

Village of Carol Stream

AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, AUGUST 22, 2022 AT 6:00 P.M.

ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON

I. Roll Call: Present:
Absent:

II. Approval of Minutes: June 27, 2022

III. Public Hearing

21-0056 – Geneva Crossing Phase II – 440 Main Place
Amendment to a Special Use Permit for a Planned Development, Plat of Resubdivision

22-0001 – Belle Tire – 490 Main Place
Amendment to a Special Use Permit for a Planned Development, Special Use Permit for Auto Repair and Service

22-0013 - Tyndale House Ministries – 504 S. Schmale Road
Zoning Map Amendment, Amendment to a Special Use Permit for a Planned Development

22-0028 – Route 64, LLC (Cooper) - 27W174 North Avenue and 2N441 County Farm Road
Amendments to Special Use Permits, Zoning Variations

22-0035 – Village of Carol Stream – 500 N. Gary Avenue
*Zoning Text Amendment – Unified Development Ordinance (UDO)-
Miscellaneous Modifications*

IV. Presentation:

V. Old Business:

VI. New Business:

VII. Report of Officers:

VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
June 27, 2022.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 4 Commissioners Battisto, Petella, Tucek and Chairman Parisi

Absent: 3 Commissioners Christopher, Meneghini and Morris

Also Present: Tom Farace, Planning and Economic Development Manager; Patty Battaglia, Planning and Permitting Assistant; a representative from County Court Reporters

MINUTES:

Commissioner Petella moved and Commissioner Battisto seconded the motion to approve the minutes of the Regular Meeting held on April 25, 2022.

The results of the roll call vote were:

Ayes: 2 Commissioners Petella and Tucek

Nays: 0

Abstain: 2 Commissioner Battisto and Chairman Parisi

Absent: 3 Commissioners Christopher, Meneghini and Morris

The motion passed by a majority vote.

PUBLIC HEARING:

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Petella moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 4 Commissioners Battisto, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 3 Commissioners Christopher, Meneghini and Morris

The motion passed by unanimous vote.

Case #21-0019 – Family Life Christian Center – 362 S. Schmale Road
Special Use Permit to operate as a place of worship

Chairman Parisi swore in Mr. Stuart Petersen, Attorney, and Mr. Daniel Hochstatter, Senior Leader at Family Life Christian Center and asked them to give their presentation.

Mr. Petersen stated we are proposing a place of worship at 362 S. Schmale Road that is currently vacant. We are a growing church currently located on West Geneva Road where we have rented for about 8 years and would like to provide more services for the community. We plan to have a house of worship, offices, an area for the children from the membership and would eventually like to have a community-based living room to include coffee, snacks and bakery goods. We would like to offer the worship area to other community groups such as boy scouts, small playgroups or drama groups. We are hoping to bring in some foot traffic from the surrounding businesses. Our only concern was parking so we initiated a shared parking agreement with the business located to the south at 350 S. Schmale Road. The building to the north also has an abundance of parking and they said would agree to a shared parking agreement in the future if needed.

Mr. Hochstatter stated we have been a church in operation for about 17 years. We have been renting at various locations prior to the last eight years. In the past, we struggled to get 70 people in the doors, but this past Sunday we had 134 people and need more space. We also have a kid's ministry with 34 children. Our payroll has been met every month and we have raised an additional \$475,000 for the purchase of this building, which has come from the people in the community. We are hoping the Living Room will also entice the neighborhood to just come in and enjoy a cup of coffee. We hope to benefit the community at large spiritually, give them a place to call home, and be there for them. We want to keep growing by working and doing good in the Village of Carol Stream.

Chairman Parisi asked if there were any comments or questions from the audience.

Mr. John Ciesla, from the audience, asked what Mr. Hochstatter's vision was for the Living Room.

Mr. Hochstatter replied the idea was to have co-working space with desks set up during the week for anyone in the community where they can sit, just relax, get some work done, meet with someone or have a cup of coffee.

Chairman Parisi asked Mr. Farace to provide a Staff Report.

Mr. Farace stated Special Use is being requested for a place of worship at 362 S. Schmale Road. The property is zoned OS (Office and Service District). Previously, the 11,000 square foot building was occupied by an alarm service company. It was primarily an office and warehouse use building. The church is proposing to relocate here for congregation use and several ancillary type uses as well. The interior space will be renovated to include the worship space (to seat 126 occupants) proposed in the rear of the building, office and student spaces for the limited number of employees, classes, bible study and kids activity area. In addition, the Living Room space will be in the front of the building as a meeting space. The parking requirements are one parking space for every three seats that would require a little over 40 spaces for both employees and worshipers on Sunday morning and other gatherings occurring during the week. Exterior building modifications include some additional doors and windows, and the removal of some overhead doors on the back of the building so the worship space is more comfortable. There will also be a small kitchen area for the food preparation for the Living Room in the front. There will be an upgrade to the fire safety system since this will now be an assembly use instead of an office and warehouse use. Any other code deficiencies will be addressed as well. The parking lot is not in ideal shape so the applicant is proposing two phases. First phase will consist of pothole patching and sealcoating for the first year, and then substantial repair work the second year. Striping will also be done and shows 62 parking spaces, however, an additional space is required for accessible parking. The second phase would include landscaping to the front of the building and an outdoor seating area that will

be covered by a porch or roof overhang. The applicant will work with staff on the logistics of this project and this phase would be completed in a three-year time frame. Staff is supportive of the project and recommends approval with the conditions listed at the end of the report.

Chairman Parisi asked for clarification on the parking deficiency.

Mr. Farace said per code there should be 69 spaces and they only have 60 spaces overall. However, they are working on a shared parking agreement with the property directly to the south, which has 13-14 parking spaces that the church can utilize over the weekend, which will be their peak time of use. Those office workers from the property to the south are not in the offices on Sunday morning. If the Commission recommends approval of this project tonight, it will go to the Village Board for approval along with the shared parking agreement. In the future, if the church enters into a shared parking agreement with the property to the north, that would allow more than sufficient parking.

Chairman Parisi asked if there were any comments or questions from the Commission.

Commissioner Tucek stated he did not have any questions, but commented on people backing out of spaces and turning around in the parking lot to leave.

Mr. Petersen replied the offices to the south are not open on the weekend and we will be conducting two services.

Mr. Hochstatter added the lot directly to the north has 70 total spaces and they have minimal activity on a Sunday.

Commissioner Petella asked about a handicap space in the additional parking area to the south stating it should be located near the door of the building

Mr. Petersen said we will make sure handicap accessible parking is closest to the door of the building.

Commissioner Petella mentioned the distance from the parking lot to the north during inclement weather and also asked if they were going to install lighting in the parking lot.

Mr. Petersen stated they will add parking lot lighting.

Commissioner Petella asked if they would have PADS where people would be staying on the property overnight.

Mr. Petersen said we will not have PADS at this point.

Commissioner Petella asked if the Health Department would be involved since they are serving food.

Mr. Farace stated they would be involved.

Commissioner Petella asked what will be your hours of operation.

Mr. Petersen said on a weekday basis from 8 a.m. – 8 p.m. but as often as possible.

Commissioner Petella questioned the setbacks.

Mr. Farace stated the building is over 50 feet away from the proposed monument sign.

Commissioner Battisto had no questions but wanted them to understand if they do grow and want to provide other services, they need to seek approval from the Village.

Mr. Petersen said they understand and will come back for certain approvals.

Mr. Hochstatter stated we are well aware of obtaining future approvals.

Chairman Parisi stated he had no comments but wanted to address Commissioner Tucek's concern of coming in and out of parking lot spaces. The width of the lot allows enough space for circulation.

Commissioner Petella moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Battisto, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 3 Commissioners Christopher, Meneghini and Morris

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, July 18, 2022, at 6:00 PM for review.

NEW BUSINESS: Annual Progress Report-Comprehensive Plan Implementation
Information Only

Mr. Farace stated this is our annual review of our progress reports of our comprehensive plan. We have had another busy year and this is for informational purposes.

Commissioner Battisto said he has been on the Commission for a couple years now and he is always impressed with Tom Farace and his team/staff. Everyone is very thorough and does an exceptional job, which makes the job of the Plan Commission easy.

Commissioners Petella and Tucek agreed.

Chairman Parisi added that he has been in front of other Plan Commission Boards as a presenter and said, Tom, you are the most organized, meticulous and the nicest Planning Manager compared to others. Thank you.

OLD BUSINESS:

OTHER BUSINESS: Cancel July 11, 2022, PC/ZBA Meeting

Commissioner Petella moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Battisto, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 3 Commissioners Christopher, Meneghini and Morris

The motion passed by unanimous vote.

ADJOURNMENT:

At 6:41 p.m. Commissioner Battisto moved and Commissioner Petella seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella and Acting Chairman Tucek

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Christopher and Chairman Parisi

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT
August 22, 2022

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the UDO
- A Plat of Resubdivision in accordance with Section 16-8-4 (O) of the UDO

APPLICANT/ CONTACT:
Mr. Dave Scheffler
31W271 Army Trail Road
Wayne, IL 60184



CASE #: 21-0056
LOCATION: 440 Main Place
PROJECT NAME: Geneva Crossing Phase II / Scheffler



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Corridor Commercial (Vacant)	Commercial
North	R-4 Multiunit Residence District	Multi-Family Residential and Office (Former Evangelical Alliance Mission Offices and Apartments)	Multi-Family Residential and Office
South	B-3 General Business District	Commercial (Geneva Crossing Phase I Shopping Center and Firestone)	Commercial
East	B-3 General Business District	Corridor Commercial (Wendy's)	Commercial
	Unincorporated B-2 General Business District	Vacant	Commercial
West	O-S Office and Service District	Industrial (Tyndale House)	Industrial

The property highlighted above is located west of Schmale Road and north of Geneva Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. Development in conjunction with the proposed Planned Development amendment and subdivision will be compatible with this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Cover Letter from Dave Scheffler dated October 7, 2021, Public Notice, Plat of Resubdivision (Exhibit A), and Plat of Easement Release and Easement Grant (Exhibit B).

BACKGROUND:

The applicant, Dave Scheffler, owns the Geneva Crossing Phase II property generally located west of Schmale Road and north of Geneva Road (highlighted in green on the aerial photograph on page 2 of this report). Geneva Crossing is a commercial development and was annexed and developed into the Village in 1997. The annexation agreement and subsequent development approvals proposed approximately 100,000 square feet of commercial development for the first phase of the development (the Geneva Crossing Shopping Center, known as Geneva Crossing Phase I and highlighted in purple on the aerial photograph on page 2 of this report). The 2nd phase of the development, known as Geneva Crossing Phase II, was to include an additional 132,000 square feet of commercial development. The additional commercial development was never constructed.

In 2017, Mr. Scheffler received approval to amend the Planned Unit Development Plan (now known as a Planned Development (PD) Plan) and subdivide Phase II into three lots. Lot 1 is a vacant parcel north of the Geneva Crossing Shopping Center parking lot and south of the Tyndale House Ministries publishing complex, Lot 2 includes the 9,600 square foot Goddard School daycare, and Lot 3 (highlighted in red on the aerial photograph on page 2 of this report) is approximately 6.054 acres of vacant land with detention for all three lots. The applicant proposes to amend to amend the PD Plan again and subdivide Lot 3 into two lots and an outlot.

Staff Analysis

PLANNED DEVELOPMENT AMENDMENT AND PLAT OF RESUBDIVISON

§ 16-7-6 of the UDO specifies that amendments to PD Plans can either be categorized as minor or major amendments. A minor amendment can be approved at the staff level, and includes changes to a site plan or design details that do not alter the concept or intent of the PD. These changes include minor parking, site amenity, and landscaping/open space changes. Major changes to PD Plans must be reviewed by the PC/ZBA and approved by the Village Board, and include increasing the project density or expanding buildings, reducing open space by more than 10%, and amending development agreements or covenants. As part of the proposed PD amendment, the original Operation and Easement Agreement (OEA) between Geneva Crossing Phase I and Phase II will be modified, and a Declaration of Covenants and Restrictions has been created to establish common area maintenance and other provisions proposed for the subdivision. Therefore, the subdivision is considered a major PD amendment, and must be reviewed by the PC/ZBA and Village Board.

The subdivision of Lot 3 will include two lots: a lot of approximately 1.54 acres in size which will be developed with a Belle Tire (to be reviewed under Case No. 22-0001), and a lot of approximately 2.82 acres to remain vacant. An outlot of approximately 1.69 acres will be established on the west side of the PD Plan, and will contain the stormwater management area for all lots associated with Geneva Crossing Phase II. A plat of easement has also been prepared, which illustrates certain existing stormwater management and conveyance easements to be released, and new stormwater management and conveyance easements to be granted. Staff from Community Development, Engineering Services and the Village Clerk's office have reviewed the submitted plats and deem them acceptable.

RECOMMENDATION

Staff has reviewed the applicant's requests, and supports the proposal. Therefore, staff recommends approval of an Amendment to a Planned Development and Plat of Resubdivision for Lot 3 of Geneva Crossing Phase II, Case No. 21-0056, subject to the following conditions:

1. The plat of easement release and easement grant must be recorded prior to the plat of resubdivision;
2. The Declaration of Covenants and Restrictions shall be recorded immediately after the plat of easement release and easement grant and the plat of resubdivision; and
3. A Special Service Area for the common area and private ingress and egress easement shall be established at the same time that the plat of resubdivision is approved, and the Village of Carol Stream shall require documentation that an application for the Owners Association has been submitted to the Secretary of State's office prior to approval of the plat of resubdivision.



RECEIVED

OCT 07 2021

COMMUNITY DEVELOPMENT DEPT

Do Not Write in This Space	
Date Submitted:	10-7-21
Fee Submitted:	\$1400.00
File Number:	21-0056
Meeting Date:	8/22/22
Public Hearing Required:	Y

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

PHONE 630.871.6230 • FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant DAVE SCHEFFLER Phone 630-291-6072
 Address 31W 271 ARMY TRAIL RD WILMINGTON IL 60181 Fax _____
 E-Mail Address SCHEFFLERDAVE@GMAIL.COM
 (required)
 Name of Attorney _____ Phone _____
 (if represented)
 Address _____ Fax _____
 Name of Owner _____ Phone _____
 (required if other than applicant)
 Address _____ Fax _____
 Name of Architect _____ Phone _____
 (if applicable)
 Address _____ Fax _____

2. *Common Address/Location of Property 440 S. MAN PL.

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input checked="" type="checkbox"/> Subdivision – Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation – Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation – Sign (requires Form B-2)
<input type="checkbox"/> Planned Development – Final	<input type="checkbox"/> Variation – Fence (requires Form B-3)
<input type="checkbox"/> Planned Development – Preliminary	<input type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action SUBDIVIDING 6AC PARCEL (RN # 05-04-304-081)
INTO A Z PARCEL W/OUTLOT DETENTION BASIN.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 400⁰⁰

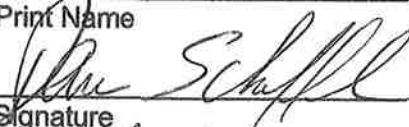
Annexation approvals:		
New development		\$2,000
Other		\$800
Annexation Agreement Amendment		\$800
Appearance fee for approvals required by the UDO but not listed herein		\$500
Courtesy Review		\$240
Development Staff Review		\$640
Easement Encroachment		\$300
Gary/North Avenue Corridor Review:		
New or replacement monument sign		\$500
One discipline (site design, architecture or landscaping)		\$500
Two disciplines		\$1,000
Three disciplines		\$1,500
New development		\$1,500
Outdoor Dining Permit		\$120
Planned Development:		
Existing Planned Development, minor change		\$500
Existing Planned Development, major change		\$1,000
New Planned Development		\$1,500
Rezoning (Zoning Map Amendment)		\$640
Shared Parking Facility Permit		\$500
Site Plan Review		\$640
Special Use:		
First		\$800
Each additional		\$200
Special Use Amendment		\$800
Staff Adjustment		\$240
Subdivision:		
Major		\$700
<input checked="" type="checkbox"/> Minor		\$400
Temporary Building, Structure or Use		\$120
Temporary Waiver to the Code of Ordinances		\$120
Text Amendment:		
Building Codes		\$240
Unified Development Ordinance		\$640
Variation:		
First		\$640
Each additional		\$200
Zoning verification letter		\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

DAVE SCHOFFLER
Print Name

Signature
10/7/21
Date

Revised 07/21

10/7/2021

To: PC/ZBA

From: Dave Scheffler

Wayne, IL

Owner of Geneva Crossing Phase II

RECEIVED
OCT 07 2021
COMMUNITY DEVELOPMENT
DEPT

RE: Subdivision Of Phase II

Board,

I am the owner of a 6 acre parcel of land on south Main Place, part of the Geneva Crossing Center. The Phase II land was previously subdivided into 3 separate lots in 2017, with the parcel in question being the then created lot 3. At present the land holds a 2 acre stormwater detention facility, serving all of the phase II property and 4 acres of vacant land. I am in the need to subdivide out of this lot 3, a 1.5 acre parcel to accommodate a potential buyer and his accompanying business. I have secured a Grading and Drainage permit from the engineering department, here at the Village, to set the future building pad to their required specifications. I am here by applying to subdivide the original parcel into 2 new parcels and an outlot for the Stormwater Facility, and labeling it as, Geneva Crossing Phase III .

Thank You for your consideration in this matter,



Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 3, 2022 and the last publication of the notice was made in the newspaper dated and published on August 3, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 3, 2022.

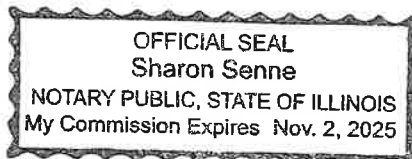
Examiner Publications, Inc.

By: Publisher


Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 3 day of August, A.D. 2022.

Notary Public





PUBLIC NOTICE FILE #21-0056

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 22, 2022 at 6:00 p.m. to consider an application from David Scheffler/Geneva Crossing Phase II for the following actions:

An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream Unified Development Ordinance. For the property located at 440 Main Place (PIN 05-04-304-081).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

https://us02web.zoom.us/join/7WN_7g7EqJn2Rh-mh2WF6Tg92A

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 826 3851 4317

International numbers available: <https://zoom.us/j/adsnXEZQK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing.

The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfarace@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at www.carolstream.org. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As Published in the Examiner August 3, 2022

PLAT OF EASEMENT RELEASE AND EASEMENT GRANT

EASEMENT RELEASE

PART OF LOT 3 IN GENEVA CROSSING PHASE II, BEING A PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY ILLINOIS.

RECEIVED
MAR 24 2022
COMMUNITY DEVELOPMENT
DEPT



30 15 0 30
SCALE 1 INCH = 30 FEET

LEGEND

- ADJACENT LOT LINE/PROPERTY LINE OR RIGHT-OF-WAY LINE (Light Solid Line)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Line)
- EXISTING EASEMENT LINE (Short Dashed Line)
- ▨ EXISTING EASEMENT HEREBY RELEASED & TERMINATED
- S.M.C.E. STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT

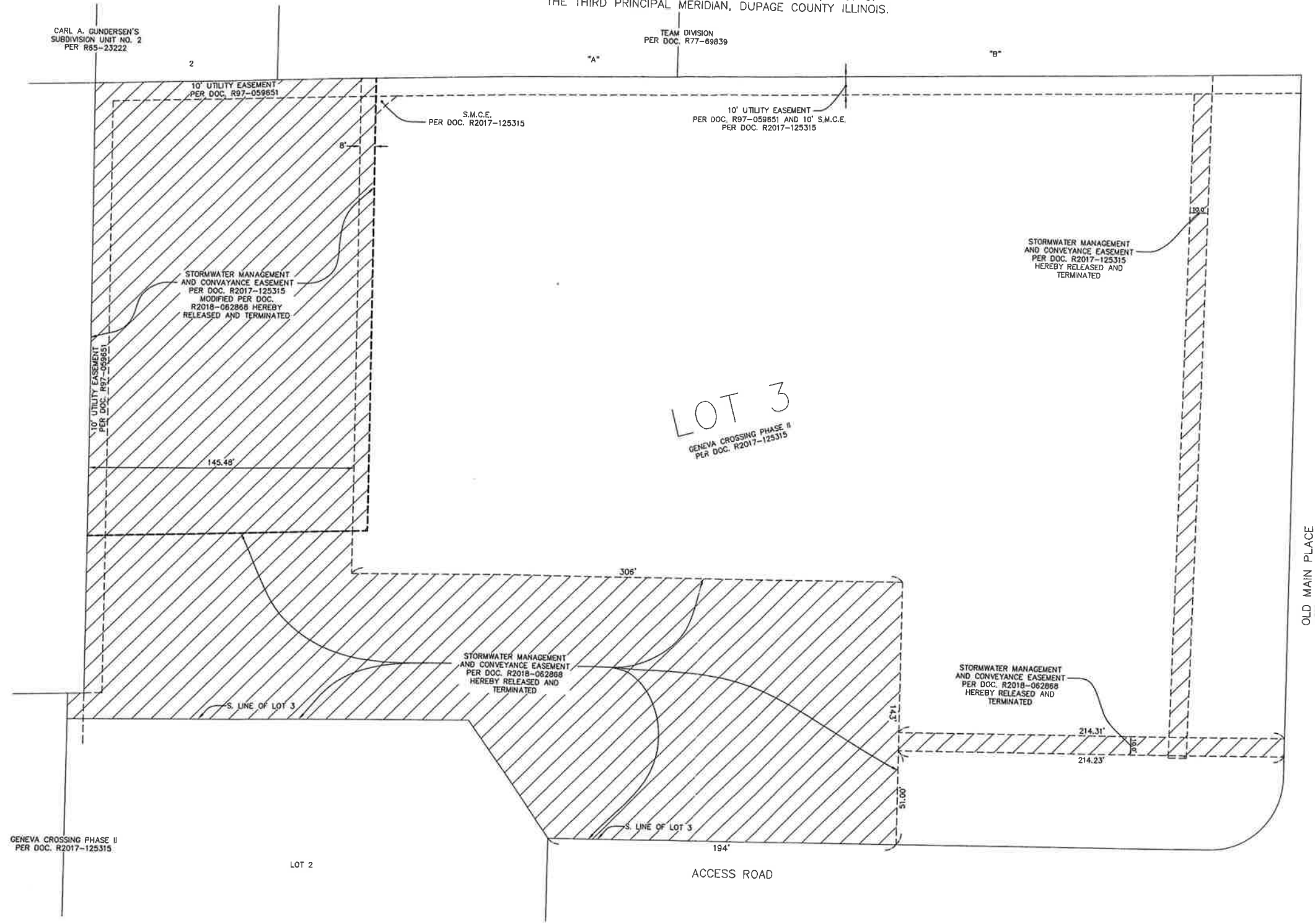


EXHIBIT B

DRAWING PATH: P:\VILLAGE\GENEVA\GENEVA\PLAT OF EASEMENT.DWG

PLOT FILE CREATED: 3/23/2022 BY: JWH/HLS

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.882.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 903488 FILE NAME: PLAT OF EASEMENT
DRAWN BY: JHH FLD. BK. / PG. NO.: -
COMPLETION DATE: 02-04-2022 JOB NO.: 903.488
REVISIONS: 03-16-2022 PER VILLAGE REVIEW LETTER
DATED 03-11-2022
Copyright © 2022 Cemcon, Ltd. All rights reserved.

PLAT OF EASEMENT RELEASE AND EASEMENT GRANT

EASEMENT GRANT

SHEET 2 OF 3

RECEIVED
 MAR 24 2022
 COMMUNITY DEVELOPMENT
 DEPT



30 15 0 30
 SCALE: 1 INCH = 30 FEET

CARL A. GUNDERSEN'S
 SUBDIVISION UNIT NO. 2
 PER R65-23222

TEAM DIVISION
 PER DOC. R77-59839



LOT 3
 GENEVA CROSSING PHASE II
 PER DOC. R2017-125315

OLD MAIN PLACE
 HERETOFORE DEDICATED

NOTES
 ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
 EXISTING UTILITY EASEMENTS ALONG NORTH AND WEST LINES PER DOCUMENT R97-059851 TO REMAIN.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:
 VILLAGE OF CAROL STREAM
 500 N. GARY AVENUE
 CAROL STREAM, IL 60188

PARCEL INDEX NUMBER
 VACANT LAND
 05-04-304-081
 2442 N. MAIN PLACE
 CAROL STREAM, IL 60188

PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100 Aurora, Illinois
 60502-9675 PH: 630.862.2100 FAX: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 903488 FILE NAME: PLAT OF EASEMENT
 DRAWN BY: JHH FLD. BK. / PG. NO.: -
 COMPLETION DATE: 02-04-2022 JOB NO.: 903.488
 REVISIONS: 03-16-2022 PER VILLAGE REVIEW LETTER
 DATED 03-11-2022

DRAWING DATE: P:\USCAR\DWG\2022\03\04\PLAT OF EASEMENT.DWG

PLAT FILE CREATED: 3/23/2022 BY: JHH

PLAT OF EASEMENT RELEASE AND EASEMENT GRANT

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF LOT 3 DESCRIBED HEREON AND HAS CAUSED THE SAME TO BE PLATTED FOR THE USES SET FORTH HEREON.

DATED THIS ____ DAY OF _____, A.D., 2022.

BY: _____
TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____, KNOWN TO ME TO BE TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE AFORESAID INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE PLAT HEREON.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 2022.

NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF LOT 1 AND LOT 3 IN THE FINAL PLAT OF SUBDIVISION FOR GENEVA CROSSING PHASE II PER DOCUMENT NUMBER R2017-125315, AND HAS CAUSED THE SAME TO BE PLATTED FOR THE USES SET FORTH HEREON.

DATED THIS ____ DAY OF _____, A.D., 2022.

DAVID L. SCHEFFLER BY: _____
TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____, KNOWN TO ME TO BE TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE AFORESAID INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE PLAT HEREON.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 2022.

NOTARY PUBLIC

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, A.D. 2022, AT ____ O'CLOCK ____ M.

RECORDER OF DEEDS

VILLAGE ENGINEER

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE EASEMENT PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS SUBDIVISION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE LEGAL OWNER OF LOT 2 IN THE FINAL PLAT OF SUBDIVISION FOR GENEVA CROSSING PHASE II PER DOCUMENT NUMBER R2017-125315, AND HAS CAUSED THE SAME TO BE PLATTED FOR THE USES SET FORTH HEREON.

DATED THIS ____ DAY OF _____, A.D., 2022.

DITURIA, LLC BY: _____
TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____, KNOWN TO ME TO BE TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE AFORESAID INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE PLAT HEREON.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 2022.

NOTARY PUBLIC

VILLAGE CLERK

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

I, _____, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE EASEMENT PLAT WAS PRESENTED TO AND BY RESOLUTION _____ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE CLERK

MAYOR

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION, GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 2022.

JEFFREY R. PANKOW
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2022
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2023

STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT PROVISIONS

STORMWATER MANAGEMENT AND COVENANT EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, TO THE OWNERS OF LOTS 1, 2 AND 3 IN GENEVA CROSSING PHASE II ACCORDING TO THE PLAT OF SUBDIVISION THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT NO. R2017-125315 AND TO THE GENEVA CROSSING PHASE II PROPERTY OWNER'S ASSOCIATION AS ESTABLISHED BY COVENANTS DULY RECORDED FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, GRADE, REGRADE, CLEAN, REPAIR, INSPECT, OPERATE AND OTHERWISE MAINTAIN IN A UNOBSTRUCTED CONDITION A SYSTEM OF STORM DRAINS, MANHOLES, INLETS, OVERLAND DRAINAGE SWALES, AND A STORM WATER MANAGEMENT & CONVEYANCE EASEMENT FOR THE CONVEYANCE AND TEMPORARY STORAGE OF STORMWATER RUNOFF TRIBUTARY THERETO TOGETHER WITH THE RIGHT OF ACCESS OVER, UPON AND THROUGH SAID EASEMENT FOR THE NECESSARY INDIVIDUALS AND EQUIPMENT TO PERFORM SAID FUNCTIONS. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE TREES, BUSHES, VEGETATION AND DEBRIS WITHIN SAID EASEMENT AREA THAT CAN REASONABLY BE SHOWN TO OBSTRUCT OR OTHERWISE HINDER THE OPERATION OF SAID EASEMENT AREA FOR THE USES AND PURPOSES HEREIN SET FORTH; NO BUILDINGS, SHEDS, SWIMMING POOLS OR OBJECTS AND EQUIPMENT SUBJECT TO DAMAGE DUE TO PERIODIC INUNDATION SHALL BE PLACED ON SAID EASEMENT AND NO EARTH FILL OR EXTRANEEOUS MATERIALS SHALL BE DEPOSITED OR EXTENSIVE REGRADING WORK UNDERTAKING THAT WOULD HINDER OR OBSTRUCT THE CONVEYANCE OF STORM DRAINAGE OR DISPLACE ANY STORMWATER STORAGE VOLUME POTENTIALLY AVAILABLE DURING TIMES OF PEAK RUNOFF. SAID EASEMENT AREAS MAY BE USED, HOWEVER, FOR PAVED AREAS, GARDENS, TREES, PLANTS, LAWNS, AND OTHER LANDSCAPING IMPROVEMENTS AND FOR OTHER USES AND PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID EASEMENT USES AND RIGHTS.

MAINTENANCE RESPONSIBILITIES FOR THE STORMWATER MANAGEMENT AND CONVEYANCE FACILITIES CONSTRUCTED WITHIN SAID EASEMENTS SHALL BE VESTED IN THE OWNERS OF ABOVE LOTS 1, 2 AND 3 OF GENEVA CROSSING PHASE II AND TO ANY SUBSEQUENT DIVISIONS OF SAID LOTS 1, 2 AND 3 AS MEMBERS OF THE GENEVA CROSSING PHASE II PROPERTY OWNER'S ASSOCIATION AS SET FORTH IN SAID COVENANTS. THE VILLAGE OF CAROL STREAM MAY ELECT TO EXECUTE THE RIGHTS AND RESPONSIBILITIES OF THESE EASEMENT PROVISIONS SHOULD THE OWNERS OF LOTS 1, 2 AND 3 OF SAID GENEVA CROSSING PHASE II THROUGH THE PROPERTY OWNER'S ASSOCIATION FAIL TO PERFORM SAID RESPONSIBILITIES WITHIN A REASONABLE PERIOD OF TIME AS DETERMINED BY THE VILLAGE OF CAROL STREAM. IN SUCH AN EVENT, THE VILLAGE MAY ASSESS THE OWNERS OF SAID LOTS 1, 2 AND 3 IN GENEVA CROSSING PHASE II AND TO THE OWNERS OF ANY SUBSEQUENT DIVISIONS OF LOTS 1, 2 AND 3 FOR ANY AND ALL COSTS INCURRED BY THE VILLAGE IN PERFORMING THESE MAINTENANCE RESPONSIBILITIES.

RECEIVED
MAR 24 2022
COMMUNITY DEVELOPMENT
DEPT

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com
DISC NO.: 903488 FILE NAME: PLAT OF EASEMENT
DRAWN BY: JHH FLD. BK. / PG. NO.: -
COMPLETION DATE: 02-04-2022 JOB NO.: 903488

DRAWING DATE: 3/17/2022 BY: JKH HLLS

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

August 22, 2022

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- An Amendment to a Special Use Permit for a Planned Development, in accordance with Section 16-7-6 of the UDO
- A Special Use Permit for Auto Repair and Service, in accordance with Section 16-3-11 of the UDO

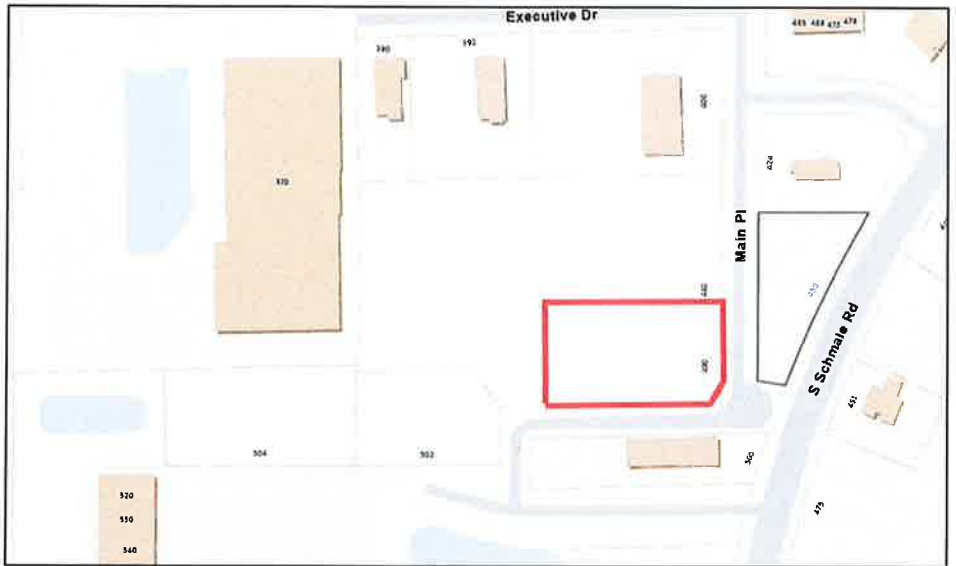
APPLICANT/ CONTACT:
Mr. Christopher Enright
Christopher Enright Architects
628 E. Parent Avenue, Suite 100
Royal Oaks, MI 48067



CASE #: 22-0001

LOCATION: 490 Main Place

PROJECT NAME: Belle Tire / Christopher Enright Architects



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Corridor Commercial (Vacant)	Commercial
North	B-3 General Business District	Corridor Commercial (Vacant)	Commercial
South	B-3 General Business District	Commercial (Geneva Crossing Phase I Shopping Center and Firestone)	Commercial
East	Unincorporated B-2 General Business District	Vacant	Commercial
West	B-3 General Business District	Corridor Commercial (Goddard School, Vacant)	Commercial

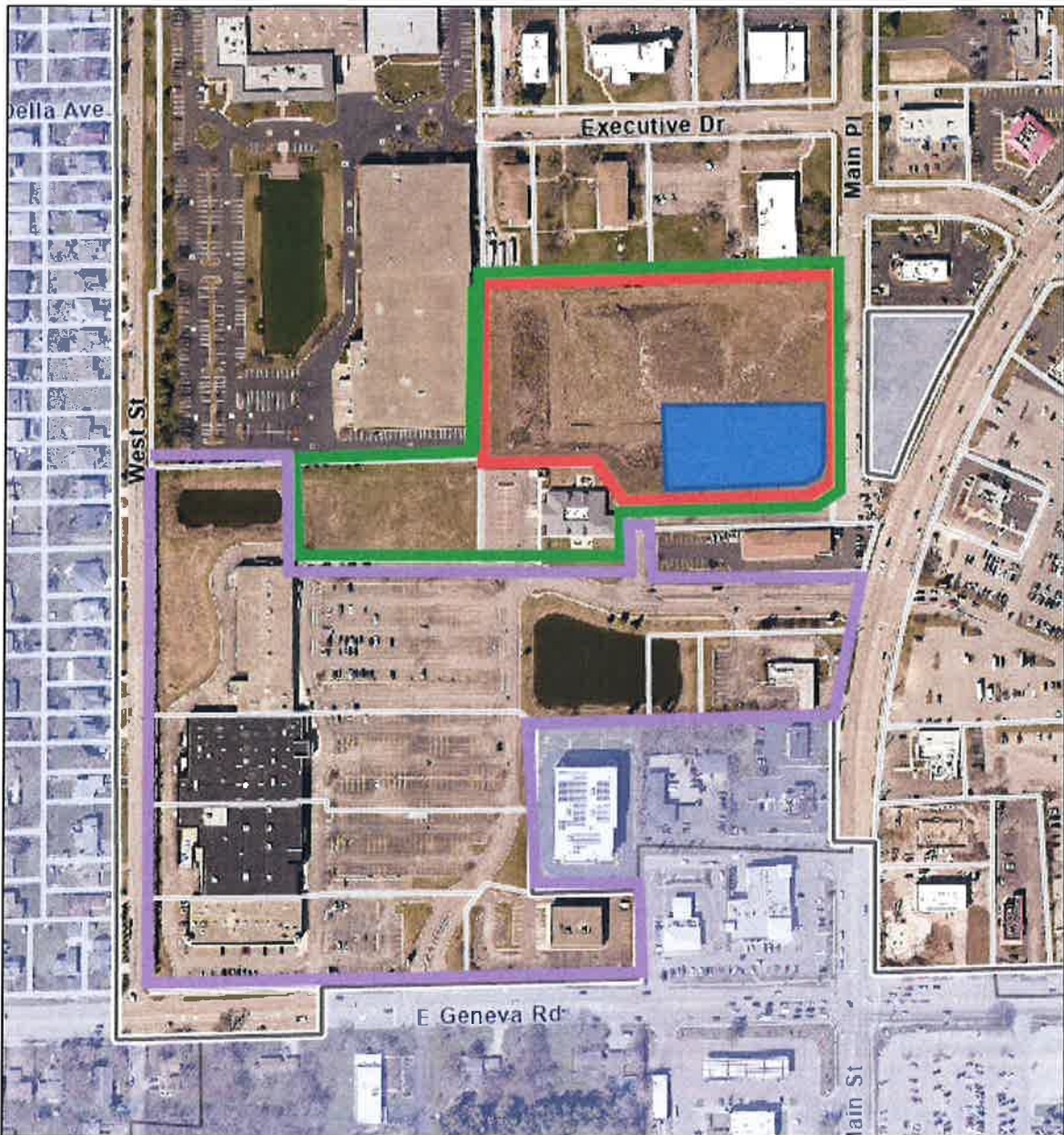
The property highlighted above is located west of Schmale Road and north of Geneva Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed tire and automotive repair and service business is compatible with this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter from Christopher Enright dated March 11, 2022, Public Notice, Drawing Index (Exhibit A), Cover Sheet (Exhibit B), Planned Unit Development Plan (Exhibit C), Planting Plan (Exhibit D), Photometric Plan (Exhibit E), Sign Plan (Exhibit F), Floor Plan (Exhibit G), Building Elevations and Details (Exhibits H-1 through H-4), and Color Renderings (Exhibit I).

BACKGROUND:

Architect Christopher Enright, on behalf of Belle Tire, requests approval of an Amendment to a Special Use Permit for a Planned Development (PD) and Special Use Permit for Auto Repair and Service on Lot 1 of the resubdivided Lot 3 of the Geneva Crossing Phase II development (the plat of resubdivision is being reviewed under Case No. 21-0056). On the accompanying aerial photograph, Geneva Crossing Phase I is highlighted in purple and contains the Geneva Crossing Shopping Center, Geneva Crossing Phase II is highlighted in green, the existing Lot 3 of Phase II is highlighted in red, and a newly created lot of approximately 1.54 acres where the proposed Belle Tire will be located is highlighted in blue.

Belle Tire is headquartered in Michigan, employs more than 2,000 people, and has over 130 locations in Michigan, Ohio, Indiana, and Illinois. Construction is currently underway on six locations (Aurora, St. Charles, Mokena, Orland Park, West Chicago, and Romeoville), with four locations recently opened (Villa Park, Naperville, Joliet, and Shorewood) in Illinois. 50 other store locations are planned in the next three years.

Staff Analysis

PLANNED DEVELOPMENT AMENDMENT AND SPECIAL USE PERMIT

§ 16-7-6 of the UDO specifies that amendments to PD Plans can either be categorized as minor or major amendments. The proposed Belle Tire development is considered a major PD amendment, and must be reviewed by the PC/ZBA and approved by the Village Board. As described in the submitted cover letter, Belle Tire sells and installs passenger vehicle tires and various automotive parts. Belle also conducts minor automotive repairs such as brakes, alignments, batteries, shocks and struts, and oil changes. No major engine, transmission repair or bodywork is proposed at the facility. All repair and installation work is proposed to take place inside the building. If vehicles are left overnight, they will be stored inside. All scrap tires will be stored in a specifically designated area inside the facility and will be picked up on a regular basis. In addition, no outdoor displays are proposed. Hours of operation will be Monday and Thursday from 8:00 a.m. to 8:00 p.m., Tuesday, Wednesday and Friday from 8:00 a.m. to 6:00 p.m., and Saturday from 8:00 a.m. to 5:00 p.m. There will be 10 to 15 employees, and business deliveries occur 2-3 times a week for approximately 30 minutes per visit.

As proposed, the site will be approximately 1.54 acres, and the building will be 9,800 square feet in size. The building will be centrally located on the site, and access will be provided from a shared driveway along Main Place to the east and a driveway along the private access drive to the south. In addition, a pedestrian connection into the site is proposed from the existing sidewalk along Main Place. While the sidewalk on Main Place currently “dead ends” at the



northern limits of the site, a sidewalk connection will be required when the lot to the north is developed in the future. 32 on-site parking spaces are required per the UDO, and 47 parking spaces are proposed on the north, south, and east sides of the property. Section 16-5-2 (C) of the UDO states that the maximum permitted number of accessory off-street parking spaces shall be an additional 20% beyond the minimum requirement, unless otherwise approved by the Community Development Director. The site will contain 32% more parking than required per the UDO, but staff deems the additional parking acceptable given the proposed turnover of customer vehicles throughout the day and need for overflow parking for customers. A flagpole with the American flag is also proposed at the southeast corner of the site. Originally, the applicant was requesting a variation to allow for a taller flagpole than normally allowed per the UDO. However, the plans were modified to accommodate a 40-foot height, which is the maximum height allowed in the B-3 District.

Landscaping on the subject site will meet or exceed UDO requirements in all areas except for foundation landscaping. Landscaping, in the form of trees, shrubs, and ground cover, is proposed around the perimeter of the property on its north, south, and east sides. Likewise, landscaped parking lot islands are proposed, along with landscaping around the base of the proposed monument sign. Per the requirements of the UDO, landscaping on the south and east sides of the building is required to soften and anchor the base of the building along adjacent roadways. While foundation landscaping is proposed along the east side of the building facing Main Place, no foundation landscaping is proposed along the south side of the building facing the private access drive. The south side of the building contains the proposed service bays, and does not allow for any landscaping along the foundation of the building. However, the applicant proposes to compensate with the lack of foundation landscaping on the south side of the building by installing foundation landscaping on the north side of the building, and by increasing the overall quantity of plant materials required on the site (especially perimeter plantings on the south side of the site). Therefore, staff can support a PD allowance for the lack of foundation landscaping on the south side of the building.

Exterior building elevations will be constructed primarily of brick veneer, with brick coursing, cast stone detailing, and an EIFS cornice proposed to provide decorative enhancements to the building. A tower element is proposed at the southeast corner of the building, and decorative brick columns and pilasters are proposed at the ends of the building and along each building façade to break up the massing of the building. An aluminum storefront system with clear glazing is also proposed for the entrance and showroom space, with additional windows proposed on other sides of the building. A monument sign with a decorative brick base to match the brick on the building is proposed at the northeast corner of the site, and wall signage is proposed on the north, south, and east sides of the building. All proposed signage meets requirements of the UDO, including size and height. Staff believes the proposed building has been attractively designed, and we support the proposed exterior building elevations.

It should also be noted that staff has conducted a site plan review for the project to certify compliance with all applicable provisions of this UDO.



SPECIAL USE FINDINGS OF FACT

The Plan Commission’s recommendation regarding the requested Special Use request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed auto repair and service use will provide another amenity to the community.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed development has been designed for vehicles to enter and exit safely, with limited if any noise or other aspects of the business endangering the public health, safety, morals, comfort or general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

With limited deliveries and all work being conducted inside the building, the proposed business should not be injurious to the use and enjoyment of other property in the immediate vicinity, nor substantially diminish and impair property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Most of the surrounding properties are already developed, and the undeveloped property to the north will be developed in harmony with the subject site in terms of access. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are or will be in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

RECOMMENDATION

Staff has reviewed the applicant's requests, and supports the proposal. Therefore, staff recommends approval of an Amendment to a Planned Development and Special Use Permit for Auto Repair and Service for Belle Tire, Case No. 22-0001, subject to the following conditions:

1. That all improvements, including but not limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;

3. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c);
4. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
5. That all maintenance work shall occur inside the building, and not within the parking lot;
6. That only vehicles associated with Belle Tire shall be allowed to be stored on the property, and the storage of recreational vehicles, construction materials, and other equipment shall not be allowed on the property;
7. That the applicant must obtain the required sign permits prior to the installation of any new signage;
8. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO; and
9. That the site and facility must be maintained and operated in accordance with all State, County and Village codes and regulations.



RECEIVED

DEC 29 2021

COMMUNITY DEVELOPMENT
DEPT

Do Not Write in This Space	
Date Submitted:	<u>12-29-21</u>
Fee Submitted:	<u>\$3,080.00</u>
File Number:	<u>22-0001</u>
Meeting Date:	<u>8/22/22</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Christopher Enright Phone 248.330.9395
 Address 628 E Parent Ave, Suite 100, Royal Oak, MI 48067 Fax _____
 E-Mail Address cenright@enrightarchitects.com
 (required)
 Name of Attorney Daniel Schairbaum, Dykema Phone 313.568.6800
 (if represented)
 Address 400 Renaissance Center, Detroit, MI 48243 Fax _____
 Name of Owner David Scheffler Phone 630.291.6072
 (required if other than applicant)
 Address 31W271 Army Trail Road, Wayne, IL 60184 Fax _____
 Name of Architect Christopher Enright, Enright Architects Phone 248.330.9395
 (if applicable)
 Address 628 E Parent Ave, Ste 100, Royal Oak, MI 48067 Fax _____

2. *Common Address/Location of Property XXXX S. Main Place, approx. 250' NW of the Main Place and Schmale Road (IL Rte 36) intersection

3. Requested Action: (check all that apply)
- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Subdivision – Minor/Major |
| <input type="checkbox"/> Courtesy Review | <input type="checkbox"/> Temporary Waiver/Code of Ordinances |
| <input type="checkbox"/> Development Staff Review | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input checked="" type="checkbox"/> Planned Development – Final | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input checked="" type="checkbox"/> Special Use Permit (requires Form C) |
| <input type="checkbox"/> Shared Parking Facility | <input type="checkbox"/> Map Amendment (requires Form D-1) |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Text Amendment (requires Form D2) |
| | <input type="checkbox"/> Staff Adjustment (requires Form E) |

Describe requested action Application to construct a new Belle Tire automotive repair and retail store

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 3,080

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
✓	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
✓	Site Plan Review	\$640
	Special Use:	
✓	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
✓	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Christopher Enright

Print Name



Signature

12-17-2021

Date

Revised 07/21



FORM C

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COMMUNITY DEVELOPMENT
DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.
Automotive retail / repair use is consistent with our neighbors, including (by not limited to): Firestone Complete Auto Care, Just Tires, Discount Tire, AutoZone Auto Parts, Nolte's Auto Repair, and Bartel's Auto Clinic.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.
This Development will meet all engineering, public health, safety and general welfare standards of the Village. Building will be fully fire suppressed and meet all aspects of NFPA as well as provide visual and audible security systems. Development will not require any special security of safety support from the Village other than standard emergency services.
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
This multi-million dollar development on an existing vacant lot will increase surrounding property values. Belle has a very active Property Management department that services and maintains their buildings on a scheduled basis so quality is maintained. Belle is a substantial, long standing entity that will provide constant support to the proposed facility and area.
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
Proposed building is a single story, 9,800 sf facility, similar in use, size and quality of the surrounding Commercial properties. Hours of operation are either similar or more restrictive to those of our Commercial neighbors. Proposed building layout reduces visual / audio impact to residential neighbors. Belle is committing to using battery operated hand tools. Proposed Use has very limited peak hour vehicular trips and will not create traffic congestion. All illumination shall be full "cut-off" to limit any light pollution.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

As the proposed site is along an existing commercial corridor and within the Geneva Crossing Subdivision, all required dry and wet utilities as well as other essential municipal services are or will be provided.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposed development will meet all required aspects of the zoning ordinance with one variance request for the flag pole height.

7. Other pertinent information or reason for request.

Per the Village of Carol Stream, Comprehensive Plan, June 2016, this development will take an existing vacant lot and construct a commercial business within the Corridor Commercial Area. Belle Tire will provide services to local residents as well as attract customers from outside the community along the highly traveled arterial roadway Schmale Road.

CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Tom Farace, AICP
Planning & Economic Development Manager
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL 60188

RE: Belle Tire Carol Stream
Existing Planned Development (Major), Special Use, and Variance Approval
Request

March 11, 2022

Mr. Farace and Plan Commission/Zoning Board of Appeals Members,

We are pleased to present our proposal to the Village of Carol Stream for a new Belle Tire store to be located at 490 Main Place, approximately 300' northwest of the Main Place and Schmale Road (IL Route 36) intersection. Our proposal includes the construction of a 9,800 square foot single story brick and cast stone veneer building with related infrastructure improvements.

For our proposed development, we are respectfully requesting approvals for:

1. **Major Change to an Existing Planned Development:** This proposed development will conform to the general planning policies of the Village of Carol Stream's Comprehensive Plan. Please see our responses to criteria items listed on the Special Use Application (Form C).
2. **Special Use to permit an Auto Repair and Service Use within the Geneva Crossing PUD in the B-3 General Business District.** Please refer to our responses to criteria items listed on the Special Use Application (Form C).
3. **Unified Development Code Variance Request:** To grant Belle Tire a reprieve from the requirement to install foundation landscaping in the exterior side yard. Please refer to our responses to standards listed on the General Variations (Form B-1).

Proposed Development Introduction

Belle Tire, celebrating 100 years this year, is a company privately owned by the Barnes family headquartered in Allen Park, Michigan. The company was started by Mr. Sam Waze in 1922 who named the business after his wife, Belle. The Waze family eventually partnered with the Barnes family, who purchased the interests in the early 1960's and is now in the third generation of ownership. Currently, Belle employs more than 2,000 people and has over 130 locations in Michigan, Ohio, Indiana, and Illinois. Construction

Phone: 248.258.6485 (o)
248.330.9395 (c)

628 E. Parent Avenue
Suite 100
Royal Oak, MI 48067

cenright@enrightarchitects.com

Belle Tire – Carol Stream
March 11, 2022

is currently underway in 6 locations (Aurora, St. Charles, Mokena, Orland Park, West Chicago, and Romeoville) with 4 recently opened (Villa Park, Naperville, Joliet, and Shorewood) in Illinois with 50 planned in 3 years.

Belle sells and installs passenger vehicle tires, various automotive parts and offers minor automotive repairs such as brakes, alignments, batteries, shocks and struts, and oil changes. No major engine, transmission repair or body work is conducted in the facility. All repair and installation work will take place inside the building and though rare, if vehicles are left overnight, they are stored inside. All scrap tires are stored in a specifically designated area inside the facility and are picked up by Belle vehicles on a regular basis. All floor drains in the service area are connected to an oil / water separator to prevent any unapproved chemicals from reaching the sanitary system. No outdoor displays are used.

Sales staff and porters handle all customer vehicles for service, and customers are discouraged from entering the service area. A well-appointed customer lounge is provided for those who choose to wait for service and installation to be completed. Since the service doors are clear glass, staff will not use vehicle horns to alert staff to open doors. There are no outdoor annunciators, PA systems or other noxious exterior noise sources. Electric tire equipment will reduce any potential noise concerns. Belle Tire has created a significant in-house Property Management group that is responsible for all maintenance, repair and care of the property and building after construction. Should the Village require to contact Belle for any reason, staff at headquarters is available 24 hours a day, seven days a week.

Hours of operation in all stores is Tuesday, Wednesday and Friday – 8:00 a.m. to 6:00 p.m., Monday and Thursday – 8:00 a.m. to 8:00 p.m., Saturday – 8:00 a.m. to 5:00 p.m. and closed on Sunday. This location anticipates a maximum employee shift of 10 to 15 employees on staff in various capacities. Business deliveries occur 2-3 times a week for approximately 30 minutes per visit.

The exterior of the facility is comprised of brick veneer, cast stone detailing, small continuous EIFS cornice, clear glazing and aluminum frame at the showroom, striated clear glazing and aluminum frame at the remaining inventory areas, and wall washing feature lighting at the perimeter of the building. All landscape, lighting and site elements meet or exceed Village standards. One HVAC roof top unit is proposed and will be obscured by parapet walls and the proposed entry tower. All other roof elements such as plumbing vents, exhaust fans and the like will be obscured by the parapet walls at the rear portion of the building. The interior of the facility is completely suppressed with a NFPA approved sprinkler system.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Enright", written over a horizontal line.

Christopher Enright, NCARB

Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 3, 2022 and the last publication of the notice was made in the newspaper dated and published on August 3, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 3, 2022.

Examiner Publications, Inc.

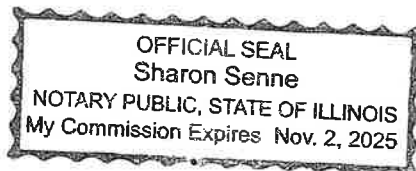
By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 3 day of August, A.D. 2022.

Notary Public



PUBLIC NOTICE FILE #22-0001

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 22, 2022 at 6:00 p.m. to consider an application from Christopher Enright Architects/Belle Tire for the following actions:

An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream Unified Development Ordinance; and

A Special Use Permit for Auto Repair and Service, in accordance with Section 16-3-11 of the Unified Development Ordinance

For the property located at 490 Main Place (PIN 05-04-304-081).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

<https://us02web.zoom.us/join/7g7EaJn2Rh-mh2WF6Tg92A>. Or join by phone: Dial (for higher quality, dial a number based on your current location).

+1 312 626 6799 or +1 301 715 8592 or +1 846 558 8656

Webinar ID: 826 3851 4317 International numbers available: <https://zoom.us/j/adsnXEZQK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Faraca, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfaraca@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at www.carolstream.org. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As Published in the Examiner August 3, 2022

CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

EXHIBIT A

628 E. Parent Avenue
Suite 106
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

RECEIVED
MAR 21 2022

COMMUNITY DEVELOPMENT
DEPT



BELLE TIRE - VILLAGE OF CAROL STREAM, IL

490 Main Place
Carol Stream IL. 60188

21-100 Belle Tire
Carol Stream, IL
Village Re-Submittal
March 11, 2022

DRAWING ISSUE

December 15, 2021 Village Submittal
February 09, 2022 Village Re-Submittal
March 11, 2022 Village Re-Submittal

BUILDING AREA

TABLE	OCCUPANT LOAD
1004.1.1	<p>SHOWROOM AREA</p> <p>CUSTOMER WAITING - ROOM 112 396 S.F. - USE "BUSINESS AREAS" - 100 S.F. PER OCCUPANT 396 S.F. / 100 = 4 OCCUPANTS</p> <p>SALES AREA - ROOM 110 800 S.F. - USE "MERCANTILE - BASEMENT AND MAIN FLOOR AREAS" - 30 S.F. PER OCCUPANT 800 S.F. / 30 S.F. PER OCCUPANT = 30 OCCUPANTS</p> <p>OFFICE - ROOM 109 79 S.F. - USE "BUSINESS AREAS" - 100 S.F. PER OCCUPANT 79 S.F. / 100 = 79 OCCUPANTS</p> <p>CUSTOMER TOILET - ROOM 108 60 S.F. - USE "BUSINESS AREAS" - 100 S.F. PER OCCUPANT 60 S.F. / 100 = 60 OCCUPANTS</p> <p>TOTAL SHOWROOM OCCUPANTS - 35.39 = 36 OCCUPANTS ONE EXIT REQUIRED</p> <p>SHOP AREA</p> <p>MECHANICAL - ROOM 104 156 S.F. - USE "MECHANICAL ROOMS" 300 S.F. PER OCCUPANT 156 S.F. / 300 = 52 OCCUPANTS</p> <p>PARTS - ROOM 105 196 S.F. - USE "WAREHOUSES" - 500 S.F. PER OCCUPANT 196 S.F. / 500 = 39 OCCUPANTS</p> <p>STORAGE - ROOM 113 130 S.F. - USE "WAREHOUSES" - 500 S.F. PER OCCUPANT 130 / 500 = 26 OCCUPANTS</p> <p>LUNCH ROOM - ROOM 115 100 S.F. - USE "BUSINESS AREAS" - 100 S.F. PER OCC. 100 / 100 = 1 OCCUPANT</p> <p>LOCKER ROOM - ROOM 107 100 S.F. - "USE LOCKER ROOMS" - 50 S.F. PER OCCUPANT 100 / 50 = 2 OCCUPANTS</p> <p>INVENTORY - ROOM 102 1730 S.F. - USE "WAREHOUSES" - 500 S.F. PER OCCUPANT 1730 / 500 = 3.46 OCCUPANTS</p> <p>SERVICE BAYS - ROOM 102 4600 S.F. - USE "PARKING GARAGES" - 200 S.F. PER OCC. 4600 / 200 = 23 OCCUPANTS</p> <p>SCRAP TIRES - ROOM 101 420 S.F. - USE "WAREHOUSES" - 500 S.F. PER OCCUPANT 420 / 500 = .84 OCCUPANTS</p> <p>UPPER LEVEL INVENTORY 3000 S.F. - USE "WAREHOUSES" - 500 S.F. PER OCCUPANT 3000 / 500 = 6 OCCUPANTS</p> <p>TOTAL SERVICE AREA OCCUPANTS - 38 ONE EXIT REQUIRED</p> <p>TOTAL OCCUPANTS IN FACILITY - 76 OCCUPANTS</p>
1005.1	32 INCHES MINIMUM CLEAR WIDTH PROVIDED
1015.2.1 2014 IBC	TWO EXITS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING.
1016.1 2014 IBC	EXIT ACCESS TRAVEL DISTANCE USE "M" WITHOUT SPRINKLER SYSTEM = 250 FEET USE "S-1" WITHOUT SPRINKLER SYSTEM = 250 FEET



CONTACT INDEX

<p>OWNER Barnes Development Company LLC 1000 Enterprise Drive Allen Park, MI 48101 313.271.9400</p>	<p>ARCHITECT Christopher Enright Architects 628 E Parent Ave, Suite 106 Royal Oak, MI 48067 Contact: Chris Enright 248.258.6485 (p) 248.330.9395 (c) cenright@enrightarchitects.com</p>	<p>CIVIL ENGINEER Christopher Enright Architects 628 E Parent Ave, Suite 106 Royal Oak, MI 48067 Contact: Melanie Hock 248.258.6485 (p) 412.420.0862 (c) mhock@enrightarchitects.com</p>	<p>GEOLOGICAL ENGINEER ATLAS Contact: Pamela Wheeler 248.853.2673 Pamela.wheeler@oneatlas.com</p>
<p>PLASTIC LAM. / CABINETRY Cabinet One 4571 White Lake Court Clarkston, MI 48346 248.625.9440 p 248.625.0544 f cabinetone@sprintpcs.com</p>	<p>Village of Carol Stream, IL Address: 500 N. Gary Ave. Carol Stream, IL 60188 Planning / Zoning Tom Farace tfarace@carolstream.org 630.871.6220</p>	<p>FIRE DEPARTMENT Carol Stream Fire District 365 N. Kuhn Rd. Carol Stream, IL 60188 Fire Chief: Robert Schultz info@carolstreamfire.org 630.668.4836</p>	<p>Village of Carol Stream, IL Public Works <u>Streets Division</u> 124 gerzevske Lane, Carol Stream, IL 60188 Jason Pauling jpauling@carolstream.org 630.870.6260 <u>Water and Sewer Division</u> Phil Modaff pmodaff@carolstream.org 630.668.4836</p>
<p>FLAG POLE Rocket Enterprises 30660 Ryan Road Warren, MI 48092 CONTACT: 588.751.7600 (p) 588.751.7638 (f) info@rocketenterprise.com</p>	<p>TIRE MACHINES / EQUIPMENT Hennessy Industries / Coats 1601 J.P. Hennessy Drive La Vergne, TN 37086 Contact: Bob Beltz 800.688.6359(p) bob.beltz@amniccoats.com</p>	<p>HOISTS / LIFTS Challenger Lifts Contact: Trevor Coleman Sr. Key Account Manager Great Lakes Regional Manager (419) 349.8834 Trevor@challengertilts.com</p>	<p>RACKS / STORAGE SYSTEMS Rayhaven Group 35901 Schoolcraft Rd. Livonia, MI 48150 Contact: Peter Huebner 734.744.9280 (p) 734.744.9270 (f) huebner@rayhaven.com</p>
			<p>ELECTRIC: ComEd 877.426.6331 GAS: NICOR Gas 1844 Farry Rd. Naperville, IL 60563 Foram Shah fshah@southernco.com 847.598.4011 Cable TV: Comcast Telecom Provider: AT&T</p>

DRAWING INDEX

	December 15, Village Submittal	February 09, 2022 Village Re-Submittal	March 11, 2022 Village Re-Submittal
COVER SHEET			
CIVIL			
C-000 COVER SHEET			
ALTA (1 of 2) ALTA/INSPS LAND TITLE & TOPOGRAPHIC SURVEY			
ALTA (2 of 2) ALTA/INSPS LAND TITLE & TOPOGRAPHIC SURVEY			
C-001 GENERAL NOTES			
C-002 CAROL STREAM SPECIFICATIONS			
C-100 DEMOLITION PLAN			
C-200 SITE PLAN			
C-300 GRADING PLAN			
C-301 EROSION & SEDIMENT CONTROL PLAN			
C-302 EROSION & SEDIMENT CONTROL DETAILS			
C-400 UTILITY PLAN			
C-600 DETAILS			
C-601 DETAILS			
C-602 DETAILS			
C-603 DETAILS			
C-604 WHEATON SANITARY DISTRICT DETAILS & SPECS			
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ARCHITECTURAL			
A-001 SIGN PLAN			
A-101 FLOOR PLAN			
A-201 BUILDING ELEVATIONS			
A-202 BUILDING ELEVATIONS			
A-203 BUILDING ELEVATIONS			
A-204 DUMPSTER			
R-101 RENDERINGS			

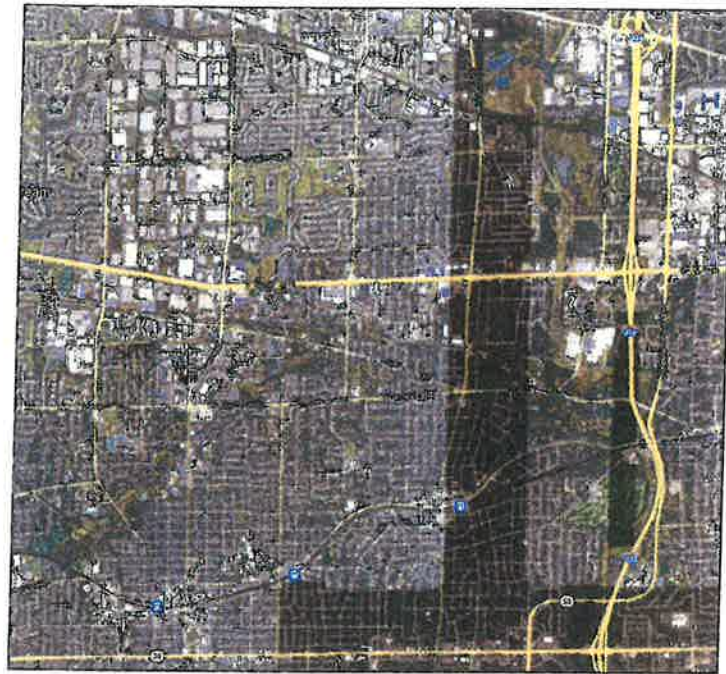
NOTES

- OWNER AGREES TO SEASONAL MAINTENANCE PROGRAM AND WILL REPLACE ALL DISEASED, DEAD OR DAMAGED PLANTS, REPLENISH MULCH, CONTROL WEEDS, FERTILIZE AND PRUNE BEGINNING UPON COMPLETION OF CONSTRUCTION OF LANDSCAPING.
- ANY HAZARDOUS MATERIALS USED, STORED OR PROCESSED ON SITE WILL BE SUBJECT TO ALL APPLICABLE REGULATIONS.
- ALL SITE LIGHTING SHALL BE SHIELDED OR DIRECTED TO REMAIN WITHIN THE SITE BOUNDARIES. THIS SHALL INCLUDE SHIELDING FROM VIEW FROM OFFSITE THE HOTSPOT OF LIGHTS
- OWNER AGREES TO PICK-UP DEBRIS ON PROPERTY AND BLOWING FROM PROPERTY WEEKLY AS NEEDED.
- ALL SIGNAGE TO CONFORM TO THE VILLAGE OF Carol Stream ZONING ORDINANCE
- OWNER AGREES THAT PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKING SHALL BE MAINTAINED IN A CLEARLY VISIBLE CONDITION.
- HAZARDOUS MATERIALS:
ALL WASTE LIQUIDS GENERATED FROM THE REPAIR OF VEHICLES IN THE FACILITY ARE TO BE CAPTURED AND DISPOSED OFF SITE BY LICENSED WASTE HAULERS. USED TIRES ARE STORED INSIDE THE FACILITY IN SPECIFICALLY DESIGNATED AREAS AND ARE DISPOSED / RECYCLED OFF-SITE BY LICENSED WASTE HAULERS. ALL LICENSES ARE AVAILABLE FOR REVIEW UPON REQUEST.
- NO VEHICLES TO BE LEFT OUTSIDE THE BUILDING OVERNIGHT, AND NO OUTDOOR STORAGE OF NEW OR USED AUTO PARTS.
- GENERAL CONTRACTOR TO PROVIDE ASSISTANCE TO ALL VENDORS OF OWNER SUPPLIED AND INSTALLED ELEMENTS IN UNLOADING AND PLACING SAID MATERIAL ON PROJECT SITE.
- DESCRIPTION OF OPERATIONS:
BELLE TIRE FACILITY SELLS AND INSTALLS TIRES AND AUTOMOTIVE PARTS FOR PASSENGER AND SMALL COMMERCIAL VEHICLES. BELLE ALSO OFFERS AUTOMOTIVE SERVICE INDEPENDENT FROM THE PRODUCTS THAT ARE SOLD ON SITE AS WELL AS REPAIR OF WINDSHIELDS. SALES ARE CONDUCTED IN THE SHOWROOM / WAITING AREA AND INSTALLED IN THE 10 CONNECTED SERVICE BAYS. MAXIMUM AMOUNT OF EMPLOYEES ON ANY SHIFT IS 10.

ENGINEERING PLANS

BELLE TIRE

490 MAIN PLACE
 VILLAGE OF CAROL STREAM, BLOOMINGDALE TOWNSHIP, DUPAGE COUNTY, ILLINOIS
 S4 T39N R10E



VICINITY MAP
 NO SCALE



LOCATION MAP
 NO SCALE

ADD/REV NO.	DATE	SHEET NUMBER	SHEET TITLE
	3/11/2022	C-000	COVER SHEET
	10/28/2021	ALTA (1 OF 2)	ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
	10/28/2021	ALTA (2 OF 2)	ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
	3/11/2022	C-001	GENERAL NOTES
	3/11/2022	C-002	CAROL STREAM SPECIFICATIONS
	3/11/2022	C-100	DEMOLITION PLAN
	3/11/2022	C-200	SITE PLAN
	3/11/2022	C-300	GRADING PLAN
	3/11/2022	C-301	EROSION & SEDIMENT CONTROL PLAN
	3/11/2022	C-302	EROSION & SEDIMENT CONTROL DETAILS
	3/11/2022	C-400	UTILITY PLAN
	3/11/2022	C-600	DETAILS
	3/11/2022	C-601	DETAILS
	3/11/2022	C-602	DETAILS
	3/11/2022	C-603	DETAILS
	3/11/2022	C-604	WHEATON SANITARY DISTRICT DETAILS & SPECS
	3/11/2022	L1.1	PLANTING PLAN
	3/11/2022	L2.1	PLANTING DETAILS
	3/11/2022	PH-100	PHOTOMETRICS PLAN

PROJECT TEAM

OWNER/DEVELOPER/APPLICANT

CHRISTOPHER ENRIGHT ARCHITECTS
 628 E. PARENT AVE, SUITE 106
 ROYAL OAK, MI 48067
 CONTACT: CHRIS ENRIGHT, NCARB
 PHONE: 248.258.6485

CIVIL ENGINEER

CHRISTOPHER ENRIGHT ARCHITECTS
 628 E. PARENT AVE, SUITE 106
 ROYAL OAK, MI 48067
 CONTACT: MELANIE HOCK, PE
 PHONE: 248.258.6485

ARCHITECT

CHRISTOPHER ENRIGHT ARCHITECTS
 628 E. PARENT AVE, SUITE 106
 ROYAL OAK, MI 48067
 CONTACT: CHRIS ENRIGHT, NCARB
 PHONE: 248.258.6485

LANDSCAPE ARCHITECT

FARNSWORTH GROUP
 1051 ESSINGTON RD, SUITE 240
 JOLIET, IL 60435
 CONTACT: JACOB HECK, PLA, ASLA
 PHONE: 309.689.9888

LAND SURVEYOR

CAGE CIVIL ENGINEERING
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 CONTACT: SAM PHILLIPPE, PLS
 PHONE: 630.598.0007

LEGAL DESCRIPTION

LOT 3 IN GENEVA CROSSING PHASE II, BEING A PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT R2017-125315, IN DUPAGE COUNTY, IL

AGENCY/UTILITY CONTACTS

VILLAGE OF CAROL STREAM

COMMUNITY DEV.:
 500 N. GARY AVENUE
 TOM FARACE
 630.871.6234

PUBLIC WORKS - WATER & SEWER:
 124 GERZEVESKE LANE
 PHIL MODAFF
 630.871.6262

ENGINEERING:
 500 N. GARY AVENUE
 ADAM FREDERICK
 630.871.6220

CAROL STREAM FIRE DISTRICT:
 365 N. KUHN ROAD
 FIRE CHIEF - ROBERT SCHULTZ
 630.668.4836

UTILITIES

GAS:
 NICOR
 FORAM SHAH
 847.598.4011

ELECTRIC:
 COMED
 1.877.426.6331

TELECOM:
 AT&T
 COMCAST

SANITARY:
 WHEATON SANITARY DISTRICT
 630.668.1515

RECEIVED
 MAR 21 2022
 COMMUNITY DEVELOPMENT
 DEPT

CHRISTOPHER ENRIGHT ARCHITECTS
 A PROFESSIONAL CORPORATION

628 E. Parent Avenue
 Suite 106
 Royal Oak, MI 48067
 248.258.6485 (O)
 248.330.9395 (C)
 cenright@enrightarchitects.com

Belle Tire
 Carol Stream, IL

490 Main Place
 Carol Stream, IL 60188

COVER SHEET

VILLAGE SUBMITTAL: DECEMBER 17, 2021

PERMIT REVIEW: FEBRUARY 9, 2022

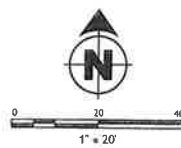
PERMIT REVIEW: MARCH 11, 2022

21-100

C-000

EXHIBIT B





RECEIVED
MAR 21 2022
COMMUNITY DEVELOPMENT DEPT

CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 106
Royal Oak, MI 48067
248.258.6485 (O)
248.330.9395 (C)
cenright@enrightarchitects.com

LEGEND

	C01 HEAVY DUTY ASPHALT PAVEMENT
	C02 LIGHT DUTY ASPHALT PAVEMENT
	C03 HEAVY DUTY CONCRETE PAVEMENT
	C04 CONCRETE SIDEWALK

BID ALTERNATE #1:
INSTALLATION OF LIGHT AND HEAVY DUTY CONCRETE PAVEMENT (DETAILS ON C600) IN LIEU OF ALL LIGHT AND HEAVY DUTY ASPHALT PAVEMENT.

NOTES

- REFER TO GENERAL NOTES ON SHEET C-001, AND CAROL STREAM SPECIFICATIONS ON SHEET C-002 FOR ADDITIONAL INFORMATION.
- THE BASIS FOR THE GEOMETRIC LAYOUT IS THE EASTERN PROPERTY LINE.
- DIMENSIONS ARE TO EDGE OF PAVEMENT IN ALL PAVED AREAS, BACK OF CURB IN GRASS/LANDSCAPE AREAS AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ANY CONTRACTOR DAMAGE TO EXISTING PAVEMENT OR CURBS TO REMAIN SHALL BE REMOVED AND RESTORED TO PROPOSED SPECIFICATIONS.
- EXISTING CONDITIONS ARE AS SHOWN PER SURVEY BY OTHERS.

SITE SUMMARY

LOT SIZE:	±1.54 AC.
ZONING:	B-3, GENERAL BUSINESS DISTRICT
BUILDING SIZE:	9,800 SF.
BUILDING SETBACKS:	
FRONT	25 FT.
SIDE (EXTERIOR)	25 FT.
SIDE (INTERIOR)	15 FT.
REAR	40 FT.
PARKING SETBACKS:	
FRONT	7 FT.
SIDE (EXTERIOR)	7 FT.
SURROUNDING ZONING:	
NORTH	B-3
SOUTH	B-3
EAST	B-3
WEST	B-3
MAX F.A.R. (<0.6):	0.15

PARKING SUMMARY

MIN. SIZE:	9.5 FT. x 18 FT.
MIN. DRIVE WIDTH:	24 FT.
MIN. SPACES REQUIRED:	32 (0.5 SPACES/250 NFA + 1 SPACE/BAY)
SPACES PROVIDED:	47
ADA SPACES REQUIRED:	2
ADA SPACES PROVIDED:	2
NO. OF PARKING STALLS:	47

Belle Tire
Carol Stream, IL

490 Main Place
Carol Stream, IL 60188

SITE PLAN

VILLAGE SUBMITTAL: DECEMBER 17, 2021
PERMIT REVIEW: FEBRUARY 9, 2022
PERMIT REVIEW: MARCH 11, 2022

21-100

C-200

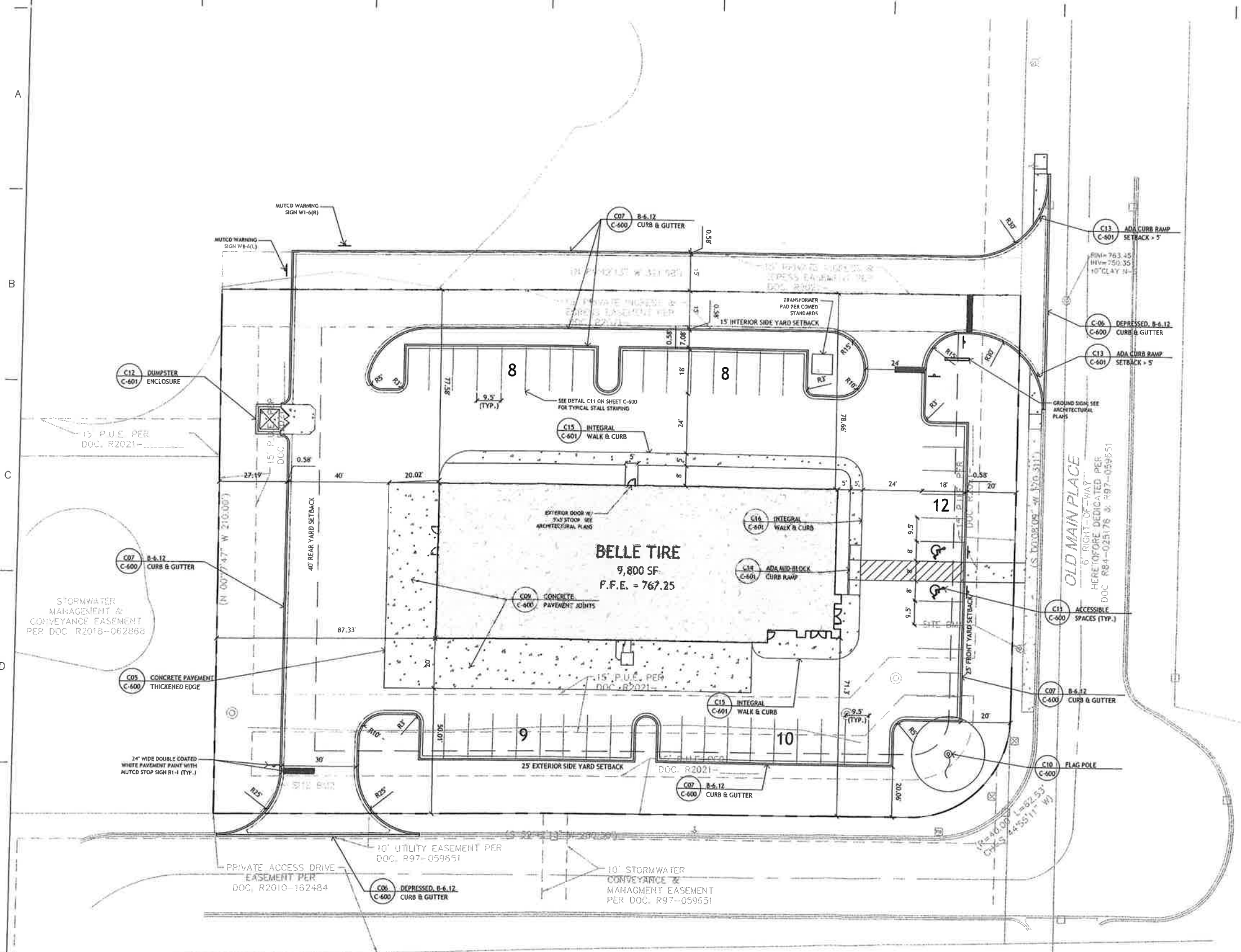







EXHIBIT C



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	
QUE BIC	7	Quercus bicolor	Swamp White Oak	2" Cal	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
ARO ARB	38	Aronia arbutifolia 'Brilliantissima'	Red Chokeberry	24" Tall	
RHU GRO	26	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" Tall	
RIB ALP	49	Ribes alpinum	Alpine Currant	24" Tall	
SPI PRC	42	Spiraea japonica 'SMNSJMFP' TM	Double Play Pink Spirea	18" Tall	
TAX DEN	8	Taxus x media 'Densiflora'	Dense Yew	18" Tall	
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
PEN BUN	104	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 GAL	
SCH STA	114	Schizachyrium scoparium 'Standing Ovation'	Little Bluestem Grass	1 GAL	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SP
	117	Geranium sanguineum 'Max Frei'	Dwarf Blood-red Cranesbill	1 GAL	24"
	64	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells	1 GAL	24"
	62	Liriope spicata	Creeping Lily Turf	1 GAL	24"
	7,350 sf	Mulch	Shredded Hardwood	mulch	
	11,493 sf	Turf Sod RTF	Rhizomatous Tall Fescue Sod	Sod	

GENERAL NOTES

- PLANT SUBSTITUTIONS WILL NOT BE ACCEPTABLE UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK, SOIL, LOCATION OF UTILITIES, AND WATER CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO SIMILAR CONDITIONS ELSEWHERE.
- PLANT SPACING WILL BE SCALED ON PLAN UNLESS NOTED OTHERWISE.
- PROVIDE PRE-EMERGENCE HERBICIDE AND CLEAN DOUBLE SHREDDED BARK MULCH, COLOR BLACK, TO A MINIMUM DEPTH OF THREE INCHES IN ALL PLANTING BEDS, OVER A 4.1 OZ WOVEN POLYPROPYLENE, NEEDLE-PUNCHED FABRIC WEED BARRIER.
- PLANTING MIX FOR ALL TREE PITS SHALL BE FORMED BY THOROUGHLY MIXING PIT EXCAVATIONS AND COMPOST (PH OF 5.5 TO 7.0) AT A 4:1 RATIO AND PLACING INTO EXCAVATED PIT AS SHOWN IN LANDSCAPE DETAILS. FORM PLANTING MIX IN PLANTING BEDS BY SPREADING TOPSOIL TO A DEPTH OF 4" COMPOST TO A DEPTH OF 1", AND ROTOTILLING THOROUGHLY TO A DEPTH OF 6".
- FINISH GRADES IN PLANTING BEDS ARE TO BE SMOOTH AND PROVIDE POSITIVE DRAINAGE PRIOR TO PLANT, MULCH, AND LAWN INSTALLATION.
- CONTRACTOR IS TO PREVENT DAMAGE TO CURBS AND PAVEMENTS ADJACENT TO CONSTRUCTION.
- PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS. WARRANTY INCLUDES REPLACING ANY PLANT WHICH IS 25% OR MORE DEAD, DISEASED, OR DISFIGURED ONCE DURING THE WARRANTY PERIOD.
- REMOVE ANY EXISTING LAWN AND OTHER MATERIAL HARMFUL TO PLANT GROWTH PRIOR TO FORMING PLANTING BEDS.
- PROVIDE A 5" DIAMETER SHREDDED HARDWOOD MULCH RING AROUND TREES NOT LOCATED IN PLANTING BEDS.
- PROVIDE QUALITY, GENUS, SIZE, SPECIES, AND VARIETY OF PLANTS COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK".
- MAINTAIN PLANTINGS AND BEDS BY SPRAYING, WATERING, WEEDING, RESTORING PLANT STAKES, AND GUY SUPPORTS AS REQUIRED TO ESTABLISH HEALTHY PLANTS FOR 30 DAYS FROM SUBSTANTIAL COMPLETION.
- ALL PLANT BEDS ABUTTING LAWN AREAS ARE TO BE SEPARATED BY SPADE CUT EDGING.
- IF THERE ARE DISCREPANCIES BETWEEN PLANT QUANTITIES ON THE PLANS AND THE PLANT SCHEDULE USE THE QUANTITIES FROM THE PLAN.
- THE SIZES INDICATED IN THE PLANT SCHEDULE ARE THE MINIMUM REQUIRED AT THE TIME OF PLANTING.
- IN AREAS LABELED FOR SEEDED LAWN AND DAMAGED BY CONSTRUCTION: SPREAD TOPSOIL TO A DEPTH OF 4", FINE FINISH GRADE, FERTILIZE (10-10-10 AT 5 LBS/1,000 SF), AND SPREAD "RTF" SEED AND MULCH METHOD 1 PER ARTICLES 250 AND 251 OF THE I.D.C.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:4 WITH EROSION-CONTROL BLANKETS AND INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS, IN LIEU OF MULCH METHOD 1.
- LAWN PLANTING TIMES: APRIL 1 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1.
- MAINTAIN LAWNS BY WEEDING, WATERING (SEE NOTE 21), REMULCHING, RESEEDING, AND ROLLING AS REQUIRED TO GROW A HEALTHY LAWN FOR 30 DAYS AFTER SUBSTANTIAL COMPLETION. AT END OF MAINTENANCE PERIOD, LAWN WILL BE REVIEWED BY OWNER'S REPRESENTATIVE. CONTRACTOR IS TO CORRECT LAWN TO SATISFACTION OF OWNER'S REPRESENTATIVE.
- SCHEDULE WATERING TO PREVENT WILTING, PUDDING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS. SATURATE LAWNS WITH FINE WATER SPRAY WITHIN 4 HOURS OF PLANTING. WATER WITH FINE SPRAY AT A MINIMUM RATE OF 1 INCH PER WEEK UNLESS RAINFALL PRECIPITATION IS ADEQUATE. SO TURF IS UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES. IF IRRIGATION SYSTEM IS FULLY OPERATIONAL AT TIME OF PLANTING, IRRIGATION SYSTEM MAY BE USED TO FULFILL MAINTENANCE WATERING REQUIREMENTS.
- SATISFACTORY TURF: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
- ALL DEAD, DAMAGED OR MISSING LANDSCAPE MATERIALS SHALL BE REPLACED PER THE CITY CODE.
- ANY CHANGES MADE TO THE APPROVED LANDSCAPE PLAN SHALL BE APPROVED BY THE CITY.
- SITE TO BE 100% IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM THAT IS DESIGN BUILT BY CONTRACTOR. CONTRACTOR SHALL UTILIZE HUNTER HYDRAWISE PRO-HC WI-PI IRRIGATION TIMER.

CODE	LANDSCAPE REQUIRED BY CODE	
	REQUIRED	PROPOSED
PARKING LOT PERIMETER	1 SHRUB OR NATIVE GRASS EVERY 2' NORTH - 207 = 67 PLANTS EAST - 175 = 58 PLANTS SOUTH - 241 = 80 PLANTS	NORTH = 40 SHRUBS, 38 GRASSES (78 PLANTS) EAST = 34 SHRUBS, 28 GRASSES (62 PLANTS) SOUTH = 47 SHRUBS, 32 GRASSES (79 PLANTS)
PARKING LOT INTERIOR	1 SHADE TREE PER ISLAND	1 SHADE TREE PER ISLAND
FOUNDATION PLANTINGS	1 SHRUB OR NATIVE GRASS EVERY 3' BUILDING FOUNDATION PLANTING BED - 207 = 68 PLANTS	42 SHRUBS, 81 GRASSES (123 PLANTS) + PERENNIALS FOR ADDED INTEREST

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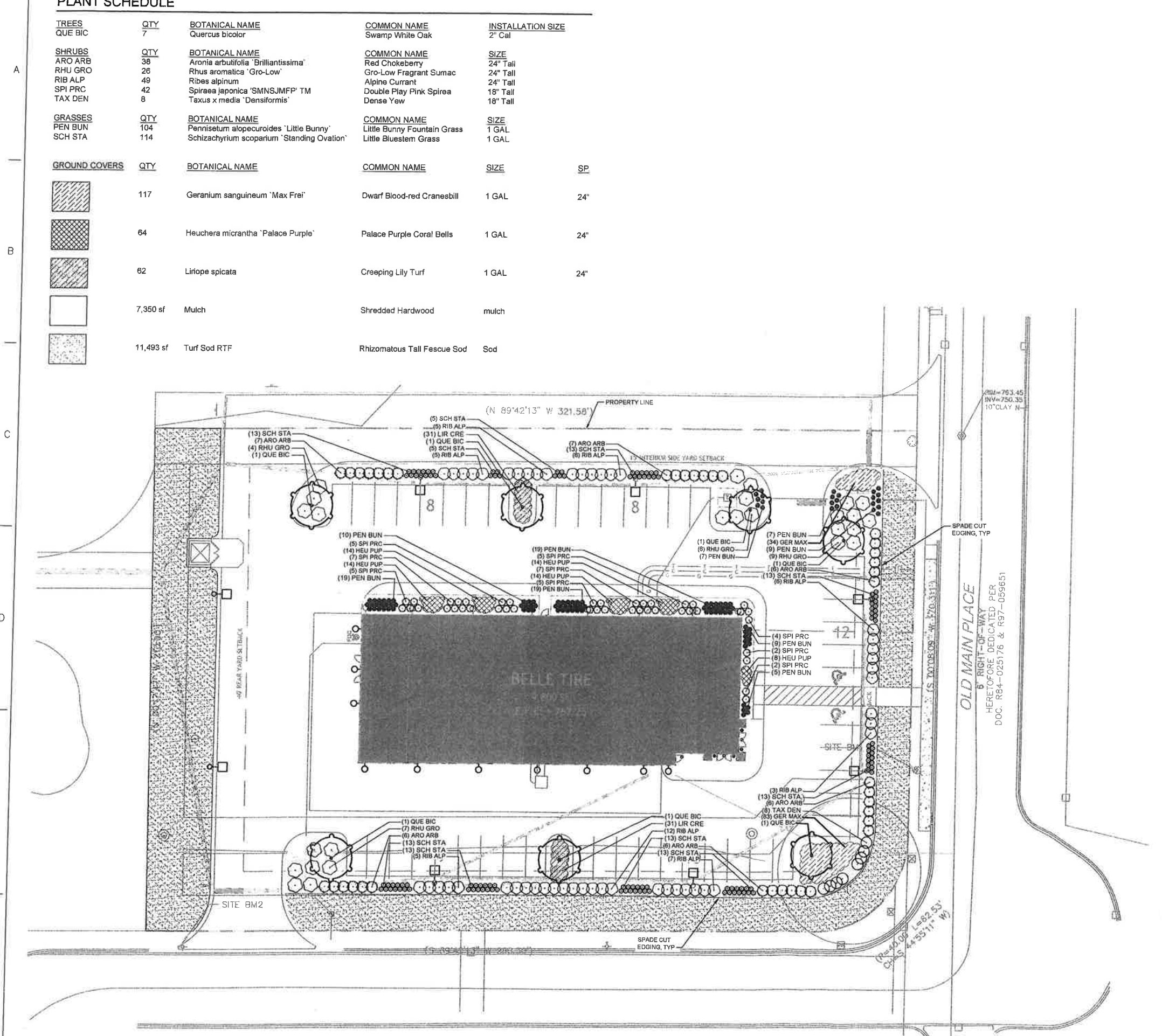
South Main Place
Carol Stream, IL 60188

PLANTING PLAN

VILLAGE SUBMITTAL: DECEMBER 17, 2021
PERMIT REVIEW: FEBRUARY 9, 2022
PERMIT REVIEW: MARCH 11, 2022

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L1.1



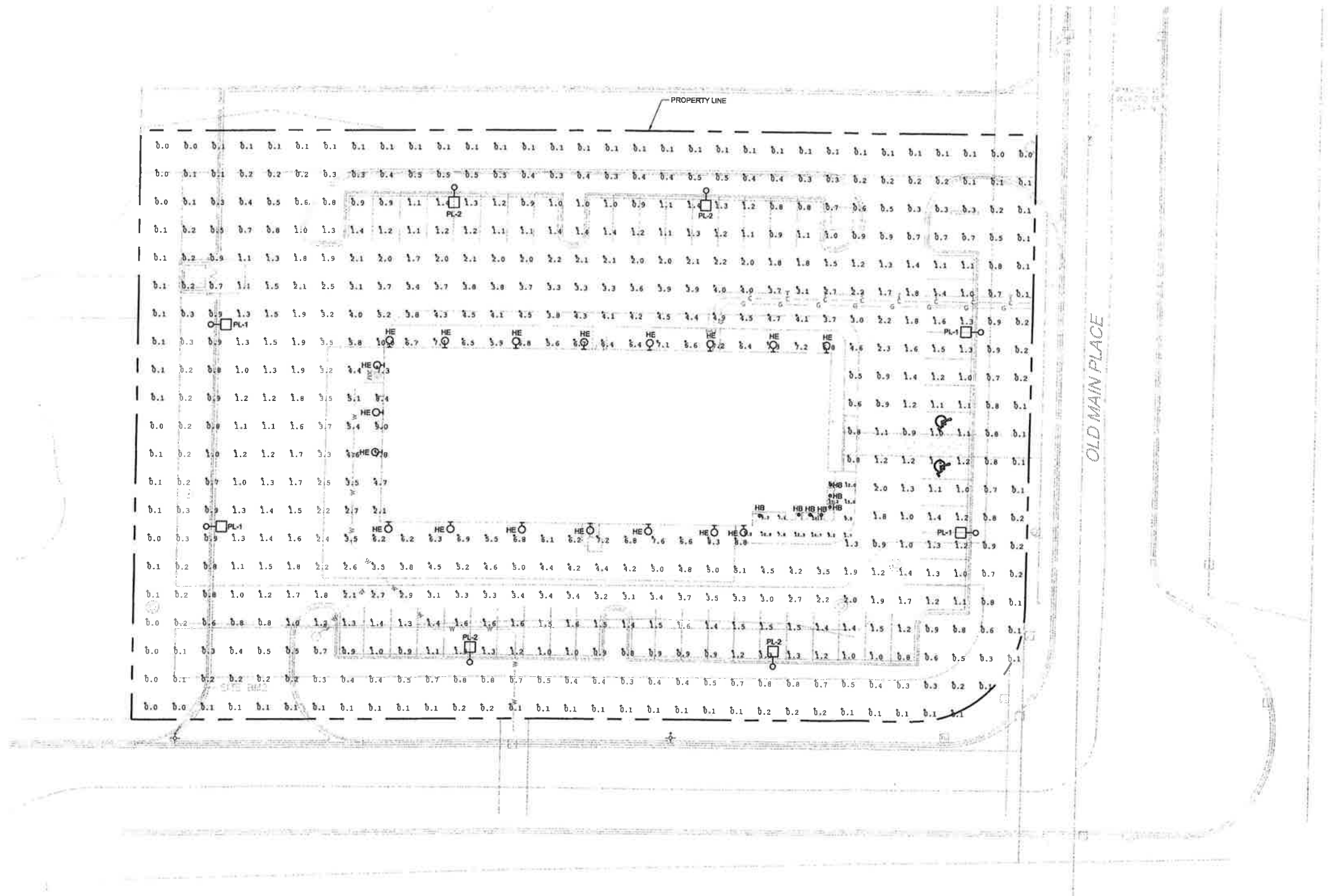
1 PLANTING PLAN
SCALE: 1"=20'

EXHIBIT D



STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
ENTRY	*	12.43 FC	25.2 FC	1.7 FC	14.92:1	7.31:1
OVERALL SITE	*	1.67 FC	10.0 FC	0.0 FC	N.A.	N.A.
PARKING AREA	*	2.74 FC	9.3 FC	0.5 FC	19.6:1	5.48:1
PROPERTY LINE	*	0.07 FC	0.1 FC	0.0 FC	N.A.	N.A.

LUMINAIRE SCHEDULE								
TYPE	SYMBOL	MANUFACTURER	CATALOG NUMBER	LAMP DESCRIPTION	LUMENS	LOAD (VA)	LIGHT LOSS FACTOR	DESCRIPTION
HB		PRESCOLITE	LC6M-SL-CML-24L-30K-B-WW	3000K, 80CRI, LED	2326	33	0.9	6" DOWNLIGHT, CLEAR ALZAK REFLECTOR, WALL WASH REFLECTOR, RECESSED IN CANOPY
HE		CREE	XSPW-B-WM-3ME-4L-57K-UL-WH	5700K, 70CRI, LED	4270	31	0.9	WALL MOUNT LUMINAIRE, TYPE III MEDIUM DISTRIBUTION, MOUNTED AT 13'-6" ABOVE FINISHED GROUND
PL-1		CREE	OSQ-A-XX-4ME-2-57K-UL-XXXX	5700K, 70CRI, LED	5402	53	0.9	AREA FLOOD LUMINAIRE, TYPE IV MEDIUM DISTRIBUTION, WITH BACKLIGHT SHIELD, MOUNTED ON 22'-0" POLE WITH 3'-0" CONCRETE BASE
PL-2		CREE	OSQ-A-XX-2ME-2-57K-UL-XXXX	5700K, 70CRI, LED	5402	53	0.9	AREA FLOOD LUMINAIRE, TYPE II MEDIUM DISTRIBUTION, WITH BACKLIGHT SHIELD, MOUNTED ON 22'-0" POLE WITH 3'-0" CONCRETE BASE



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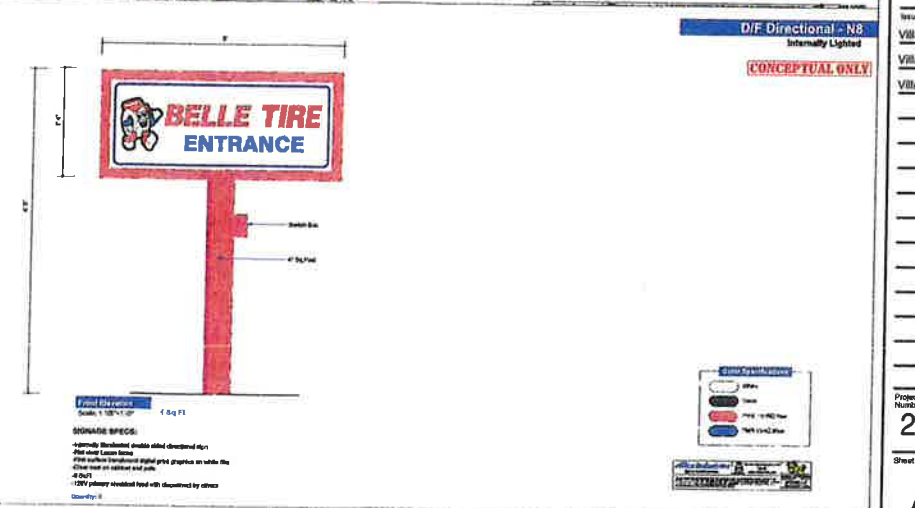
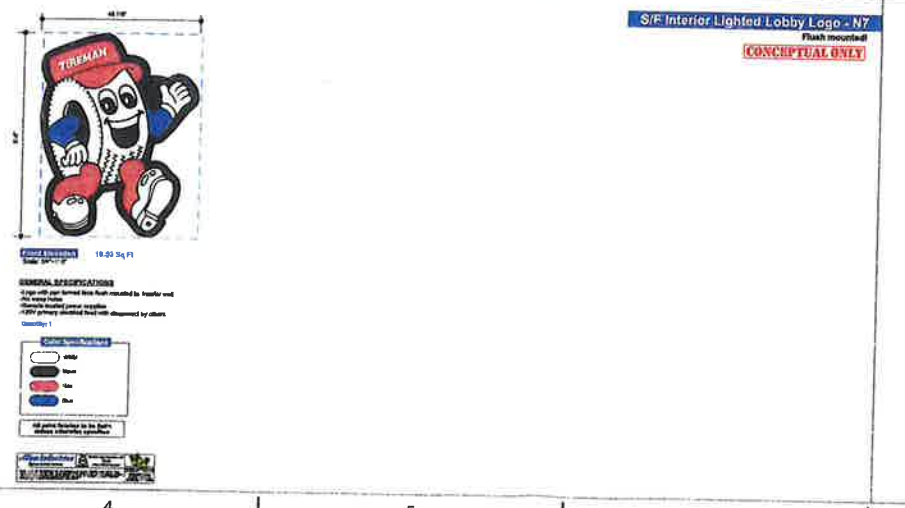
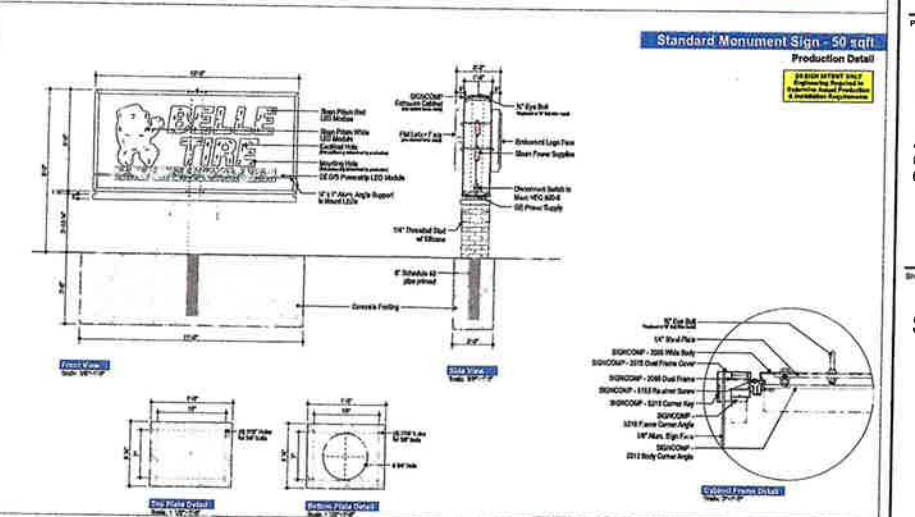
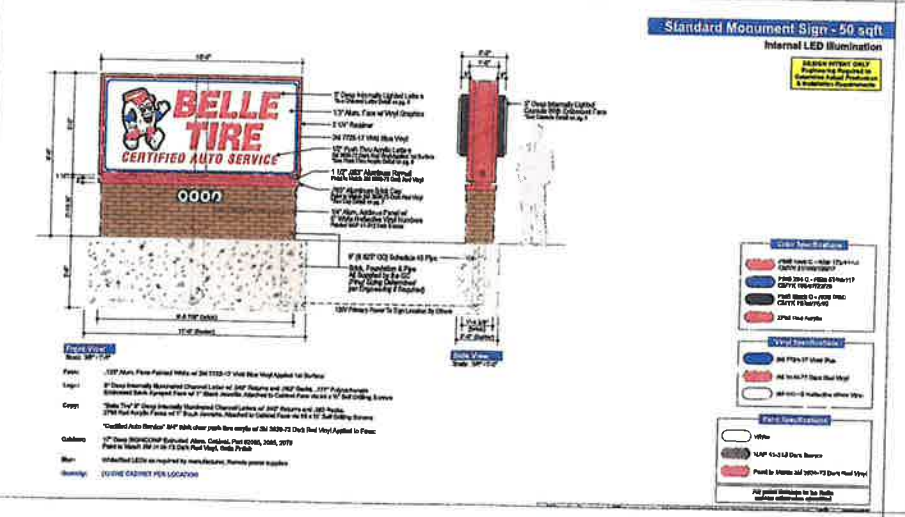
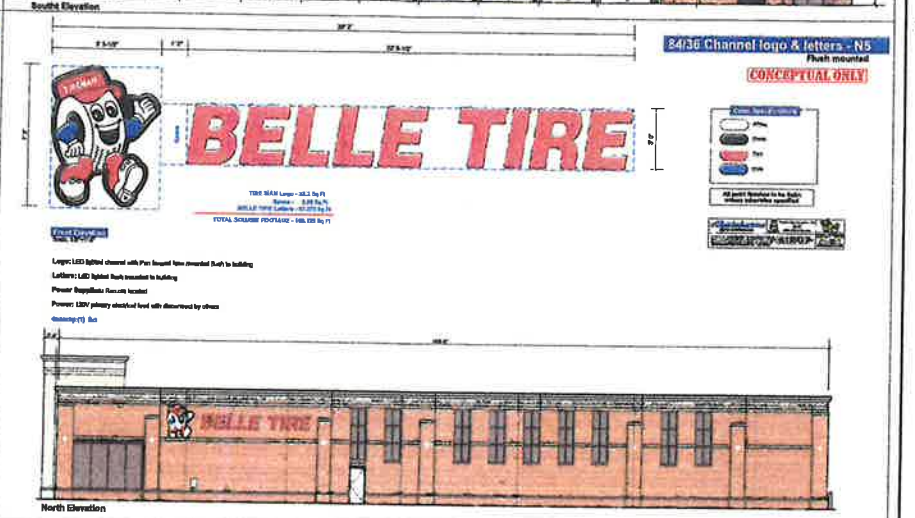
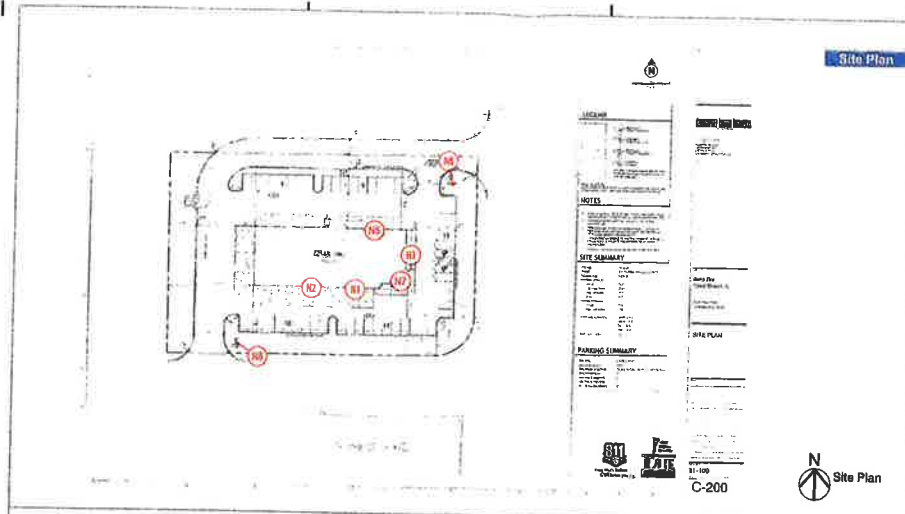
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PHOTOMETRIC
PLAN

Issued by
VILLAGE SUBMITTAL: DECEMBER 17, 2021
PERMIT REVIEW: FEBRUARY 9, 2022
PERMIT REVIEW: MARCH 11, 2022

Project Number
21-100

Sheet Number
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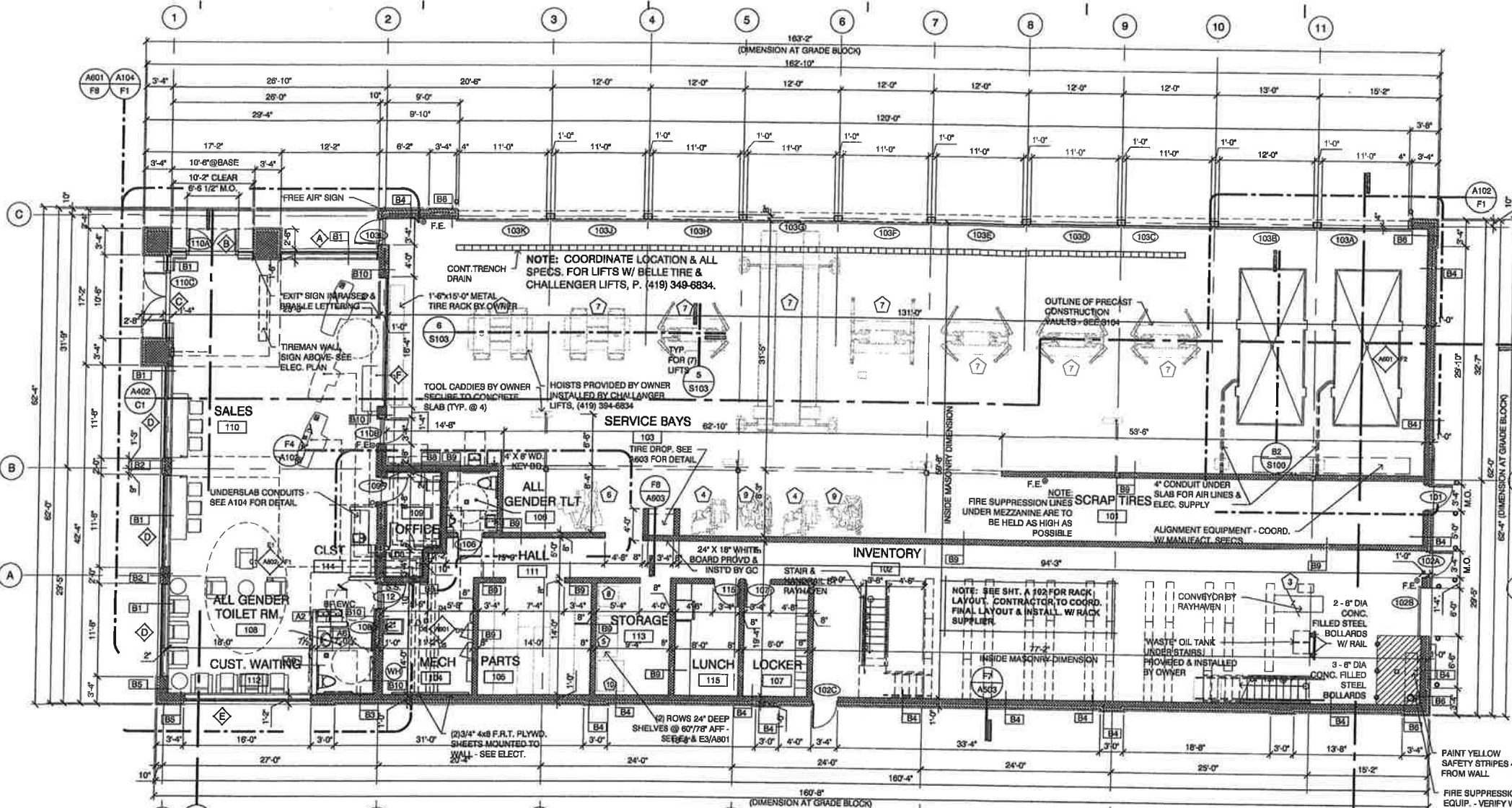
Sign Plan

Issued for:
Village Submit: December 15, 2021
Village Re-Submit: February 02, 2022
Village Re-Submit: March 11, 2022

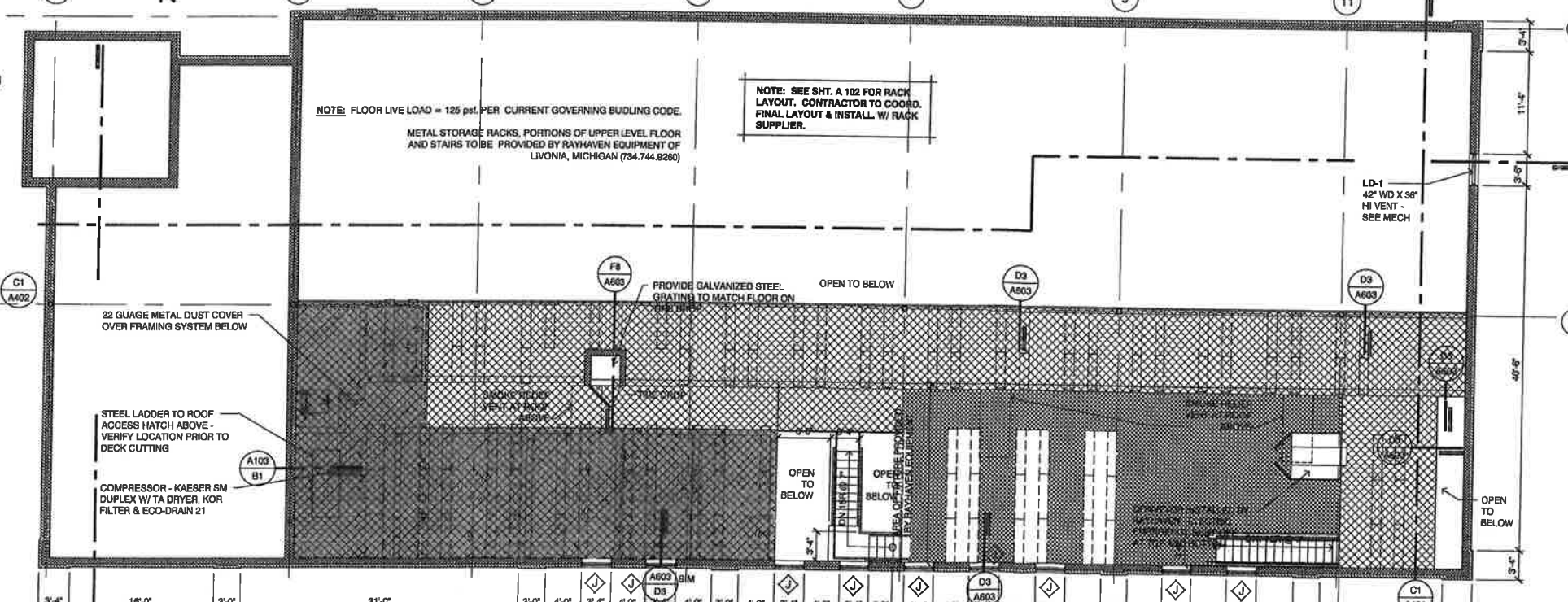
Sheet Number
21-100

A001

EXHIBIT F



Main Level Floor Plan
SCALE: 1/8" = 1'-0"



Upper Level Grating Plan
SCALE: 1/8" = 1'-0"

Equipment List (By Owner)

1 CONVEYOR	7 LIFTS (8)	COORD. W/ BELLE TIRE & CHALLENGER EQUIP. SALES & SERVICE
2 WHEEL BALANCER - COORDINATE WITH HUNTER	8 BRAKE LATHE (2)	COORD. W/ BELLE TIRE
3 SAFETY CLEAN - COORDINATE WITH BELLE	9 RIM CLAMP - COORDINATE WITH BELLE	
4 TIRE MACHINE - COORDINATE WITH HUNTER	10 BENCH GRINDER ON METAL TABLE	COORD. W/ BELLE TIRE

- NOTES:**
- CONVEYOR SHALL BE MANUFACTURED, INSTALLED & GUARDED IN ACCORDANCE W/ THE REQUIREMENTS OF ASME B20.1.
 - ALL FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH NFPA 13 AND THE INTERNATIONAL FIRE CODE.
 - ALL NON-CARPETED WALKING SURFACES, INCLUDING MEANS OF EGRESS WALKING SURFACES, SHALL HAVE A SLIP-RESISTANT SURFACE.
 - COORDINATE METAL STORAGE RACK, LIFT EQUIPMENT & METAL STAIRS WITH THE ASSOCIATED EQUIPMENT SUPPLIERS.
 - METAL LOCKERS LOCATED IN BREAK ROOM TO BE PROVIDED BY RAYHAVEN EQUIPMENT OF LIVONIA MICHIGAN (734.744.8280)
 - VERIFY ALL COLUMN LINE DIMENSIONS W/ STEEL FABRICATION DOCUMENTS
 - ALL ACCESSIBLE DOORS, RAMPS, PARKING SPACES, ETC. SHALL MEET WITH STANDARDS SET BY THE 2015 INTERNATIONAL BUILDING CODE
 - ALL SIGNAGE, INTERIOR AND/OR EXTERIOR SHALL CONFORM WITH THE VILLAGE ORDINANCE
 - ALL OPERABLE PARTS SHALL COMPLY WITH SECTION 309 ICC/ANSI AND IBC 2015 (1109.13)
 - ALL AUDIBLE DEVICES COMPLY WITH IBC 2015 (903.4.2)
 - ALARMS SHALL MEET THE REQUIREMENTS SET FORTH IN THE ICC/ANSI AT 17.1 SECTION (702)
 - VISUAL & AUDIBLE ALARMS SHALL MEET THE REQUIREMENTS SET FORTH IN MBC 2015 (907.9.1.1) (907.9.2)
 - NOT USED
 - ALL WOOD TO BE FIRE-RETARDANT TREATED
 - TACTILE SIGNAGE TO BE INSTALLED AT EACH EXIT STAIR AND EXIT DISCHARGE
 - FACILITY DOES NOT REPAIR VEHICLES WITH NONODORIZED GASES AND IS NOT DESIGNED TO ACCOMMODATE SUCH VEHICLES
 - AUTOMATIC FIRE SPRINKLER SHOP DRAWINGS SHALL BE SUBMITTED TO THE VILLAGE OF CAROL STREAM BY THE CONTRACTOR AND MEET NFPA 13
 - FACILITIES AND ELEMENTS IDENTIFIED TO BE ACCESSIBLE SHALL USE THE INTERNATIONAL SYMBOL FOR THE FRONT ENTRY

WALL TYPES

TYPE	DETAIL	DESCRIPTION	REMARKS
A1 A2 A3 A4 A5		A) 5/8" GYP BOARD B) METAL STUDS / 20 GA. / 16" O.C. C) 5/8" GYP BOARD D) SOUND INSULATION E) FT-1 CERAMIC TILE WAJNSCOT F) FT-1 CERAMIC TILE WAJNSCOT (NOTE: INSULATION TO HAVE A FLAME SPREAD RATING OF 75 OR LESS & A SMOKE-DEVELOPED RATING OF 450 OR LESS WHEN TESTED IN ACCORDANCE W/ ASTM E84)	A2 OMIT D A3 OMIT D & F A4 OMIT D, E, F A5 OMIT C, D, E
A6		A) 5/8" GYPBOARD / CERAMIC TILE B) 6" METAL STUD 20 GA. / 16" O.C. C) FULL BATT SOUND INSULATION D) FT-1 CERAMIC TILE WAJNSCOT	
B1		A) 10" ARCHITECTURAL BLOCK B) 1 1/2" GALV. MTL. FURRING C) RIGID INSULATION D) 1/2" GYP. BD. E) MODULAR CLAY BRICK F) GLAZING SYSTEM ABOVE G) FOAMED-IN BLOCK INSULATION H) CERAMIC TILE WAJNSCOT (SEE ELEVATIONS)	
B2		A) 10" ARCHITECTURAL BLOCK B) 1 1/2" GALV. METAL CHANNELS C) RIGID INSULATION D) 1/2" GYP. BD. E) MODULAR CLAY BRICK F) LINE OF BRICK VENEER & 6" CONC. BLOCK ABOVE G) FOAMED-IN BLOCK INSULATION H) CERAMIC TILE WAJNSCOT (SEE ELEVATIONS)	
B3 B4		A) 10" CONC. BLOCK BASE W/ 6" BLOCK ABOVE B) MODULAR CLAY BRICK C) LINE OF BRICK VENEER & 6" CONC. BLOCK ABOVE D) FOAMED-IN BLOCK INSUL E) 1 1/2" GALV. MTL. FURRING F) RIGID INSULATION G) 1/2" GYP. BD. H) CERAMIC TILE WAJNSCOT (SEE ELE.)	B4 OMIT E,F,G,H
B5 B6		A) 12" CONC. BLOCK BASE W/ 10" BLOCK ABOVE B) MODULAR CLAY BRICK C) LINE OF BRICK VENEER & 10" CONC. BLOCK ABOVE D) FOAMED-IN BLOCK INSUL E) 1 1/2" GALV. MTL. FURRING F) RIGID INSULATION G) 1/2" GYP. BD. H) CERAMIC TILE WAJNSCOT (SEE ELE.)	B6 OMIT E,F,G,H PAINT BLOCK AT PIERS AND COLUMNS ONLY. SEE PLAN FOR LOCATIONS
B7 B8 B9		A) 5/8" GYP. BOARD (SALES SIDE) B) 1 1/2" GALV. FURRING STRIPS C) 8" CONC. BLOCK D) 1 1/2" GALV. FURRING STRIPS E) 5/8" GYP. BOARD	B8 OMIT D, E PAINT BLOCK B9 OMIT A, B, D, E PAINT BLOCK
B10 B11		A) 12" CONC. BLOCK WALL B) 1 1/2" GALV. FURRING STRIPS C) 5/8" GYP BOARD D) CERAMIC TILE WAJNSCOT (SEE ELEVATIONS) E) 1 1/2" GALV. FURRING STRIPS F) 1/2" GYP. BD.	B10 OMIT E, F PAINT BLOCK B11 OMIT B, C, D PAINT BLOCK



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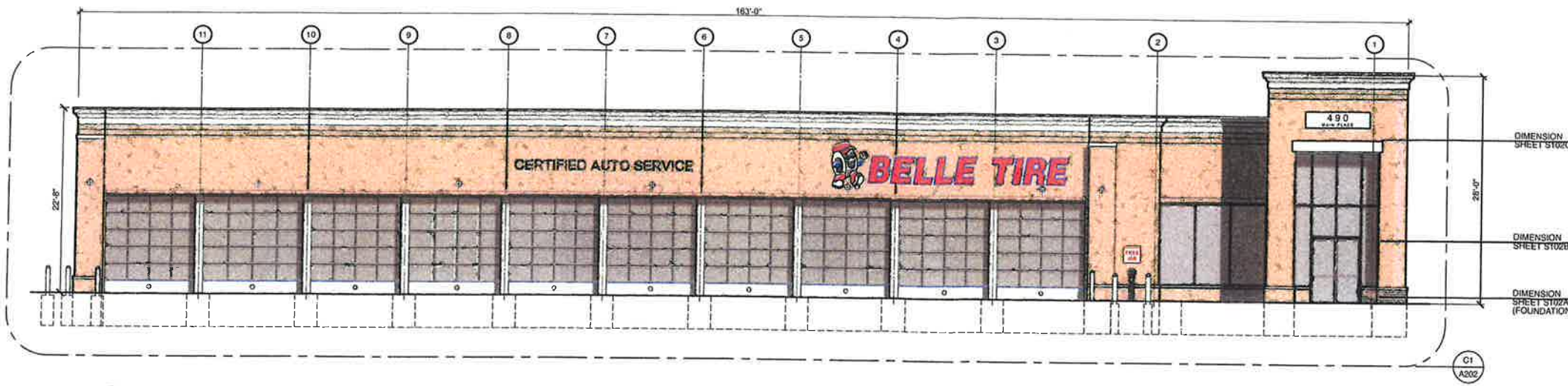
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Floor Plan

Submitted: December 15, 2021
Village Re-Submit: February 02, 2022
Village Re-Submit: March 11, 2022

Sheet Number:
21-100

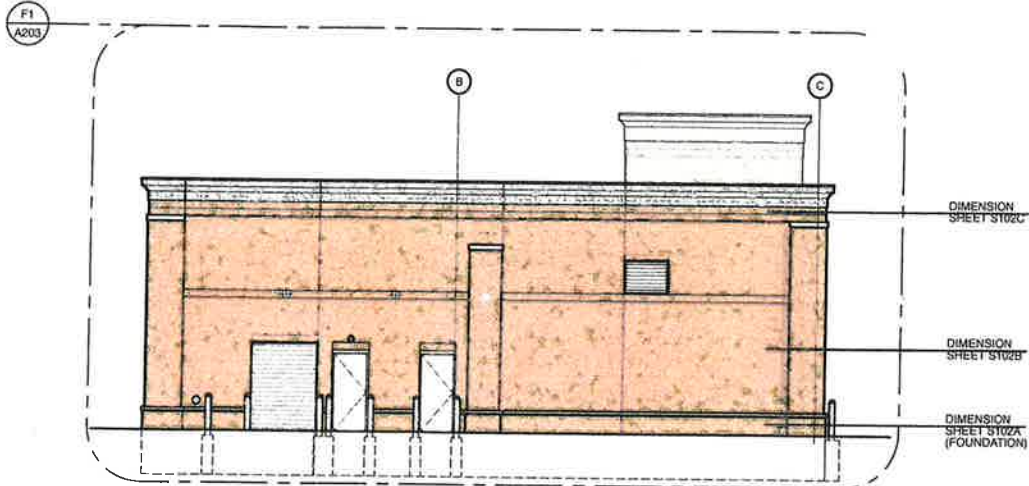
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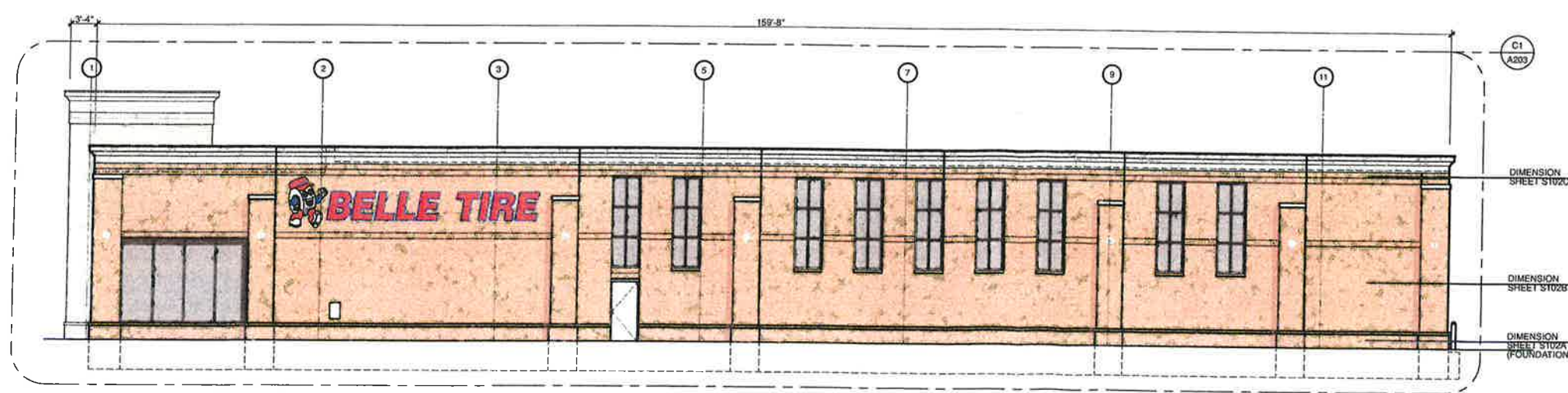
B1 South Elevation
A201 SCALE: 1/8" = 1'-0"



D1 East Elevation
A201 SCALE: 1/8" = 1'-0"



D5 West Elevation
A201 SCALE: 1/8" = 1'-0"



F1 North Elevation
A201 SCALE: 1/8" = 1'-0"

EXHIBIT H-1

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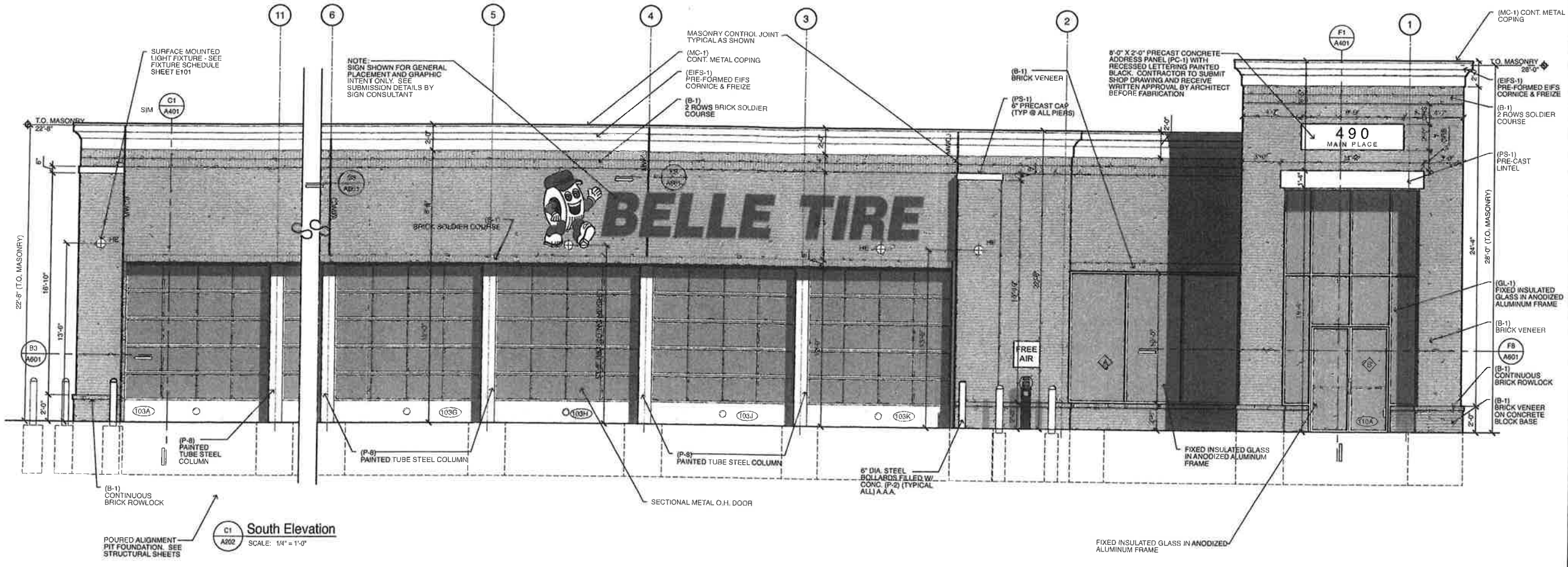
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Building Elevations

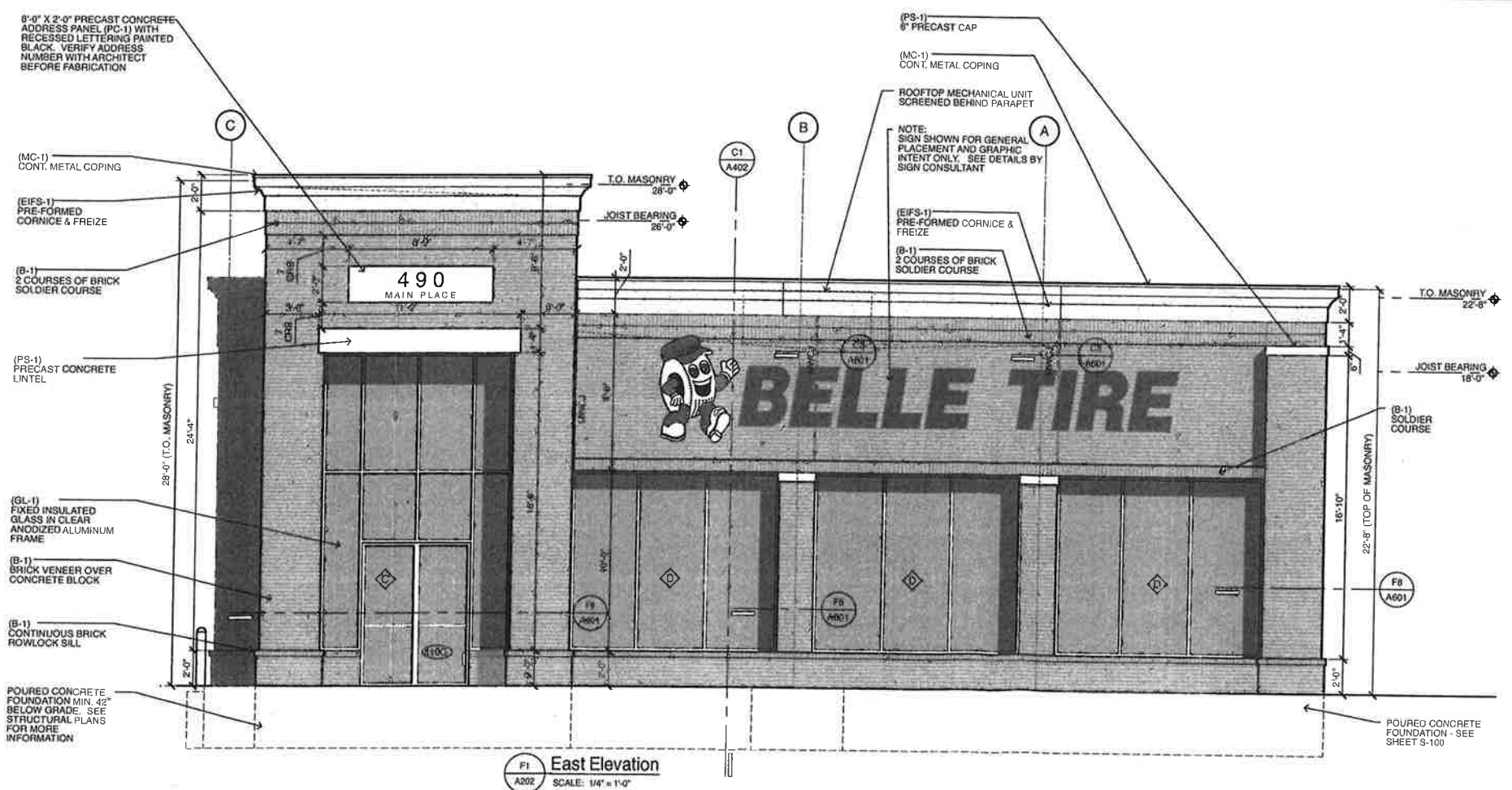
MATERIALS:		
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLT 1.0 MOONLIT SAND 10611-84
B-1	FACE BRICK	HEARTLAND WOODSBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES-COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL - PPG SOLARBRAND 60 SOLAR CONTROL LOW 'E' CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBBLIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYMAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7668 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADEIR RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN

21-100

A201



South Elevation
SCALE: 1/4" = 1'-0"



East Elevation
SCALE: 1/4" = 1'-0"

EXHIBIT H-2

MATERIALS:		
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOLT 1.0 MOONLIT SAND 10611-84
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES -COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL - PPG SOLARBRAND 60 SOLAR CONTROL LOW 'E' CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7886 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADEIR RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARVILLE BROWN



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Building Elevations

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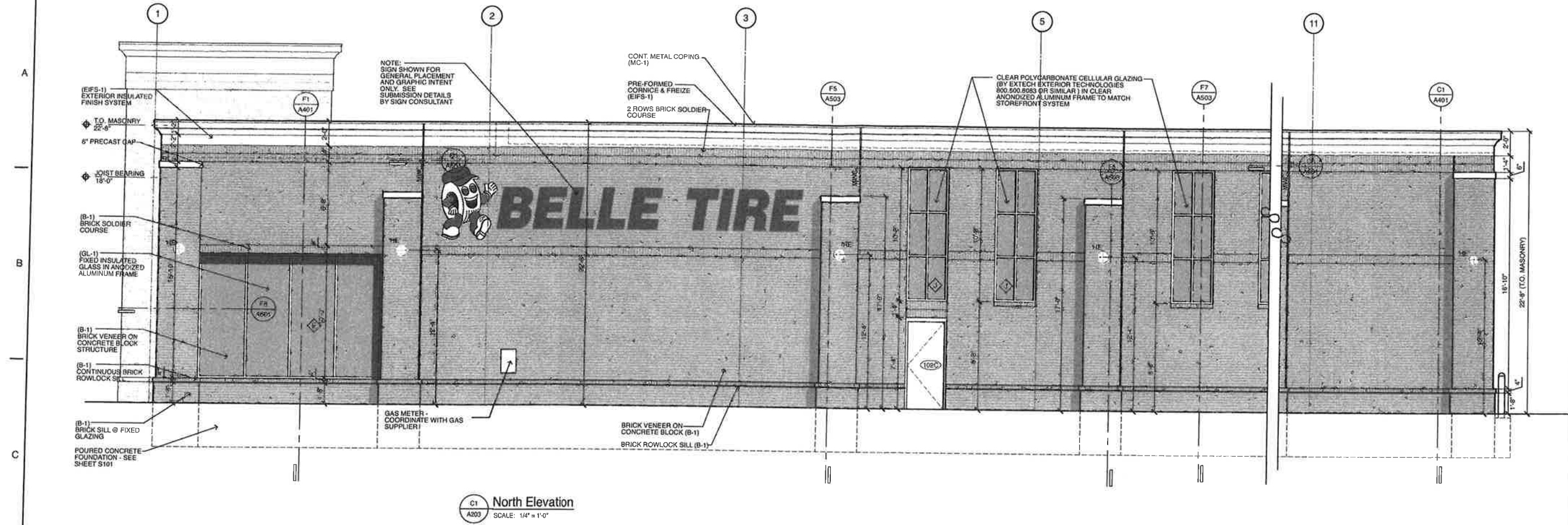


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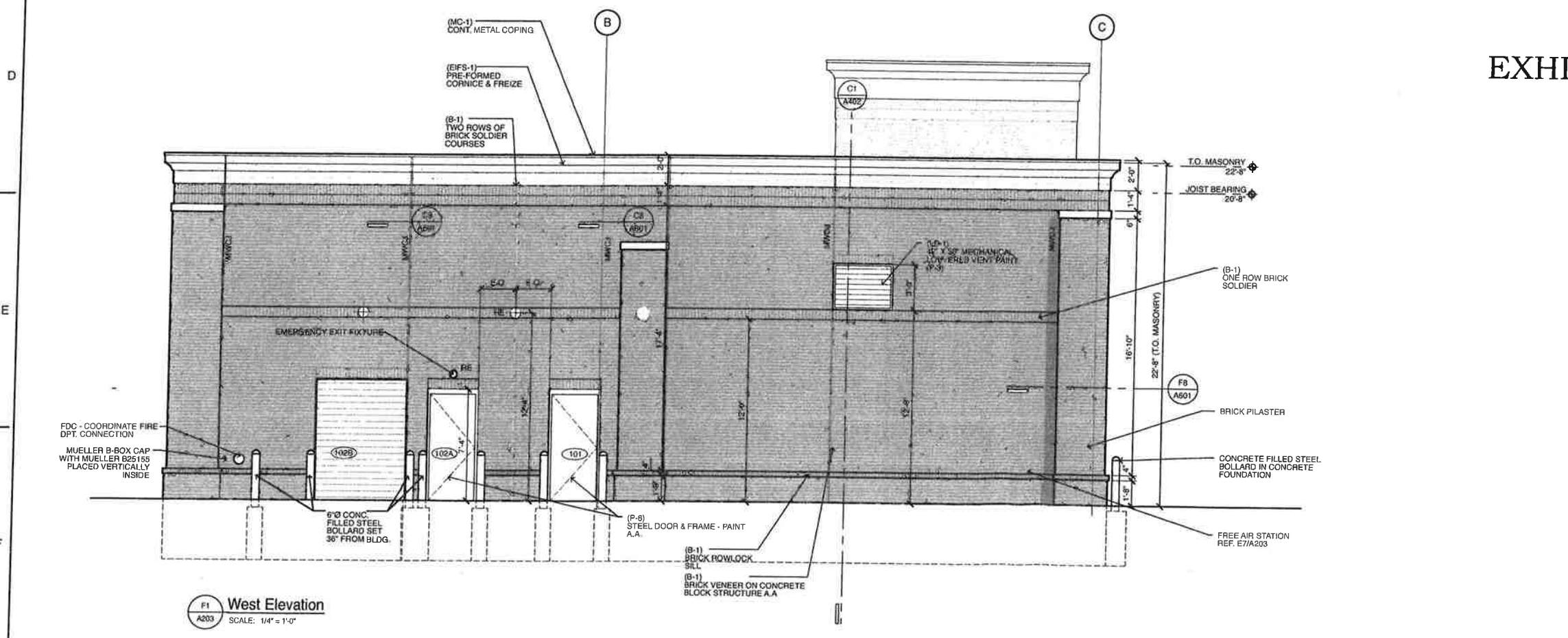
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C1 North Elevation
SCALE: 1/4" = 1'-0"

EXHIBIT H-3



F1 West Elevation
SCALE: 1/4" = 1'-0"

MATERIALS:		
MARK	MATERIAL	DESCRIPTION
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B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TREMUYTH ASTRA-GLAZE-SW + SERIES - COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL. - PFG SOLARBRAND 60 SOLAR CONTROL LOW 1% CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #7868 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADIER RED - PRATT & LAMBERT
P-3	PAINT	PAIN TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-73 MARYVILLE BROWN

Belle Tire
Carol Stream, IL

490 Main Place
Carol Stream IL
60168

Building Elevations

Issued for: Village Submittal: December 15, 2021
Village Re-Submittal: February 02, 2022
Village Re-Submittal: March 11, 2022

21-100

A203



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 Pareni Avenue
Suite 105
Royal Oak, MI 48067
TEL: 248.330.8399
cenright@enrightarchitects.com

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Project

Belle Tire
Carol Stream, IL

490 Main Place
Carol Stream IL
60188

Sheet

Dumpster

Issued for:
Village Submittal: December 15, 2021
Village Re-Submittal: February 02, 2022
Village Re-Submittal: March 11, 2022

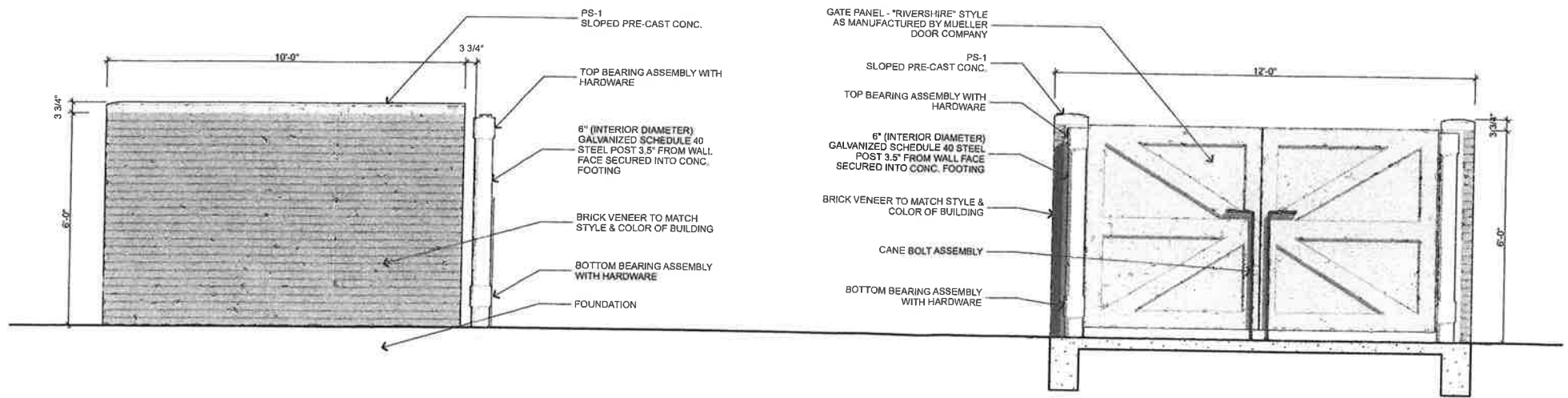
Project Number

21-100

Sheet Number

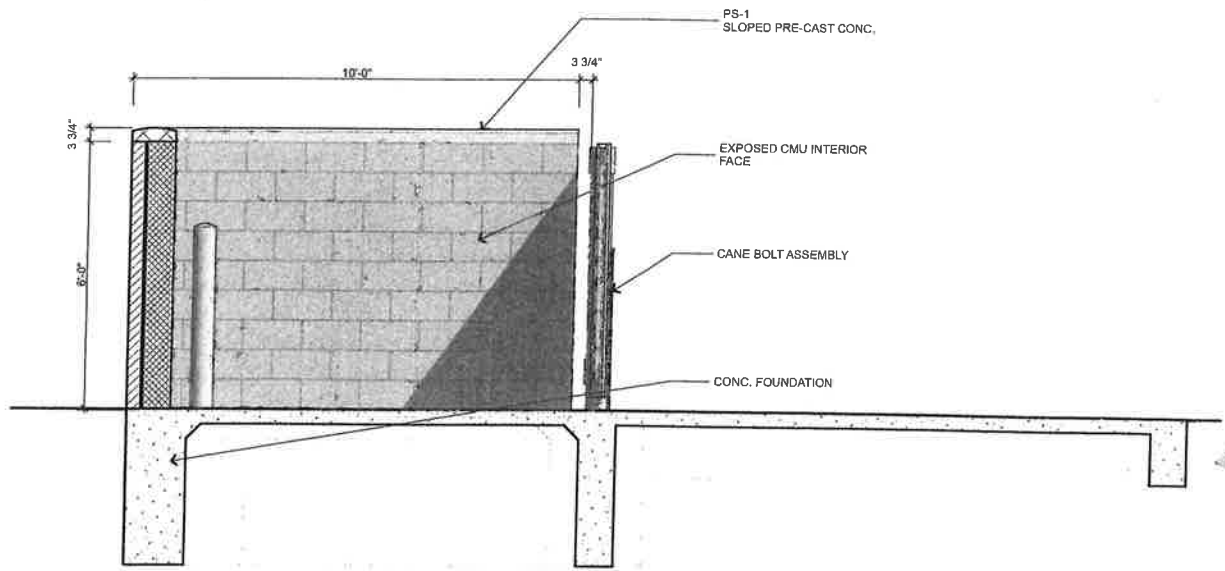
A204

MATERIALS:		
MARK	MATERIAL	DESCRIPTION
EIFS-1	E.I.F.S.	STO-STOUT 1.0 MOONLIT SAND 10611-84
B-1	FACE BRICK	HEARTLAND WOODBURY BY GLEN-GERY BRICK CO.
GB-1	GLAZED BLOCK	TRENWYTH ASTRA-GLAZE-SW + SERIES -COLOR = FIRESTONE RED
GL	GLAZING SYSTEM	GLAZING: 1" INSUL - PPG SOLARBRAND 60 SOLAR CONTROL LOW "E" CLEAR, LOW REFLECTIVE INSULATING GLASS - IN CLEAR ANODIZED FRAMING SYSTEM SERIES 200 BY TUBELIGHT CORP. PROVIDE TEMPERED GLASS AS REQUIRED
MC-1	COPING	DURO-LAST 2 PIECE SNAP-ON METAL FASCIA - KYNAR FINISH - COLOR TO MATCH EIFS
PS-1	COPING	PRE-CAST CONCRETE STONE - BUFF SUBMIT SAMPLE FOR ARCHITECT'S APPROVAL
P-1	PAINT	#2333 CAPE COD GREY - INDUSTRIAL ENAMEL PRATT & LAMBERT / #1606 GRAY MATTERS SHERWIN WILLIAMS
P-2	PAINT	GRENADIER RED - PRATT & LAMBERT
P-3	PAINT	PAINT TO MATCH EIFS
P-4	PAINT	DRYFALL - BRILLIANT WHITE
P-5	PAINT	GENERAL WHITE - INDUSTRIAL ENAMEL PRATT & LAMBERT
P-7	PAINT	BLACK SEMI-GLOSS - ALL MANUFACTURERS
P-8	PAINT	HC-75 MARYVILLE BROWN

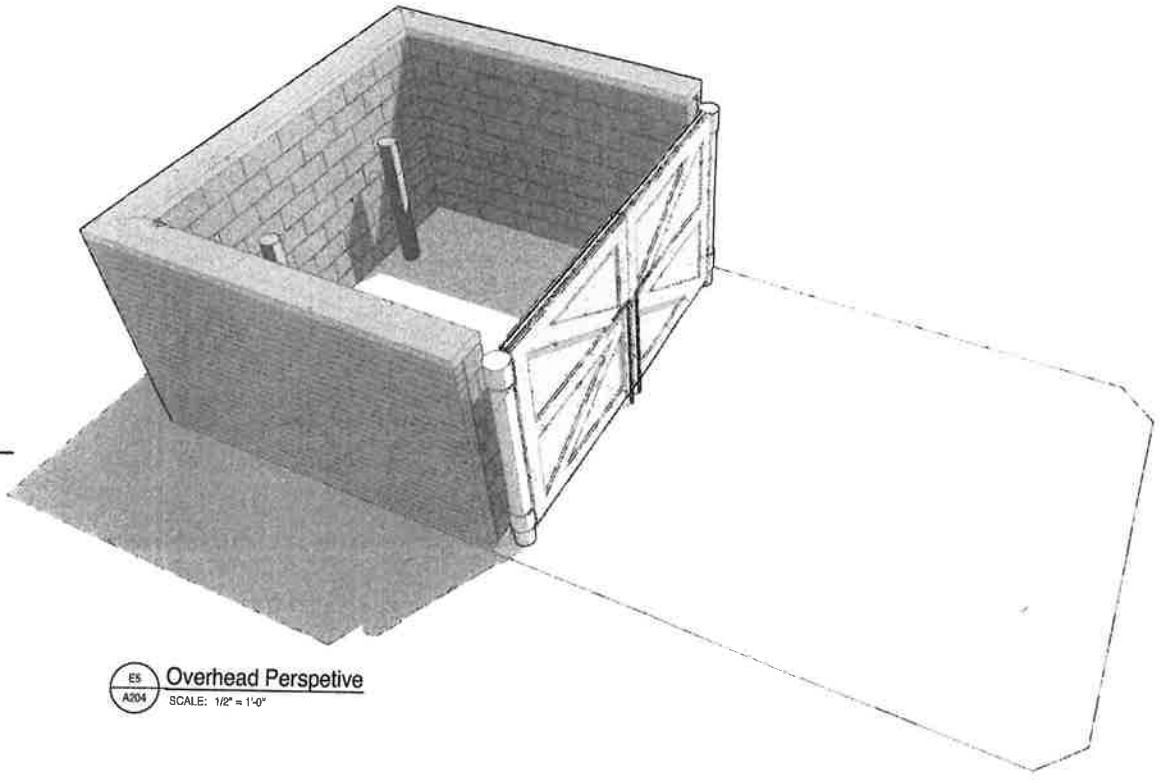


C1 West Elevation
A204 SCALE: 1/2" = 1'-0"

C5 South Elevation
A204 SCALE: 1/2" = 1'-0"



E1 Section Looking East
A204 SCALE: 1/2" = 1'-0"



E5 Overhead Perspective
A204 SCALE: 1/2" = 1'-0"

EXHIBIT H-4



View From South East



View From North East



CHRISTOPHER ENRIGHT ARCHITECTS
A PROFESSIONAL CORPORATION

628 Parent Avenue
Suite 106
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TEL: 248.330.9395
cenright@enrightarchitects.com

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COMMUNITY DEVELOPMENT
DEPT

EXHIBIT I

Belle Tire
Carol Stream, IL

490 Main Place
Carol Stream IL
60188

Renderings

Village Submittal: December 15, 2021

Village Re-Submittal: February 02, 2022

Village Re-Submittal: March 11, 2022

Sheet Number:
21-100

Sheet Number:
R101

A
B
C
D
E
F

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

August 22, 2022

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- A Zoning Map Amendment to rezone the property from B-3 General Business District to O-S Office and Service District, in accordance with Section 16-8-4 (N) of the UDO
- An Amendment to a Special Use Permit for a Planned Development, in accordance with Section 16-7-6 of the UDO
- A Plat of Consolidation, in accordance with Section 16-8-4 (O) of the UDO

APPLICANT/ CONTACT:

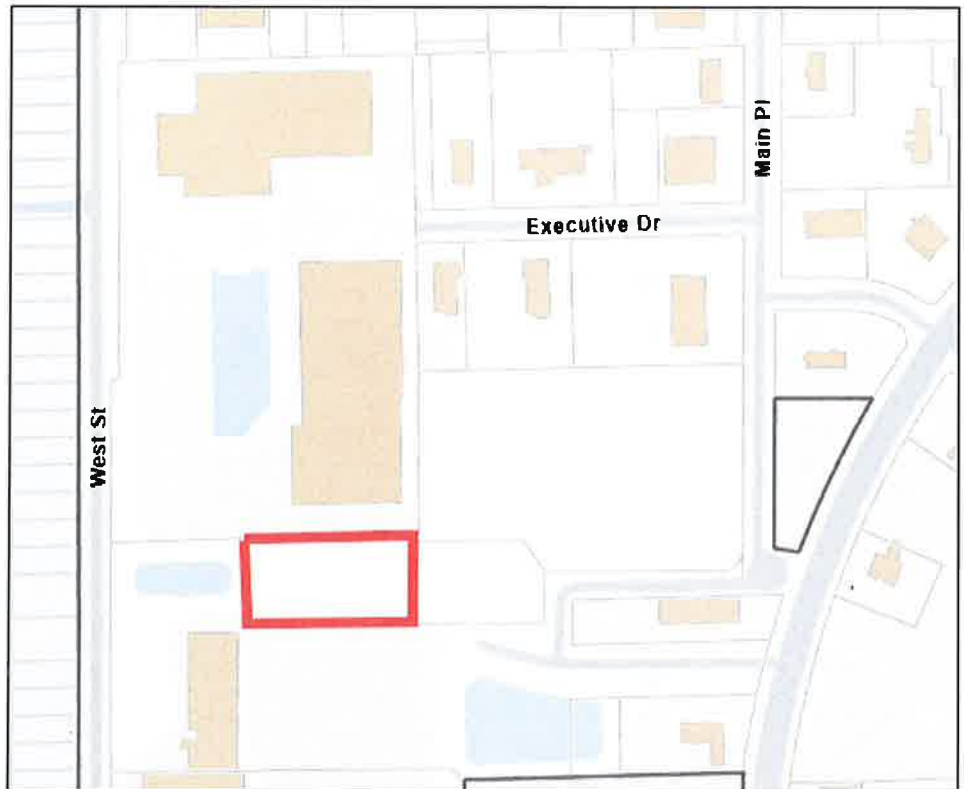
Mr. Eric Prechtel
Rosanova and Whitaker, Ltd.
127 Aurora Avenue
Naperville, IL 60540



CASE #: 22-0013

LOCATION: 504 S. Schmale Road

PROJECT NAME: Tyndale House Ministries



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Corridor Commercial (Vacant)	Commercial
North	O-S Office and Service District	Industrial (Tyndale House)	Industrial
South	B-3 General Business District	Commercial (Geneva Crossing Phase II / Goddard School)	Commercial
East	B-3 General Business District	Commercial (Geneva Crossing Phase I Shopping Center and Firestone)	Commercial
West	B-3 General Business District	Corridor Commercial (Detention)	Commercial

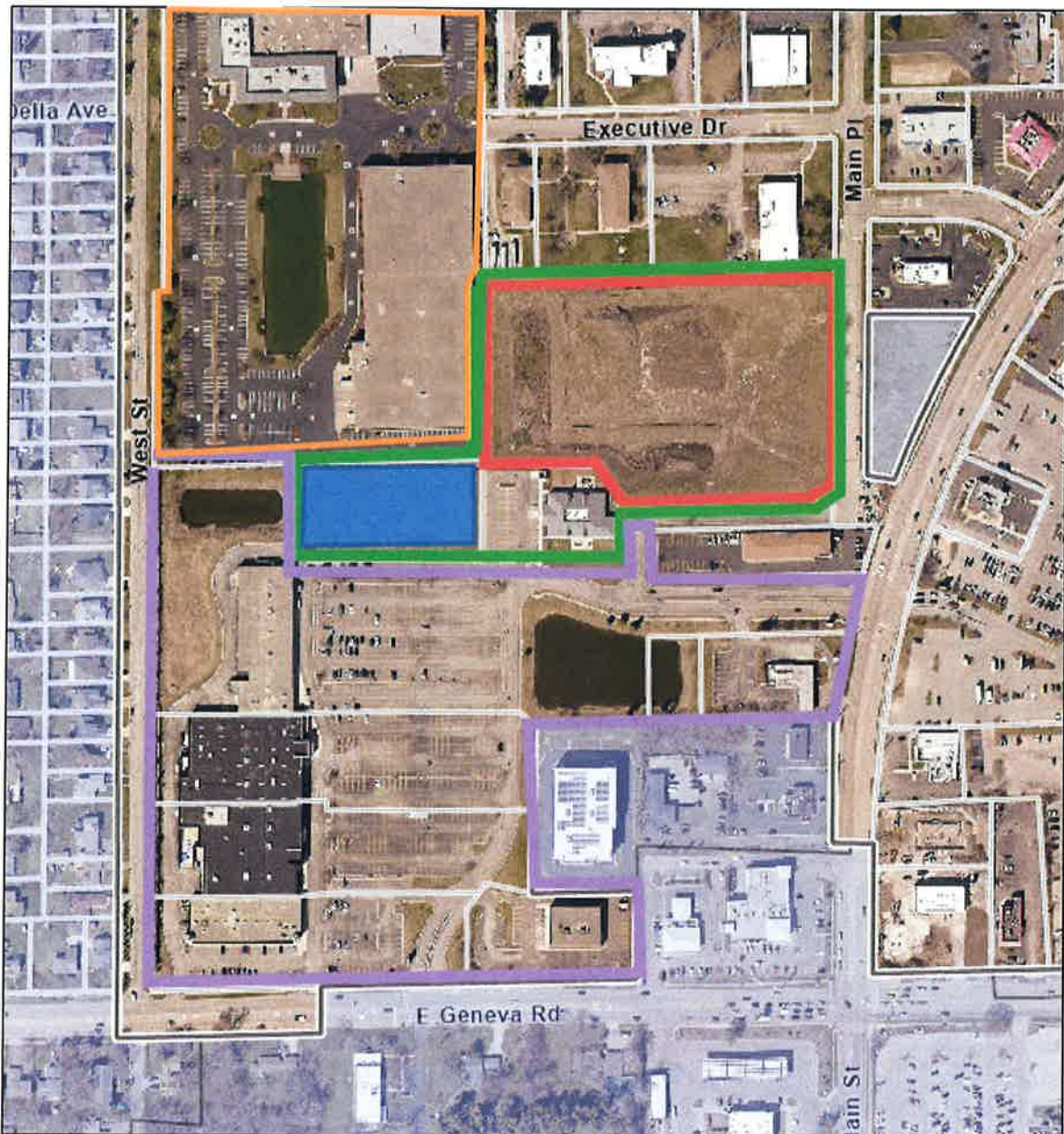
The property highlighted above is located west of Schmale Road and east of West Street.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The applicant proposes to consolidate the proposed lot with the existing Tyndale House lot to the north, and rezone the lot to match the industrial designation of the Tyndale House lot.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Cover Letter from Rosanova & Whitaker Ltd which includes information for the Special Use Amendment, Zoning Map Amendment, and Plat of Consolidation requests, received March 1, 2022, Public Notice, Cover Sheet (Exhibit A), Existing Conditions Plan (Exhibit B), Demolition Plan (Exhibit C), Geometric Plan (Exhibit D), Landscape Plan (Exhibit E), Floor Plan (Exhibit F), Exterior Elevations (Exhibit G-1 and G-2), Parking Study Plan (Exhibit H), Plat of Consolidation (Exhibit I), and Plat of Vacation (Exhibit J).

BACKGROUND:

Attorney Eric Prechtel, on behalf of Tyndale House Ministries, requests approval of an Amendment to a Special Use Permit for a Planned Development (PD) for a 53,000 square foot warehouse addition. The addition will be located on a lot that is currently designated as Lot 1 in the Geneva Crossing Phase II development. On the accompanying aerial photograph, Geneva Crossing Phase I is highlighted in purple and contains the Geneva Crossing Shopping Center, Geneva Crossing Phase II is highlighted in green, the Tyndale House complex is highlighted in orange, and the subject lot is highlighted in blue. The lot will be consolidated with the main Tyndale House lot, and will be rezoned from B-3 (General Business District) to O-S (Office and Service District) to match the zoning designation of the main Tyndale House lot.

Tyndale House was founded in 1962 by Dr. Kenneth N. Taylor as a means of publishing Christian fiction, nonfiction, children's books and other resources. Tyndale House has over 240 employees, and has operated from its 14-acre headquarters on Executive Drive since the early 1980s. The property consists of two buildings: a multi-story office/warehouse building on the north end of the property, and a warehouse building on the south end of the property. In total, Tyndale House currently has approximately 67,281 square feet of office space and 172,835 square feet of warehouse space. A 53,005 square-foot addition is proposed on the south side of the southern warehouse building, and will be constructed on a 1.44-acre lot that will be consolidated and rezoned accordingly.

Staff Analysis

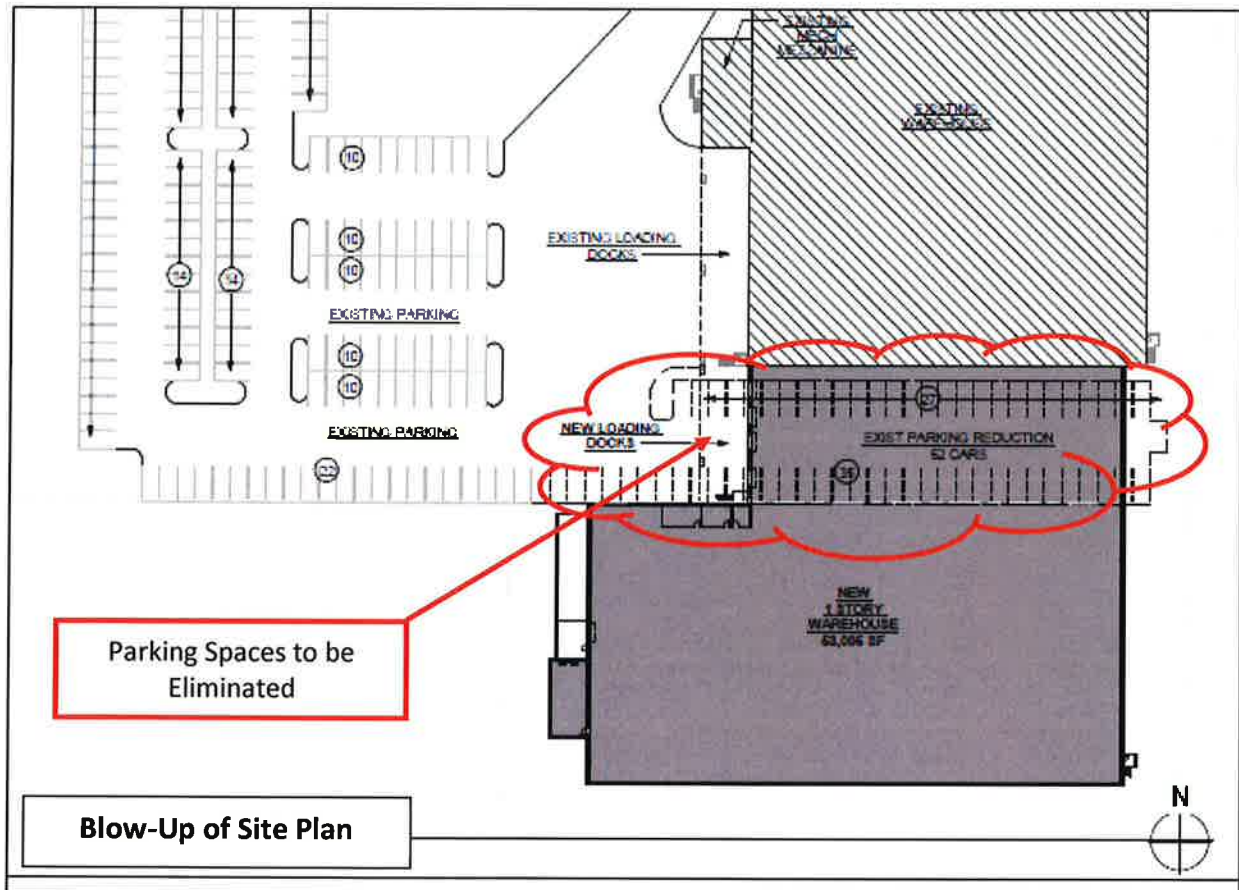
PLANNED DEVELOPMENT AMENDMENT

§ 16-7-6 of the UDO specifies that amendments to PD Plans can either be categorized as minor or major amendments. The proposed Tyndale House warehouse addition is considered a major PD amendment, and must be reviewed by the PC/ZBA and approved by the Village Board. As described in the submitted cover letter, Tyndale House proposes to purchase Lot 1 of the Geneva Crossing Phase II development. Lot 2 of Phase II houses the Goddard School daycare center, and Lot 3 of Phase II is proposed to be subdivided (to be reviewed under Case NO. 21-0056). 62 parking spaces will be removed on the south side of the existing Tyndale House property to allow for the construction of the warehouse addition. Even though a significant number of parking

spaces will be eliminated, the property will still have a surplus of parking based on UDO regulations:

Business	Area of Use	Code Requirement	Spaces Required
Tyndale House Ministries			
217,646 s.f. warehouse space	Warehouse Space	One space per 1,500 S.F. of NFA	145 spaces
28,852 s.f. office space	Office Space	One space per 250 S.F. of NFA	115 spaces
Parking Spaces Required:			260 spaces
Parking Spaces Provided (with the removal of 62 spaces for the addition):			386 spaces
Parking Surplus:			126 spaces

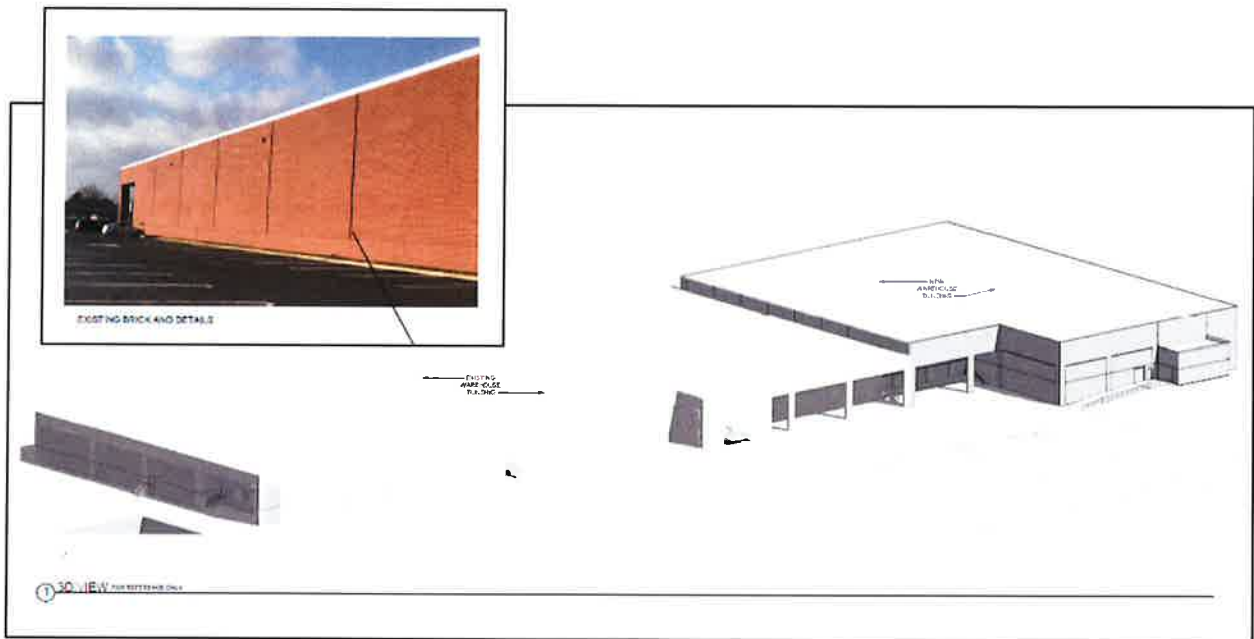
The Tyndale House property currently has 448 on-site parking spaces. With the elimination of 62 spaces to accommodate the proposed addition, there will be 386 on-site parking spaces. Even with the 62-space elimination, there will be a surplus of over 100 on-site parking spaces.



The applicant is requesting approval of a PD allowance for the addition, to reduce the rear yard-building setback along the east side of the property from 40 feet to 30 feet. The proposed addition will align with the existing warehouse building, which maintains a 30-foot rear yard setback. If a 40-foot setback were required, a 10-foot “jog” in the overall building pattern would be required. In addition, the plans illustrate a substantial landscape buffer and solid wood fence to provide adequate screening along the east side of the property. As such, staff can support the rear-yard setback reduction.

Landscaping is proposed around the addition to soften its appearance, and screen it from adjacent uses (including the daycare center to the east). Landscaping is proposed around the west, south, and east foundations of the building. Perimeter landscaping, including Maple, Cypress, Oak, and Spruce trees, is proposed for screening purposes, and a six-foot tall board on board wood fence is also proposed on the south and east sides of the property for additional screening.

From an architectural perspective, the exterior of the proposed addition will be constructed of brick veneer to match the existing warehouse building. It should be noted that four additional loading docks are proposed on the west side of the addition, and will be internal to the site like the existing loading docks, in order to minimize impacts on surrounding commercial and residential uses.



Staff believes the proposed addition has been designed to be architecturally compatible with the existing warehouse building, and the proposed landscaping around the addition will properly screen the addition from adjacent uses. Staff supports the requested PD amendment. It should also be noted that staff has conducted a site plan review for the project to certify compliance with all applicable provisions of this UDO.

ZONING MAP AMENDMENT

The applicant is seeking approval to rezone the subject lot from B-3 (General Business District) to O-S District (Office and Service District). As noted, the lot will be consolidated with the main Tyndale House lot, which is already zoned O-S. Properties to the south, east, and west are all zoned B-3 and are part of the Geneva Crossing Phase I and II developments. In 2017, the PD Plan for Geneva Crossing Phase II was amended to approve a three-lot subdivision, approve the Goddard School on Lot 2 of the development, and grant preliminary approval for a 30,000 square foot speculative multi-tenant commercial building on the subject lot (known as Lot 1 in Geneva Crossing Phase II). The multi-tenant building was never constructed, and the applicant believes the lot is better suited to be consolidated with the Tyndale House complex given the difficulty of developing the internally located lot that has no visibility along Geneva Road, Schmale Road, or Main Place. As such, staff supports the rezoning request.

ZONING MAP AMENDMENT FINDINGS OF FACT

The PC/ZBA's recommendation regarding the requested zoning map amendment request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (N) of the UDO, the PC/ZBA and Village Board must consider all relevant factors in making recommendations and decisions on zoning map amendments, including at minimum the following criteria:

1. The existing uses and zoning of nearby property;

Surrounding properties are zoned B-3 and O-S. Rezoning the subject lot to O-S will allow for zoning and land use consistency with the main Tyndale House lot.

2. The extent to which property values are diminished by the current zoning classification;

The subject lot was originally zoned B-3 when the land established as Geneva Crossing (Phase I and II) was annexed into Carol Stream in 1997. While Phase I was developed into the Geneva Crossing Shopping Center, little activity has occurred on Phase II until recent years with the development of the Goddard School.

3. The extent to which the diminishment of property value of the applicant promotes the health, safety, morals or general welfare of the public;

The proposed rezoning allows for a warehouse addition that will provide additional storage and distribution space for a long-time business within the community, which will also be attractively designed and properly screened from surrounding uses, thereby promoting the health, safety, morals and general welfare of the public.

4. The relative gain to the public as opposed to the hardship imposed upon the individual property owner;

Rezoning the lot to O-S will permit an expansion of development for Tyndale House, which positively affects the community as a whole, rather than maintaining a vacant commercial lot that has limited potential for future development.

5. The suitability of the subject property for the zoned purposes;

Rezoning the subject lot to O-S will match the current zoning designation of the Tyndale House lot, which allows for warehousing of printed materials when carried out with an adjacent office use.

6. The length of time the property has been vacant as zoned considered in the context of land development in the area;

The subject lot has remained vacant since being annexed into Carol Stream in 1997, as compared to development that has occurred on surrounding properties, such as the Geneva Crossing shopping center and expansion on the Tyndale House lot.

7. The care with which a community has undertaken to plan its land-use development; and

While the Village's Comprehensive Plan calls for the subject lot to be developed with commercial uses, there has been limited if any interest in commercial development. Rezoning the lot to O-S will match the zoning designation of the Tyndale House lot, and will maintain a consistent land-use pattern with surrounding properties.

8. Community need for the use proposed by the applicant.

The proposed warehouse expansion, and subsequent rezoning of the lot, will provide additional storage and distribution space for one of Carol Stream's largest employers, and should not have a negative impact on surrounding properties or uses with landscaping and fencing proposed to screen the addition.

PLAT OF CONSOLIDATION

As described, the 1.44-acre lot, which is currently known as Lot 1 in Geneva Crossing Phase II, is proposed to be consolidated with Tyndale House's 14-acre lot, to create one lot for Tyndale House. Staff from Community Development, Engineering Services and the Village Clerk's office have reviewed the plat of consolidation and deem it acceptable. Three noteworthy points:

- The subject lot is part of an Operation and Easement Agreement (OEA) between Geneva Crossing Phase I and Phase II. The current Phase II property owner is working on a modification to the OEA with Phase II ownership.
- As part of the OEA, cross access is allowed between parcels in both Phase I and II of Geneva Crossing. However, staff does not believe it is appropriate for Tyndale House traffic, particularly truck traffic, to have access through the Geneva Crossing shopping center. While there is no access proposed between the consolidated lot and Phase I/Geneva Crossing

shopping center at this time, and all access for Tyndale House will be provided on Executive Drive, staff recommends that a condition of approval for the project state that no future access onto the shopping center property would be allowed for Tyndale House.

- A plat of vacation has also been submitted, which illustrates the vacation of certain easements, including a stormwater and conveyance easement.

RECOMMENDATION

Staff has reviewed the applicant's requests, and supports the proposal. Therefore, staff recommends approval of an Amendment to a Planned Development, Zoning Map Amendment, and Plat of Consolidation for Tyndale House Ministries, Case No 22-0013, subject to the following conditions:

1. That all improvements, including but not limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c);
4. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
5. That no future vehicular access shall be allowed from the Tyndale House Ministries property south into the Geneva Crossing Phase I development, and all vehicles shall utilize Executive Drive for access to and from the Tyndale House Ministries property;
6. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO; and

7. That the site and facility must be maintained and operated in accordance with all State, County and Village codes and regulations.

T:\Planning New\Planning\Plan Commission\Staff Reports\2022 Staff Reports\22-0013 Tyndale House SUP ZMA 504 S Schmale.docx



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Do Not Write in This Space	
Date Submitted:	<u>3-1-2022</u>
Fee Submitted:	<u>\$1,680.00</u>
File Number:	<u>22-0013</u>
Meeting Date:	<u>3/22/22</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

PHONE 630.871.6230 • FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Tyndale House Ministries, an IL Not-for-profit corporation Phone (630)-784-5220
Address 351 Executive Dr., Carol Stream, IL 60188 Fax (630)-668-9092
E-Mail Address dougwalton@tyndale.com
(required)
Name of Attorney Eric Prechtel Phone (630)-355-4600 x 106
(if represented)
Address 127 Aurora Ave, Naperville, IL 60540 Fax _____
Name of Owner _____ Phone _____
(required if other than applicant)
Address _____ Fax _____
Name of Architect Rosie Mitchell - Aspen Group Phone 815-806-1705
(if applicable)
Address 9645 Lincoln-Way Lane, Suite 201, Frankfort, IL 60423 Fax _____
2. *Common Address/Location of Property 351 - 370 Executive Drive, Carol Stream, IL 60188 and
2442 N. Main Street, Carol Stream, IL 60188
3. Requested Action: (check all that apply)
- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input checked="" type="checkbox"/> Subdivision – Minor/Major |
| <input type="checkbox"/> Courtesy Review | <input type="checkbox"/> Temporary Waiver/Code of Ordinances |
| <input type="checkbox"/> Development Staff Review | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input type="checkbox"/> Planned Development – Final | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C) |
| <input type="checkbox"/> Shared Parking Facility | <input checked="" type="checkbox"/> Map Amendment (requires Form D-1) |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Text Amendment (requires Form D2) |
| | <input type="checkbox"/> Staff Adjustment (requires Form E) |

Describe requested action Approval of Subdivision, Site Plan, Rezoning/Map Amendment, and Variation

4. Fee Schedule: (Check all that apply)

2,320

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
X	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
X	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
X	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
X	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Eric Prechtel

Print Name

Signature

Date



2/28/2022

Revised 10/20

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COMMUNITY DEVELOPMENT
DEPT

STATE OF ILLINOIS)
)
COUNTY OF DUPAGE)
)
VILLAGE OF CAROL STREAM)

**PETITION TO THE VILLAGE OF CAROL STREAM VILLAGE BOARD AND
PLANNING AND ZONING COMMISSION FOR ZONING ENTITLEMENTS**

THE UNDERSIGNED Petitioner, Tyndale House Ministries, an Illinois not-for-profit corporation (hereinafter the “Petitioner”), as the record owner of the property legally described on **Exhibit A** (the “**Tyndale Property**”) and contract purchaser of the property legally described on **Exhibit B** (the “**Scheffler Property**”) (collectively, the “**Property**”), respectfully petitions the Village of Carol Stream (the “**Village**”) to (i) approve a plat of subdivision/consolidation of the Scheffler Property into the existing Tyndale Property; (ii) approve a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District (“O-S”); (iii) approve a site plan for the Property; and (iv) approve a rear yard setback variance and other such variances, departures or deviations as may be necessary to develop the Property consistent with the conceptual plans submitted herewith.

BACKGROUND INFORMATION

1. Petitioner currently owns the Tyndale Property, which consists of approximately 14.18 acres of land located at 351–370 Executive Drive, Carol Stream, IL 60188 in the Village of Carol Stream. The Tyndale Property is presently improved with approximately 172,835 square feet of warehouse space and approximately 67,281 square feet of office space that has been historically occupied by the owner of the Tyndale Property under the Village’s O-S – Office and Service District.
2. Petitioner, a long-term member of the Village community, currently employees

approximately 245 individuals at Petitioner's Carol Stream location and has operated on the existing Tyndale Property for approximately four decades, completing construction of the original building in 1984.

3. Petitioner is the contract purchaser of the Scheffler Property, which consists of approximately 1.44 acres of the vacant real property located at 2442 N. Main Street, Carol Stream, IL 60188, which is situated immediately to the south of the Tyndale Property and is currently zoned B-3 – General Business District.

4. As Petitioner's operations continue to expand, Petitioner has a need for additional warehouse space in order to facilitate Petitioner's continued growth.

5. Petitioner seeks to purchase the Scheffler Property in order to reposition the Property for a proposed 52,000 square foot expansion of Petitioner's current warehouse for uses consistent with the Village's O-S – Office and Service District zoning designation.

6. The existing land uses surrounding the Property are as follows:

a. North: I – Industrial District zoning

b. East: R-4 – Multiunit Residence District zoning and B-3 – General Business District zoning

c. South: B-3 – General Business District zoning

d. West: R-4 – Single Family Residential zoning in unincorporated DuPage County

7. Petitioner has submitted the appropriate zoning applications together with this Petition for entitlements to facilitate the development of the Property in the future to allow for any permitted use in the O-S zoning district.

SUMMARY OF DEVELOPMENT

Petitioner, Tyndale House Ministries, is located at the corner of West St. and Gundersen

Dr., where it has operated as a publisher of Christian fiction, nonfiction, and children's books since the completion of its original building on the Tyndale Property in 1984. Since then, Tyndale has continued to grow and as a result has undergone several facility expansions resulting in the nearly 250,000 square feet of office and warehouse space that exist today, the most recent expansion being completed to the warehouse in 2000. As a long-term employer and supporter of the community and its members, Petitioner desires to continue to grow and remain within the community.

Located within a shopping center immediately to the south of the Tyndale Property, the Scheffler Property was initially part of a larger plot that has since been subdivided multiple times. The Scheffler Property is inconveniently situated, has poor access, and has no roadway frontage. As a result, the Scheffler Property has never been developed and has continued to sit vacant since its annexation into the Village in 1997. Further, the larger shopping center the Scheffler Property sits within has struggled since its anchor tenant left, making the Scheffler Property undesirable and nearly impossible to develop. For these reasons, Petitioner's adjacent location provides a natural and logical means of developing the Property for the mutual benefit of both the Petitioner and community.

REQUIRED DEVELOPMENT ENTITLEMENTS

1. The Petitioner seeks approval of a Plat of Subdivision to consolidate the two (2) lots into one buildable lot.
2. The Petitioner seeks approval of a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District to allow for the expansion of Petitioner's current warehouse.
3. The Petitioner seeks approval of a Site Plan for the Property.

4. The Petitioners seeks a variance from the 40' rear yard setback requirement.

SUBDIVISION OF THE PROPERTY

1. As described above and shown on the Final Plat of Subdivision included with the application material, Petitioner desires to consolidate the Scheffler Property into the existing Tyndale Property, creating a single, buildable lot for purposes of expanding Petitioner's current warehouse.
2. As the proposed Final Plat of Subdivision is compliant with Village's Code of Ordinances, Petitioner requests the Subdivision of the Property be approved.

REZONING FROM B-3 to O-S

The Petitioner requests the rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District. The decision to amend the Official Zoning Map is a matter not controlled by any single review criterion, and Petitioner's request for a rezoning from B-3 to O-S should be approved because it meets the following standards and criteria:

1. *The existing uses and zoning of nearby property;*

Petitioner seeks approval of a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District. The existing Tyndale Property is zoned O-S, and Petitioner desires to purchase the Scheffler Property, zoned B-3, for expansion of its existing warehouse. There is no well-established zoning pattern in the area, as the Property is surrounded by industrial uses to the north, residential and business zoning districts to the east, business zoning districts (including the shopping center) to the south, and residential uses in unincorporated DuPage County to the west. The rezoning of the Scheffler Property to O-S would make its zoning consistent with that of the Tyndale Property and is necessary facilitate the subdivision of the Property and expansion of Petitioner's warehouse.

2. *The extent to which property values are diminished by the current zoning classification;*

The Scheffler Property, originally zoned B-3 upon its annexation into the Village in 1997, is vacant as it exists today and has never been developed under its current zoning classification. A rezoning to the O-S district will allow the Scheffler Property to be developed, increasing its value and the value of the surrounding properties. In addition, the zoning amendment of the Scheffler Property will provide for the development of unsightly and underperforming land located in an underperforming shopping center to be utilized for its highest and best use, which will in turn enhance the growing workforce and healthy business growth of the adjacent properties and community, leading to an increase in the daytime population of the area and its retail tax base.

3. *The extent to which the diminishment of property value of the applicant promotes the health, safety, morals or general welfare of the public;*

The amendment will promote the health, safety, morals, and general welfare of the public. First, the amendment will provide for the development of otherwise vacant land and provide for the development of additional warehouse space for Petitioner, who has occupied the Tyndale Property as a supporting member of the community since the 1980's. Further, it will provide for the expansion of Petitioner's existing warehouse and operation, leading to job creation in the area and enhancement of the Village's workforce and retail tax base.

4. *The relative gain to the public as opposed to the hardship imposed upon the individual property owner;*

The Scheffler Property is currently an undeveloped and poorly positioned vacant lot and is part of a larger, struggling shopping center. The highest and best use is as an office and service district, allowing the property to be developed. Under its current zoning designation, the Scheffler Property has remained vacant and unimproved since its annexation into the Village in 1997. The

zoning amendment and subsequent development of the Scheffler Property will lead to the alleviation of overgrown and unsightly vacant land, generate job growth in the area, and provide additional support for the Village's retail tax base while simultaneously providing Petitioner with the opportunity to expand.

5. *The suitability of the subject property for the zoned purposes;*

The current B-3 zoning is not suitable for the poorly positioned Scheffler Property, as evidenced by its historical vacancy since being annexed into the Village in 1997. As currently zoned, it has remained unimproved and vacant as part of a larger shopping center, serving no purpose and providing no benefit for adjacent properties or the community as a whole. The amendment will provide the opportunity for the Scheffler Property to be developed and utilized to its maximum potential.

6. *The length of time the property has been vacant as zoned considered in the context of land development in the area;*

Originally zoned B-3 upon its annexation into the Village in 1997, the Scheffler Property has never been developed under its current zoning designation and remains vacant as part of a larger shopping center. Unlike the Scheffler Property, which has poor access and no roadway frontage, the surrounding properties were developed many years ago with frontage along the public right of way. The amendment and subsequent development will allow for the development and highest and best use of the Scheffler Property.

7. *The care with which a community has undertaken to plan its land-use development; and*

The Village's Comprehensive Plan has the Scheffler Property's future land use listed as corridor commercial, which is defined as including light-industrial establishments and includes warehouses. The area to the north of the Property is almost entirely planned for industrial uses. As

such, the amendment and planned warehouse are consistent with the Village's vision and plan for future development of the Property and surrounding area.

8. *Community need for the use proposed by the applicant.*

As previously mentioned, the Scheffler Property has remained vacant and undeveloped under its current zoning B-3 zoning and as part of a larger shopping center. The zoning amendment of the Scheffler Property will provide for the natural expansion of the Petitioner's warehouse and support long-term job growth in the community. Further, the development of unsightly and underperforming vacant lot will allow the land to be utilized for its highest and best use which will in turn support the adjacent development and enhance the workforce and retail tax base.

SITE PLAN APPROVAL

1. Per §16-8-3 (F) of the Village's Code of Ordinances, a Site Plan of the Property is required to be submitted for staff review and "an approval may only be rendered when the Community Development Director is satisfied that the proposed project complies with all applicable provisions of this UDO and with all adopted plans and policy documents of the village."

2. Except as otherwise set forth in this Petition, Petitioner's Site Plan submitted herewith complies with the Village's plans, policies, and UDO, and Petitioner requests the site plan be approved.

VARIANCE TO REDUCE THE REAR YARD SETBACK FROM FORTY FEET TO THIRTY FEET

Applicant requests a variance to reduce the rear yard setback from forty feet (40') to thirty feet (30'). An application for a variation shall be submitted to the Community Development Director, along with such accompanying material as is required to ensure compliance with the

variation review criteria. The requested variance meets the standards as follows:

1. *The requested variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional act.*

The Property is located at the corner of West Street (front yard) and Gundersen Dr., with a rear entrance via Executive Dr. The O-S zoning district requires a rear yard setback of forty feet (40'). The Property is unique in that in that while its front yard is contiguous to West Street, the Property is only accessible from the rear by way of Executive Dr. The Property is also unique in that at the time of the existing warehouse's construction and initial expansion, the setback requirement was only thirty feet (30'). Further, the existing lot is not square. As a result, the warehouse was constructed with several jogs along its eastern side that were necessary in order to comply with the 30' rear setback line requirement at the time. Petitioner's planned expansion of the warehouse includes an additional jog to meet the requested variation for a 30' setback. Requiring a 40' rear setback would result in an inconvenient, unnatural, and inconsistent design of the warehouse expansion as compared to the existing warehouse.

2. *That the variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property;*

The location on the Property where the warehouse expansion will be constructed is adjacent to a detention pond to the West, a parking lot to the South serving a Goodwill Store and Donation Center, and a parking lot to the East serving The Goddard School of Carol Stream (Wheaton). Taking these characteristics into account and the nature and location of the Property, the warehouse expansion is appropriate for the area. In this regard, there will be landscaping improvements

surrounding the warehouse expansion to provide a visually appealing separation between the Property and adjacent landowners, and Petitioner's landscape plans go above and beyond what is required by code. As depicted on the provided landscape plan, there are effectively three layers of landscaping proposed to soften the appearance of the proposed brick building – a layer of small shrubbery immediately against the warehouse, a buffer layer of trees between the warehouse and property line, and a layer of additional shrubbery along the property line.

3. *The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards;*

At the time of the warehouse's construction and first expansion the setback requirement was only thirty feet (30'). As mentioned, the parcel itself is not square and as a result, there are several jogs in the existing warehouse's design that were included to specifically meet the 30' rear setback line requirement. A 40' rear setback line would result in a physical hinderance of the proposed expansion, as the expansion would be largely inconsistent with the existing warehouse.

4. *The variation is the minimum action necessary to alleviate the hardship and observe the spirit of this UDO; and*

The variation is the minimum action necessary to alleviate the hardship. As mentioned, the rear setback requirement was 30' feet at the time of the existing warehouse's construction. The variation is necessary in order to perpetuate consistency within the design of the building and visually consistency of the Property.

5. *The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan.*

The variation will not adversely affect the public health, safety, or general welfare or impair

the purposes or intent of the Village's UDO or comprehensive plan. Petitioner is an active supporter of the general welfare of the community. The requested variation will allow for the expansion of Petitioner's operations and in turn positively affect the community. The new addition is square to the existing building but is on an angle to the existing property lines. While the addition complies with the required setbacks at its southeast and northeast corners, the configuration of the Property lines means that the building encroaches on the setbacks as the building moves south and west. Further, the variation is in line with the intent of the Village's UDO to allow for consistent development and maximized use of property. As previously mentioned, the Village's Comprehensive Plan has the Scheffler property use as Corridor Commercial and the existing Tyndale Property use as Industrial. The requested variation is in line with the intent of these categorizations to maximize utilization of the Property.

WHEREFORE, by reason of the foregoing, the undersigned Petitioner requests the Village Board and Plan Commission take the necessary steps to (i) approve a plat of subdivision/consolidation of the two lots into one; (ii) approve a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District (“O-S”); (iii) approve a site plan for the Property; and (iv) approve a rear yard setback variance and other such variances, departures or deviations as may be necessary to develop the Property consistent with the conceptual plan submitted herewith.

RESPECTFULLY SUBMITTED this 28th day of February, 2022.

PETITIONER:

Tyndale House Ministries, an Illinois not-for-profit corporation

By: Eric M. Prechtel

ROSANOVA AND WHITAKER LTD

EXHIBIT A
LEGAL DESCRIPTION – TYNDALE PROPERTY

LOT 8 (EXCEPT THE EAST 36.53 FEET OF THAT PART THEREOF LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF EXECUTIVE DRIVE) ALL IN CARL A. GUNDERSEN'S SUBDIVISION, UNIT NO. 2. A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 1965, AS DOCUMENT R65-23222, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER AND RUNNING THENCE NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1046.85 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG SAID WEST LINE, 334.07 FEET TO THE SOUTH LINE OF CARL A. GUNDERSEN'S SUBDIVISION UNIT NO.2 (RECORDED AS DOCUMENT R65-23222); THENCE NORTH 88 DEGREES 29 MINUTES 47 SECONDS EAST, 652.25 FEET; THENCE SOUTH 00 DEGREES 21 MINUTES 06 SECONDS WEST, 334.07 FEET, THENCE SOUTH 88 DEGREES 29 MINUTES 47 SECONDS WEST, 652.25 FEET TO THE POINT OF BEGINNING, CONTAINING 5.001 ACRES, MORE OR LESS, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 351–370 Executive Drive, Carol Stream, IL 60188

PIN: 05-04-302-030

EXHIBIT B
LEGAL DESCRIPTION – SCHEFFLER PROPERTY

PARCEL 1

LOT 1 IN GENEVA CROSSING; PHASE 11, BEING A SUBDIVISION OF PART OF THE WEST ½ OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2

EASEMENT FOR BENEFIT OF PARCEL 1 FOR CROSS-ACCESS AS PER THE PLAT OF GENEVA CROSSING: PHASE 11 DOCUMENT R2017-125315

Commonly known as: 2442 N. Main Street, Carol Stream, IL 60188

PIN: 05-04-304-079

Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 3, 2022 and the last publication of the notice was made in the newspaper dated and published on August 3, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 3, 2022.

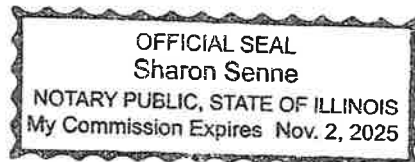
Examiner Publications, Inc.

By: Publisher


Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 3 day of August, A.D. 2022.

Notary Public





PUBLIC NOTICE FILE #22-0013

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 22, 2022 at 6:00 p.m. to consider an application from Tyndale House Ministries for the following actions:

A Zoning Map Amendment to rezone the property from B-3 General Business District to O-S Office-Service District; and
An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream, Unified Development Ordinance

For the property located at 504 S Schmale Road (PIN 05-04-304-079).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

<https://us02web.zoom.us/j/797EqJn2Rh-mh2WF6Tg92A>

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 826 3851 4317

International numbers available:
<https://zoom.us/j/adsnXEZQfK>

Those members of the public wishing to be heard with respect to this matter should attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing.

The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfarace@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at www.carolstream.org. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As Published in the Examiner August 3, 2022

RECEIVED
 APR 14 2022
 COMMUNITY DEVELOPMENT
 DEPT

NORTH
 1" = 30'
 GRAPHIC SCALE

SURVEYOR'S NOTES

1. SURVEY IS BASED ON FIELD WORK COMPLETED ON FEBRUARY 07, 2022.
2. BASIS OF BEARING: GRID NORTH - IL EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
3. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
4. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
5. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
6. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
7. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO 17043C0063J WITH AN EFFECTIVE DATE OF 8-01-2019.

SITE BENCHMARKS

1. DUPAGE COUNTY BENCHMARK # 0174
 LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF FULLERTON AVE & SCHMALE ROAD.
 ELEV=812.54
2. DUPAGE COUNTY BENCHMARK # M1001
 LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF GENEVA ROAD AND PRESIDENT STREET.
 ELEV=770.40

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4222 Meridian Parkway, Suite 112
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Other Office Locations:
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TYNDALE HOUSE MINISTRIES WAREHOUSE
 BUILDING ADDITION
 351 EXECUTIVE DR.
 CAROL STREAM, ILLINOIS 60188
 SITE CIVIL ENGINEERING PLANS
 EXISTING CONDITIONS PLAN

PROJECT NO. M21160
 DRAWN BY: ZDS
 CHECKED BY: CLS
 SHEET NO. 2 / 5

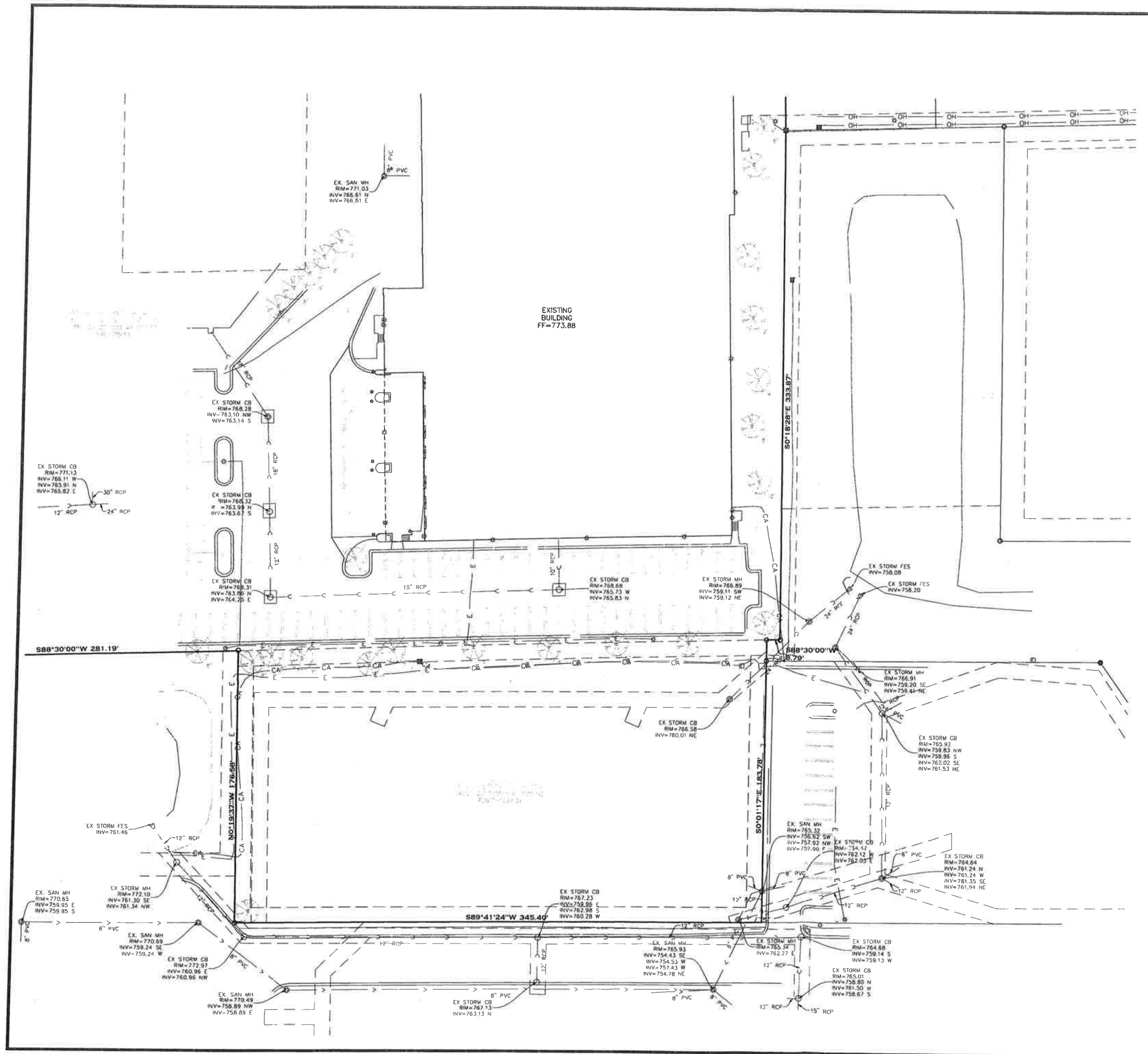
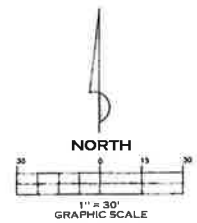
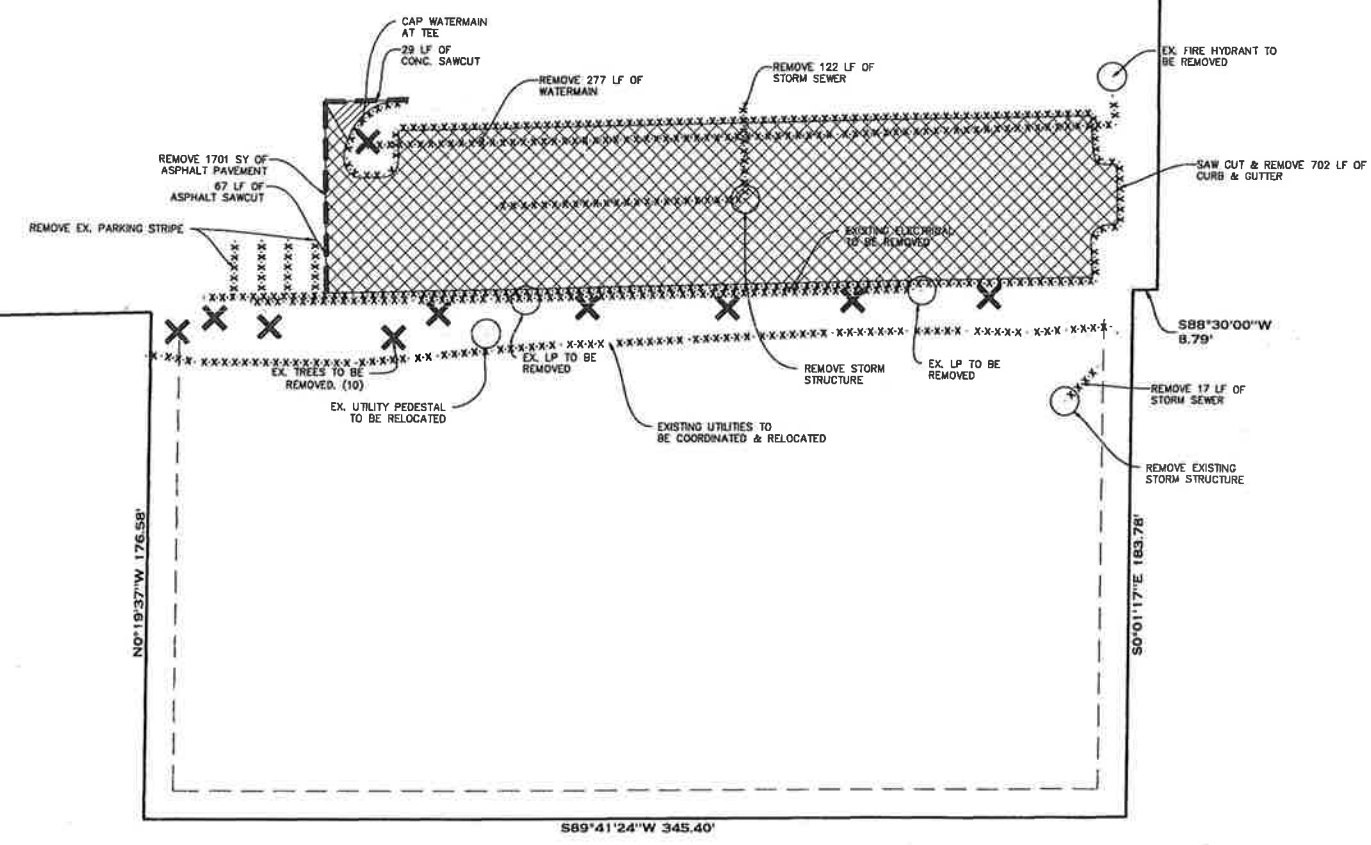


EXHIBIT B

RECEIVED
 APR 14 2022
 COMMUNITY DEVELOPMENT
 DEPT



- LEGEND**
- XXXXXXXXXXXXXXXXXXXX REMOVE ITEM
 - FULL DEPTH SAWCUT PAVEMENT
 - ▨ REMOVE ASPHALT PAVEMENT
 - ▩ REMOVE CONC. PAVEMENT
 - X REMOVE TREE



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DATE	DESCRIPTION
02/25/2022	ISSUED FOR REVIEW
04/01/2022	REVISED PER VILLAGE REVIEW COMMENTS

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**TYNDALE HOUSE MINISTRIES WAREHOUSE
 BUILDING ADDITION
 351 EXECUTIVE DR.
 CAROL STREAM, ILLINOIS 60188
 SITE CIVIL ENGINEERING PLANS
 DEMOLITION PLAN**

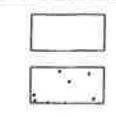
PROJECT NO.	M21160
DRAWN BY:	ZDS
CHECKED BY:	CLS
SHEET NO.	3 / 5

EXHIBIT C

RECEIVED
APR 14 2022
COMMUNITY DEVELOPMENT
DEPT



LEGEND



PL PROPERTY LINE
ES EDGE OF STRIPE
CS CENTER OF STRIPE
B BUILDING
BC BACK OF CURB
EW EDGE OF WALK
R RADIUS

DEPRESSED CURB AND GUTTER
(SEE DETAILS ON SHEET 12)

HEAVY DUTY ASPHALT PAVEMENT
(SEE DETAILS ON THIS SHEET)

CONCRETE PAVEMENT
(SEE DETAILS ON SHEET 12)

PROPERTY LINE
EDGE OF STRIPE
CENTER OF STRIPE
BUILDING
BACK OF CURB
EDGE OF WALK
RADIUS

DATE: 02/25/2022
DESCRIPTION: ISSUED FOR REVIEW
04/01/2022 REVISED PER VILLAGE REVIEW COMMENTS

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**TYNDALE HOUSE MINISTRIES WAREHOUSE
BUILDING ADDITION
351 EXECUTIVE DR.
CAROL STREAM, ILLINOIS 60188
SITE CIVIL ENGINEERING PLANS
GEOMETRIC PLAN**

PROJECT NO. M21 160

DRAWN BY: ZDS

CHECKED BY: CLS

SHEET NO. 4 / 5

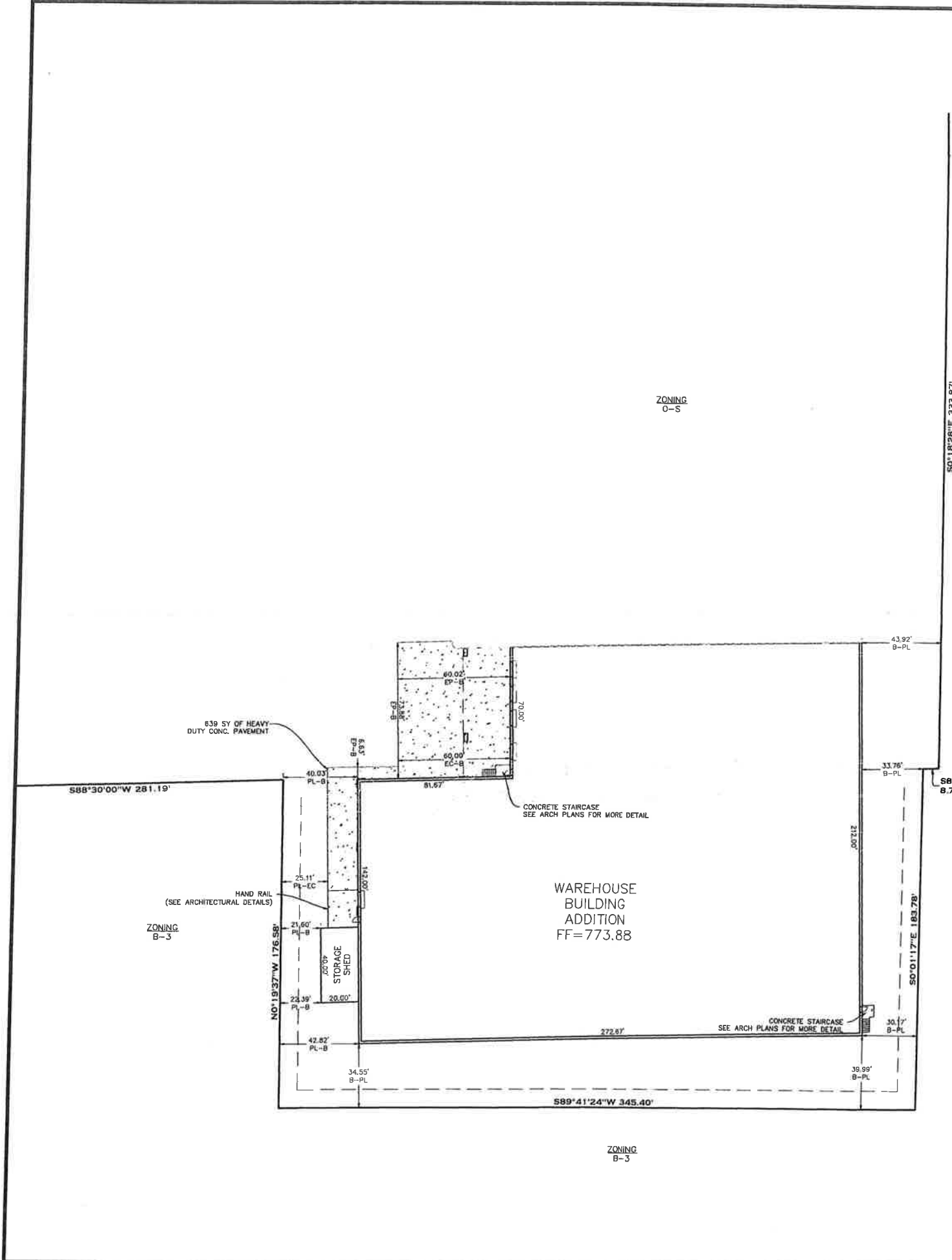
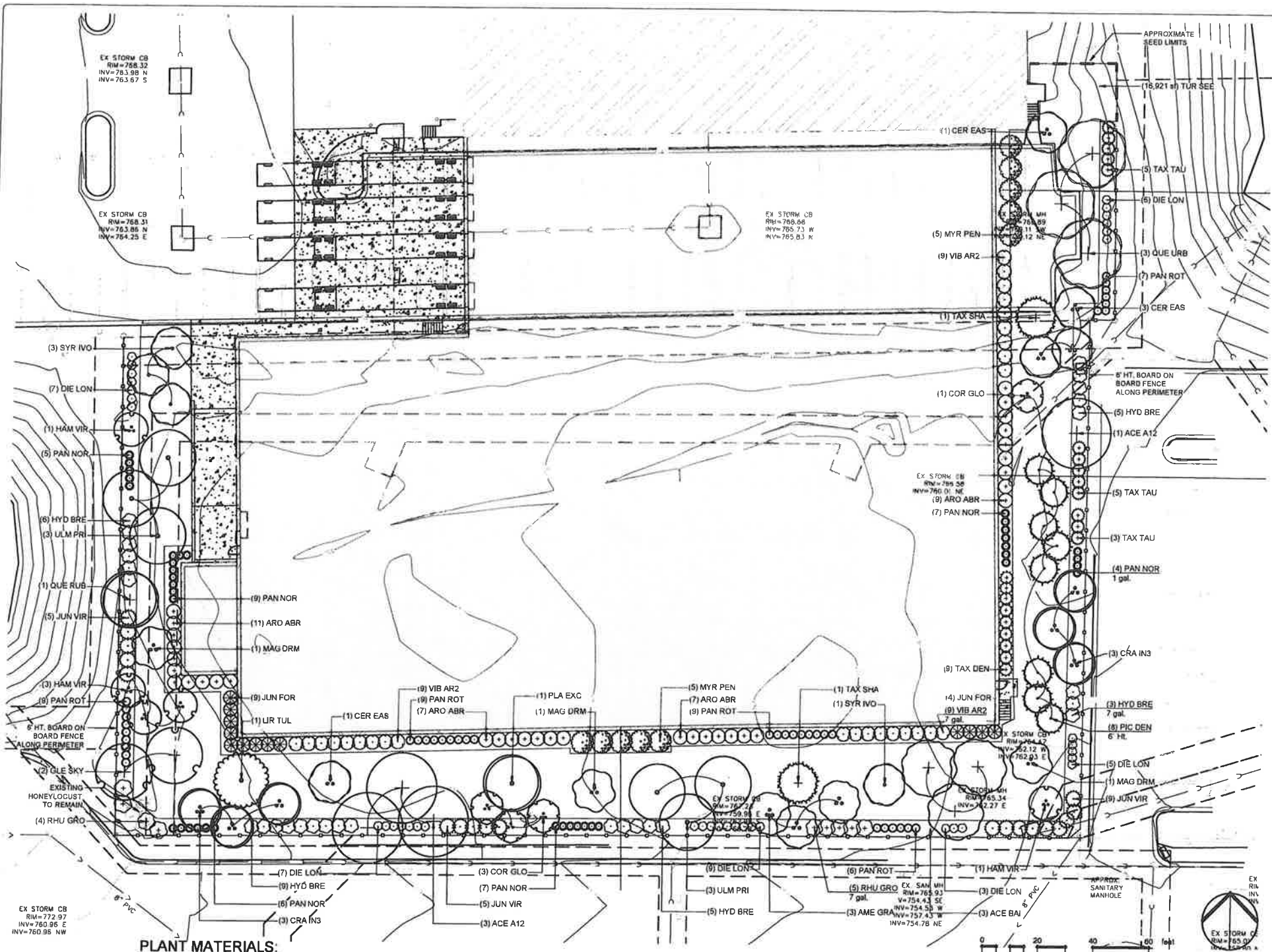


EXHIBIT D

NOTES

- 1. SEE DEMOLITION PLAN FOR LIMITS OF PAVEMENT, UTILITIES AND VEGETATION TO BE REMOVED.
- 2. SEE LANDSCAPE PLAN FOR PROPOSED LANDSCAPING

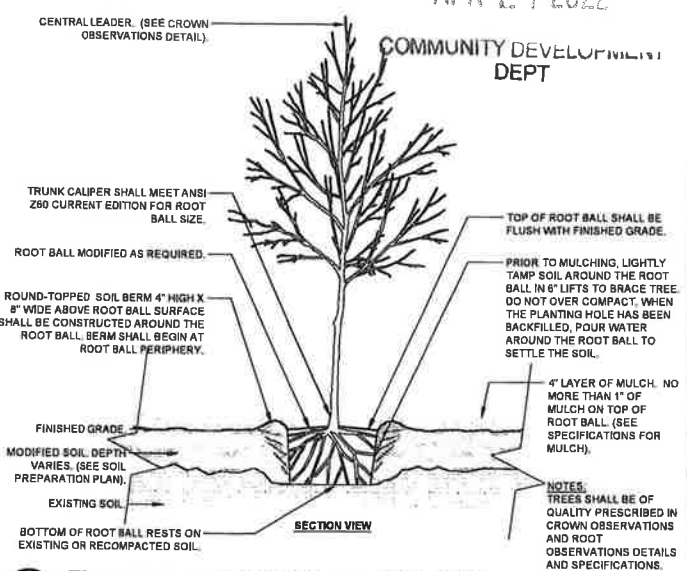
ZONING ABBREVIATIONS:
B-3 GENERAL BUSINESS DISTRICT
O-S OFFICE, SERVICE AND INDUSTRIAL DISTRICTS



PLANTING GENERAL NOTES: NOT FOR CONSTRUCTION

- All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock (ANSI Z60.1-2004)
- Tree planting shall comply with details herein and the Village of Carol Stream Landscape Ordinances.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within 24-hours, the tree shall be moved or drainage shall be provided.
- Seed limit lines are approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area at no additional cost to the owner.
- The contractor is responsible for erosion control for all native site topsoil, plant beds, and in all landscaped and seeded areas. Provide temporary erosion control blanket for all seeded areas that exceed 4:1 slopes.
- Native site topsoil shall be laboratory tested by and accredited laboratory and amended per said laboratory's recommendations.
- All planting beds to receive 12" min. amended topsoil. Amend with soil conditioner similar to Midwest Trading Midwest Landscapers Pro One per manufacturer's recommendations or approved equal. All disturbed turf seed areas to maintain or receive 5" min. topsoil.
- Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from the area to be mulched and provide a typical v-trench edge at perimeter of the beds. Mulch to be shredded hardwood bark.
- Bedlines are to be spade cut to a minimum depth of 3 inches, unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. Notify Landscape Architect of any discrepancies. No additional payments will be made for materials required to complete the work as drawn and specified.

RECEIVED
APR 21 2022



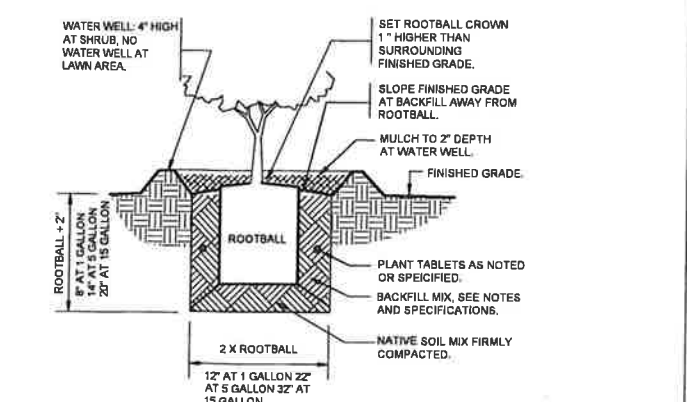
1 TREE W/ BERM (EXISTING SOIL MODIFIED)
12" x 1'-0"
P-CO-05

PLANT MATERIALS:

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
ACE BAI	<i>Acer saccharum</i> 'Ballata' TM	Fall Fiesta Sugar Maple	2.5' Cal.	B&B	3		
ACE A12	<i>Acer x freemanii</i> 'Jaffard'	Autumn Blaze Maple	2.5' Cal.	B&B	4		
AME GRA	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Ht.	B&B	3		
CER EAS	<i>Cornus canadensis</i>	Eastern Redbud Multi-trunk	6' Ht.	B&B	5		
COR GLO	<i>Cornus mas</i> 'Golden Glory'	Golden Glory Cornelian Cherry	6' Ht.	B&B	4		
CRA IN3	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorn	6' Ht.	B&B	6		
GLE SKY	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	2.5' Cal.	B&B	2		
HAM VIR	<i>Hamamelis virginiana</i>	Common Witch Hazel	6' Ht.	B&B	5		
JUN VIR	<i>Liriodendron tulipifera</i>	Tulip Poplar	2.5' Cal.	B&B	1		
JUN FOR	<i>Magnolia x loebneri</i> 'Merrill'	Merrill Loebner Magnolia	6' Ht.	B&B	3		
MAG DRM	<i>Ficus glauca</i> 'Densata'	Black Hills White Spruce	6' Ht.	B&B	8		
PIC DEN	<i>Platanus x acerifolia</i> 'Exclamation' TM	Exclamation London Plane Tree	2.5' Cal.	B&B	1		
PLA EXC	<i>Quercus macrocarpa</i> 'Urban Pinnacle'	Urban Pinnacle Oak	2.5' Cal.	B&B	3		
QUE URB	<i>Quercus rubra</i>	Red Oak	2.5' Cal.	B&B	1		
QUE RUB	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5' Cal.	B&B	4		
SYR IVO	<i>Taxodium distichum</i> 'Shawnee Brave' TM	Bald Cypress	2.5' Cal.	B&B	2		
TAX SHA	<i>Ulmus americana</i> 'Princeton'	American Elm	2.5' Cal.	B&B	6		
ULM PRI							

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
ARO ABR	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	7 gal.	Pot	34		
DIE LON	<i>Dierfeldia lonicera</i>	Dwarf Bush Honeysuckle	7 gal.	Pot	37		
HYD BRE	<i>Hydrangea quercifolia</i> 'Branhill' TM	Getzby Gal Oakleaf Hydrangea	7 gal.	Pot	28		
JUN FOR	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	7 gal.	Pot	16		
JUN VIR	<i>Juniperus chinensis</i> sargentii 'Mridia'	Green Sargent Juniper	7 gal.	Pot	19		
MYR PEN	<i>Myrica pensylvanica</i>	Northam Bayberry	7 gal.	Pot	10		
PAN NOR	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gal.	Pot	35		
PAN ROT	<i>Panicum virgatum</i> 'Rotatrhilbusch'	Rotatrhilbusch Red Switch Grass	1 gal.	Pot	40		
RHU GRO	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	7 gal.	Pot	8		
TAX TAU	<i>Taxus x media</i> 'Tauntoni'	Taunton's Yew	7 gal.	Pot	13		
TAX DEN	<i>Taxus x media</i> 'Densaformis'	Dense Anglo-Japanese Yew	7 gal.	Pot	8		
VIB AR2	<i>Viburnum dentatum</i> 'Christom' TM	Blue Muffin Arrowwood Viburnum	7 gal.	Pot	27		

EXHIBIT E



2 SHRUB PLANTING
1" x 1'-0"
P-CO-07

REVISIONS	
No.	Description
1	02/24/2022 MLEU
2	04/27/2022 MLEU

CONSULTANT LOG:

SEAL:
TYNDALE HOUSE MINISTRIES
351 Executive Dr., Carol Stream, IL 60186

ASPEN GROUP
9645 Lincoln-Way Lane
Suite 201
Frankfort, IL 60423

DRAWN BY: Author
SHEET: **L.100**
ASPEN PROJECT #: 22-1004-03

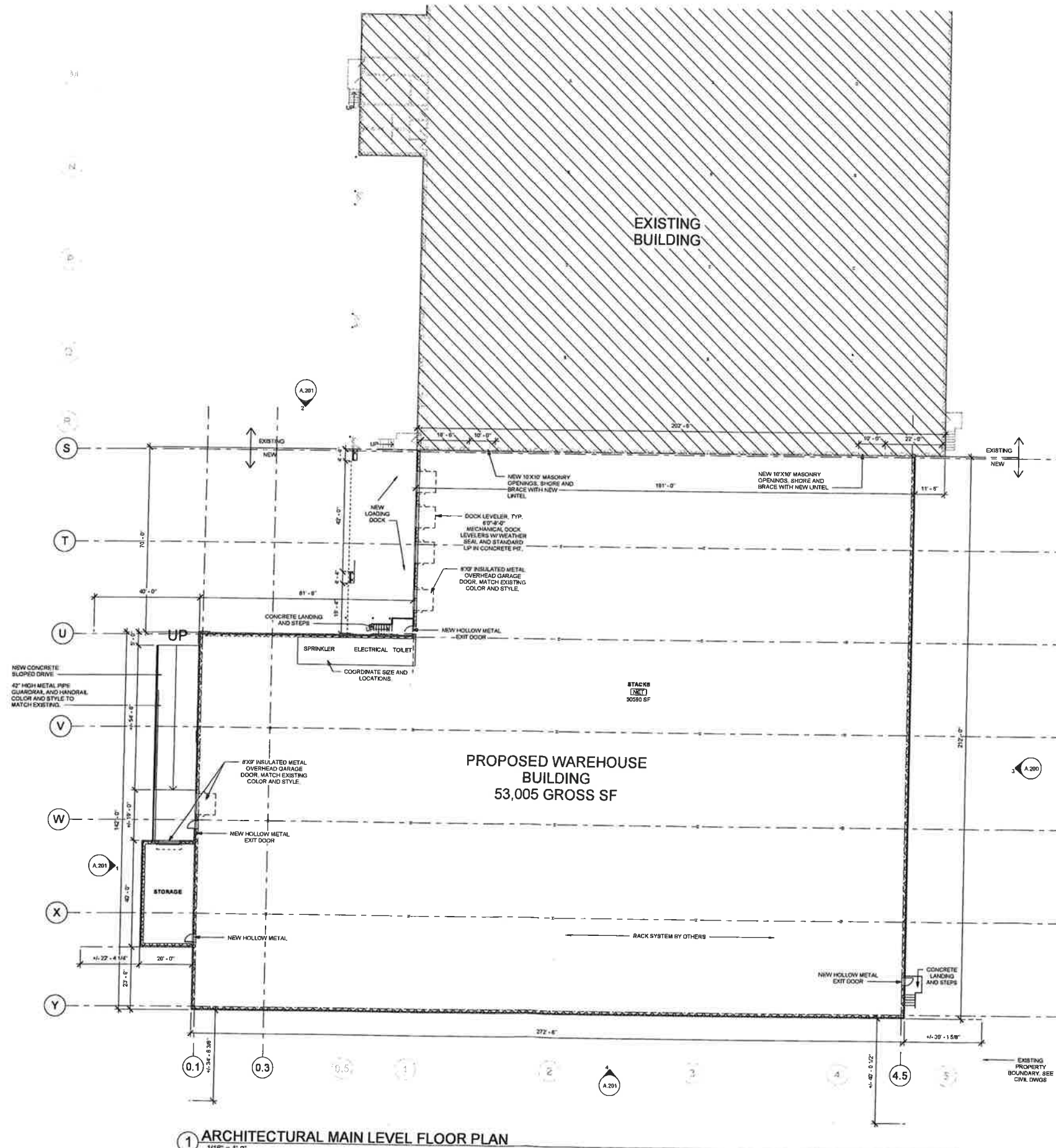
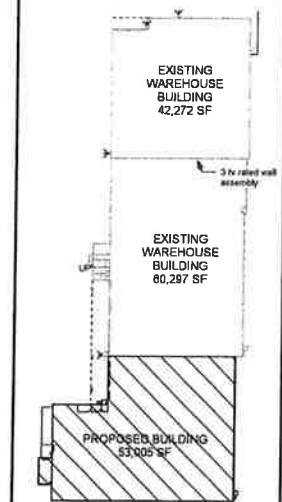


EXHIBIT F

1 ARCHITECTURAL MAIN LEVEL FLOOR PLAN
1/16" = 1'-0"

KEY PLAN



ASPEN GROUP
9645 Lincoln-Way Suite 201, Frankfort, IL 60423

TYNDALE HOUSE MINISTRIES
351 Executive Dr, Carol Stream, IL 60188

351 Executive Dr, Carol Stream, IL 60188



ZONING SET

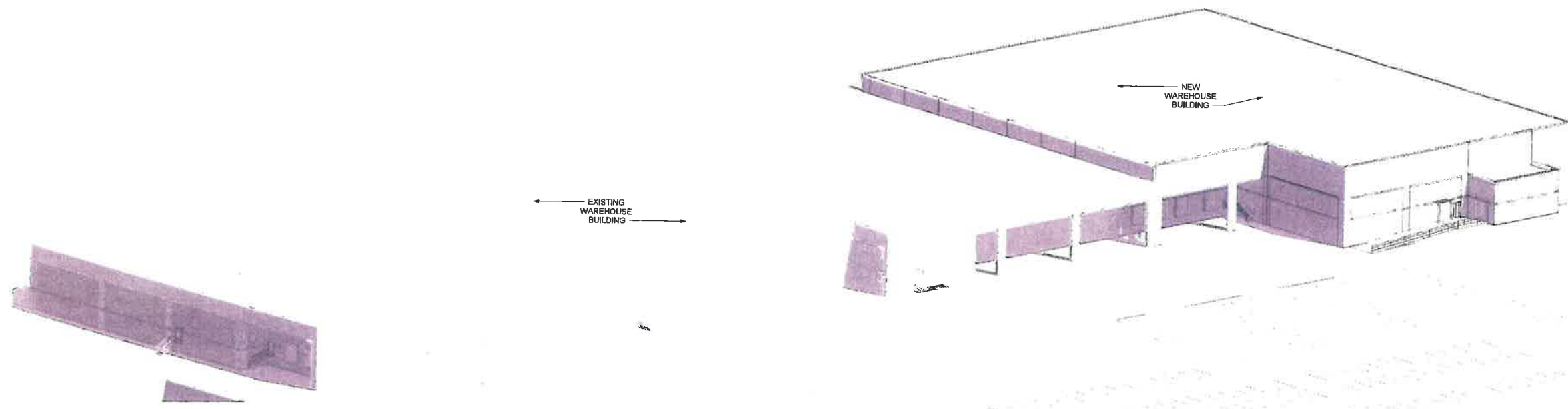
REVISIONS			
No.	Date	By	Description
A	02-25-2022		ZONING REVIEW

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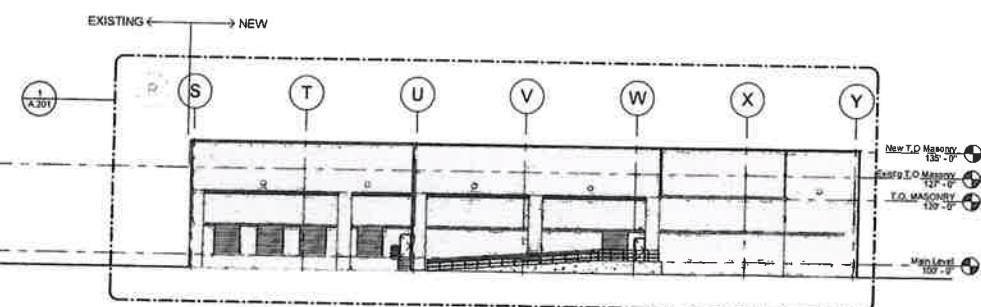
ARCHITECTURAL FLOOR PLAN

A.001

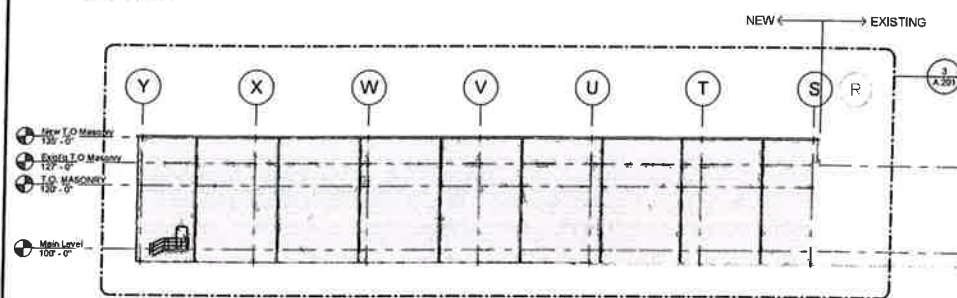
ASPEN PROJECT # 00-0000



1 3D VIEW FOR REFERENCE ONLY



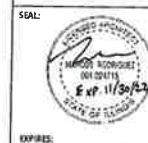
2 West Exterior Elevation
3/8" = 1'-0"



3 East Exterior Elevation
3/8" = 1'-0"

ASPEN GROUP
9645 Lincoln Way Lane Suite 201 Frankfort, IL 60423

TYNDALE HOUSE MINISTRIES
351 Executive Dr, Carol Stream, IL 60188



ZONING SET

REVISIONS

No.	Date	By	Description
A	02 25 2022		TYNDALE'S REVISION

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EXTERIOR ELEVATIONS

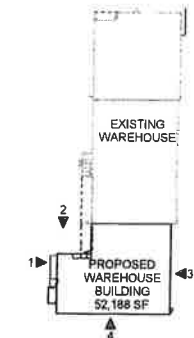
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ASPEN PROJECT # 00-0000

EXHIBIT G-1

EXTERIOR ELEVATION NOTES

KEY PLAN



ASPEN GROUP
9645 Lincoln Way, Suite 201, Frankfort, IL 60423

TYNDALE HOUSE
MINISTRIES
351 Executive Dr, Carol Stream, IL 60188



EXPIRES:

PRE GP SET

REVISIONS				
No.	Date	By	Description	
A	02/25/2022		ZONING REVIEW	

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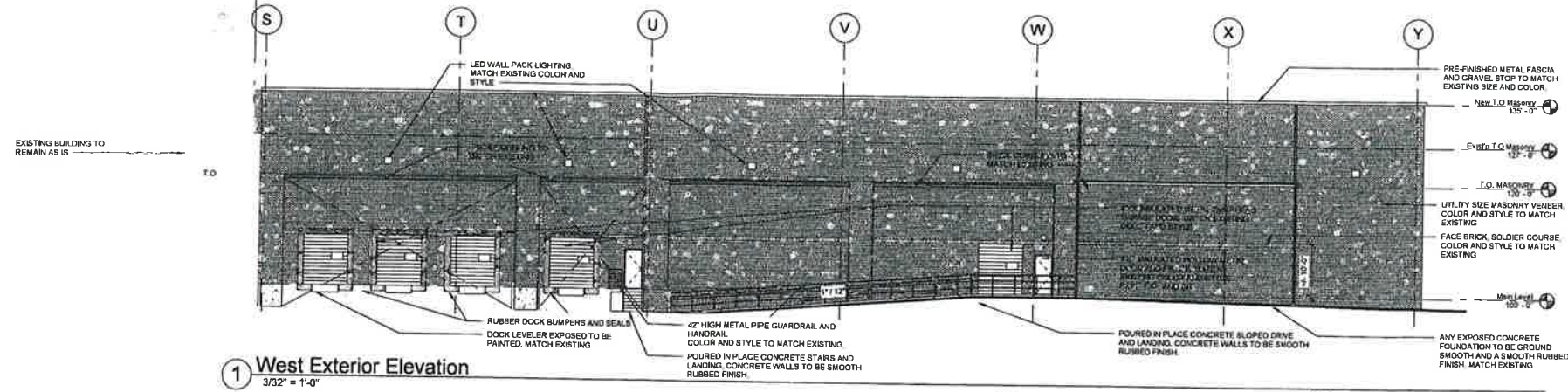
EXTERIOR ELEVATIONS

A.201

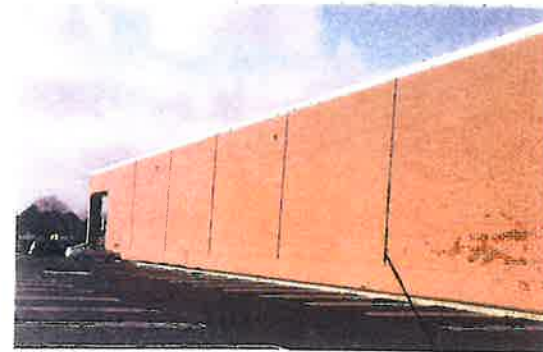
ASPEN PROJECT # 20-0000

EXHIBIT G-2

EXISTING ← → NEW



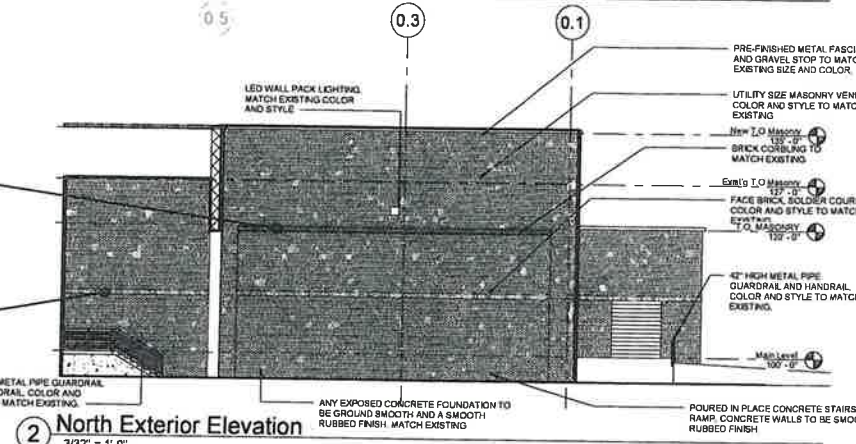
1 West Exterior Elevation
3/32" = 1'-0"



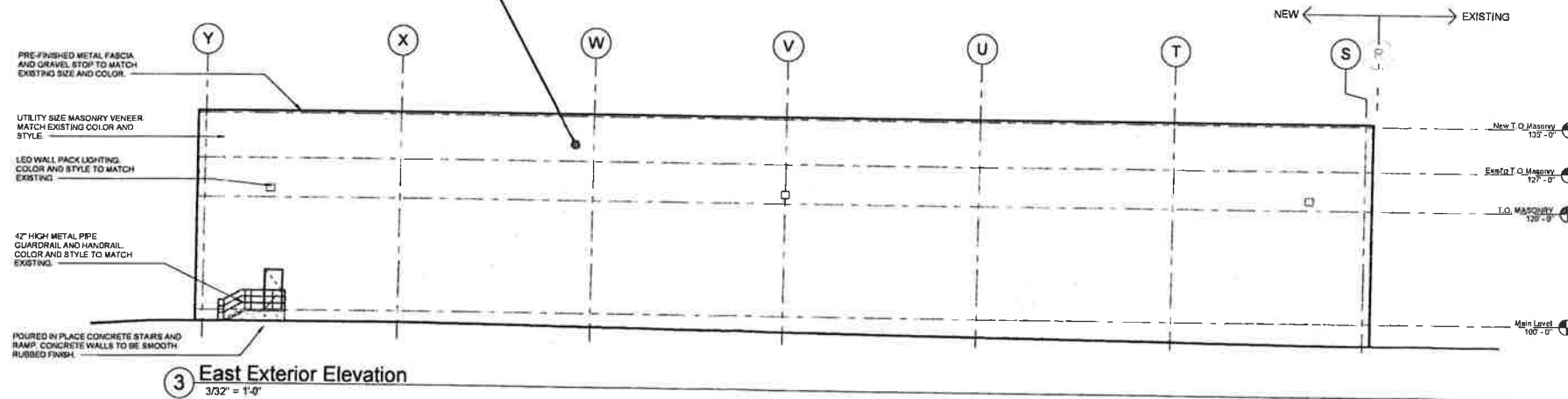
EXISTING BRICK AND DETAILS



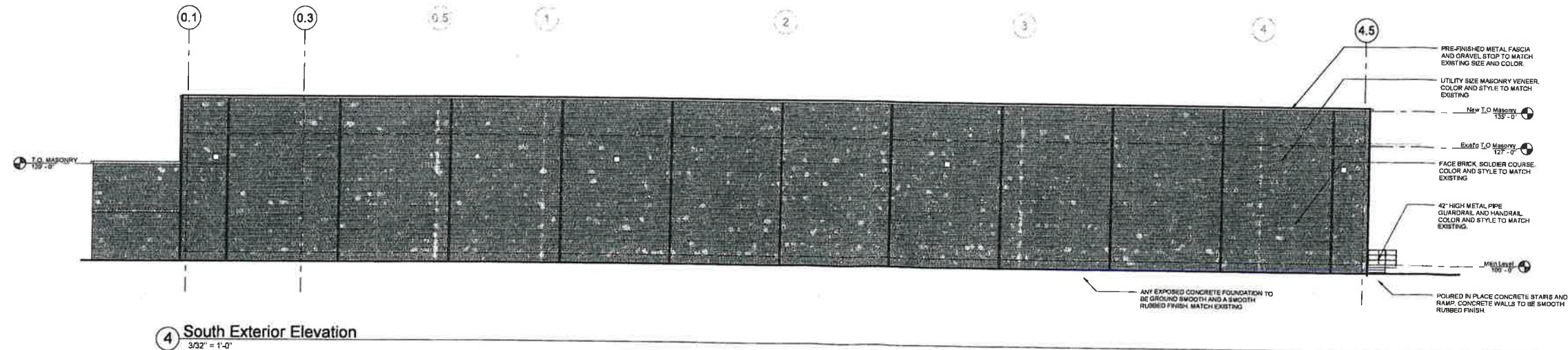
EXISTING BRICK AND DETAILS



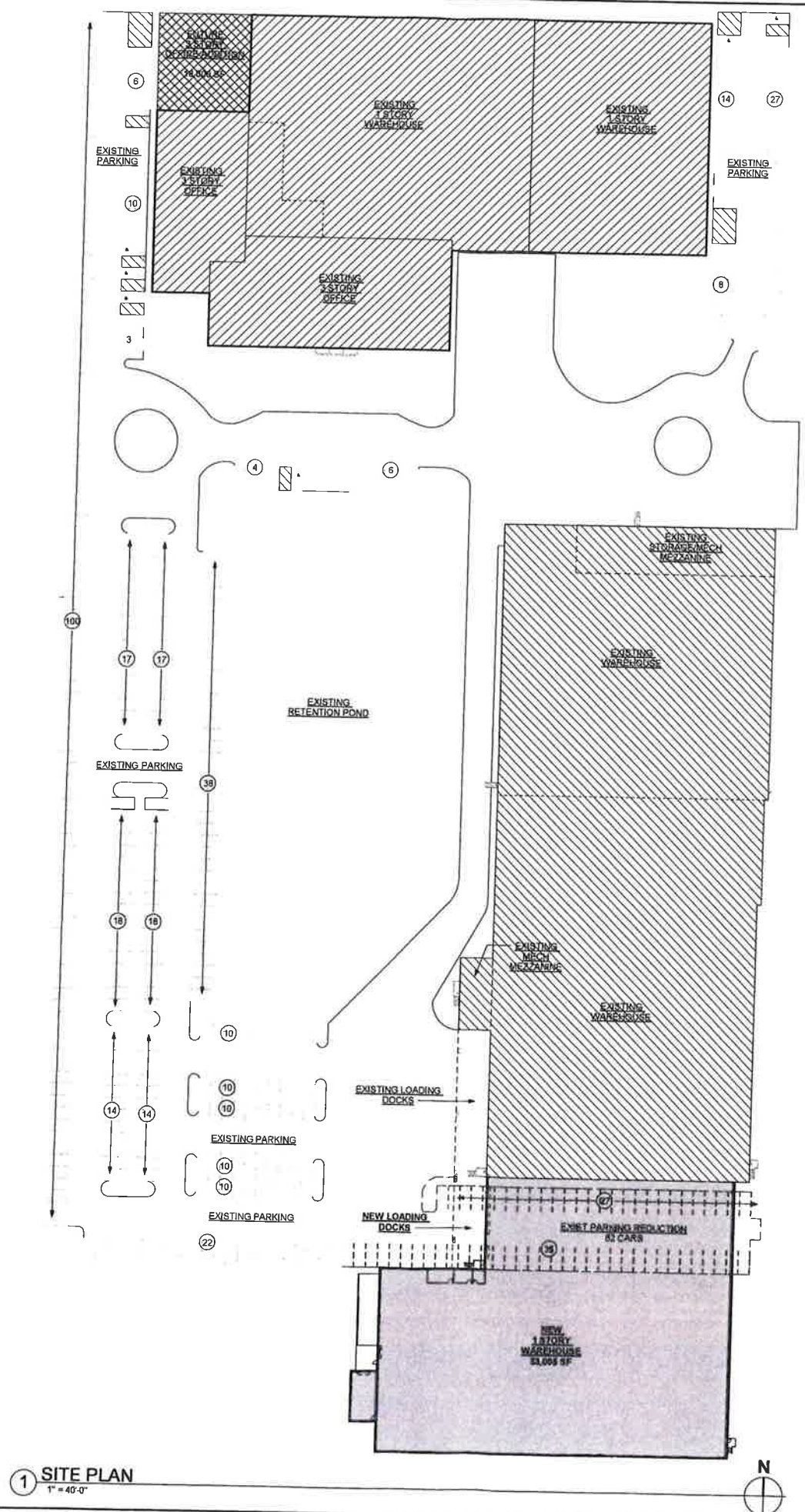
2 North Exterior Elevation
3/32" = 1'-0"



3 East Exterior Elevation
3/32" = 1'-0"



4 South Exterior Elevation
3/32" = 1'-0"



1 SITE PLAN
1" = 40'-0"

PARKING STUDY

BUILDING AREA	WAREHOUSE	OFFICE	TOTALS
EXISTING NET S.F. (EXCLUSIONS REMOVED PER TABLE 18-5-2 (C))	+/- 188,546 S.F.	+/- 29,062 S.F.	+/- 194,498 S.F.
NEW NET S.F.	+42,000 S.F.		
FUTURE NET S.F.		+/- 17,710 S.F.	
TOTAL NET S.F.	+/- 217,546 S.F.	+/- 46,772 S.F.	+/- 264,208 S.F.
EXISTING GROSS S.F.	+/- 172,855 S.F.	+/- 47,261 S.F.	+/- 240,116 SF
NEW GROSS S.F.	+43,005 S.F.		
FUTURE BUILDING S.F.		+/- 18,000 S.F.	
TOTAL GROSS FLOOR AREA S.F.	+/- 225,860 S.F.	+/- 65,261 S.F.	+/- 311,141 S.F.

PARKING	WAREHOUSE	OFFICE	TOTALS
EXISTING PARKING REQUIRED (18-5-2 (C)); BASED ON NET S.F.	(1,150 S.F.) 110 CARS	(1,200 S.F.) 116 CARS	226 CARS
NEW PARKING REQUIRED	35 CARS		
FUTURE PARKING REQUIRED		71 CARS	
TOTAL PARKING REQUIRED			331 CARS

ACTUAL PARKING PROVIDED:			
EXISTING			448 CARS
NEW			0 CARS
EXISTING PARKING STALLS TO BE REMOVED FOR NEW WAREHOUSE			62 CARS
TOTAL PARKING PROVIDED			386 CARS

ADA PARKING STALLS REQUIRED			
EXISTING			8 CARS
NEW			5 CARS
TOTAL ADA PROVIDED			9 CARS



ASPEN GROUP
9545 Lincoln Way Lane Suite 401 Frankfort, IL 60423

TYNDALE HOUSE MINISTRIES
351 Executive Dr, Carol Stream, IL 60188



ZONING SET

REVISIONS			
No.	Date	By	Description
	02 25 2012		ZONING REVIEW

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PARKING STUDY PLAN

G.001

ASPEN PROJECT # 00-0000

EXHIBIT H

TYNDALE HOUSE FINAL PLAT OF CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTH-WEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH,
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

RECEIVED
APR 14 2022
COMMUNITY DEVELOPMENT
DEPT

LEGEND

PROPERTY BOUNDARY	———
OFFSITE PROPERTY LINE	———
PROPOSED LOT LINE	———
PROPOSED EASEMENT LINE	———
EXISTING EASEMENT LINE	———
CONCRETE MONUMENT	■
FOUND IRON PIPE	○
FOUND DISK	●
RECORD DIMENSION	(XXX.XX)
SET 3/4" IRON PIPE	○ _{SET}

ABBREVIATIONS

P.U.E. =	PUBLIC UTILITY EASEMENT
U.E. =	UTILITY EASEMENT
C.E. =	CITY EASEMENT
D.E. =	DRAINAGE EASEMENT
P.U. & D.E. =	PUBLIC UTILITY & DRAINAGE EASEMENT
S.C. & S.M.E. =	STORMWATER CONVEYANCE & STORMWATER MANAGEMENT EASEMENT
S.M. & C.E. =	STORMWATER MANAGEMENT & CONVEYANCE EASEMENT
W.S.D.E. =	WHEATON SANITARY DISTRICT EASEMENT

VACATION NOTES

PORTIONS OF THE FOLLOWING EASEMENTS HAVE BEEN VACATED BY DOCUMENT NO. PRIOR TO THE RECORDING OF THIS FINAL PLAT OF SUBDIVISION:

10' UTILITY EASEMENT RECORDED 04-29-1997 AS DOC. NO. R1997-059651

STORMWATER MANAGEMENT & CONVEYANCE EASEMENT RECORDED 12-07-2017 AS DOC. NO. R2017-125315

SURVEYOR'S NOTES

1. BASIS OF BEARING: GRID NORTH - ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
4. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
5. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
6. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO. 17043C0063J WITH AN EFFECTIVE DATE OF 8-01-2019.
7. SURVEY IS BASED ON FIELD WORK COMPLETED JANUARY 13, 2022.

BUILDING SETBACKS

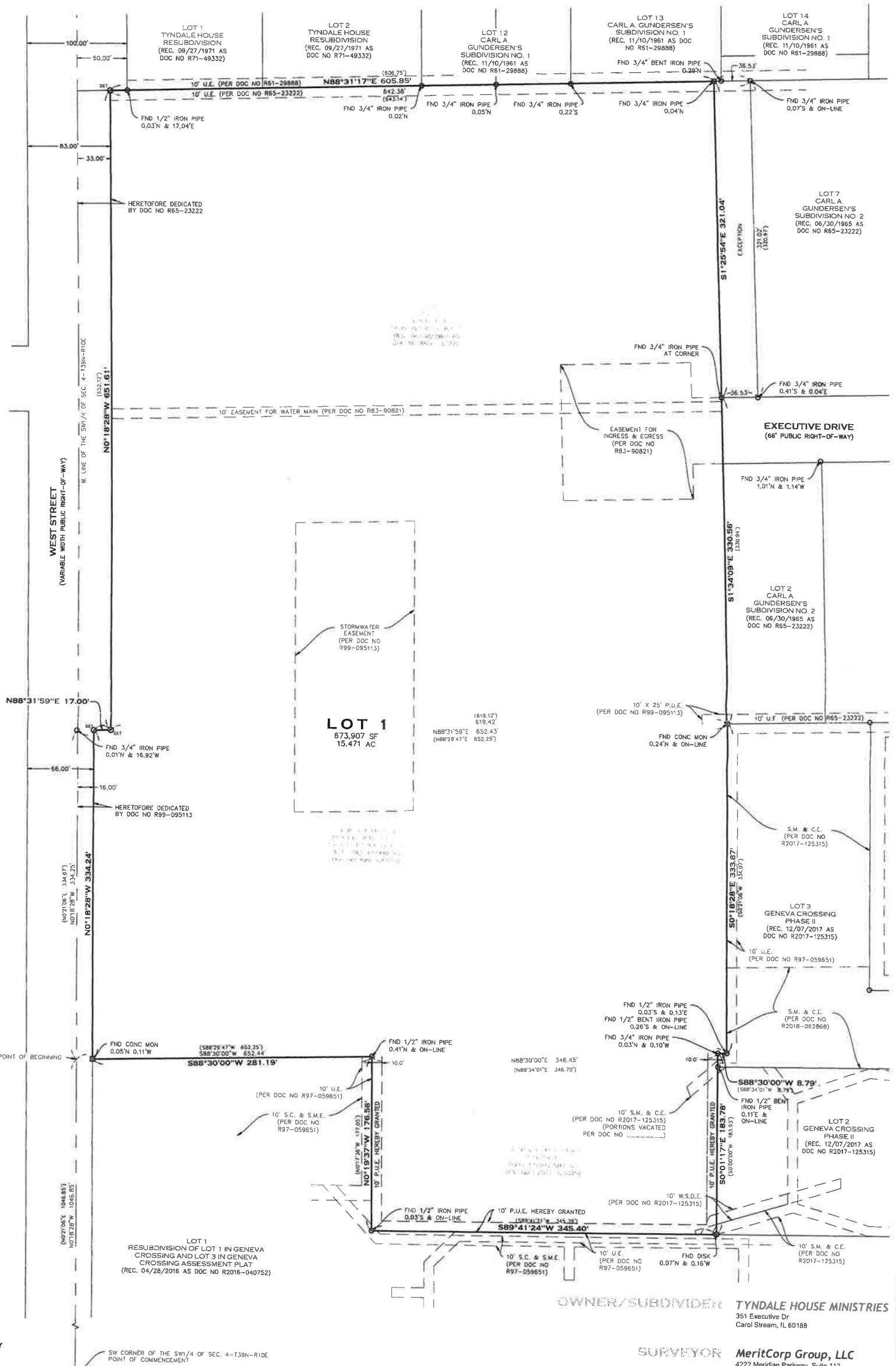
BUILDING SETBACKS ARE NOT DEPICTED HEREON AND ARE SUBJECT TO CHANGE ACCORDING TO THE PROVISION OF THE UNIFIED DEVELOPMENT ORDINANCE OF THE VILLAGE OF CAROL STREAM.

TAX DISTRICTS

PIN # 05-04-302-030
PIN # 05-04-304-079

ADDRESS: 351 EXECUTIVE DRIVE
CAROL STREAM, ILLINOIS 60188

TAXING DISTRICTS:
UNIT SCHOOL DISTRICT 200
CAROL STREAM FIRE
CAROL STREAM PARK
VILLAGE OF CAROL STREAM
VILLAGE OF CAROL STREAM LIBRARY
COLLEGE OF DUPAGE 502
COUNTY OF DUPAGE
FOREST PRESERVE DISTRICT
MILTON TOWNSHIP ROAD
MILTON TOWNSHIP
WHEATON MOSQ DISTRICT
DUPAGE AIRPORT AUTHORITY



OWNER/SUBDIVIDER: **TYNDALE HOUSE MINISTRIES**
351 Executive Dr
Carol Stream, IL 60188

SURVEYOR: **MeritCorp Group, LLC**
4222 Meridian Parkway, Suite 112
Aurora, Illinois 60504
Ph (630) 554-6655

PIN # 05-04-302-030
PIN # 05-04-304-079

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PROJECT NO. M21160

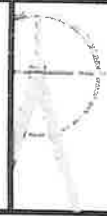
DRAWN BY: JDS

CHECKED BY: JDS

SHEET NO. 1/2

**TYNDALE HOUSE FINAL
PLAT OF CONSOLIDATION**

**351 EXECUTIVE DRIVE
CAROL STREAM, IL 60188**



MeritCorp
ENGINEERING, PLANNING, SURVEYING, ENVIRONMENTAL
4222 Meridian Parkway, Suite 112
Aurora, IL 60504
Office 630.554.6655
Lic. No. 184-005860
www.meritcorp.com

DATE:
02/25/2022
04/01/2022

DESCRIPTION:
ISSUED DRAFT TO CLIENT
REVISED PER VILLAGE COMMENTS

EXHIBIT I

TYNDALE HOUSE FINAL PLAT OF CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH,
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

RECEIVED

APR 14 2022

COMMUNITY DEVELOPMENT
DEPT

OWNER'S CERTIFICATE:

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. THE UNDERSIGNED HEREBY DEDICATES/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES/PRESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM, AND TO THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

TITLE _____

ADDRESS _____

DATED THIS _____ DAY OF _____, 20____.

NOTARY CERTIFICATE:

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, NOTARY PUBLIC IN AND FOR THE COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON/PERSONS WHOSE NAME/NAMES IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER/OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HE/THEY SIGNED THE SUBDIVISION PLAT AS HER/HIS/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

MORTGAGEE CERTIFICATE:

STATE OF _____)
) SS
COUNTY OF _____)

_____, HOLDER(S) OF A MORTGAGE ON THE PROPERTY DESCRIBED HEREIN, HEREBY CONSENTS TO THE EXECUTION AND RECORDING OF THE ABOVE AND FOREGOING PLAT OF SUBDIVISION AND HEREBY SUBMITS ITS MORTGAGE.

RECORDED _____ AS DOCUMENT NUMBER _____ IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS, TO ALL OF THE PROVISIONS THEREOF.

IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ITS DULY AUTHORIZED OFFICERS ON ITS BEHALF AT _____, THIS _____ DAY OF _____, 20____.

PRINT MORTGAGEE NAME: _____

BY: _____

ATTEST: _____

MORTGAGE NOTARY CERTIFICATE:

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT _____ AND _____ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

SURFACE WATER CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THE UNDERSIGNED HEREBY CERTIFY THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL NOT BE CHANGED WITHOUT ADEQUATE PROVISION BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. THE UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS THE FUTURE USE OF THE LAND HEREIN SUBDIVIDED IN THAT NO BUILDING PERMITS SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNTIL AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT BY SUCH CONSTRUCTION AND TOPOGRAPHICAL CHANGE COMPLY WITH THE ORDINANCES OF THE VILLAGE RELATING TO SURFACE WATERS, DRAINAGE, WATER RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.

DATED THIS _____ DAY OF _____, 20____.

REGISTERED PROFESSIONAL ENGINEER _____

OWNER OR ATTORNEY _____

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT _____, WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M. AND WAS RECORDED IN BOOK _____ OF PLATS ON PAGE _____.

RECORDER OF DEED _____

PLAN COMMISSION CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

APPROVED THIS _____ DAY OF _____, 20____.

VILLAGE OF CAROL STREAM PLAN COMMISSION _____

CHAIRPERSON _____

VILLAGE ENGINEER'S CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THIS PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS SUBDIVISION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS _____, THIS _____ DAY OF _____, 20____.

VILLAGE ENGINEER _____

FINANCE DIRECTOR CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, 20____.

FINANCE DIRECTOR _____

VILLAGE CLERK'S CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION _____ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON _____ DAY OF _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS HIS _____ DAY OF _____, 20____.

MAYOR _____

VILLAGE CLERK _____

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE SUBDIVISION PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE SUBDIVISION PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____, 20____.

COUNTY CLERK _____

PUBLIC UTILITY EASEMENT (P.U.E.) PROVISIONS:

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, AND TO THOSE UTILITY AND OTHER ENTITIES OPERATING NOW, OR IN THE FUTURE, UNDER FRANCHISE FROM THE VILLAGE OF CAROL STREAM, INCLUDING, BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, AND TO THEIR SUCCESSORS AND ASSIGNS, IN, ON, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" (OR "P.U.E.") ON THIS PLAT OF SUBDIVISION, SUCH EASEMENTS GRANTING AND RESERVING FOR THE VILLAGE UTILITIES AND OTHER ENTITIES THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, INSPECT, OPERATE, REPLACE, RENEW, ALTER, ENLARGE, REMOVE, REPAIR, CLEAN AND MAINTAIN VARIOUS UTILITY AND SIMILAR TRANSMISSION, RECEIVING AND DISTRIBUTION SYSTEMS, INCLUDING, BUT NOT LIMITED TO CABLES, LINES, TRANSFORMERS, COMPUTER DEVICES, SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND ANY AND ALL NECESSARY MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH UTILITY AND SIMILAR SERVICE TO THE ATTACHED AREA, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS THE VILLAGE, UTILITIES AND SIMILAR ENTITIES MAY DEEM NECESSARY, USEFUL OR CONVENIENT, TOGETHER WITH A PERMANENT RIGHT OF ACCESS ACROSS THE LOTS AND REAL ESTATE SHOWN ON THIS PLAT OF SUBDIVISION FOR THE NECESSARY PERSONS AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO THE VILLAGE, UTILITIES AND SIMILAR ENTITIES TO CLIMB, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH INSTALLATIONS, IN, ON, UPON, ACROSS, OVER, UNDER OR THROUGH SUCH EASEMENTS. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SUCH EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR MUNICIPAL-OWNED UTILITIES, OTHER INSTALLATION OF UTILITIES AND OTHER ENTITIES SHALL BE SUBJECT TO THE PRIOR APPROVAL, AS TO LOCATION AND DESIGN, OF THE VILLAGE SO AS NOT TO INTERFERE WITH THE MUNICIPAL UTILITIES.

SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JONATHAN D. SPINAZZOLA, REGISTERED ILLINOIS LAND SURVEYOR NO. 3868, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 8 (EXCEPT THE EAST 38.53 FEET OF THAT PART THEREOF LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF EXECUTIVE DRIVE) ALL IN CARL A. GUNDERSEN'S SUBDIVISION, UNIT NO. 2, A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 1965, AS DOCUMENT R65-23222, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER AND RUNNING THENCE NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1046.85 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG SAID WEST LINE, 334.07 FEET TO THE SOUTH LINE OF CARL A. GUNDERSEN'S SUBDIVISION UNIT NO. 2 (RECORDED AS DOCUMENT R65-23222); THENCE NORTH 88 DEGREES 29 MINUTES 47 SECONDS EAST, 652.25 FEET; THENCE SOUTH 00 DEGREES 21 MINUTES 06 SECONDS WEST, 334.07 FEET; THENCE SOUTH 88 DEGREES 29 MINUTES 47 SECONDS WEST, 652.25 FEET TO THE POINT OF BEGINNING, CONTAINING 5.001 ACRES, MORE OR LESS, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

LOT 1 IN GENEVA CROSSING PHASE II, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT NUMBER R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE SUBDIVISION PLAT WHICH IS A CORRECT REPRESENTATION OF SUCH SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I ALSO CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF CAROL STREAM AND THAT NO PART OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS _____ DAY OF _____, 2022.

JONATHAN D. SPINAZZOLA, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3868
CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2022
4222 MERIDIAN PARKWAY, SUITE 112
AURORA, ILLINOIS 60504
630-654-6655

SURVEYOR'S FILE NO. OF SURVEY FOR IDENTIFICATION PURPOSES: M21160

THIS PLAT CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN ILLINOIS.



PIN # 05-04-302-030
PIN # 05-04-304-079

<p>COPYRIGHT © 2022 MeritCorp</p> <p>PROJECT NO. M21160</p> <p>DRAWN BY: JDS</p> <p>CHECKED BY: JDS</p> <p>SHEET NO. 2/2</p>	<p>TYNDALE HOUSE FINAL PLAT OF CONSOLIDATION</p> <p>351 EXECUTIVE DRIVE CAROL STREAM, IL 60188</p>	<p>ENGINEERING PLANNING SURVEYING ENVIRONMENTAL</p> <p>4222 Meridian Parkway, Suite 112 Aurora, IL 60504 Office 630.554.6655 Lic. No. 184-005860 www.meritcorp.com</p> <p>Other Office Locations: Gurnee, IL</p>	<p>DATE: 02/25/2022 04/01/2022</p> <p>DESCRIPTION: ISSUED DRAFT TO CLIENT REVISED PER VILLAGE COMMENTS</p>	
---	--	--	--	--

LEGEND

- PROPERTY BOUNDARY
OFFSITE PROPERTY LINE
PROPOSED LOT LINE
PROPOSED EASEMENT LINE
EXISTING EASEMENT LINE
CONCRETE MONUMENT
FOUND IRON PIPE
FOUND DISK
RECORD DIMENSION
SET 3/4" IRON PIPE
EASEMENT HEREBY VACATED

ABBREVIATIONS

- P.U.E. = PUBLIC UTILITY EASEMENT
U.E. = UTILITY EASEMENT
C.E. = CITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
S.C. & S.M.E. = STORMWATER CONVEYANCE & STORMWATER MANAGEMENT EASEMENT
S.M. & C.E. = STORMWATER MANAGEMENT & CONVEYANCE EASEMENT
W.S.D.E. = WHEATON SANITARY DISTRICT EASEMENT

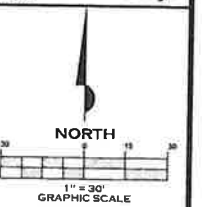
PLAT OF VACATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

EXHIBIT J

COPYRIGHT © 2022

MeritCorp



OWNER'S CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT _____ IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED HEREON, AND HAS/HAVE CAUSED THE SAME TO BE PLATTED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

TITLE _____
ADDRESS _____
DATED THIS _____ DAY OF _____, 20____

NOTARY CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS
I, _____, NOTARY PUBLIC IN AND FOR THE COUNTY, IN THE STATE

AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON/PERSONS WHOSE NAME/NAMES IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER/OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HE/THEY SIGNED THE PLAT AS HER/HIS/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSE THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____
NOTARY PUBLIC

MORTGAGE CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

_____, HOLDER(S) OF A MORTGAGE ON THE PROPERTY DESCRIBED HEREIN, HEREBY CONSENTS TO THE EXECUTION AND RECORDING OF THE ABOVE AND FOREGOING PLAT AND HEREBY SUBMITS ITS MORTGAGE

RECORDED _____ AS DOCUMENT NUMBER _____ IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS, TO ALL OF THE PROVISIONS THEREOF.

IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ITS DULY AUTHORIZED OFFICERS ON ITS BEHALF AT _____, THIS _____ DAY OF _____, 20____

PRINT MORTGAGEE NAME: _____

BY: _____

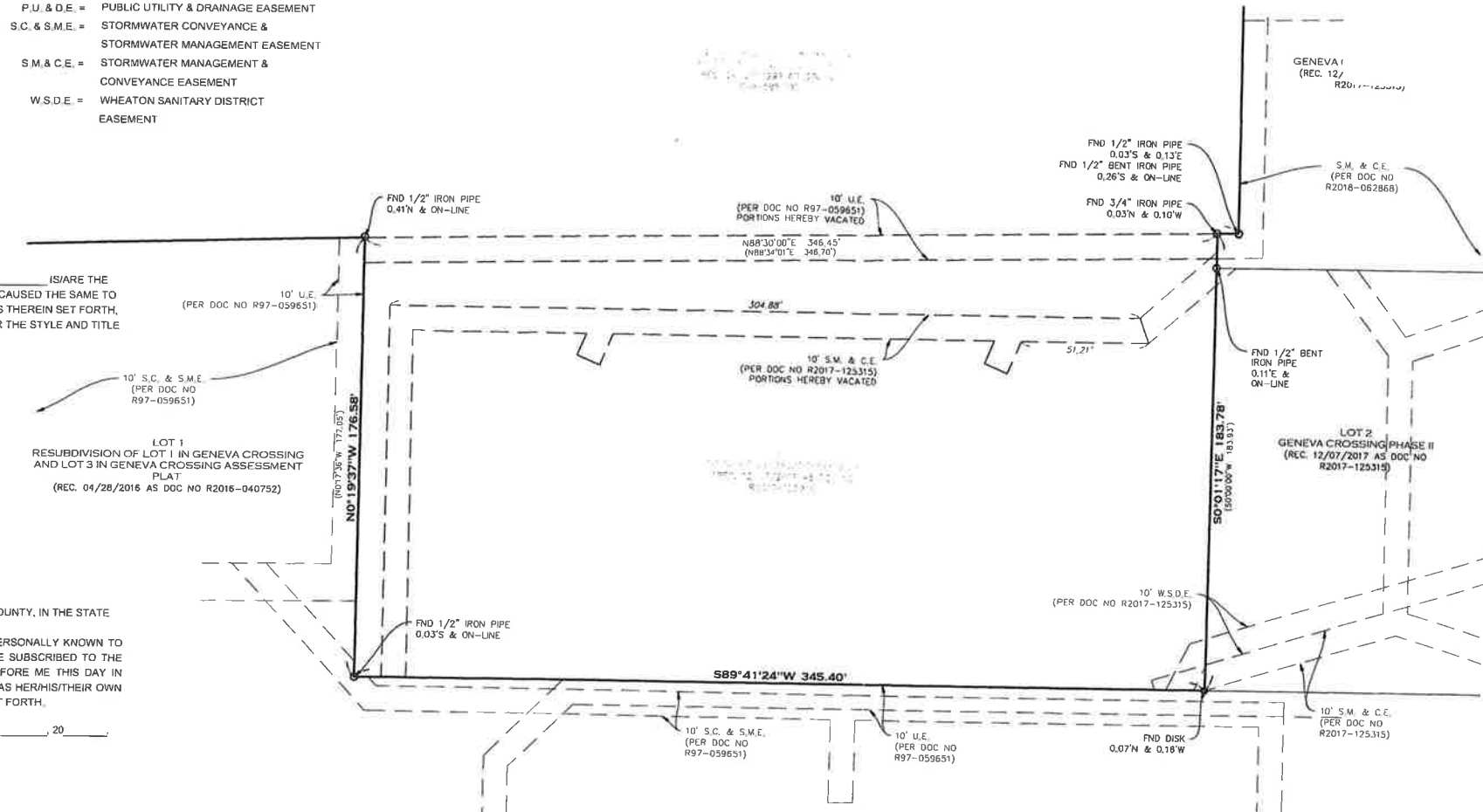
ATTEST: _____

MORTGAGE NOTARY CERTIFICATE:

STATE OF _____)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 20____
NOTARY PUBLIC



SURVEYOR'S NOTES

- 1. BASIS OF BEARING: GRID NORTH - IL EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
4. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
5. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO 17043C0063J WITH AN EFFECTIVE DATE OF 8-01-2019.
6. SURVEY IS BASED ON FIELD WORK COMPLETED JANUARY 13, 2022.

VACATION OF EXISTING EASEMENT NOTES

PORTIONS OF A 10' UTILITY EASEMENT RECORDED 04-29-1997 AS DOC. NO. R1997-059651 ARE TO BE VACATED OVER THE PORTIONS SHOWN HEREON (SEE LEGEND AND REFERENCES)
PORTIONS OF A STORMWATER MANAGEMENT & CONVEYANCE EASEMENT RECORDED 12-07-2017 AS DOC. NO. R2017-125315 ARE TO BE VACATED OVER THE PORTIONS SHOWN HEREON (SEE LEGEND AND REFERENCES).

TAX DISTRICTS

- PIN # 05-04-304-079
ADDRESS: 351 EXECUTIVE DRIVE
CAROL STREAM, ILLINOIS 60188
TAXING DISTRICTS: UNIT SCHOOL DISTRICT 200
CAROL STREAM FIRE
CAROL STREAM PARK
VILLAGE OF CAROL STREAM
VILLAGE OF CAROL STREAM LIBRARY
COLLEGE OF DUPAGE 502
COUNTY OF DUPAGE
FOREST PRESERVE DISTRICT
MILTON TOWNSHIP ROAD
MILTON TOWNSHIP
WHEATON MOSQ DISTRICT
DUPAGE AIRPORT AUTHORITY

VACATION PROPERTY LEGAL DESCRIPTION:

LOT 1 IN GENEVA CROSSING PHASE II, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT NUMBER R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, JONATHAN D. SPINAZZOLA, REGISTERED ILLINOIS LAND SURVEYOR NO. 3868, DO HEREBY DECLARE THAT I HAVE PREPARED THE PLAT HEREON DRAWN FOR THE PURPOSE OF VACATING EASEMENT AREA AS SHOWN, AND THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID VACATION.

ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS _____ DAY OF _____, 2022.

JONATHAN D. SPINAZZOLA, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3868
CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2022
4222 MERIDIAN PARKWAY, SUITE 112
AURORA, ILLINOIS 60504
630-554-6655



SURVEYOR'S FILE NO. OF SURVEY FOR IDENTIFICATION PURPOSES: M21160

THIS PLAT CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN ILLINOIS.

VACATION CERTIFICATE

VACATION OF EASEMENTS, APPROVED AND ACCEPTED BY THE FOLLOWING:

AUTHORITIES ON SIGNING THIS DOCUMENT HEREBY RELEASE AND CONSENT TO THE RELEASE, VACATION AND ABROGATION OF THE PORTIONS OF EASEMENTS AS SHOWN HEREON, ORIGINALLY GRANTED BY DOCUMENT NUMBERS R97-059651 & R2017-125315.

COMMONWEALTH EDISON COMPANY (COMED)
DATED THIS _____ DAY OF _____, A.D., 20____

NAME _____ TITLE _____
SIGNATURE _____

COMCAST
DATED THIS _____ DAY OF _____, A.D., 20____

NAME _____ TITLE _____
SIGNATURE _____

NORTHERN ILLINOIS GAS COMPANY (NICOR)
DATED THIS _____ DAY OF _____, A.D., 20____

NAME _____ TITLE _____
SIGNATURE _____

A7&T
DATED THIS _____ DAY OF _____, A.D., 20____

NAME _____ TITLE _____
SIGNATURE _____

VILLAGE OF CAROL STREAM (STORMWATER & VILLAGE UTILITIES)
DATED THIS _____ DAY OF _____, A.D., 20____

NAME _____ TITLE _____
SIGNATURE _____

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, 20____ AT _____ O'CLOCK _____ M, AND WAS RECORDED IN BOOK _____ OF PLATS ON PAGE _____

RECORDER OF DEED

VILLAGE CLERK'S CERTIFICATE:

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____ VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION _____ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON _____ DAY OF _____, 20____, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS HIS _____ DAY OF _____, 20____

MAYOR

VILLAGE CLERK

DESCRIPTION: ISSUED FOR REVIEW
DATE: 04/01/2022

MeritCorp
ENGINEERING, PLANNING, SURVEYING, ENVIRONMENTAL
4222 Meridian Parkway, Suite 112
Aurora, IL 60504
Office 630.554.6655
Lic. No. 184-005860
www.meritcorp.com

Other Office Locations:
Gurnee, IL

TYNDALE HOUSE
PLAT OF VACATION
2442 N. MAIN ST
CAROL STREAM, IL 60188

PROJECT NO. M21160

DRAWN BY: CLS

CHECKED BY: JDS

SHEET NO. 1 / 1





Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • JULIA SCHWARZE, CLERK • ROBERT MELLOR, MANAGER
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899
(630) 665-7050 • FAX (630) 665-1064
www.carolstream.org

MEMORANDUM

TO: Chairman and Commissioners, Plan Commission

FROM: Tom Farace, Planning & Economic Development Manager 

THROUGH: Donald T. Bastian, Community Development Director 

DATE: August 18, 2022

RE: PC/ZBA Case 22-0028, Route 64, LLC / 27W174 North Avenue & 2N441 County Farm Road / Amendments to Special Use Permits and Variations – Withdraw Request

A case was initially scheduled for the August 22, 2022 PC/ZBA meeting to review a request from Mr. Ryan Cooper with Route 64, LLC. In August 2021, the Plan Commission reviewed and the Village Board granted zoning approvals associated with the annexation of the subject parcels into the Village of Carol Stream. The parcels were rezoned to B-3 (General Business District) to match the zoning designation of surrounding commercial properties. In addition, Special Use Permits to allow for the outdoor display and sale of merchandise and outdoor activities and operations were approved, and variations associated with parking and pavement setbacks, fencing, screening, landscaping, and outdoor lighting were approved. A plat of consolidation was also approved.

As part of the zoning and annexation approvals, there were requirements for completion of improvements to the site. Route 64, LLC has decided to sell the site, and is requesting not to move forward with the improvements to the site. Previous approvals were to be repealed and new or amended zoning requests would have been under review with this application.

Initially, the applicant was interested in continuing with the sale of firewood on the site, until the site is sold. However, staff has received the attached written confirmation that firewood sales will not occur on the site anymore, and storage containers associated with the firewood sales will be removed. The previous approvals will be null and void, and special use amendments and new variations do not need to be reviewed by the PC/ZBA. Therefore, the case no longer needs to be heard by the PC/ZBA at the August 22, 2022 meeting as it has been withdrawn. An annexation agreement amendment will still be reviewed by the Village Board at an upcoming meeting.



Landscape Material & Firewood Sales, Inc.

27W250 St. Charles Road, West Chicago, IL 60185
Office (630)231-7911 Fax (630)231-7936
*Complete Selection of Landscape Materials
Pick-up or Delivery*

- Garden Mix
- Sand & Gravel
- Playground Mulch
- Pulverized Topsoil
- Triple Ground Mulch
- Premium Hardwood Mulch
- Screened Mushroom Compost
- Brown, Red & Black Dyed Mulch
- Unilock Authorized Dealer

To: Constituents of The Village of Carol Stream

From: Ryan C. Cooper, Member of Route 64, LLC

Date: 8/18/2022

Subject: Statement of Withdrawal from Ordinance No. 2021-08-38

The members of Route 64, LLC are seeking approval to withdraw from amendments for special use and variations listed within Ordinance No. 2021-08-38. We authorize for this ordinance to be terminated immediately.

Best regards,

Ryan C. Cooper
Member of Route 64, LLC

Don Bastian

From: Ryan Cooper <ryan@lmfsinc.com>
Sent: Wednesday, August 17, 2022 11:00 AM
To: Don Bastian
Cc: Tom Farace
Subject: RE: Annexation Agreement Amendment Request Route 64, LLC

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

You are correct, I was originally told that we would be selling out of there until the property has been sold. But there have been a change of plans and that is not the case anymore. To answer your question, there will be no sales conducted on that property by us until the property is sold.

Do you need for me to resubmit the special use amendment paperwork?

Ryan C. Cooper
IT/Marketing Manager
C: (630) 807-9221
O: (630) 231-7911
LMFSinc.com



From: Don Bastian <dbastian@carolstream.org>
Sent: Wednesday, August 17, 2022 9:59 AM
To: Ryan Cooper <ryan@lmfsinc.com>
Cc: Tom Farace <tfarace@carolstream.org>
Subject: RE: Annexation Agreement Amendment Request Route 64, LLC

Thanks again. I think this was implied in your response...but is it your intention to not ever sell firewood on this property again until it is sold, or would you like to retain that ability?

The way your application for special use amendment and the amendment to the annexation agreement are worded, you'd still have the ability to sell firewood on the property. We would like be clear on your plans so that we are accurate in how we present this to the Plan Commission and Village Board.

Sincerely,

Don Bastian, AICP
Community Development Director
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, Illinois 60188

E: dbastian@carolstream.org

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

August 22, 2022

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

ACTION REQUESTED:
Staff is requesting the following:

- Text Amendments for miscellaneous modifications to Article 2 (Definitions); Article 3 (District Specific Standards); Article 4 (Use Specific Standards); Article 5 (Development Standards); and Article 7 (Planned Development Standards) of Chapter 16 (Unified Development Ordinance) of the Carol Stream Code of Ordinances

APPLICANT/ CONTACT:
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL 60188

CASE #: 22-0035

PROJECT NAME: Village of Carol Stream - Text Amendment for Miscellaneous Modifications to the Unified Development Ordinance (UDO)

BACKGROUND:

The Unified Development Ordinance (UDO) was approved by the Village Board on May 3, 2021 and went into effect on July 1, 2021. As the PC/ZBA recalls, the UDO combines zoning, signage, fencing, and subdivision regulations into a new chapter of the Code of Ordinances (Chapter 16).

Now that Village staff has begun to utilize the UDO, we have identified some minor omissions and “fine-tuning” needed to some of the code sections. Thus far, modifications were reviewed by the PC/ZBA at the following dates:

- July 26, 2021 (approved by the Village Board on August 2, 2021)
- September 13, 2021 (approved by the Village Board on September 20, 2021)
- December 13, 2021 (approved by the Village Board on January 3, 2022)
- February 14, 2022 (approved by the Village Board on February 22, 2022)
- April 25, 2022 (approved by the Village Board on May 2, 2022)

The staff report outlines the next round of modifications proposed in Article 2 (Definitions), Article 3 (District Specific Standards), Article 4 (Use Specific Standards), Article 5 (Development Standards), and Article 7 (Planned Development Standards).



ATTACHMENTS:

Attached for review is the General Application, Text Amendment Application, and Public Notice.

Staff Analysis

TEXT AMENDMENT

Outlined below are the modifications or revisions proposed in the UDO. The proposed modifications include revisions pertaining to fencing, accessory structures, surfaces for outdoor storage areas, and microbreweries.

Updated Residential Fence Regulations

As the PC/ZBA is aware, regulations were established in the UDO for fences in exterior side and rear yards of through lots, and for fences in exterior side yards abutting a major street, Birchbark Trail, and Woodhill Drive (west of Kuhn Road). As defined, a through lot is a “lot having frontage on two parallel or approximately parallel streets, and which is not a corner lot,” and major streets including roadways such as County Farm Road, Gary Avenue, and Lies Road. Regulations for such properties included that fences must be of a shadowbox style made of pressure treated, cedar-tone wood (chemically treated or naturally resistant to decay) or wood composite material. The uniform fence design was established based on input during the UDO development process, and was recommended in order to provide improved visual consistency and streetscape aesthetics within the community.

The fence regulations have been in effect since July 1, 2021, and some residents with whom we have interacted when administering the new regulations have raised concerns that they are too burdensome, that they prohibit the use of the increasingly popular vinyl material, and that it will take several years or decades to establish the visual consistency that we are trying to achieve. Recently, a resident engaged a segment of community members on a social media platform and collected over 80 signatures on a petition, intended to be delivered to the Village Board, asking that the fence regulations be relaxed. Based on direction staff received from the Village Board, this report provides a revision to the fence regulations that would remove the above referenced provisions for all properties that had been subject to the specific style and material requirements in the UDO. Under the proposed amendment, the regulations will be consistent for all residential properties throughout the Village, with no limitations on materials or style regardless of whether the lot was a through lot or backed up to a major street. The only exception that the Village Board has requested is to prohibit chain link as an allowable fence material along any lot line abutting a street on residential-use properties. We note that the Village does not receive many new requests for chain link fences, with other materials such as vinyl, PVC, and wood more popular in the community now.

Other recommended revisions to the UDO are outlined below.

Article 2 – Definitions

- A definition and use term for “microbrewery” was created in the UDO. A microbrewery is typically a smaller brewery with limited beer production. While some microbreweries are geared toward production of beer only, with the majority of the product sold or consumed off-site, suburban microbreweries typically combine the production with a small tasting room or space to consume beer on-site. The current definition of a microbrewery in the UDO requires that the majority of product be consumed off-site; however, this provision might not be as practical in a suburban setting. Staff recommends removing the off-site consumption provision from the definition of microbrewery. A microbrewery requires review as a special use in the B-1, B-2, and B-3 zoning districts, which will necessitate an assessment of business operations for each microbrewery, including production and sales components. It should be noted that staff is currently reviewing a request for a microbrewery, where it is anticipated that the majority of consumption will occur on-site.

§ 16-2-13 DEFINITIONS - M.

(l) **MICROBREWERY.** A brewery that produces less than 15,000 barrels of beer per year ~~with 75% or more of its beer sold off-site~~. A microbrewery may also provide on-site consumption of food and beverages produced on or off-site.

Article 3 – District Specific Standards

- Maximum lot coverage requirements are established within all residential zoning districts, typically up to 30% of the lot. It appears that a provision to allow an increase to maximum lot coverage up to 35% for residential properties, for decks and swimming pools only, was inadvertently left out of the UDO. This increase in lot coverage has been allowed for many years under previous editions of the Zoning Code, given that decks allow water to permeate into the ground and swimming pools collect water, as compared to an impervious element on the property such as a patio or shed. Staff proposes to include the code language again.

§ 16-3-4 RESIDENCE DISTRICTS.

(B) *Estate Residence and Community Facilities District - R-1*

(2) *Dimensional standards.*

Table 16-3-4 (B): R-1 District Dimensional Standards		
A.	<i>Lot Standards (Minimum)</i>	
1.	Lot Area	20,000 square feet
2.	Lot Width	100 feet
B.	<i>Setbacks (Minimum)</i>	
1.	Front Yard	40 feet
2.	Exterior Side Yard	25 feet

3.	Interior Side Yard	10 feet
4.	Rear Yard	40 feet
C. Building Standards (Maximum)		
1.	Height (residential uses)	35 feet
2.	Height (nonresidential uses)	45 feet
3.	Lot Coverage	30 percent (1)
(1) See Section 16-3-8 (E)(3) for lot coverage exceptions for properties with single-unit detached dwelling units		

(C) *Traditional Residence District - R-2.*

(2) *Dimensional standards.*

Table 16-3-4 (C): R-2 District Dimensional Standards		
A. Lot Standards (Minimum)		
1.	Lot Area	10,000 square feet
2.	Lot Width	75 feet
B. Setbacks (Minimum)		
1.	Front Yard	25 feet
2.	Exterior Side Yard	25 feet
3.	Interior Side Yard	8 feet
4.	Rear Yard	30 feet
C. Building Standards (Maximum)		
1.	Height	35 feet
2.	Lot Coverage	30 percent (1)
(1) See Section 16-3-8 (E)(3) for lot coverage exceptions for properties with single-unit detached dwelling units		

(D) *Suburban Residence District - R-3.*

(2) *Dimensional standards.*

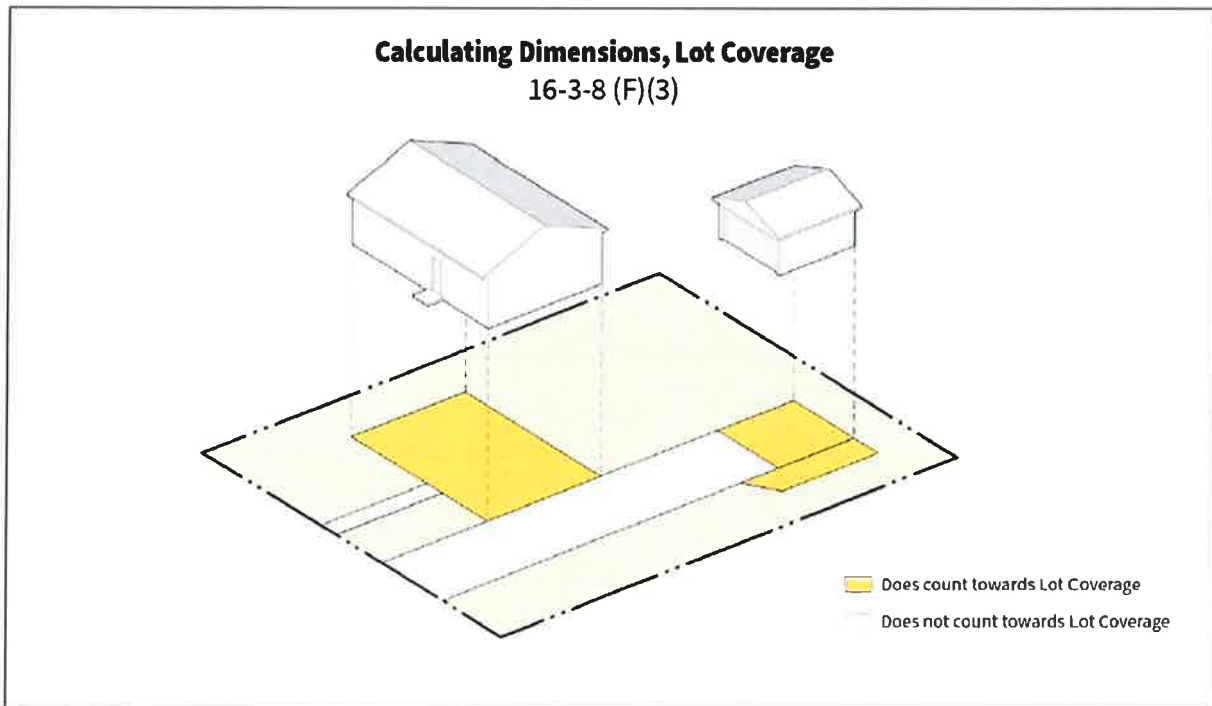
Table 16-3-4 (D): R-3 District Dimensional Standards		
A. Lot Standards (Minimum)		
1.	Lot Area	7,500 square feet
2.	Lot Width	60 feet
B. Setbacks (Minimum)		
1.	Front Yard	25 feet
2.	Exterior Side Yard	25 feet
3.	Interior Side Yard	7.5 feet
4.	Rear Yard	30 feet

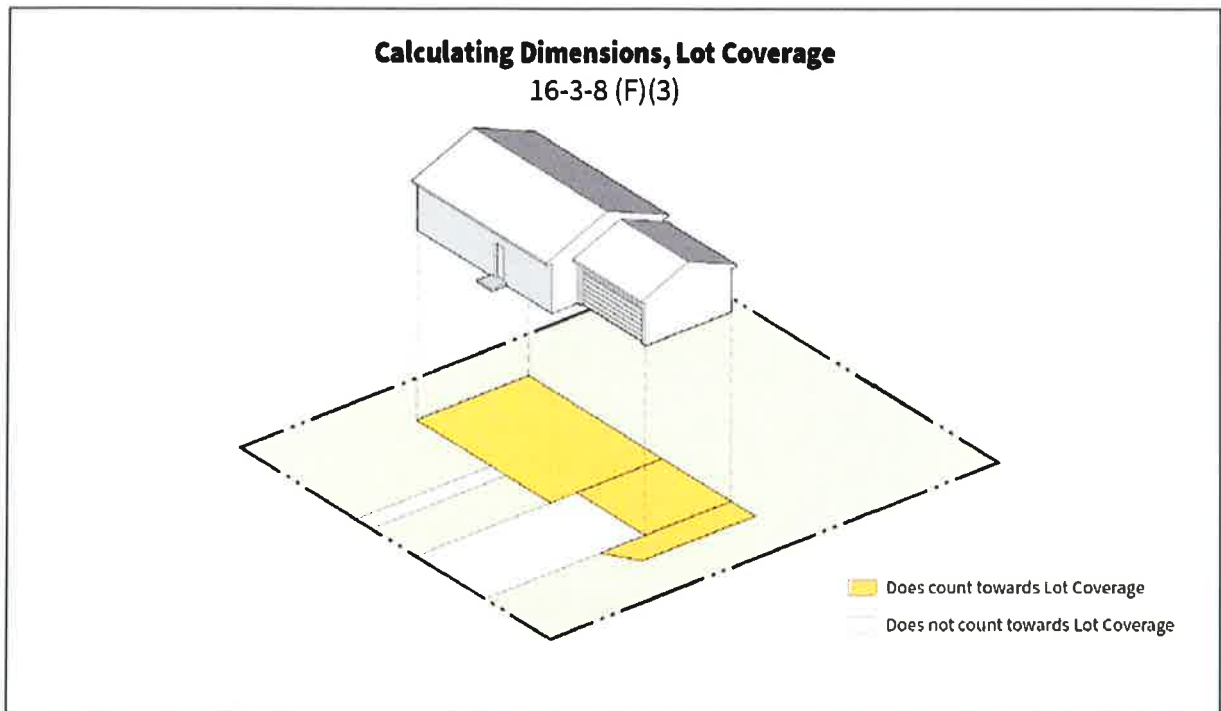
C. Building Standards (Maximum)	
1. Height	35 feet
2. Lot Coverage	30 percent (1)
(1) See Section 16-3-8 (E)(3) for lot coverage exceptions for properties with single-unit detached dwelling units	

§ 16-3-8 CONTROL OVER BULK.

(E) *Calculating dimensions.*

(3) *Lot coverage. Lot coverage.* The part or percent of the lot occupied by a combination of building and accessory uses covering the lot area, not including driveways but including parking pads (see Figures 16-3-8 (F)(3)). For properties zoned R-1, R-2, and R-3 with single-unit detached dwelling units, not more than 30% of the lot area may be occupied by buildings and structures, including accessory buildings except when structural coverage includes lot area covered by a swimming pool or by a deck which collects water or allows water to penetrate into the ground underneath the deck and where the area underneath the deck is covered with agricultural paper, cloth or other pervious sheeting, in which case only the area of the swimming pool or deck shall be permitted to exceed 30% of the lot area up to a maximum of 35% of the lot area.





§ 16-3-9 BULK AND DIMENSIONAL STANDARDS.

(A) The following Table of Bulk and Dimensional Standards addresses the requirements applicable to the development or use of a lot in a given district.

Table 16-3-9: Bulk and Dimensional Standards												
Standard	R-1 (Res)	R-1 (Non-Res)	R-2	R-3	R-4 (SUA ₂)	R-4 (SUA ₃₊)	R-4 (MU)	B-1	B-2	B-3	O-S	I
A. Lot Standards (Minimum)												
1. Lot Area	20,000 square feet	n/a	10,000 square feet	7,500 square feet	10,000 square feet	4,500 square feet	4,300 square feet	n/a	n/a	n/a	n/a	1 acre
2. Lot Width	100 feet	100 feet	75 feet	60 feet	75 feet	40 feet	n/a	20 feet	60 feet	60 feet	60 feet	75 feet
B. Setbacks (Minimum, unless otherwise specified)												
1. Front Yard	40 feet	40 feet	25 feet	25 feet	25 feet	25 feet	25 feet	(1)	25 feet	25 feet	40 feet	60 feet (2)

2. Exterior Side Yard	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	(1)	25 feet	25 feet	40 feet	60 feet (2)
3. Interior Side Yard	10 feet	10 feet	8 feet	7.5 feet	7.5 feet	7.5 feet	7.5 feet	(1)	15 feet	15 feet	10 feet	10 feet
4. Rear Yard	40 feet	30 feet	30 feet	30 feet	30 feet	30 feet	30 feet	(1)	40 feet	40 feet	40 feet	20 feet
C. Building Standards (Maximum)												
1. Floor Area Ratio	n/a	0.6	n/a	n/a	n/a	n/a	n/a	0.8	0.6	0.6	0.6	0.8
2. Height	35 feet	45 feet	35 feet	35 feet	35 feet	35 feet	35 feet	50 feet	35 feet	40 feet	45 feet	50 feet
3. Lot Coverage	30 percent (3)	n/a	30 percent (3)	30 percent (3)	40 percent	50 percent	50 percent	n/a	n/a	n/a	n/a	n/a
(1) Setbacks in the B-1 District shall be as established through the Planned Development and Gary Avenue Corridor Review Processes.												
(2) If adjacent right-of-way is less than 80 feet wide, the minimum setback shall be 40 feet.												
(3) See Section 16-3-8 (E)(3) for lot coverage exceptions for properties with single-unit detached dwelling units												

Article 4 – Use Specific Standards

- In Section 16-4-15(B)(2) of the UDO pertaining to accessory buildings and structures, a reference should be changed from rear property line to side property line when regulating accessory buildings and structures not located entirely in the rear yard.

§ 16-4-15 ACCESSORY BUILDINGS AND STRUCTURES, GENERAL.

(B) Location.

- (1) An accessory building or structure shall be located a minimum of five feet from the principal structure, unless otherwise permitted in this UDO.
- (2) An accessory building or structure which is not located entirely in the required rear yard must comply with the side yard setback requirements of the primary structure and shall not be closer than five feet from any ~~rear~~ side property line.

- The UDO provides regulations on permanent outdoor activities and operations, and outdoor vehicle storage, in the Industrial District. Regulations primarily pertain to screening and landscaping of said outdoor storage areas. Another provision that staff recommends including is for the surface of an outdoor storage area, and specifically that outdoor storage

areas must be improved with a hard-surfaced, all-weather material. Similar provisions are already in place in other sections of the UDO, such as criteria for driveways and parking pads, and staff believes that adding this provision clearly establish the requirement that storage areas be improved with an appropriate hard surface, thereby hopefully reducing or eliminating future requests for non-hard surfaced outdoor storage areas (such as gravel storage lots).

§ 16-4-18 OUTDOOR ACTIVITIES AND OPERATIONS, PERMANENT, AND OUTDOOR VEHICLE STORAGE IN THE INDUSTRIAL DISTRICT.

(C) All permanent outdoor activities and operations, and outdoor vehicle storage in the Industrial District shall be improved with a hard-surfaced, all-weather material.

- A modification is necessary within the video gaming café regulations, to correct an incorrectly listed code section.

§ 16-4-28 VIDEO GAMING CAFES.

Video gaming cafes are allowed as set forth in § 16-3-11(E) and shall meet the following provisions:

(A) Although a permitted use in the B-3 District, a video gaming café may not operate prior to the approval of a Class VC liquor license by the Village Board in compliance with § 11-2-7~~(R)~~(Q) of the Village of Carol Stream Code of Ordinances.

Article 5 – Development Standards

- As previously stated, provisions for shadowbox style fences made of pressure treated, cedar-tone wood (chemically treated or naturally resistant to decay) or wood composite material is recommended to be eliminated for fences in exterior side and rear yards of through lots, and for fences in exterior side yards abutting a major street, Birchbark Trail, and Woodhill Drive (west of Kuhn Road). In addition, an updated provision is recommended to prohibit chain link fences on any lot line abutting a street on residential-use properties.

§ 16-5-8 FENCES.

(D) *Fences on lots with residential or institutional uses.* (See Figure 16-5-8(D)) Fences on lots with single-unit detached or single-unit attached uses shall meet the requirements for each fence area as illustrated in Figure 16-5-8 (D) below. Barbed wire, chicken wire, razor wire, or makeshift materials such as plywood shall be prohibited on lots with single-unit detached or single-unit attached uses, and chain link is not an allowable material for any fence along any lot line or yard area abutting a street. All fences shall be erected so that the posts and all other supporting members face inward toward the owner's property. The Community Development Director may waive any regulations to fences for institutional uses in order to protect public safety and welfare.

(2) *Fences in exterior side, interior side, and/or rear yards.*

(a) *Height.* The maximum height of a fence in exterior side, interior side, and rear yards shall be five feet, except for fences abutting a major street in § 16-5-2(F)(2)(d) which shall be six feet in height.

(b) *Materials.*

I. Fence materials utilized in exterior side yards, interior side yards, and rear yards shall complement fence materials utilized in other yards. Permitted fence materials in exterior, interior side and rear yards shall be only those materials which are designed and intended for use in fence installations and shall be limited to:

- i. Masonry;
- ii. Wood, chemically treated or naturally resistant to decay;
- iii. Wood composites;
- iv. Aluminum;
- v. Vinyl/PVC;
- vi. Wrought iron; and
- vii. ~~Coated chain link; and~~
- viii. As approved by the Community Development Director.

~~II. Fences in exterior side yards abutting a major street as set forth in § 16-5-2(F)(2)(d), and fences in exterior side yards abutting the streets listed below, shall meet the material and design requirements of § 16-5-8(D)(3)(c) and (D)(3)(d).~~

~~i. Birchbark Trail; and~~

~~ii. Woodhill Drive, west of Kuhn Road.~~

(c) *Location.*

I. Fences in exterior side yards shall be located no closer to the front yard than the established rear face of the primary building on the lot unless a building entrance is located on the exterior side yard facade in which case the fence may extend three feet past the entrance.

II. Fences in interior side yards and rear yards shall be located no closer to the front yard than the established front face of the primary building on the lot or the primary building on the adjacent lot.

(3) *Fences in exterior side and rear yards of through lots.*

~~(a) Required design. The exterior side and rear yards of any through lot improved with a fence shall be as specified in Figure 16-5-8(D)(3).~~

(a) ~~(b)~~ *Height.* The maximum height of fences in rear yards of through lots must be five feet, except for fences on through lots which back up to a major street as defined in § 16-5-2(F)(2)(d), in which case the fence must be six feet in height. The maximum height of a fence in exterior side yards of through lots must be five feet.

~~(c) Materials. Fence materials utilized in exterior side and rear yards of through lots shall be pressure treated, cedar tone wood (chemically treated or naturally resistant to decay) or wood composites.~~

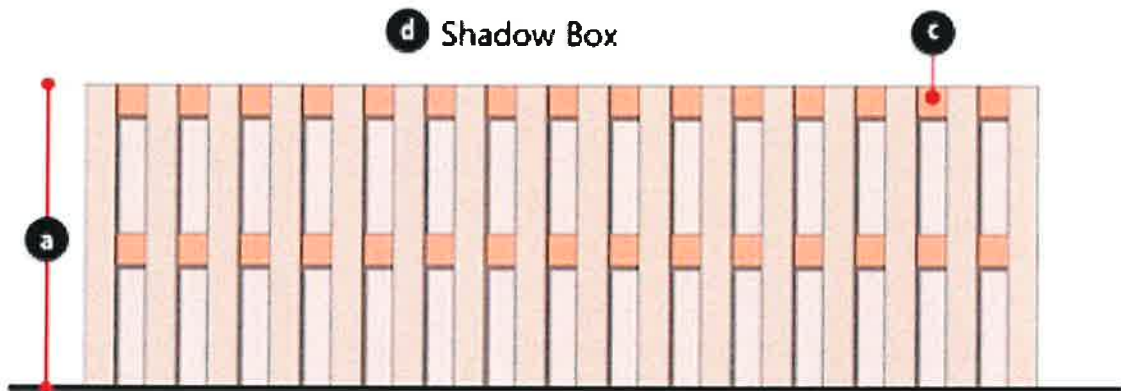
~~(d) Design. Fences in exterior side and rear yards of through lots shall be shadow box style fences installed vertically.~~

(b) ~~(e)~~ *Location.* Fences in exterior side and rear yards of through lots shall be located in line with the fences of adjacent properties. In the case of a corner lot in which the rear lot line of the rear yard abuts the side lot line of the front yard of an adjacent residential interior lot, a structural fence may be erected in the side yard adjoining a street within the area between the

rear lot line and the rear of the dwelling unit, provided the fence is placed no nearer to the right-of-way/property line than the required setback for a side yard adjoining a street for the zoning district or planned development, as applicable, in which the lot is located. If the only rear access door to the house is located facing the side yard adjoining a street, the fence may extend along the side of the house to a point not more than three feet past the access door and may encroach no more than five feet into this required setback. The fence setback shall increase back to the required setback at a point no greater than five feet past the rear of the dwelling unit into the rear yard.

ILLUSTRATION TO BE REMOVED

Fence Types 16-5-8(D)(3)



Article 7 – Planned Development Standards

- An incorrectly listed code section needs to be updated under the procedures section for Planned Developments.

§ 16-7-5 PROCEDURES.

(B) An application for a planned development shall be reviewed and decided upon following the procedures set for a special use permit as detailed in § 16-8-4(E) and ~~(K)~~ (L).

Recommendation

Staff recommends approval of text amendments for miscellaneous modifications to Article 2 (Definitions), Article 3 (District Specific Standards), Article 4 (Use Specific Standards), Article 5 (Development Standards), and Article 7 (Planned Development Standards) of the UDO.

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Do Not Write in This Space	
Date Submitted:	<u>7/29/22</u>
Fee Submitted:	<u>-</u>
File Number:	<u>22-0035</u>
Meeting Date:	<u>8/22/22</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

**GENERAL APPLICATION
PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Village of Carol Stream Phone 630.871.6230

Address 500 N. Gary Ave, Carol Stream, IL 60188 Fax _____

E-Mail Address communitydevelopment@carolstream.org

(required)

Name of Attorney _____ Phone _____

(if represented)

Address _____ Fax _____

Name of Owner _____ Phone _____

(required if other than applicant)

Address _____ Fax _____

Name of Architect _____ Phone _____

(if applicable)

Address _____ Fax _____

2. *Common Address/Location of Property 500 N. Gary Ave

3. Requested Action: *(check all that apply)*
- | | |
|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Subdivision – Minor/Major |
| <input type="checkbox"/> Courtesy Review | <input type="checkbox"/> Temporary Waiver/Code of Ordinances |
| <input type="checkbox"/> Development Staff Review | <input type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input type="checkbox"/> Planned Development – Final | <input type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C) |
| <input type="checkbox"/> Shared Parking Facility | <input type="checkbox"/> Map Amendment (requires Form D-1) |
| <input type="checkbox"/> Site Plan Review | <input checked="" type="checkbox"/> Text Amendment (requires Form D2) |
| | <input type="checkbox"/> Staff Adjustment (requires Form E) |

Describe requested action Amendments to the Unified Development Ordinance – Articles 2, 3, 4,5 and 7

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ n/a

Annexation approvals:		
New development		\$2,000
Other		\$800
Annexation Agreement Amendment		\$800
Appearance fee for approvals required by the UDO but not listed herein		\$500
Courtesy Review		\$240
Development Staff Review		\$640
Easement Encroachment		\$300
Gary/North Avenue Corridor Review:		
New or replacement monument sign		\$500
One discipline (site design, architecture or landscaping)		\$500
Two disciplines		\$1,000
Three disciplines		\$1,500
New development		\$1,500
Outdoor Dining Permit		\$120
Planned Development:		
Existing Planned Development, minor change		\$500
Existing Planned Development, major change		\$1,000
New Planned Development		\$1,500
Rezoning (Zoning Map Amendment)		\$640
Shared Parking Facility Permit		\$500
Site Plan Review		\$640
Special Use:		
First		\$800
Each additional		\$200
Special Use Amendment		\$800
Staff Adjustment		\$240
Subdivision:		
Major		\$700
Minor		\$400
Temporary Building, Structure or Use		\$120
Temporary Waiver to the Code of Ordinances		\$120
Text Amendment:		
Building Codes		\$240
Unified Development Ordinance		\$640
Variation:		
First		\$640
Each additional		\$200
Zoning verification letter		\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Tom FRANCE

Print Name



Signature

7/29/22

Date

Revised 07/21



Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org ■ website: www.carolstream.org

TEXT AMENDMENT

Please see Section 16-8-4(M) of the Unified Development Ordinance (UDO) to learn more about Text Amendments.

In accordance with the applicable statutes of the State of Illinois, an amendment shall be granted or denied by the Village Board only after a public hearing before the Plan Commission and a report of its findings and recommendations has thereafter been submitted to the Village Board.

Proposed Text Amendments that satisfy all of the review criteria may be approved. The Plan Commission and Village Board shall consider the following criteria in their review of Text Amendments: (Please respond to each of these standards in writing below as it relates to your request.)

1. The amendment must be consistent with the purpose of this UDO and the Village Comprehensive Plan.

Proposed UDO amendments are consistent with the UDO and Village Comprehensive Plan.

2. The amendment must not adversely affect the public health, safety, or general welfare.

Proposed amendments will not adversely affect the public health, safety, or general welfare.

3. The amendment is necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.

Amendments will be modifications to existing code language to meet the intent and purpose of the UDO.

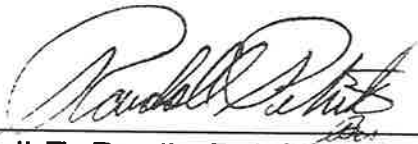
Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 3, 2022 and the last publication of the notice was made in the newspaper dated and published on August 3, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

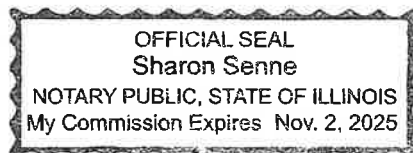
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 3, 2022.

Examiner Publications, Inc.

By: Publisher 
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 3 day of August, A.D. 2022.

Notary Public





PUBLIC NOTICE FILE #22-0035

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 22, 2022 at 6:00 p.m. to consider an application from the Village of Carol Stream for the following actions:

Text Amendments for miscellaneous modifications to Article 2 (Definitions); Article 3 (District Specific Standards); Article 4 (Use Specific Standards); Article 5 (Development Standards); and Article 7 (Planned Development Standards) of Chapter 16 (Unified Development Ordinance) of the Village of Carol Stream Code of Ordinances.

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

<https://us02web.zoom.us/j/7g7EqJn2Rh-mh2WF6Tg92A> Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 826 3851 4317

International numbers available:

<https://zoom.us/j/adsnXEZQfK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at www.carolstream.org. The public may provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Develop-

ment Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to tfarace@carolstream.org by 4:00 p.m. the day of the public hearing. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250. As Published in the Examiner August 3, 2022