD, UNIT 101
 CAROL STREAM, IL 60188
 MAIN: (847) 981-0801
 PROFESSIONAL DESIGN FIRM LICENSE # 184-004952

DRAWN BY: JR	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMS



265 GERZEVSKE LANE
 CAROL STREAM, IL 60188

SHEET TITLE:
 SITE ELEVATION

SHEET NUMBER:
A-2

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT
October 25, 2021

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

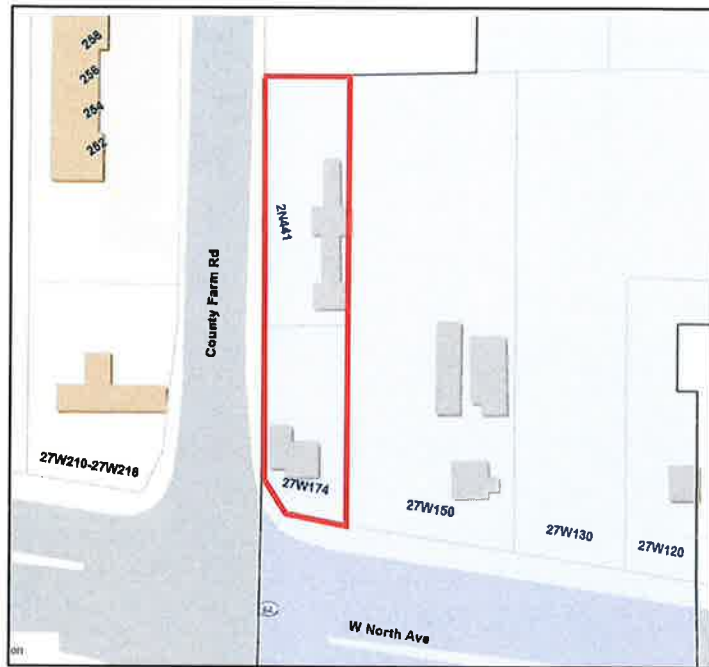
CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- A Plat of Consolidation in accordance with Section 16-8-4 (O) of the UDO

APPLICANT/ CONTACT:
Mr. David Cooper
Route 64, LLC
27W250 St. Charles Road
West Chicago, IL 60185

CASE #: 21-0054
LOCATION: 27W174 North Avenue & 2N441 County Farm Road
PROJECT NAME: Route 64, LLC



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Landscape and firewood sales business)	Corridor Commercial
North	R-1 Estate Residence and Community Facilities District	Single-Family Residential	Single-Family Residential
South	Unincorporated DuPage County B-2 General Business District	Commercial (Citgo Gas Station)	Commercial
East	Unincorporated DuPage County B-2 General Business District	Commercial (Paw Print kennel, crematory, and cemetery)	Commercial
West	B-3 General Business District	Corridor Commercial (Multi-tenant commercial buildings)	Corridor Commercial



The properties highlighted above are located at the northeast corner of North Avenue and County Farm Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject properties are designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan, and were recently annexed into Carol Stream. The landscape material and firewood sales business is compatible with this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application and Plat of Consolidation (Exhibit A).

BACKGROUND:

The applicant, David Cooper of Route 64, LLC, seeks approval of a plat of consolidation for the two parcels located at the northeast corner of North Avenue and County Farm Road (27W174 North Avenue & 2N441 County Farm Road). In August 2021, the PC/ZBA reviewed zoning requests for the properties, including a zoning map amendment, special use permits for outdoor display of merchandise and outdoor activities and operations, and variations associated with the annexation of the subject properties into the Village. Subsequently, the Village Board approved the requests. The applicant is now requesting the approval to consolidate both parcels into a single lot, which was a condition of approval for the project.

Staff Analysis

PLAT OF CONSOLIDATION

Two existing lots, which are 0.374 acres and 0.50 acres in size, will be consolidated into one lot of approximately 0.874 acres. Staff from Community Development, Engineering Services and the Village Clerk’s office have reviewed the plat of consolidation and deem it acceptable.

Recommendation

Staff recommends approval of the plat of consolidation for Route 64 LLC, Case No. 21-0054.

T:\Planning New\Planning\Plan Commission\Staff Reports\2021 Staff Reports\21-0054 Route 64 LLC PLAT 27W174 North Ave and 2N441 County Farm.docx



Do Not Write in This Space	
Date Submitted:	<u>10/11/21</u>
Fee Submitted:	<u>-</u>
File Number:	<u>21-6054</u>
Meeting Date:	<u>10/25/21</u>
Public Hearing Required:	<u>X</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

**GENERAL APPLICATION
PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Route 64, LLC | David A. Cooper Manager/Member Phone (630) 774-7410

Address 27W250 Saint Charles Road, West Chicago, IL 60185 Fax (630) 231-7936

E-Mail Address Dave@LMFSinc.com
(required)

Name of Attorney _____ Phone _____
(if represented)

Address _____ Fax _____

Name of Owner _____ Phone _____
(required if other than applicant)

Address _____ Fax _____

Name of Architect _____ Phone _____
(if applicable)

Address _____ Fax _____

2. *Common Address/Location of Property 2N441 County Farm Road | 27W174 North Ave.

3. Requested Action: *(check all that apply)*
- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input checked="" type="checkbox"/> Subdivision – Minor/Major |
| <input type="checkbox"/> Courtesy Review | <input type="checkbox"/> Temporary Waiver/Code of Ordinances |
| <input type="checkbox"/> Development Staff Review | <input type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input type="checkbox"/> Planned Development – Final | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C) |
| <input type="checkbox"/> Shared Parking Facility | <input type="checkbox"/> Map Amendment (requires Form D-1) |
| <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Text Amendment (requires Form D2) |
| | <input type="checkbox"/> Staff Adjustment (requires Form E) |

Describe requested action Approval of a plat of consolidation

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$0

Annexation approvals:		
New development		\$2,000
Other		\$800
Annexation Agreement Amendment		\$800
Appearance fee for approvals required by the UDO but not listed herein		\$500
Courtesy Review		\$240
Development Staff Review		\$640
Easement Encroachment		\$300
Gary/North Avenue Corridor Review:		
New or replacement monument sign		\$500
One discipline (site design, architecture or landscaping)		\$500
Two disciplines		\$1,000
Three disciplines		\$1,500
New development		\$1,500
Outdoor Dining Permit		\$120
Planned Development:		
Existing Planned Development, minor change		\$500
Existing Planned Development, major change		\$1,000
New Planned Development		\$1,500
Rezoning (Zoning Map Amendment)		\$640
Shared Parking Facility Permit		\$500
Site Plan Review		\$640
Special Use:		
First		\$800
Each additional		\$200
Special Use Amendment		\$800
Staff Adjustment		\$240
Subdivision:		
Major		\$700
Minor		\$400
Temporary Building, Structure or Use		\$120
Temporary Waiver to the Code of Ordinances		\$120
Text Amendment:		
Building Codes		\$240
Unified Development Ordinance		\$640
Variation:		
First		\$640
Each additional		\$200
Zoning verification letter		\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

David A. Cooper

Print Name

David A. Cooper Manager/member

Signature

10/11/2021

Date

Revised 07/21

