

# Village of Carol Stream

## AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, SEPTEMBER 26, 2022 AT 6:00 P.M.

*ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON*

- I. Roll Call: Present:  
Absent:
  
- II. Approval of Minutes: September 12, 2022
  
- III. Public Hearing  
  

**22-0013– Tyndale House Ministries– 504 S. Schmale Road**  
*Zoning Map Amendment, Amendment to a Special Use Permit for a Planned Development, Zoning Variation, Plat of Consolidation*

**22-0036 – Prestige Donuts/Dunkin – 317 S. Schmale Road**  
*Amendment to a Special Use Permit for a Planned Development, Amendment to a Special Use Permit for a Drive-Through*

**22-0037 - 206 Brewing Company – 600 E. North Avenue**  
*Special Use Permit for a Micro Brewery*
  
- IV. Presentation:
  
- V. Old Business:
  
- VI. New Business:
  
- VII. Report of Officers:
  
- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
September 12, 2022.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi

Absent: 1 Commissioner Petella

Also Present: Tom Farace, Planning and Economic Development Manager; Patty Battaglia, Planning and Permitting Assistant

**MINUTES:**

Commissioner Tucek moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on August 22, 2022.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 1 Commissioner Christopher

Absent: 1 Commissioner Petella

The motion passed by a majority vote.

**Case #22-0042– Bridge Street Properties – 1475 W. Lies Road  
*Courtesy Review – Duplex Development Proposed***

Chairman Parisi asked Mr. Farace if he would like to provide an introduction.

Mr. Farace stated this is a new process that was established in the Unified Development Ordinance (UDO). The Courtesy Review process allows a developer or property owner to present a proposal before the Plan Commission and Village Board for review and feedback. This can be done for a variety of scenarios such as: if a property can be annexed into the Village, or if a property is going to be rezoned or if something might be slightly different than what our Village Comprehensive Plan indicates. This process allows them to present their proposal and receive some informal feedback. There is no recommendation or voting for a Courtesy Review.

Chairman Parisi directed Mr. John McHale to present his proposal.

Mr. McHale stated he is from Bridge Street Properties and here to propose a duplex development on the 9.4 acre piece at the northeast corner of Lies and Fair Oaks Roads. To the east we have Corpus Christi Catholic Church. To the west we have the 700 acre West Branch of the forest preserve. I am coming to you because currently the property is unincorporated so we would need annexation into the Village and rezoned to an R-4 to allow duplexes. Our concept plan will bring a maintenance free living product to town with different floor plans, an aging in place product with a maintenance free aspect. This property intrigued me because the location is right across the street from the forest preserve. This type of product gets aging in place, empty nesters, or young couples and young families. The proximity to the forest preserve with the bike paths is a great location. The front elevation product, not set in stone, shows an attached two-car garage with separate entrances. We will not be doing a 3 or 4 unit building or a townhouse product. This would strictly be a duplex product to appeal to that empty nester, age in place or young family that really do want that maintenance free lifestyle. There were preliminary discussions with Village engineering staff and my engineering group, and it looks like we can develop the property if annexed, rezoned and receive approval at both Plan Commission and Village Board at a formal presentation.

Chairman Parisi asked Mr. Farace for any other highlights on annexation or rezoning.

Mr. Farace stated as described there is single family residential to the north and south, the church to the east and the forest preserve to the west. Density is about 4.22 units per acre with the entire property being a little over 9 acres and showing some areas that could be set aside for water detention. The access would be along Lies Road. Mr. McHale is seeking some feedback on the duplex proposal.

Chairman Parisi asked for comments from the Commission.

Commissioner Meneghini had none at this time.

Commissioner Morris mentioned relocating the water detention ponds so it does not possibly cause flooding at the church. He stated it seems like a heavy density for the amount of buildings being erected on the allotted amount of land. He is concerned if one guy would be allowed to come in and buy four or five of these buildings in regards to upkeep, and mentioned the one entrance off Lies Road maybe relocate to Fair Oaks Road.

Mr. McHale stated the reason the entrance is off Lies Road at this point is because we thought Fair Oaks Road already has heavier traffic and we wouldn't want an exit on an already busy road. When we do come with a formal presentation, we will have a traffic study.

Commissioner Christopher commented on picking up 10 more units and have an underground storm system. More dry land is better than wet land. He also mentioned adding another entrance/exit for emergency purposes.

There was a brief discussion about water management and flooding.

Commissioner Tucek stated this development is needed in the Village and he suggested to keep the south side of the path more open without this big buffer of shrubs or trees and no fence. He also mentioned this could be a development for senior living only which is also needed in town.

There was a brief discussion about HOA bylaws.

Commissioner Battisto asked Mr. McHale to explain his concept of 'no maintenance'.

Mr. McHale replied there are two ways to do 'no maintenance'. You can have the HOA be in charge of everything or you can leave maintenance to the owner but button up on what is allowed.

Commissioner Battisto requested Mr. McHale be cognizant of water management because of an issue with flooding in that area and he suggested this might be a good product for a 55 and older senior living community.

Commissioner Meneghini agreed with the 55 and older senior living community and there should be another entrance/exit.

Chairman Parisi suggested a second entrance lined up with the access road into the forest preserve and he likes the two-story option with no tri-levels or urban walkups. He is not concerned with the density, there is plenty of landscaping as a buffer, but suggested relocating the storm water detentions by placing the units on the corners and leave the middle open for a possible recreation area maybe with a park and a gazebo. Possibly use a combination of storm trap and a dry pond. This might allow for more units also.

Commissioner Tucek asked Mr. Farace about Judith Street and water run-off from the landfill, and if we annex this land, is there any liability on the Village's part for soil remediation.

Mr. Farace stated he is somewhat familiar but does not know the background since this property is unincorporated. I do know they are connected to our Village water lines.

Mr. McHale thanked the Commission for their time.

This case will go before the Village Board on Monday, September 19, 2022, at 6:00 PM for review.

**OLD BUSINESS:**

**OTHER BUSINESS:**

**ADJOURNMENT:**

At 6:37 p.m. Commissioner Christopher moved and Commissioner Tucek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 1 Commissioners Petella

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Patty Battaglia  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

September 26, 2022

**TO:**  
Chairman and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

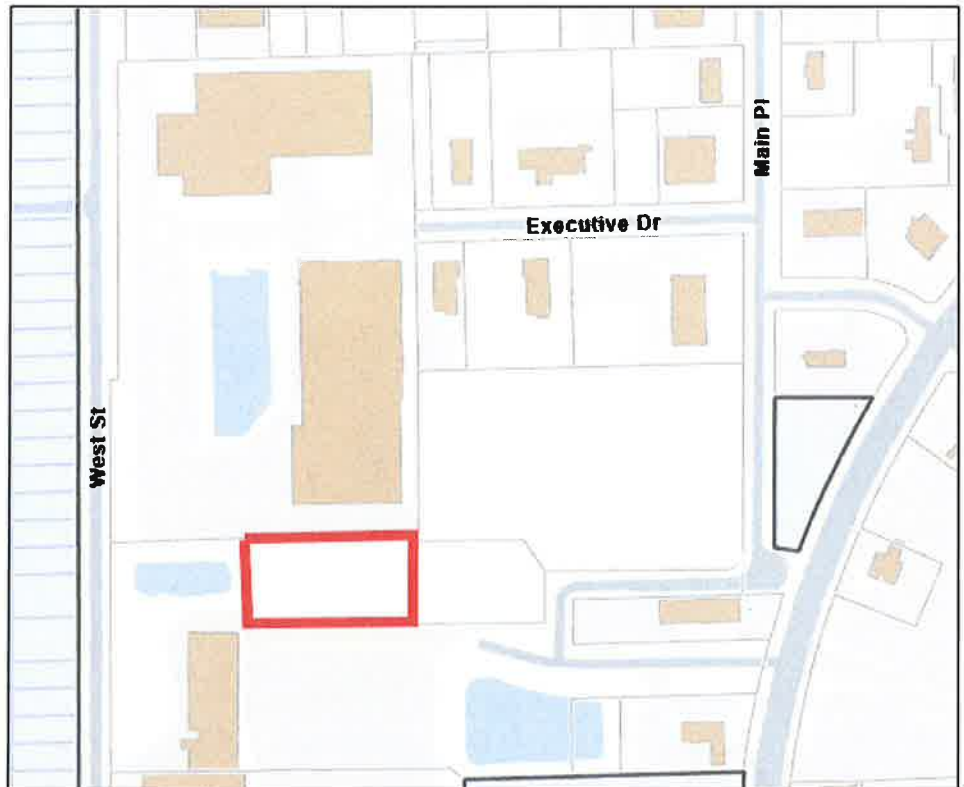
**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Zoning Map Amendment to rezone the property from B-3 General Business District to O-S Office and Service District, in accordance with Section 16-8-4 (N) of the UDO
- An Amendment to a Special Use Permit for a Planned Development, in accordance with Section 16-7-6 of the UDO
- A Variation to reduce the rear yard building setback, in accordance with Section 16-3-6 (B)(2) of the UDO Development Ordinance
- A Plat of Consolidation, in accordance with Section 16-8-4 (O) of the UDO

**APPLICANT/ CONTACT:**  
Mr. Eric Prechtel  
Rosanova and Whitaker, Ltd.  
127 Aurora Avenue  
Naperville, IL 60540



**CASE #:** 22-0013  
**LOCATION:** 504 S. Schmale Road  
**PROJECT NAME:** Tyndale House Ministries



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Corridor Commercial (Vacant)	Commercial
North	O-S Office and Service District	Industrial (Tyndale House)	Industrial
South	B-3 General Business District	Commercial (Geneva Crossing Phase II / Goddard School)	Commercial
East	B-3 General Business District	Commercial (Geneva Crossing Phase I Shopping Center and Firestone)	Commercial
West	B-3 General Business District	Corridor Commercial (Detention)	Commercial

The property highlighted above is located west of Schmale Road and east of West Street.

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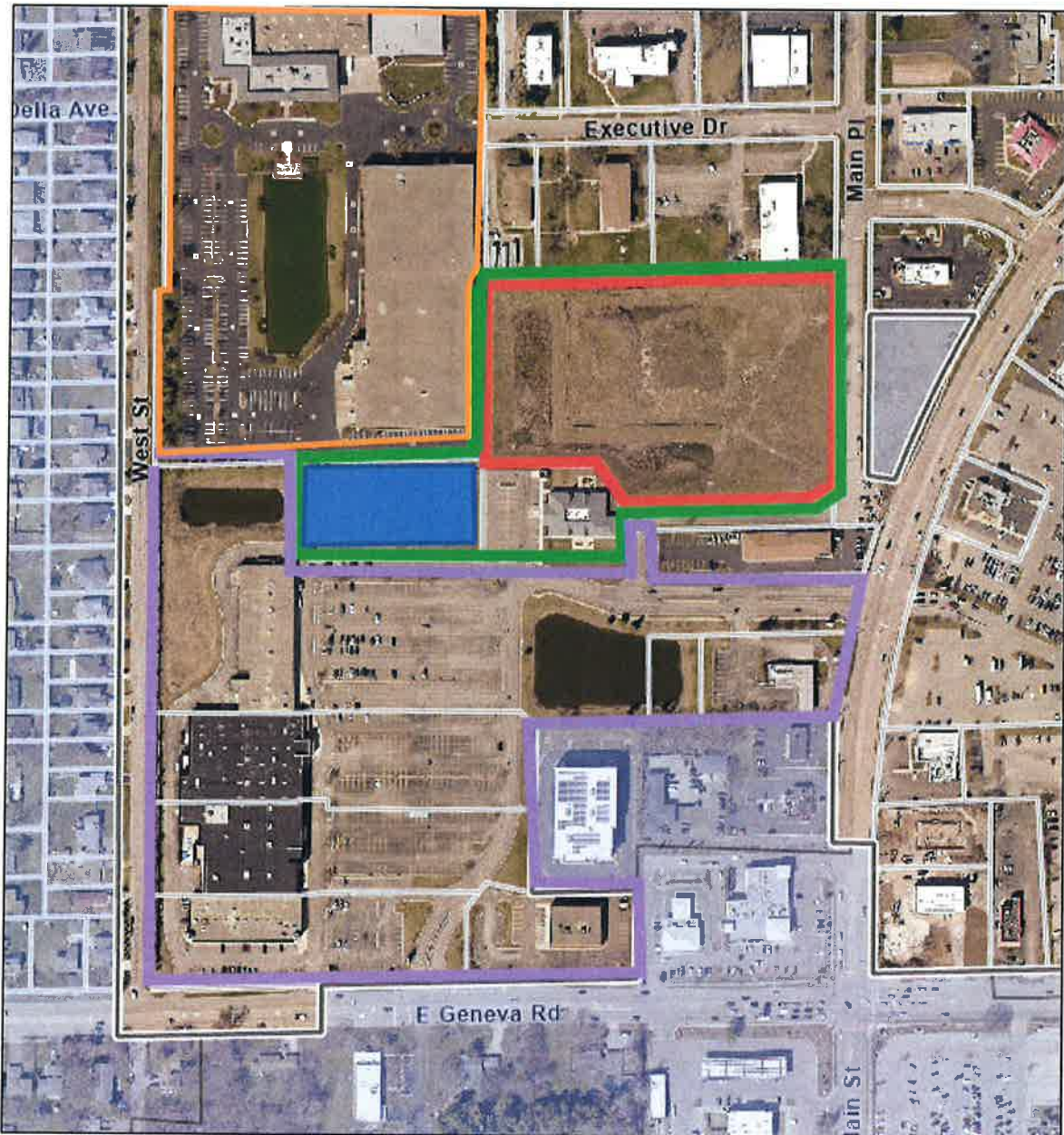
## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The applicant proposes to consolidate the proposed lot with the existing Tyndale House lot to the north, and rezone the lot to match the Industrial designation of the Tyndale House lot.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### **ATTACHMENTS:**

Attached for review is the General Application, Cover Letter from Rosanova & Whitaker Ltd which includes information for the Special Use Amendment, Zoning Map Amendment, and Plat of Consolidation requests, received March 1, 2022, Public Notice, Cover Sheet (Exhibit A), Existing Conditions Plan (Exhibit B), Demolition Plan (Exhibit C), Geometric Plan (Exhibit D), Landscape Plan (Exhibit E), Floor Plan (Exhibit F), Exterior Elevations (Exhibit G-1 and G-2), Parking Study Plan (Exhibit H), Plat of Consolidation (Exhibit I), and Plat of Vacation (Exhibit J).

### **BACKGROUND:**

Attorney Eric Prechtel, on behalf of Tyndale House Ministries, requests approval of an Amendment to a Special Use Permit for a Planned Development (PD) for a 53,000 square foot warehouse addition. Tyndale House was founded in 1962 by Dr. Kenneth N. Taylor as a means of publishing Christian fiction, nonfiction, children's books and other resources. Tyndale House has over 240 employees, and has operated from its 14-acre headquarters on Executive Drive since the early 1980s. The property consists of two buildings: a multi-story office/warehouse building on the north end of the property, and a warehouse building on the south end of the property. In total, Tyndale House currently has approximately 67,281 square feet of office space and 172,835 square feet of warehouse space.

The proposed addition will be located on a lot that is currently designated as Lot 1 in the Geneva Crossing Phase II development. On the accompanying aerial photograph, Geneva Crossing Phase I is highlighted in purple and contains the Geneva Crossing Shopping Center, Geneva Crossing Phase II is highlighted in green, the Tyndale House complex is highlighted in orange, and the subject lot is highlighted in blue. The lot will be consolidated with the main Tyndale House lot, removed from the Geneva Crossing Phase II PD, and rezoned from B-3 (General Business District) to O-S (Office and Service District) to match the zoning designation of the main Tyndale House lot. A variation is also requested to reduce the rear yard building setback for the proposed addition.

The project was initially reviewed by the PC/ZBA at their August 22, 2022 meeting, and recommended for approval. However, two discrepancies were noted:

- A reduction of the rear yard building setback for the proposed addition was reviewed as a PD allowance, but needs to be reviewed as a setback variation instead.
- The plat of consolidation request was inadvertently left off the August 22, 2022 PC/ZBA meeting agenda.

An updated public notice was sent to surrounding property owners, and an updated legal notice in the local newspaper was also published. The project is the same proposal as what was reviewed at the August 22<sup>nd</sup> meeting, with these additional items reflected accordingly.



## Staff Analysis

### PLANNED DEVELOPMENT AMENDMENT

§ 16-7-6 of the UDO specifies that amendments to PD Plans can either be categorized as minor or major amendments. The proposed Tyndale House project is considered a major PD amendment, and must be reviewed by the PC/ZBA and approved by the Village Board. As described in the submitted cover letter, Tyndale House proposes to purchase Lot 1 of the Geneva Crossing Phase II development. Lot 2 of Phase II houses the Goddard School daycare center, and Lot 3 of Phase II is proposed to be subdivided (recently reviewed under Case NO. 21-0056). As described, the subject lot will be removed from the Geneva Crossing Phase II PD and consolidated with the main Tyndale lot. Staff supports the PD amendment.

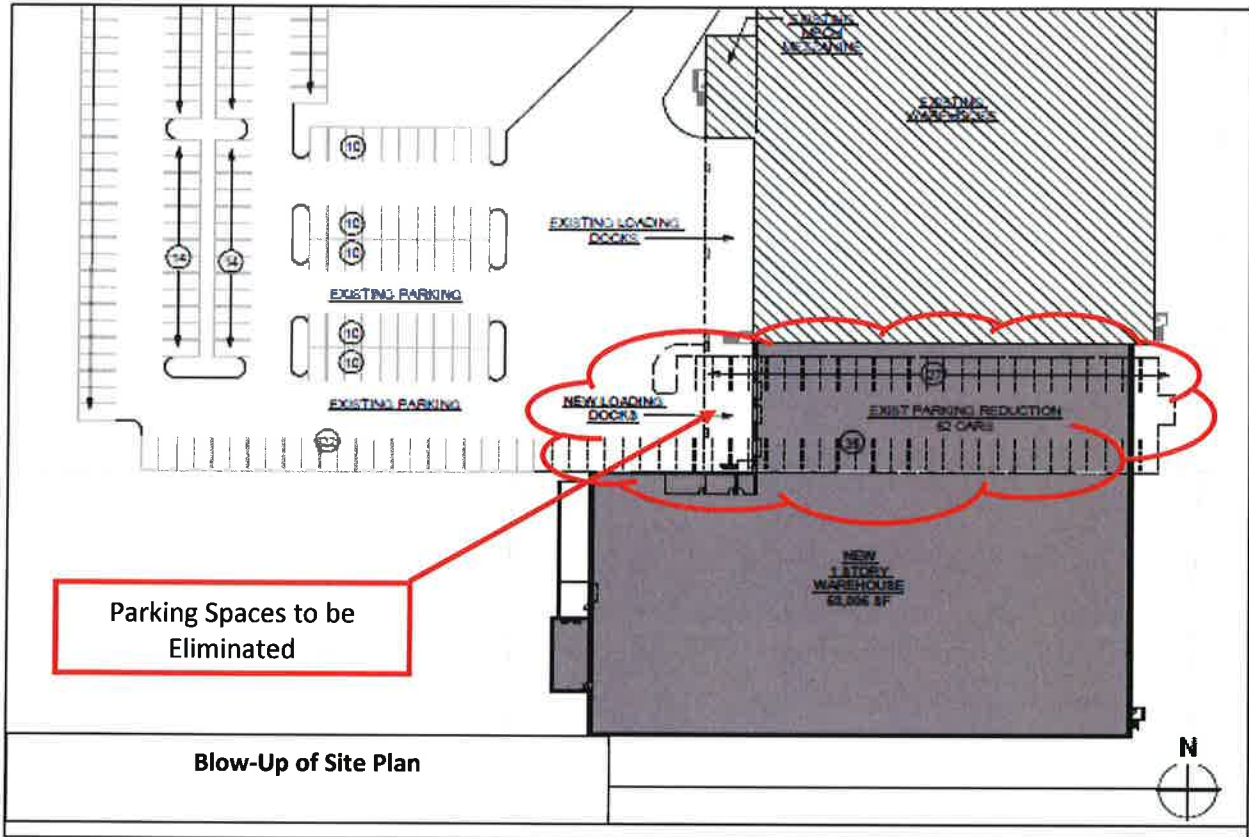
### ZONING MAP AMENDMENT

The applicant is seeking approval to rezone the subject lot from B-3 (General Business District) to O-S District (Office and Service District). As noted, the lot will be consolidated with the main Tyndale House lot, which is already zoned O-S. Properties to the south, east, and west are all zoned B-3 and are part of the Geneva Crossing Phase I and II developments. In 2017, the PD Plan for Geneva Crossing Phase II was amended to approve a three-lot subdivision, approve the Goddard School on Lot 2 of the development, and grant preliminary approval for a 30,000 square foot speculative multi-tenant commercial building on the subject lot (known as Lot 1 in Geneva Crossing Phase II). The multi-tenant building was never constructed, and the applicant believes the lot is better suited to be consolidated with the Tyndale House complex given the difficulty of developing the internally located lot that has no visibility along Geneva Road, Schmale Road, or Main Place. As such, staff supports the rezoning request.

In regards to site development, 62 parking spaces will be removed on the south side of the existing Tyndale House property to allow for the construction of the warehouse addition. Even though a significant number of parking spaces will be eliminated, the property will still have a surplus of parking based on UDO regulations:

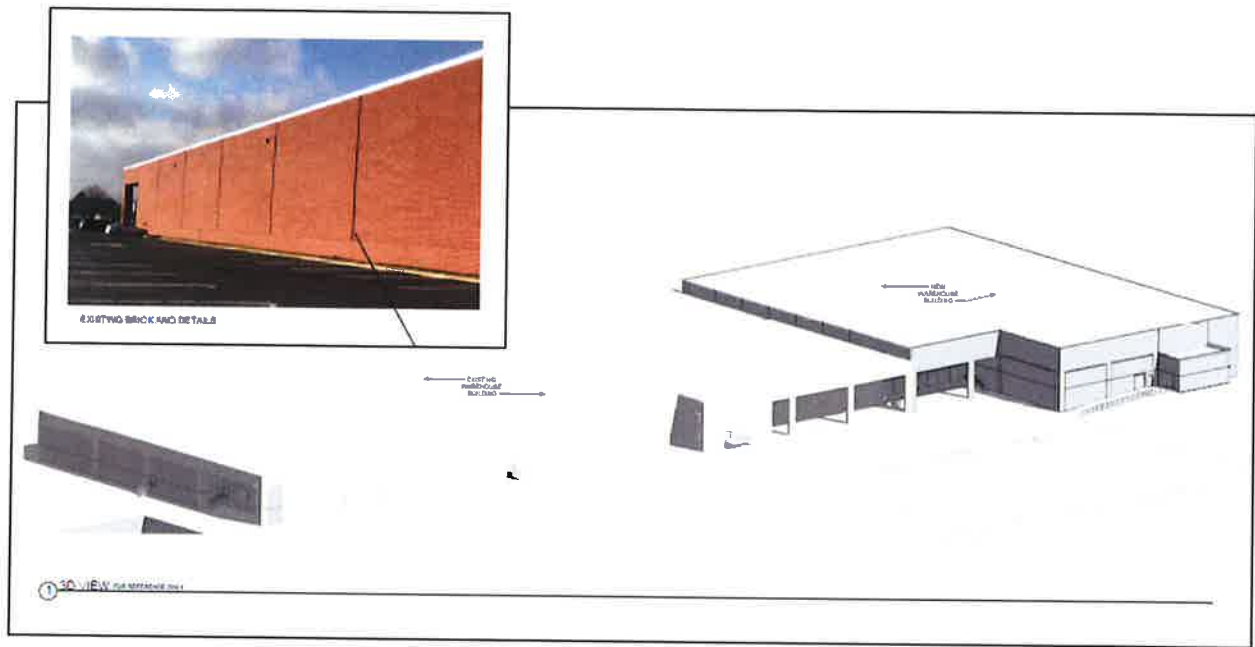
Business	Area of Use	Code Requirement	Spaces Required
Tyndale House Ministries			
217,646 s.f. warehouse space	Warehouse Space	One space per 1,500 S.F. of NFA	145 spaces
28,852 s.f. office space	Office Space	One space per 250 S.F. of NFA	115 spaces
<b>Parking Spaces Required:</b>			<b>260 spaces</b>
<b>Parking Spaces Provided (with the removal of 62 spaces for the addition):</b>			<b>386 spaces</b>
<b>Parking Surplus:</b>			<b>126 spaces</b>

The Tyndale House property currently has 448 on-site parking spaces. With the elimination of 62 spaces to accommodate the proposed addition, there will be 386 on-site parking spaces. Even with the 62-space elimination, there will be a surplus of over 100 on-site parking spaces.



Landscaping is proposed around the addition to soften its appearance, and screen it from adjacent uses (including the daycare center to the east). Landscaping is proposed around the west, south, and east foundations of the building. Perimeter landscaping, including Maple, Cypress, Oak, and Spruce trees, is proposed for screening purposes, and a six-foot tall board on board wood fence is also proposed on the south and east sides of the property for additional screening.

From an architectural perspective, the exterior of the proposed addition will be constructed of brick veneer to match the existing warehouse building. It should be noted that four additional loading docks are proposed on the west side of the addition, and will be internal to the site like the existing loading docks, in order to minimize impacts on surrounding commercial and residential uses.



Staff believes the proposed addition has been designed to be architecturally compatible with the existing warehouse building, and the proposed landscaping around the addition will properly screen the addition from adjacent uses. It should also be noted that staff has conducted a site plan review for the project to certify compliance with all applicable provisions of this UDO.

#### ZONING MAP AMENDMENT FINDINGS OF FACT

The PC/ZBA's recommendation regarding the requested zoning map amendment request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (N) of the UDO, the PC/ZBA and Village Board must consider all relevant factors in making recommendations and decisions on zoning map amendments, including at minimum the following criteria:

1. The existing uses and zoning of nearby property;

Surrounding properties are zoned B-3 and O-S. Rezoning the subject lot to O-S will allow for zoning and land use consistency with the main Tyndale House lot.

2. The extent to which property values are diminished by the current zoning classification;

The subject lot was originally zoned B-3 when the land established as Geneva Crossing (Phase I and II) was annexed into Carol Stream in 1997. While Phase I was developed into the Geneva Crossing Shopping Center, little activity has occurred on Phase II until recent years with the development of the Goddard School.

3. The extent to which the diminishment of property value of the applicant promotes the health, safety, morals or general welfare of the public;

The proposed rezoning allows for a warehouse addition that will provide additional storage and distribution space for a long-time business within the community, which will also be attractively designed and properly screened from surrounding uses, thereby promoting the health, safety, morals and general welfare of the public.

4. The relative gain to the public as opposed to the hardship imposed upon the individual property owner;

Rezoning the lot to O-S will permit an expansion of development for Tyndale House, which positively affects the community as a whole, rather than maintaining a vacant commercial lot that has limited potential for future development.

5. The suitability of the subject property for the zoned purposes;

Rezoning the subject lot to O-S will match the current zoning designation of the Tyndale House lot, which allows for warehousing of printed materials when carried out with an adjacent office use.

6. The length of time the property has been vacant as zoned considered in the context of land development in the area;

The subject lot has remained vacant since being annexed into Carol Stream in 1997, as compared to development that has occurred on surrounding properties, such as the Geneva Crossing shopping center and expansion on the Tyndale House lot.

7. The care with which a community has undertaken to plan its land-use development; and

While the Village's Comprehensive Plan calls for the subject lot to be developed with commercial uses, there has been limited if any interest in commercial development. Rezoning the lot to O-S will match the zoning designation of the Tyndale House lot, and will maintain a consistent land-use pattern with surrounding properties.

8. Community need for the use proposed by the applicant.

The proposed warehouse expansion, and subsequent rezoning of the lot, will provide additional storage and distribution space for one of Carol Stream's largest employers, and should not have a negative impact on surrounding properties or uses with landscaping and fencing proposed to screen the addition.

#### **REAR YARD BUILDING SETBACK VARIATION**

The applicant is requesting approval of a variation for the addition, to reduce the rear yard-building setback along the east side of the property from 40 feet to 30 feet. The proposed addition will align with the existing warehouse building, which maintains a 30-foot rear yard setback. If a 40-foot setback were required, a 10-foot "jog" in the overall building pattern would

be required. In addition, the plans illustrate a substantial landscape buffer and solid wood fence to provide adequate screening along the east side of the property. As such, staff can support the rear-yard setback variation.

#### VARIATIONS FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K) of the Carol Stream Code of Ordinances:

1. The requested variations arise from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action.

Staff believes the requested variation is acceptable given that the proposed addition will align with the existing building and be screened properly from the adjacent properties.

2. The variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

If the variation is granted, staff does not believe the essential character of the locality will be altered since the addition will be align with the existing building and maintain an adequate setback from the rear property line so as not to impair the adjacent properties.

3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

In order to meet the O-S District rear-yard building setback, the proposed addition would need to be shifted west by 10 feet and create a jog in the warehouse space.

4. The variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO.

Staff believes that spirit of the UDO will be maintained with the setback reduction, since the addition will align with the existing building and be screened with landscaping and fencing.

5. The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of the UDO or the comprehensive plan.

Staff does not believe the proposed setback reduction will adversely affect public health, safety, or general welfare, and the addition will align with the existing warehouse building and be properly screened.

## PLAT OF CONSOLIDATION

As described, the 1.44-acre lot, which is currently known as Lot 1 in Geneva Crossing Phase II, is proposed to be consolidated with Tyndale House's 14-acre lot, to create one lot for Tyndale House. Staff from Community Development, Engineering Services and the Village Clerk's office have reviewed the plat of consolidation and deem it acceptable. Three noteworthy points:

- The subject lot is part of an Operation and Easement Agreement (OEA) between Geneva Crossing Phase I and Phase II. The current Phase II property owner is working on a modification to the OEA with Phase II ownership. It should be noted that the Village does not take a position on the OEA or proposed modifications, and such changes are being addressed by current ownership.
- As part of the OEA, cross access is allowed between parcels in both Phase I and II of Geneva Crossing. However, staff does not believe it is appropriate for Tyndale House traffic, particularly truck traffic, to have access through the Geneva Crossing shopping center. While there is no access proposed between the consolidated lot and Phase I/Geneva Crossing shopping center at this time, and all access for Tyndale House will be provided on Executive Drive, staff recommends that a condition of approval for the project state that no future access onto the shopping center property would be allowed for Tyndale House.
- A plat of vacation has also been submitted, which illustrates the vacation of certain easements, including a stormwater and conveyance easement.

## RECOMMENDATION

Staff has reviewed the applicant's requests, and supports the proposal. Therefore, staff recommends approval of an Amendment to a Planned Development, Zoning Map Amendment, Rear Yard Building Setback Variation, and Plat of Consolidation for Tyndale House Ministries, Case No 22-0013, subject to the following conditions:

1. That all improvements, including but not limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c);

4. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
5. That no future vehicular access shall be allowed from the Tyndale House Ministries property south into the Geneva Crossing Phase I development, and all vehicles shall utilize Executive Drive for access to and from the Tyndale House Ministries property;
6. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO; and
7. That the site and facility must be maintained and operated in accordance with all State, County and Village codes and regulations.

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RECEIVED  
MAR 01 2022  
COMMUNITY DEVELOPMENT  
DEPT

Do Not Write in This Space  
Date Submitted: 3-1-2022  
Fee Submitted: \$1,620.00  
File Number: 22-0013  
Meeting Date: 5/22/22  
Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
PHONE 630.871.6230 • FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Tyndale House Ministries, an IL Not-for-profit corporation Phone (630)-784-5220

Address 351 Executive Dr., Carol Stream, IL 60188 Fax (630)-668-9092

E-Mail Address dougwalton@tyndale.com  
(required)

Name of Attorney Eric Prechtel Phone (630)-355-4600 x 106  
(if represented)

Address 127 Aurora Ave, Naperville, IL 60540 Fax \_\_\_\_\_

Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_  
(required if other than applicant)

Address \_\_\_\_\_ Fax \_\_\_\_\_

Name of Architect Rosie Mitchell - Aspen Group Phone 815-806-1705  
(if applicable)

Address 9645 Lincoln-Way Lane, Suite 201, Frankfort, IL 60423 Fax \_\_\_\_\_

2. \*Common Address/Location of Property 351 - 370 Executive Drive, Carol Stream, IL 60188 and  
2442 N. Main Street, Carol Stream, IL 60188

3. Requested Action: (check all that apply)
- |  |  |
|--|--|
| <input type="checkbox"/> Annexation                        | <input checked="" type="checkbox"/> Subdivision – Minor/Major              |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances               |
| <input type="checkbox"/> Development Staff Review          | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)              |
| <input type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)             |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C)              |
| <input type="checkbox"/> Shared Parking Facility           | <input checked="" type="checkbox"/> Map Amendment (requires Form D-1)      |
| <input checked="" type="checkbox"/> Site Plan Review       | <input type="checkbox"/> Text Amendment (requires Form D2)                 |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)                |



Describe requested action Approval of Subdivision, Site Plan, Rezoning/Map Amendment, and Variation

4. Fee Schedule: (Check all that apply)

2,320

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
X	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
X	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
X	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
X	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Eric Prechtel

Print Name

Signature

Date



2/28/2022

RECEIVED

MAR 01 2022

COMMUNITY DEVELOPMENT  
DEPT

STATE OF ILLINOIS )  
 )  
COUNTY OF DUPAGE )  
 )  
VILLAGE OF CAROL STREAM )

**PETITION TO THE VILLAGE OF CAROL STREAM VILLAGE BOARD AND  
PLANNING AND ZONING COMMISSION FOR ZONING ENTITLEMENTS**

**THE UNDERSIGNED** Petitioner, Tyndale House Ministries, an Illinois not-for-profit corporation (hereinafter the “Petitioner”), as the record owner of the property legally described on **Exhibit A** (the “Tyndale Property”) and contract purchaser of the property legally described on **Exhibit B** (the “Scheffler Property”) (collectively, the “Property”), respectfully petitions the Village of Carol Stream (the “Village”) to (i) approve a plat of subdivision/consolidation of the Scheffler Property into the existing Tyndale Property; (ii) approve a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District (“O-S”); (iii) approve a site plan for the Property; and (iv) approve a rear yard setback variance and other such variances, departures or deviations as may be necessary to develop the Property consistent with the conceptual plans submitted herewith.

**BACKGROUND INFORMATION**

1. Petitioner currently owns the Tyndale Property, which consists of approximately 14.18 acres of land located at 351–370 Executive Drive, Carol Stream, IL 60188 in the Village of Carol Stream. The Tyndale Property is presently improved with approximately 172,835 square feet of warehouse space and approximately 67,281 square feet of office space that has been historically occupied by the owner of the Tyndale Property under the Village’s O-S – Office and Service District.
2. Petitioner, a long-term member of the Village community, currently employees

approximately 245 individuals at Petitioner's Carol Stream location and has operated on the existing Tyndale Property for approximately four decades, completing construction of the original building in 1984.

3. Petitioner is the contract purchaser of the Scheffler Property, which consists of approximately 1.44 acres of the vacant real property located at 2442 N. Main Street, Carol Stream, IL 60188, which is situated immediately to the south of the Tyndale Property and is currently zoned B-3 – General Business District.
4. As Petitioner's operations continue to expand, Petitioner has a need for additional warehouse space in order to facilitate Petitioner's continued growth.
5. Petitioner seeks to purchase the Scheffler Property in order to reposition the Property for a proposed 52,000 square foot expansion of Petitioner's current warehouse for uses consistent with the Village's O-S – Office and Service District zoning designation.
6. The existing land uses surrounding the Property are as follows:
  - a. North: I – Industrial District zoning
  - b. East: R-4 – Multiunit Residence District zoning and B-3 – General Business District zoning
  - c. South: B-3 – General Business District zoning
  - d. West: R-4 – Single Family Residential zoning in unincorporated DuPage County
7. Petitioner has submitted the appropriate zoning applications together with this Petition for entitlements to facilitate the development of the Property in the future to allow for any permitted use in the O-S zoning district.

### **SUMMARY OF DEVELOPMENT**

Petitioner, Tyndale House Ministries, is located at the corner of West St. and Gundersen

Dr., where it has operated as a publisher of Christian fiction, nonfiction, and children's books since the completion of its original building on the Tyndale Property in 1984. Since then, Tyndale has continued to grow and as a result has undergone several facility expansions resulting in the nearly 250,000 square feet of office and warehouse space that exist today, the most recent expansion being completed to the warehouse in 2000. As a long-term employer and supporter of the community and its members, Petitioner desires to continue to grow and remain within the community.

Located within a shopping center immediately to the south of the Tyndale Property, the Scheffler Property was initially part of a larger plot that has since been subdivided multiple times. The Scheffler Property is inconveniently situated, has poor access, and has no roadway frontage. As a result, the Scheffler Property has never been developed and has continued to sit vacant since its annexation into the Village in 1997. Further, the larger shopping center the Scheffler Property sits within has struggled since its anchor tenant left, making the Scheffler Property undesirable and nearly impossible to develop. For these reasons, Petitioner's adjacent location provides a natural and logical means of developing the Property for the mutual benefit of both the Petitioner and community.

#### **REQUIRED DEVELOPMENT ENTITLEMENTS**

1. The Petitioner seeks approval of a Plat of Subdivision to consolidate the two (2) lots into one buildable lot.
2. The Petitioner seeks approval of a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District to allow for the expansion of Petitioner's current warehouse.
3. The Petitioner seeks approval of a Site Plan for the Property.

4. The Petitioners seeks a variance from the 40' rear yard setback requirement.

### **SUBDIVISION OF THE PROPERTY**

1. As described above and shown on the Final Plat of Subdivision included with the application material, Petitioner desires to consolidate the Scheffler Property into the existing Tyndale Property, creating a single, buildable lot for purposes of expanding Petitioner's current warehouse.

2. As the proposed Final Plat of Subdivision is compliant with Village's Code of Ordinances, Petitioner requests the Subdivision of the Property be approved.

### **REZONING FROM B-3 to O-S**

The Petitioner requests the rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District. The decision to amend the Official Zoning Map is a matter not controlled by any single review criterion, and Petitioner's request for a rezoning from B-3 to O-S should be approved because it meets the following standards and criteria:

1. *The existing uses and zoning of nearby property;*

Petitioner seeks approval of a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District. The existing Tyndale Property is zoned O-S, and Petitioner desires to purchase the Scheffler Property, zoned B-3, for expansion of its existing warehouse. There is no well-established zoning pattern in the area, as the Property is surrounded by industrial uses to the north, residential and business zoning districts to the east, business zoning districts (including the shopping center) to the south, and residential uses in unincorporated DuPage County to the west. The rezoning of the Scheffler Property to O-S would make its zoning consistent with that of the Tyndale Property and is necessary facilitate the subdivision of the Property and expansion of Petitioner's warehouse.

2. *The extent to which property values are diminished by the current zoning classification;*

The Scheffler Property, originally zoned B-3 upon its annexation into the Village in 1997, is vacant as it exists today and has never been developed under its current zoning classification. A rezoning to the O-S district will allow the Scheffler Property to be developed, increasing its value and the value of the surrounding properties. In addition, the zoning amendment of the Scheffler Property will provide for the development of unsightly and underperforming land located in an underperforming shopping center to be utilized for its highest and best use, which will in turn enhance the growing workforce and healthy business growth of the adjacent properties and community, leading to an increase in the daytime population of the area and its retail tax base.

3. *The extent to which the diminishment of property value of the applicant promotes the health, safety, morals or general welfare of the public;*

The amendment will promote the health, safety, morals, and general welfare of the public. First, the amendment will provide for the development of otherwise vacant land and provide for the development of additional warehouse space for Petitioner, who has occupied the Tyndale Property as a supporting member of the community since the 1980's. Further, it will provide for the expansion of Petitioner's existing warehouse and operation, leading to job creation in the area and enhancement of the Village's workforce and retail tax base.

4. *The relative gain to the public as opposed to the hardship imposed upon the individual property owner;*

The Scheffler Property is currently an undeveloped and poorly positioned vacant lot and is part of a larger, struggling shopping center. The highest and best use is as an office and service district, allowing the property to be developed. Under its current zoning designation, the Scheffler Property has remained vacant and unimproved since its annexation into the Village in 1997. The

zoning amendment and subsequent development of the Scheffler Property will lead to the alleviation of overgrown and unsightly vacant land, generate job growth in the area, and provide additional support for the Village's retail tax base while simultaneously providing Petitioner with the opportunity to expand.

5. *The suitability of the subject property for the zoned purposes;*

The current B-3 zoning is not suitable for the poorly positioned Scheffler Property, as evidenced by its historical vacancy since being annexed into the Village in 1997. As currently zoned, it has remained unimproved and vacant as part of a larger shopping center, serving no purpose and providing no benefit for adjacent properties or the community as a whole. The amendment will provide the opportunity for the Scheffler Property to be developed and utilized to its maximum potential.

6. *The length of time the property has been vacant as zoned considered in the context of land development in the area;*

Originally zoned B-3 upon its annexation into the Village in 1997, the Scheffler Property has never been developed under its current zoning designation and remains vacant as part of a larger shopping center. Unlike the Scheffler Property, which has poor access and no roadway frontage, the surrounding properties were developed many years ago with frontage along the public right of way. The amendment and subsequent development will allow for the development and highest and best use of the Scheffler Property.

7. *The care with which a community has undertaken to plan its land-use development; and*

The Village's Comprehensive Plan has the Scheffler Property's future land use listed as corridor commercial, which is defined as including light-industrial establishments and includes warehouses. The area to the north of the Property is almost entirely planned for industrial uses. As



such, the amendment and planned warehouse are consistent with the Village's vision and plan for future development of the Property and surrounding area.

8. *Community need for the use proposed by the applicant.*

As previously mentioned, the Scheffler Property has remained vacant and undeveloped under its current zoning B-3 zoning and as part of a larger shopping center. The zoning amendment of the Scheffler Property will provide for the natural expansion of the Petitioner's warehouse and support long-term job growth in the community. Further, the development of unsightly and underperforming vacant lot will allow the land to be utilized for its highest and best use which will in turn support the adjacent development and enhance the workforce and retail tax base.

**SITE PLAN APPROVAL**

1. Per §16-8-3 (F) of the Village's Code of Ordinances, a Site Plan of the Property is required to be submitted for staff review and "an approval may only be rendered when the Community Development Director is satisfied that the proposed project complies with all applicable provisions of this UDO and with all adopted plans and policy documents of the village."

2. Except as otherwise set forth in this Petition, Petitioner's Site Plan submitted herewith complies with the Village's plans, policies, and UDO, and Petitioner requests the site plan be approved.

**VARIANCE TO REDUCE THE REAR YARD SETBACK FROM FORTY FEET TO THIRTY FEET**

Applicant requests a variance to reduce the rear yard setback from forty feet (40') to thirty feet (30'). An application for a variation shall be submitted to the Community Development Director, along with such accompanying material as is required to ensure compliance with the

variation review criteria. The requested variance meets the standards as follows:

1. *The requested variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional act.*

The Property is located at the corner of West Street (front yard) and Gundersen Dr., with a rear entrance via Executive Dr. The O-S zoning district requires a rear yard setback of forty feet (40'). The Property is unique in that in that while its front yard is contiguous to West Street, the Property is only accessible from the rear by way of Executive Dr. The Property is also unique in that at the time of the existing warehouse's construction and initial expansion, the setback requirement was only thirty feet (30'). Further, the existing lot is not square. As a result, the warehouse was constructed with several jogs along its eastern side that were necessary in order to comply with the 30' rear setback line requirement at the time. Petitioner's planned expansion of the warehouse includes an additional jog to meet the requested variation for a 30' setback. Requiring a 40' rear setback would result in an inconvenient, unnatural, and inconsistent design of the warehouse expansion as compared to the existing warehouse.

2. *That the variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property;*

The location on the Property where the warehouse expansion will be constructed is adjacent to a detention pond to the West, a parking lot to the South serving a Goodwill Store and Donation Center, and a parking lot to the East serving The Goddard School of Carol Stream (Wheaton). Taking these characteristics into account and the nature and location of the Property, the warehouse expansion is appropriate for the area. In this regard, there will be landscaping improvements

surrounding the warehouse expansion to provide a visually appealing separation between the Property and adjacent landowners, and Petitioner's landscape plans go above and beyond what is required by code. As depicted on the provided landscape plan, there are effectively three layers of landscaping proposed to soften the appearance of the proposed brick building – a layer of small shrubbery immediately against the warehouse, a buffer layer of trees between the warehouse and property line, and a layer of additional shrubbery along the property line.

3. *The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards;*

At the time of the warehouse's construction and first expansion the setback requirement was only thirty feet (30'). As mentioned, the parcel itself is not square and as a result, there are several jogs in the existing warehouse's design that were included to specifically meet the 30' rear setback line requirement. A 40' rear setback line would result in a physical hinderance of the proposed expansion, as the expansion would be largely inconsistent with the existing warehouse.

4. *The variation is the minimum action necessary to alleviate the hardship and observe the spirit of this UDO; and*

The variation is the minimum action necessary to alleviate the hardship. As mentioned, the rear setback requirement was 30' feet at the time of the existing warehouse's construction. The variation is necessary in order to perpetuate consistency within the design of the building and visually consistency of the Property.

5. *The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan.*

The variation will not adversely affect the public health, safety, or general welfare or impair

the purposes or intent of the Village's UDO or comprehensive plan. Petitioner is an active supporter of the general welfare of the community. The requested variation will allow for the expansion of Petitioner's operations and in turn positively affect the community. The new addition is square to the existing building but is on an angle to the existing property lines. While the addition complies with the required setbacks at its southeast and northeast corners, the configuration of the Property lines means that the building encroaches on the setbacks as the building moves south and west. Further, the variation is in line with the intent of the Village's UDO to allow for consistent development and maximized use of property. As previously mentioned, the Village's Comprehensive Plan has the Scheffler property use as Corridor Commercial and the existing Tyndale Property use as Industrial. The requested variation is in line with the intent of these categorizations to maximize utilization of the Property.

**WHEREFORE**, by reason of the foregoing, the undersigned Petitioner requests the Village Board and Plan Commission take the necessary steps to (i) approve a plat of subdivision/consolidation of the two lots into one; (ii) approve a rezoning of the Scheffler Property from B-3 – General Business District to O-S – Office and Service District (“O-S”); (iii) approve a site plan for the Property; and (iv) approve a rear yard setback variance and other such variances, departures or deviations as may be necessary to develop the Property consistent with the conceptual plan submitted herewith.

**RESPECTFULLY SUBMITTED** this 28<sup>th</sup> day of February, 2022.

PETITIONER:

Tyndale House Ministries, an Illinois not-for-profit corporation

By: Eric M. Prechtel

ROSANOVA AND WHITAKER LTD

**EXHIBIT A**  
**LEGAL DESCRIPTION – TYNDALE PROPERTY**

LOT 8 (EXCEPT THE EAST 36.53 FEET OF THAT PART THEREOF LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF EXECUTIVE DRIVE) ALL IN CARL A. GUNDERSEN'S SUBDIVISION, UNIT NO. 2. A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 1965, AS DOCUMENT R65-23222, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER AND RUNNING THENCE NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1046.85 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG SAID WEST LINE, 334.07 FEET TO THE SOUTH LINE OF CARL A. GUNDERSEN'S SUBDIVISION UNIT NO.2 (RECORDED AS DOCUMENT R65-23222); THENCE NORTH 88 DEGREES 29 MINUTES 47 SECONDS EAST, 652.25 FEET; THENCE SOUTH 00 DEGREES 21 MINUTES 06 SECONDS WEST, 334.07 FEET, THENCE SOUTH 88 DEGREES 29 MINUTES 47 SECONDS WEST, 652.25 FEET TO THE POINT OF BEGINNING, CONTAINING 5.001 ACRES, MORE OR LESS, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 351–370 Executive Drive, Carol Stream, IL 60188

PIN: 05-04-302-030

**EXHIBIT B**  
**LEGAL DESCRIPTION – SCHEFFLER PROPERTY**

PARCEL 1

LOT 1 IN GENEVA CROSSING; PHASE 11, BEING A SUBDIVISION OF PART OF THE WEST ½ OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2

EASEMENT FOR BENEFIT OF PARCEL 1 FOR CROSS-ACCESS AS PER THE PLAT OF GENEVA CROSSING: PHASE 11 DOCUMENT R2017-125315

Commonly known as: 2442 N. Main Street, Carol Stream, IL 60188

PIN: 05-04-304-079

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on September 7, 2022 and the last publication of the notice was made in the newspaper dated and published on September 7, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

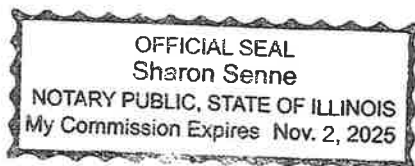
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on September 7, 2022.

Examiner Publications, Inc.

By: Publisher   
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of September, A.D. 2022.

Notary Public



## LEGAL NOTICE PUBLIC NOTICE FILE #22-0013

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, September 26, 2022 at 6:00 p.m. to consider an application from Tyndale House Ministries for the following actions:

A Zoning Map Amendment to rezone the property from B-3 General Business District to O-S Office-Service District, in accordance with Section 16-8-4 (N) of the Carol Stream Unified Development Ordinance

An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream Unified Development Ordinance; and

A Variation to reduce the rear yard building setback, in accordance with Section 16-3-6 (B)(2) of the Carol Stream Unified Development Ordinance

For the property located at 504 S Schmale Road (PIN 05-04-304-079).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/register/WN\\_51761Up3SAKA17PYMVskog](https://us02web.zoom.us/join/register/WN_51761Up3SAKA17PYMVskog)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 881 0867 4045

International numbers available: <https://zoom.us/j/adsnXEZQfK>

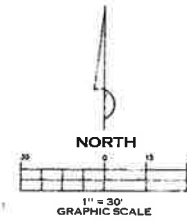
Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org). Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* September 7, 2022 0907





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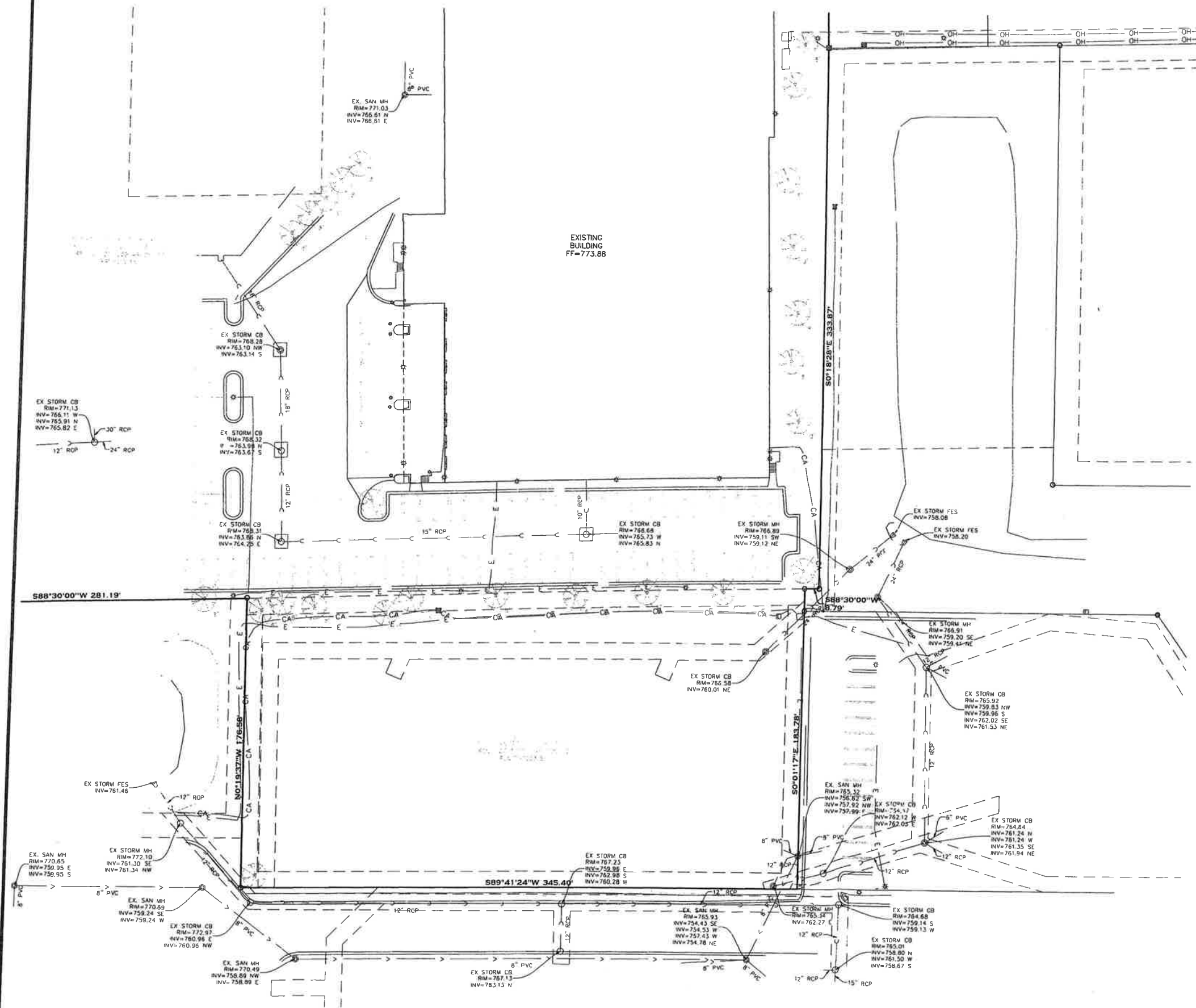


**SURVEYOR'S NOTES**

1. SURVEY IS BASED ON FIELD WORK COMPLETED ON FEBRUARY 07, 2022.
2. BASIS OF BEARING: GRID NORTH - IL EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
3. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
4. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
5. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
6. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
7. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO 17043C0083J WITH AN EFFECTIVE DATE OF 8-01-2019.

**SITE BENCHMARKS**

1. DUPAGE COUNTY BENCHMARK # 0174  
 LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF FULLERTON AVE & SCHMALE ROAD.  
 ELEV=812.54
2. DUPAGE COUNTY BENCHMARK # M1001  
 LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF GENEVA ROAD AND PRESIDENT STREET.  
 ELEV=770.40



**EXHIBIT B**

**TYNDALE HOUSE MINISTRIES WAREHOUSE  
 BUILDING ADDITION  
 351 EXECUTIVE DR.  
 CAROL STREAM, ILLINOIS 60188  
 SITE CIVIL ENGINEERING PLANS  
 EXISTING CONDITIONS PLAN**

PROJECT NO. M21160  
 DRAWN BY: ZDS  
 CHECKED BY: CLS  
 SHEET NO. 2 / 5

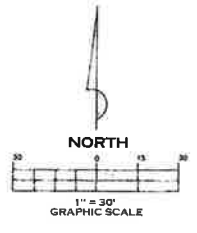
**MeritCorp**  
 4222 Meridian Parkway, Suite 112  
 Aurora, IL 60504  
 Office 630.554.6655  
 Lic. No. 194-005860  
 www.meritcorp.com

Other Office Locations:  
 Gurnee, IL

DATE	DESCRIPTION
02/25/2022	ISSUED FOR REVIEW
04/01/2022	REVISED PER VILLAGE REVIEW COMMENTS

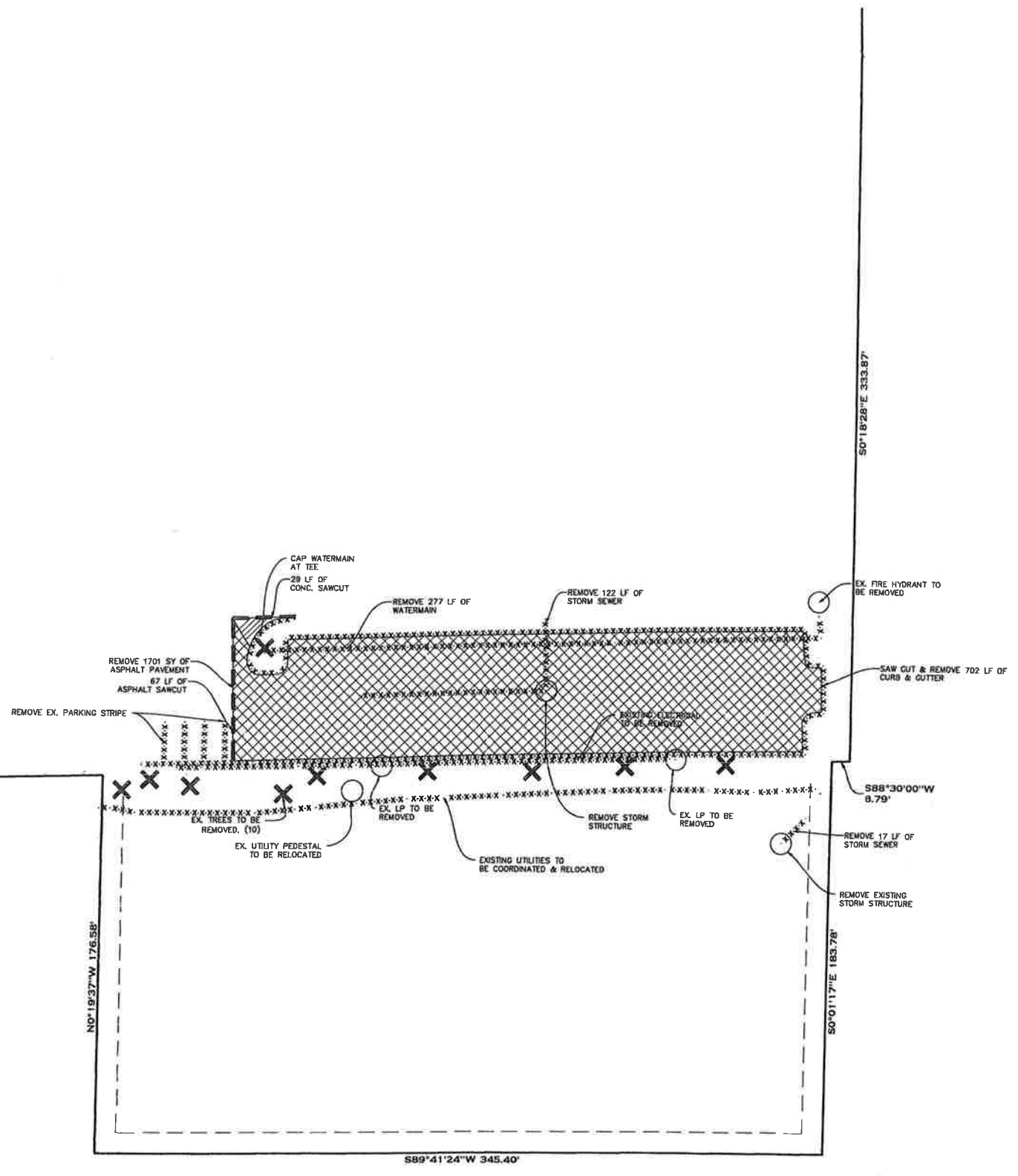
DATE	DESCRIPTION
02/25/2022	ISSUED FOR REVIEW
04/01/2022	REVISED PER VILLAGE REVIEW COMMENTS

RECEIVED  
 APR 14 2022  
 COMMUNITY DEVELOPMENT  
 DEPT



**LEGEND**

-XXXXXXXXXXXX-	REMOVE ITEM
-----	FULL DEPTH SAWCUT PAVEMENT
[Cross-hatched box]	REMOVE ASPHALT PAVEMENT
[Diagonal hatched box]	REMOVE CONC PAVEMENT
X	REMOVE TREE



**EXHIBIT C**

**MeritCorp**  
INCORPORATED IN ILLINOIS  
 4222 Meridian Parkway, Suite 112  
 Aurora, IL 60504  
 Office 630.554.6655  
 Lic. No. 184-005860  
 www.meritcorp.com

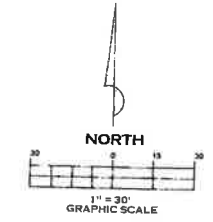
Other Office Locations:  
 Gurnee, IL

**TYNDALE HOUSE MINISTRIES WAREHOUSE  
 BUILDING ADDITION  
 351 EXECUTIVE DR.  
 CAROL STREAM, ILLINOIS 60188  
 SITE CIVIL ENGINEERING PLANS**

**DEMOLITION PLAN**

PROJECT NO.	M21160
DRAWN BY:	ZDS
CHECKED BY:	CLS
SHEET NO.	3 / 5

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**LEGEND**

	PL	DEPRESSED CURB AND GUTTER (SEE DETAILS ON SHEET 12)
	ES	HEAVY DUTY ASPHALT PAVEMENT (SEE DETAILS ON THIS SHEET)
	CS	CONCRETE PAVEMENT (SEE DETAILS ON SHEET 12)
	B	PROPERTY LINE
	BC	EDGE OF STRIPE
	EW	CENTER OF STRIPE
	R	BUILDING
		BACK OF CURB
		EDGE OF WALK
		RADIUS

DATE	DESCRIPTION
02/25/2022	ISSUED FOR REVIEW
04/01/2022	REVISED PER VILLAGE REVIEW COMMENTS

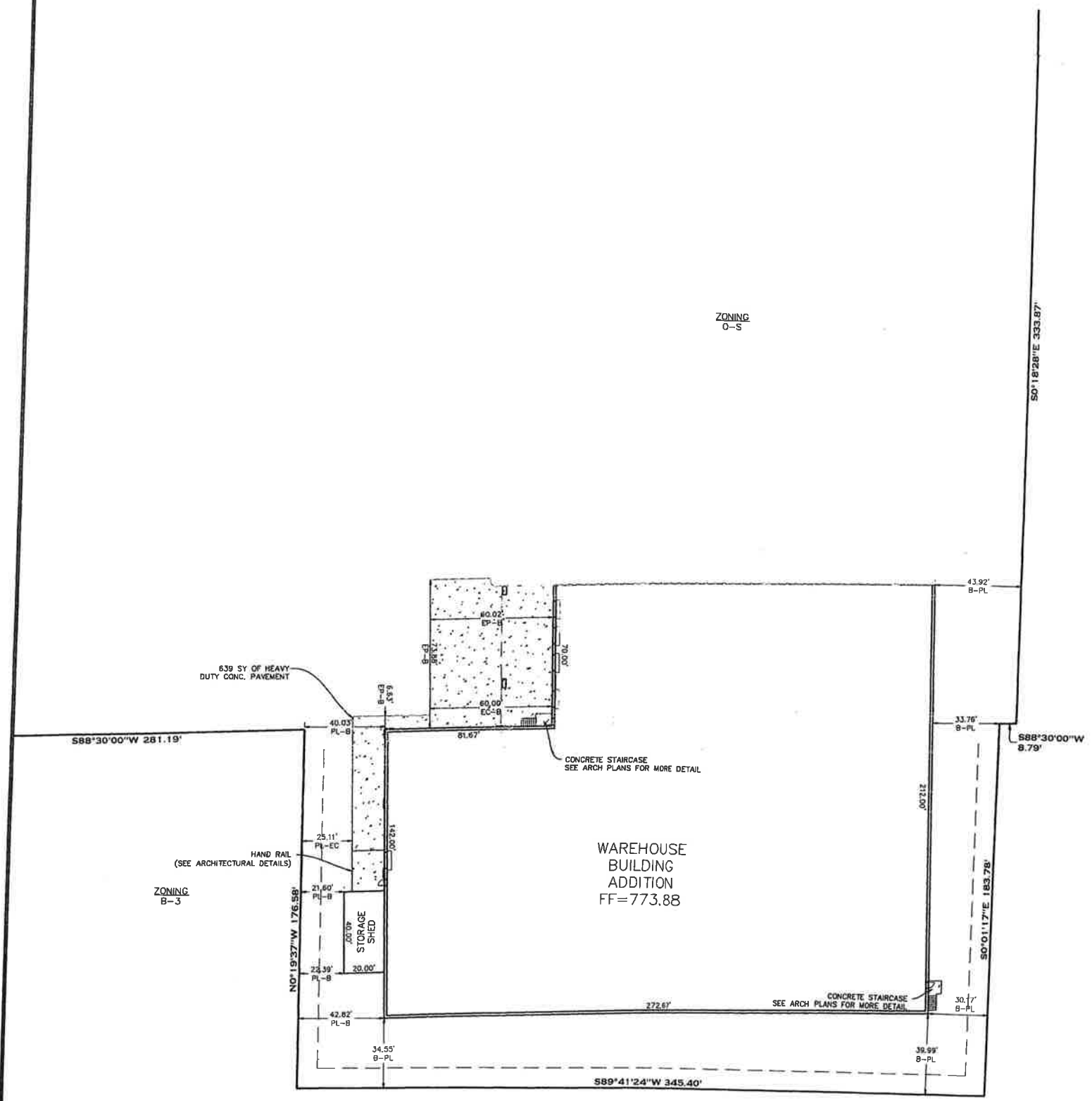
**MeritCorp**  
 4222 Meridian Parkway, Suite 112  
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 Gurnee, IL

**TYNDALE HOUSE MINISTRIES WAREHOUSE  
 BUILDING ADDITION  
 351 EXECUTIVE DR.  
 CAROL STREAM, ILLINOIS 60188  
 SITE CIVIL ENGINEERING PLANS**

**GEOMETRIC PLAN**

PROJECT NO.	M21160
DRAWN BY:	ZDS
CHECKED BY:	CLS
SHEET NO.	4 / 5



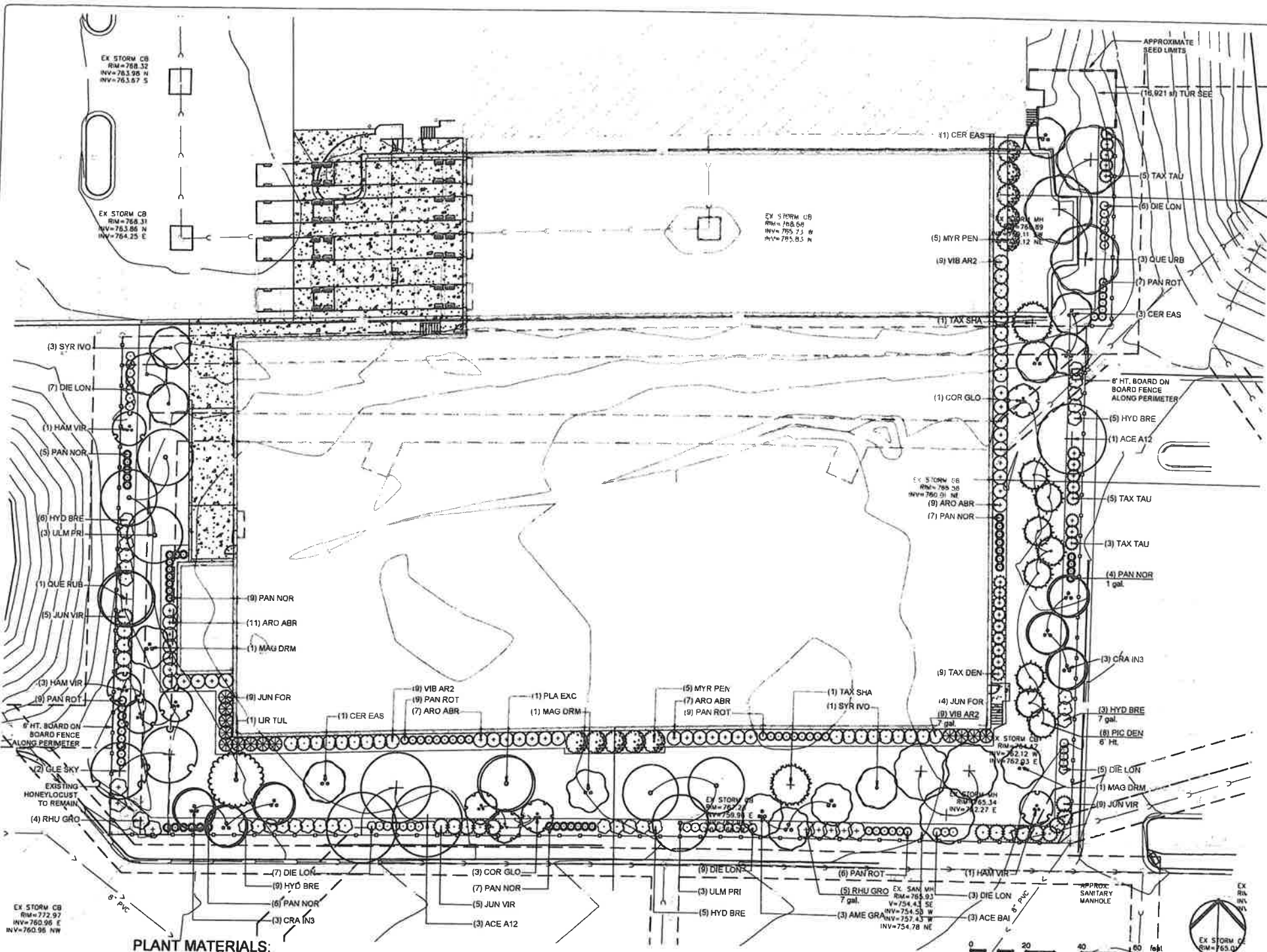
ZONING  
B-3

ZONING  
B-3

**EXHIBIT D**

**NOTES**

- SEE DEMOLITION PLAN FOR LIMITS OF PAVEMENT, UTILITIES AND VEGETATION TO BE REMOVED.
  - SEE LANDSCAPE PLAN FOR PROPOSED LANDSCAPING
- ZONING ABBREVIATIONS:  
 B-3 GENERAL BUSINESS DISTRICT  
 O-S OFFICE, SERVICE AND INDUSTRIAL DISTRICTS

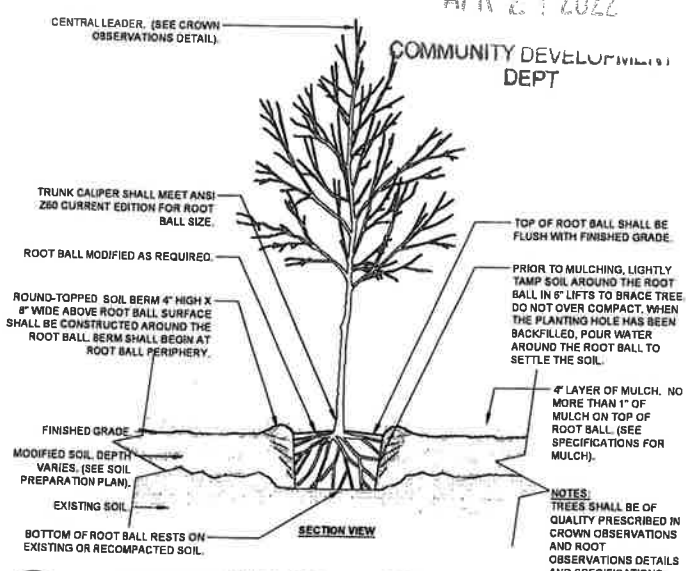


**PLANTING GENERAL NOTES: NOT FOR CONSTRUCTION**

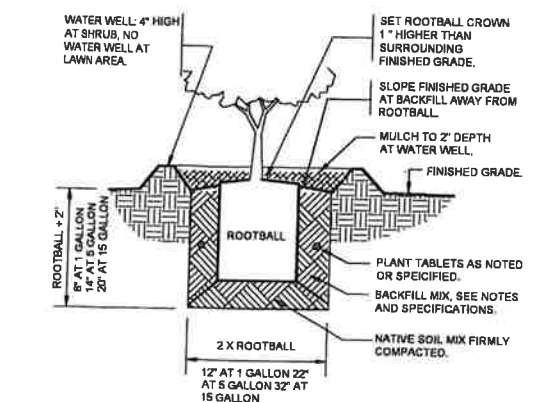
- All plants shall be grown and harvested in accordance with the American Standard for Nursery Stock (ANSI Z60.1-2004)
- Tree planting shall comply with details herein and the Village of Carol Stream Landscape Ordinances.
- Tree pits shall be tested for water percolation. If water does not drain out of tree pit within 24-hours, the tree shall be moved or drainage shall be provided.
- Seed limit lines are approximate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area at no additional cost to the owner.
- The contractor is responsible for erosion control for all native site topsoil, plant beds, and in all landscaped and seeded areas. Provide temporary erosion control blanket for all seeded areas that exceed 4:1 slopes.
- Native site topsoil shall be laboratory tested by and accredited laboratory and amended per said laboratory's recommendations.
- All planting beds to receive 12" min. amended topsoil. Amend with soil conditioner similar to Midwest Trading Midwest Landscapers Pro One per manufacturer recommendations or approved equal. All disturbed turf seed areas to maintain or receive 6" min. topsoil.
- Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from the area to be mulched and provide a typical v-trench edge at perimeter of the beds. Mulch to be shredded hardwood bark.
- Bedlines are to be spade cut to a minimum depth of 3 inches, unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. Notify Landscape Architect of any discrepancies. No additional payments will be made for materials required to complete the work as drawn and specified.

REVISIONS		Description
No.	Date	By
1	02/25/2022	MEUJ
2	04/21/2022	MEUJ

RECEIVED  
APR 21 2022



1 TREE W/ BERM (EXISTING SOIL MODIFIED)  
1/2" = 1'-0"



2 SHRUB PLANTING  
1" = 1'-0"

**PLANT MATERIALS:**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
ACE BAI	<i>Acer saccharum</i> 'Ballista' TM	Fall Fiesta Sugar Maple	2.5' Cal.	B&B	3		
ACE A12	<i>Acer x freemanii</i> 'Jelstead'	Autumn Blaze Maple	2.5' Cal.	B&B	4		
AME GRA	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' Ht.	B&B	3		
CER EAS	<i>Cercis canadensis</i>	Eastern Redbud Multi-trunk	6' Ht.	B&B	5		
COR GLO	<i>Cornus mas</i> 'Golden Glory'	Golden Glory Cornelian Cherry	6' Ht.	B&B	6		
CRA IN3	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorn	6' Ht.	B&B	2		
GLE SKY	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	2.5' Cal.	B&B	2		
HAM VIR	<i>Hamelia virginiana</i>	Common Witch Hazel	6' Ht.	B&B	5		
UR TUL	<i>Liriodendron tulipifera</i>	Tulip Poplar	2.5' Cal.	B&B	1		
MAG DRM	<i>Magnolia x loebneri</i> 'Merril'	Merril Loebner Magnolia	6' Ht.	B&B	3		
PIQ DEN	<i>Platanus x acerifolia</i> 'Exclamation' TM	Black Hills White Spruce	6' Ht.	B&B	8		
PLA EXC	<i>Platanus x acerifolia</i> 'Exclamation' TM	Exclamation London Plane Tree	2.5' Cal.	B&B	1		
QUE URB	<i>Quercus macrocarpa</i> 'Urban Pinnacle'	Urban Pinnacle Oak	2.5' Cal.	B&B	3		
QUE RUB	<i>Quercus rubra</i>	Red Oak	2.5' Cal.	B&B	1		
SYR IVO	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5' Cal.	B&B	4		
TAX SHA	<i>Taxodium distichum</i> 'Shawnee Brave' TM	Bald Cypress	2.5' Cal.	B&B	2		
ULM PRI	<i>Ulmus americana</i> 'Princeton'	American Elm	2.5' Cal.	B&B	6		
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
ARO ABR	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	7 gal.	Pot	34		
DIE LON	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	7 gal.	Pot	37		
HYD BRE	<i>Hydrangea quercifolia</i> 'Branhill' TM	Gatsby Gal Oakleaf Hydrangea	7 gal.	Pot	28		
JUN FOR	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	7 gal.	Pot	13		
JUN VIR	<i>Juniperus chinensis</i> sargentii 'Viridita'	Green Sargent Juniper	7 gal.	Pot	19		
MYR PEN	<i>Myrica pensylvanica</i>	Northern Bayberry	7 gal.	Pot	10		
PAN NOR	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gal.	Pot	38		
PAN ROT	<i>Panicum virgatum</i> 'Rotstrahlbusch'	Rotstrahlbusch Reed Switch Grass	1 gal.	Pot	40		
RHU GRO	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	7 gal.	Pot	9		
TAX TAU	<i>Taxus x media</i> 'Tauntonii'	Taunton's Yew	7 gal.	Pot	13		
TAX DEN	<i>Taxus x media</i> 'Denaliformis'	Dense Anglo-Japanese Yew	7 gal.	Pot	9		
VIB AR2	<i>Viburnum dentatum</i> 'Christom' TM	Blue Muffin Arrowwood Viburnum	7 gal.	Pot	27		

**EXHIBIT E**

SEAL:  
**TYNDALE HOUSE MINISTRIES**  
951 Executive Dr. Carol Stream, IL 60188

**ASPEN GROUP**  
9945 Lincoln-Weir Lane  
Suite 201  
Frankfort, IL 60423

DRAWN BY: Author  
SHEET:  
**L.100**  
ASPEN PROJECT #: 22-1004-03

KEY PLAN

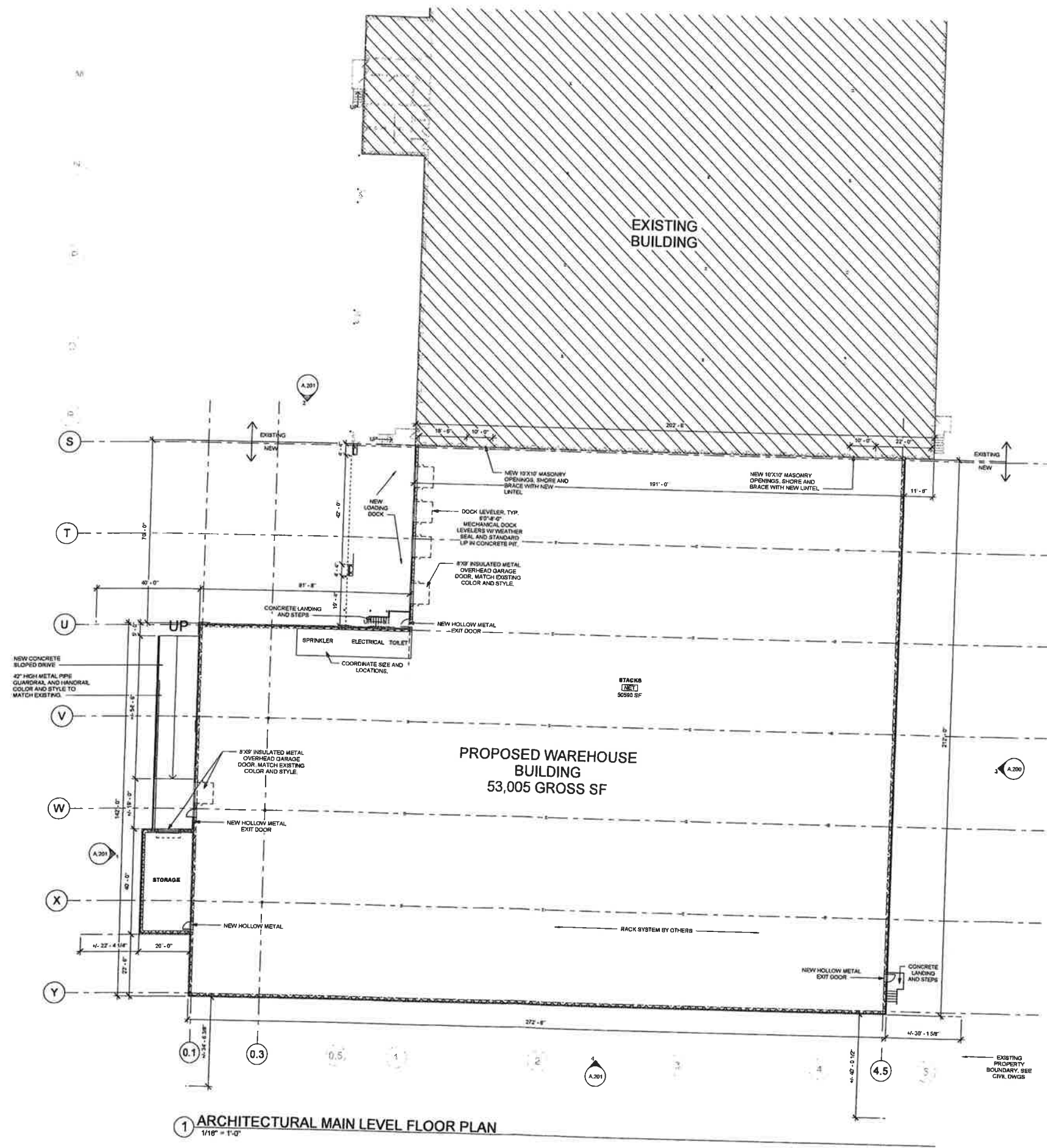


EXHIBIT F

1 ARCHITECTURAL MAIN LEVEL FLOOR PLAN  
1/16" = 1'-0"

**ASPEN GROUP**  
9645 Lincoln-Way Lane Suite 201, Frankfort, IL 60423

**TYNDALE HOUSE MINISTRIES**  
351 Executive Dr, Carol Stream, IL 60188



ZONING SET

REVISIONS

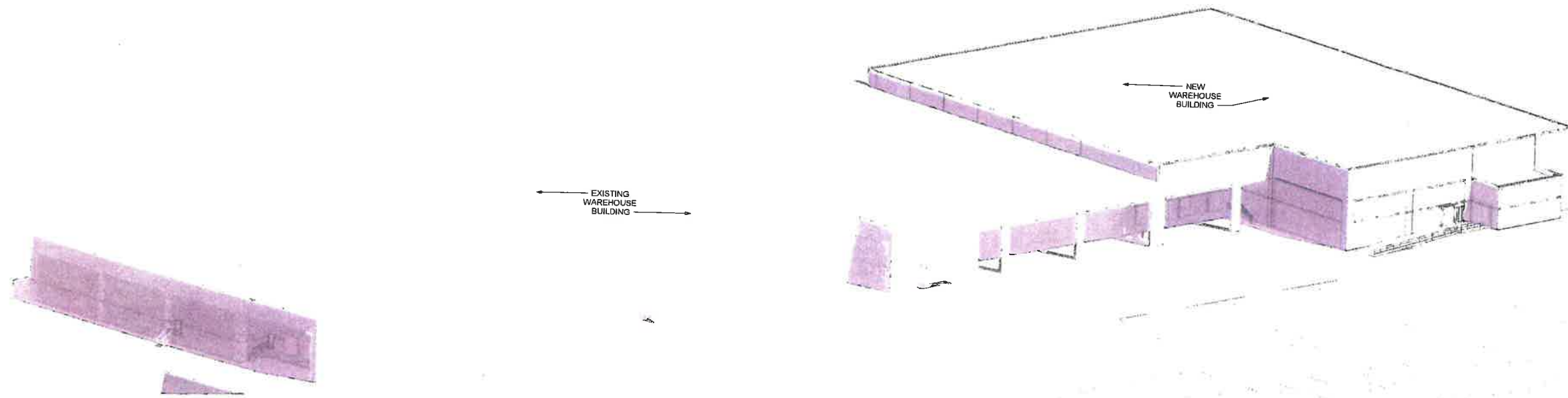
No.	Date	By	Description
1	02/25/2022		ZONING REVIEW

ARCHITECTURAL FLOOR PLAN

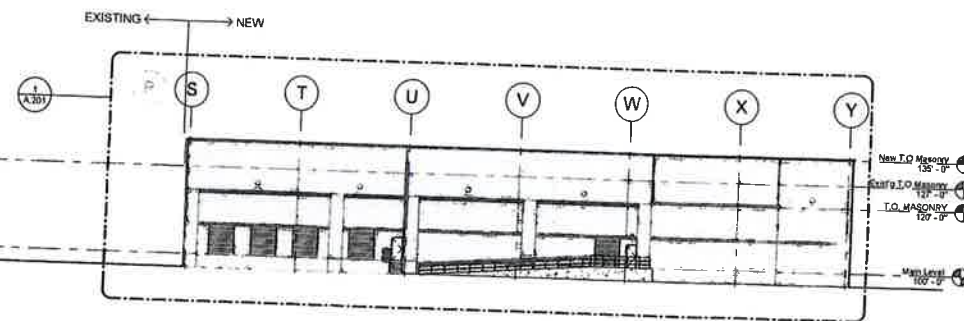
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ASPEN PROJECT # 00-0000

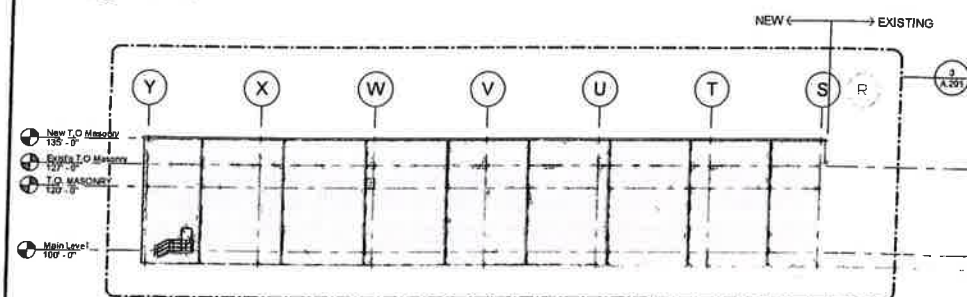




1 3D VIEW FOR REFERENCE ONLY



2 West Exterior Elevation  
3/64" = 1'-0"



3 East Exterior Elevation  
3/64" = 1'-0"

ASPEN GROUP  
9645 Lincoln-Way Lane, Suite 201, Frankfort, IL 60423

TYNDALE HOUSE MINISTRIES  
351 Executive Dr, Carol Stream, IL 60188



ZONING SET

REVISIONS		
No.	Date	By Description
A	02-25-2022	ZONING REVIEW

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EXTERIOR ELEVATIONS

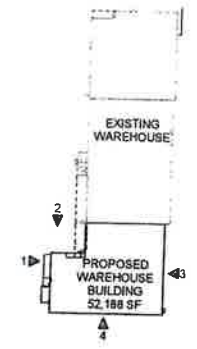
A.200

ASPEN PROJECT # 00-0000

EXHIBIT G-1

EXTERIOR ELEVATION NOTES

KEY PLAN



ASPEN GROUP  
9645 Lincoln Way Lane Suite 201 Frankfort, IL 60143

TYNDALE HOUSE  
MINISTRIES  
351 Executive Dr, Carol Stream, IL 60188



PRE GP SET

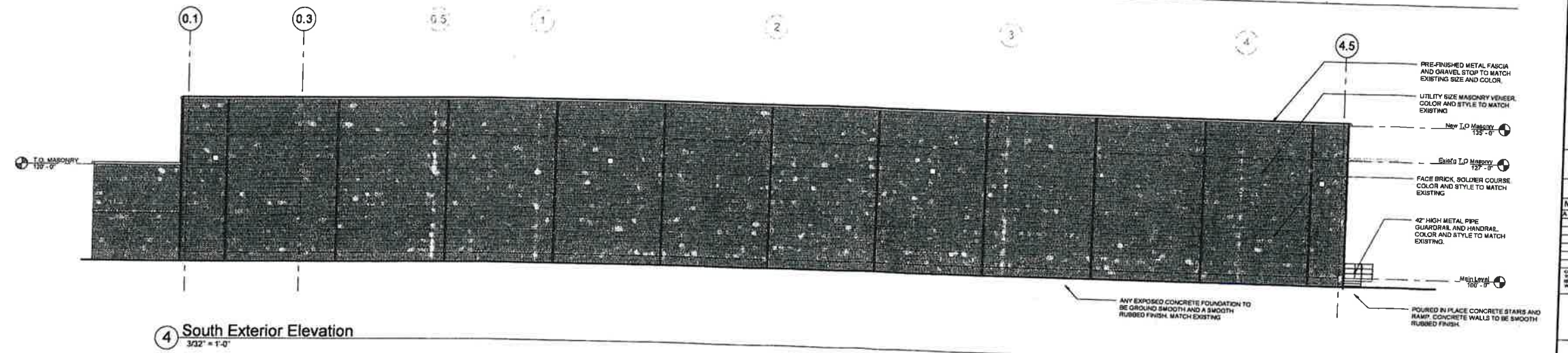
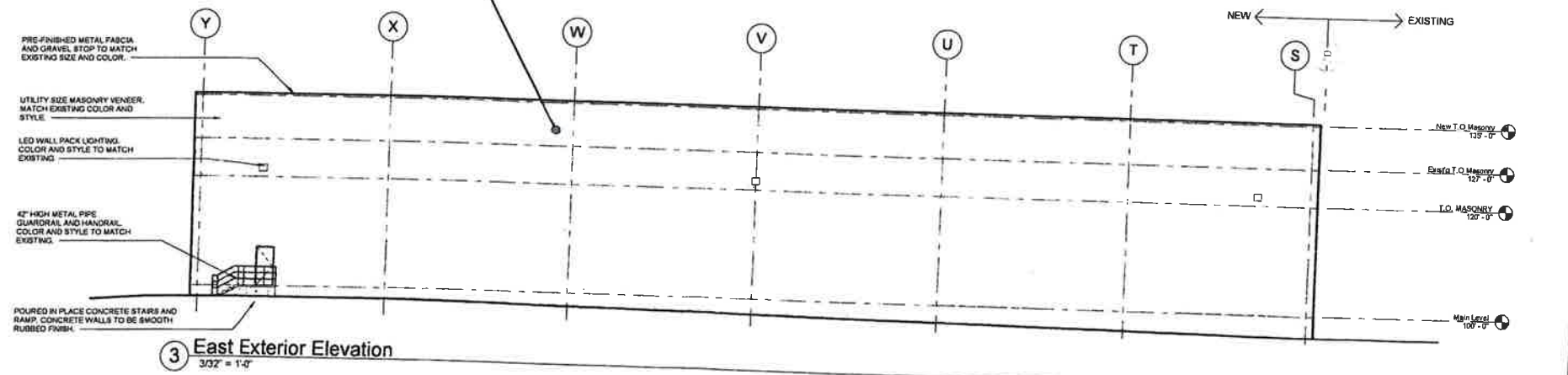
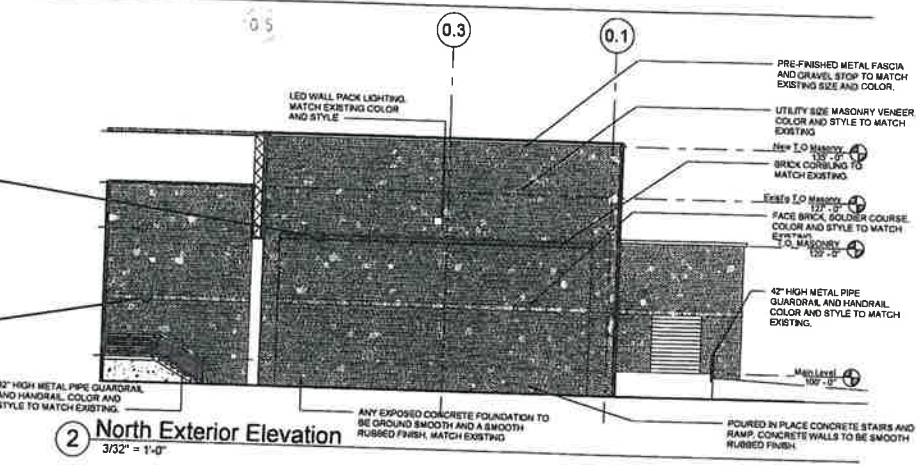
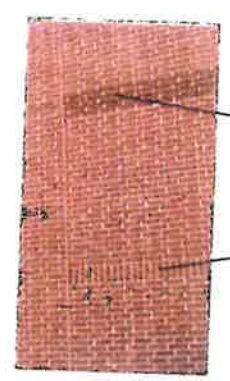
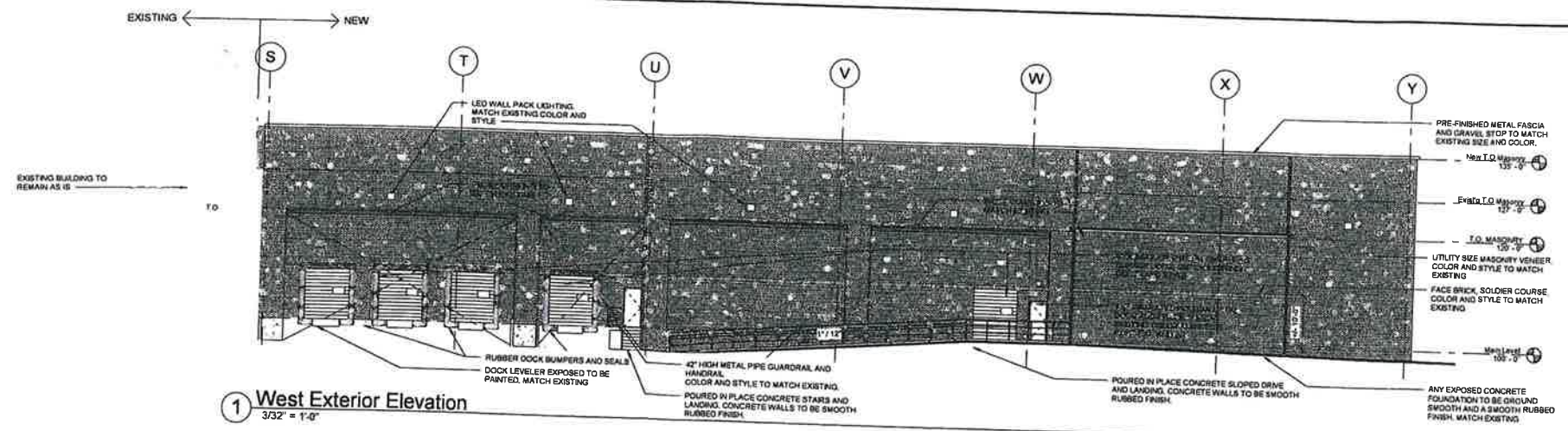
REVISIONS

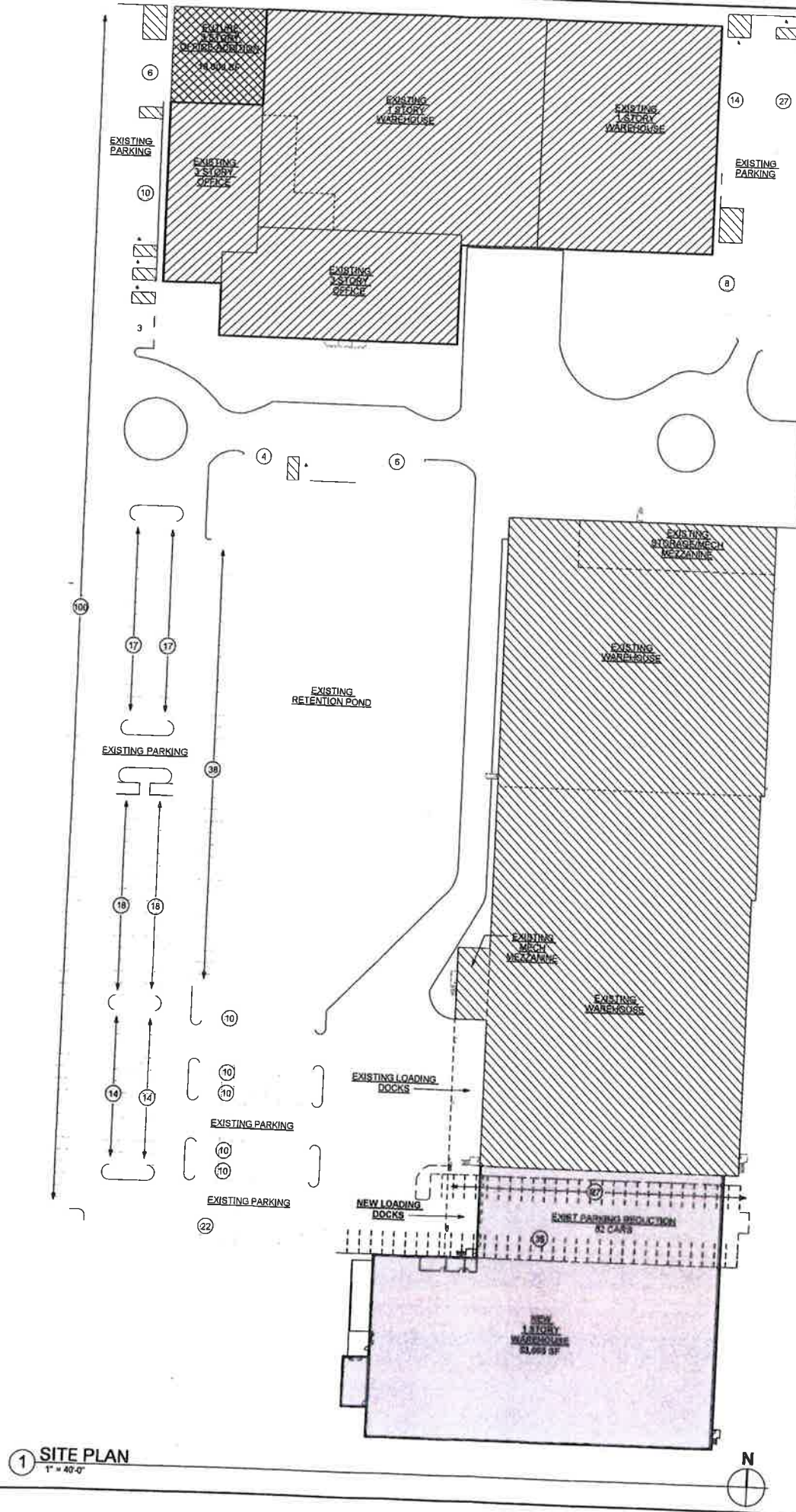
No.	Date	By	Description
A	01/25/2022		ZONING REVIEW

EXTERIOR ELEVATIONS

A.201

EXHIBIT G-2





1 SITE PLAN  
1" = 40'-0"

PARKING STUDY

BUILDING AREA	WAREHOUSE	OFFICE	TOTALS
EXISTING NET S.F. (EXCLUSIONS REMOVED PER TABLE 18-5-2 (C))	+/- 188,646 S.F.	+/- 28,682 S.F.	+/- 194,498 S.F.
NEW NET S.F.	+462,000 S.F.		
FUTURE NET S.F.	+/- 217,846 S.F.	+/- 17,710 S.F.	
TOTAL NET S.F.		+/- 46,592 S.F.	+/- 264,208 S.F.
EXISTING GROSS S.F.	+/- 172,855 S.F.	+/- 67,281 S.F.	+/- 240,138 SF
NEW GROSS S.F.	+53,005 S.F.		
FUTURE BUILDING S.F.		+/- 18,000 S.F.	
TOTAL GROSS FLOOR AREA S.F.	+/- 225,860 S.F.	+45,281 S.F.	+/- 311,141 S.F.

PARKING	WAREHOUSE	OFFICE	TOTALS
EXISTING PARKING REQUIRED (18-4-2 (C)) BASED ON NET S.F.	(1,1500 S.F.) 110 CARS	(1,250 S.F.) 116 CARS	226 CARS
NEW PARKING REQUIRED	35 CARS		
FUTURE PARKING REQUIRED		71 CARS	
TOTAL PARKING REQUIRED			311 CARS
ACTUAL PARKING PROVIDED:			
EXISTING			48 CARS
NEW			0 CARS
EXISTING PARKING STALLS TO BE REMOVED FOR NEW WAREHOUSE			52 CARS
TOTAL PARKING PROVIDED			388 CARS
ADA PARKING STALLS REQUIRED:			
EXISTING			9 CARS
NEW			3 CARS
TOTAL ADA PROVIDED			8 CARS

EXHIBIT H

ASPEN GROUP  
9645 Lincoln-Way Lane Suite 201 Frankfort, IL 60423

TYNDALE HOUSE MINISTRIES  
351 Executive Dr, Carol Stream, IL 60188



ZONING SET

REVISIONS			
No.	Date	By	Description
01	02-25-2022		ZONING REVIEW

PARKING STUDY PLAN

G.001



# TYNDALE HOUSE FINAL PLAT OF CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH,  
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

RECEIVED  
APR 14 2022  
COMMUNITY DEVELOPMENT  
DEPT

## LEGEND

PROPERTY BOUNDARY	———
OFFSITE PROPERTY LINE	———
PROPOSED LOT LINE	———
PROPOSED EASEMENT LINE	———
EXISTING EASEMENT LINE	———
CONCRETE MONUMENT	■
FOUND IRON PIPE	○
FOUND DISK	○
RECORD DIMENSION	(XXX.XX)
SET 3/4" IRON PIPE	○ <sub>set</sub>

## ABBREVIATIONS

P.U.E. =	PUBLIC UTILITY EASEMENT
U.E. =	UTILITY EASEMENT
C.E. =	CITY EASEMENT
D.E. =	DRAINAGE EASEMENT
P.U. & D.E. =	PUBLIC UTILITY & DRAINAGE EASEMENT
S.C. & S.M.E. =	STORMWATER CONVEYANCE & STORMWATER MANAGEMENT EASEMENT
S.M. & C.E. =	STORMWATER MANAGEMENT & CONVEYANCE EASEMENT
W.S.D.E. =	WHEATON SANITARY DISTRICT EASEMENT

## VACATION NOTES

PORTIONS OF THE FOLLOWING EASEMENTS HAVE BEEN VACATED BY DOCUMENT NO. PRIOR TO THE RECORDING OF THIS FINAL PLAT OF SUBDIVISION:

10' UTILITY EASEMENT RECORDED 04-29-1997 AS DOC. NO. R1997-059651

STORMWATER MANAGEMENT & CONVEYANCE EASEMENT RECORDED 12-07-2017 AS DOC. NO. R2017-125315

## SURVEYOR'S NOTES

1. BASIS OF BEARING: GRID NORTH - IL EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
4. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
5. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
6. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO 17043C0063J WITH AN EFFECTIVE DATE OF 8-01-2015.
7. SURVEY IS BASED ON FIELD WORK COMPLETED JANUARY 13, 2022.

## BUILDING SETBACKS

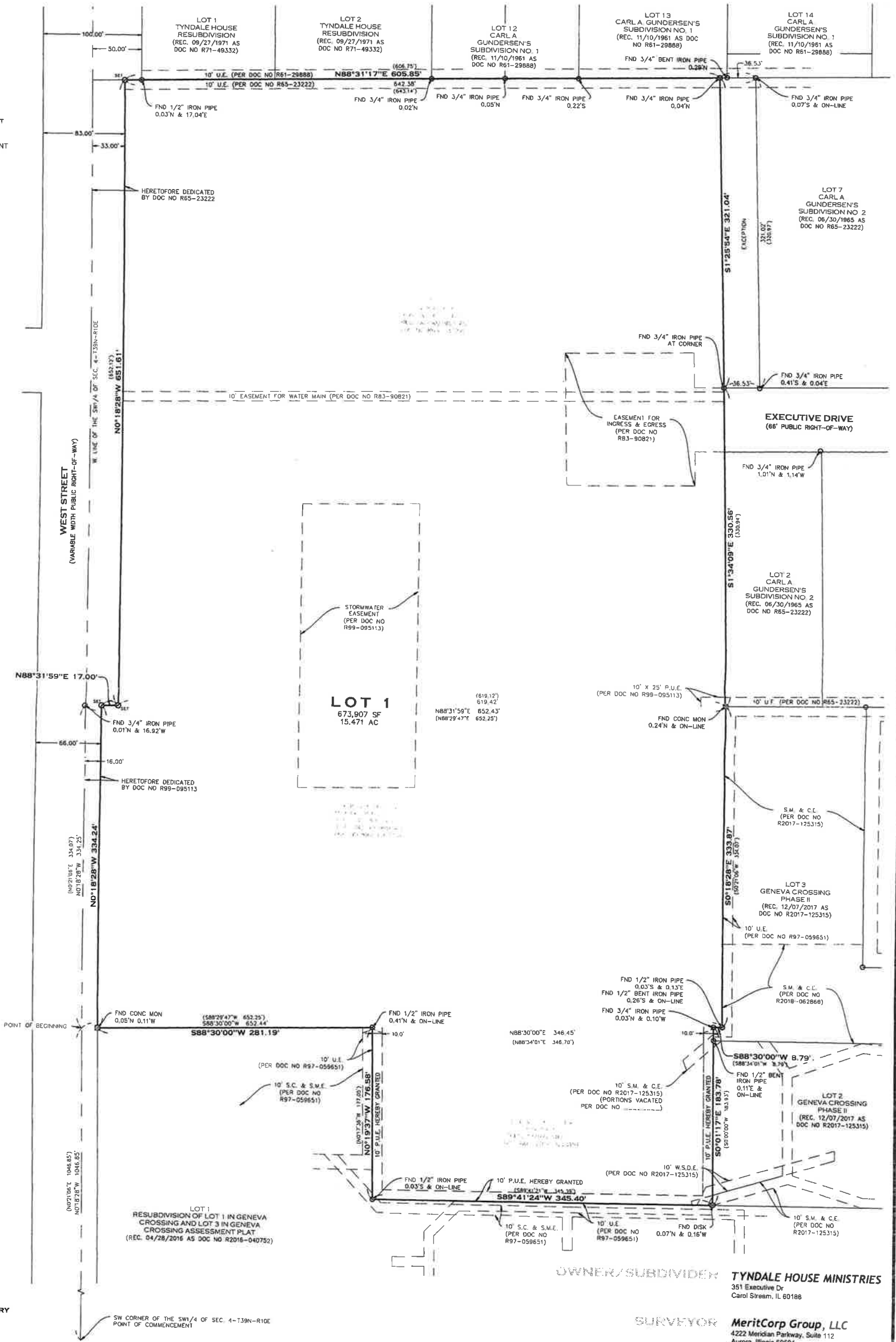
BUILDING SETBACKS ARE NOT DEPICTED HEREON AND ARE SUBJECT TO CHANGE ACCORDING TO THE PROVISION OF THE UNIFIED DEVELOPMENT ORDINANCE OF THE VILLAGE OF CAROL STREAM.

## TAX DISTRICTS

PIN # 05-04-302-030  
PIN # 05-04-304-079

ADDRESS: 351 EXECUTIVE DRIVE  
CAROL STREAM, ILLINOIS 60188

TAXING DISTRICTS:  
UNIT SCHOOL DISTRICT 200  
CAROL STREAM FIRE  
CAROL STREAM PARK  
VILLAGE OF CAROL STREAM  
VILLAGE OF CAROL STREAM LIBRARY  
COLLEGE OF DUPAGE  
COUNTY OF DUPAGE  
FOREST PRESERVE DISTRICT  
MILTON TOWNSHIP ROAD  
MILTON TOWNSHIP  
WHEATON MOSQ DISTRICT  
DUPAGE AIRPORT AUTHORITY



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**MeritCorp**

PROJECT NO. M21160

DRAWN BY: JDS

CHECKED BY: JDS

SHEET NO. 1/2

**TYNDALE HOUSE FINAL  
PLAT OF CONSOLIDATION**  
  
**351 EXECUTIVE DRIVE  
CAROL STREAM, IL 60188**

**MeritCorp**  
SURVEYING, ENGINEERING, ARCHITECTURE, PLANNING, ENVIRONMENTAL

4222 Meridian Parkway, Suite 112  
Aurora, IL 60504  
Office 630.554.6655  
Lic. No. 184-005860  
www.meritcorp.com

Other Office Locations  
Gurnee

DATE:  
02/25/2022  
04/01/2022

DESCRIPTION:  
ISSUED DRAFT TO CLIENT  
REVISED PER VILLAGE COMMENTS

PIN # 05-04-302-030

PIN # 05-04-304-079

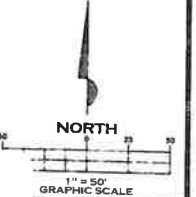


EXHIBIT I

# TYNDALE HOUSE FINAL PLAT OF CONSOLIDATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH,  
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

RECEIVED

APR 14 2022

COMMUNITY DEVELOPMENT  
DEPT

## OWNER'S CERTIFICATE:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. THE UNDERSIGNED HEREBY DEDICATES/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM, AND TO THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

TITLE \_\_\_\_\_

ADDRESS \_\_\_\_\_

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

## NOTARY CERTIFICATE:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR THE COUNTY, IN THE STATE

AFORESaid, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON/PERSONS WHOSE NAME/NAMES IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER/OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HETHEY SIGNED THE SUBDIVISION PLAT AS HER/HS/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC

## MORTGAGEE CERTIFICATE:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

\_\_\_\_\_ HOLDER(S) OF A MORTGAGE ON THE PROPERTY DESCRIBED HEREIN, HEREBY CONSENTS TO THE EXECUTION AND RECORDING OF THE ABOVE AND FOREGOING PLAT OF SUBDIVISION AND HEREBY SUBMITS ITS MORTGAGE

RECORDED \_\_\_\_\_ AS DOCUMENT NUMBER \_\_\_\_\_ IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS, TO ALL OF THE PROVISIONS THEREOF.

IN WITNESS WHEREOF, THE SAID \_\_\_\_\_ HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ITS DULY AUTHORIZED OFFICERS ON ITS BEHALF AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

PRINT MORTGAGEE NAME: \_\_\_\_\_

BY: \_\_\_\_\_

ATTEST: \_\_\_\_\_

## MORTGAGE NOTARY CERTIFICATE:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE

AFORESaid, DO HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO THE AFORESaid CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC

## SURFACE WATER CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE )

THE UNDERSIGNED HEREBY CERTIFY THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL NOT BE CHANGED WITHOUT ADEQUATE PROVISION BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. THE UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS THE FUTURE USE OF THE LAND HEREIN SUBDIVIDED IN THAT NO BUILDING PERMITS SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNTIL AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT BY SUCH CONSTRUCTION AND TOPOGRAPHICAL CHANGE COMPLY WITH THE ORDINANCES OF THE VILLAGE RELATING TO SURFACE WATERS, DRAINAGE, WATER RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

REGISTERED PROFESSIONAL ENGINEER

OWNER OR ATTORNEY

## DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE

RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M, AND WAS RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON

PAGE \_\_\_\_\_

RECORDER OF DEED

## PLAN COMMISSION CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

VILLAGE OF CAROL STREAM PLAN COMMISSION

CHAIRPERSON

## VILLAGE ENGINEER'S CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THIS PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS SUBDIVISION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

VILLAGE ENGINEER

## FINANCE DIRECTOR CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

20\_\_\_\_

FINANCE DIRECTOR

## VILLAGE CLERK'S CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION \_\_\_\_\_ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS HIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MAYOR

VILLAGE CLERK

## DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE SUBDIVISION PLAT. I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE SUBDIVISION PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

COUNTY CLERK

## PUBLIC UTILITY EASEMENT (P.U.E.) PROVISIONS:

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, AND TO THOSE UTILITY AND OTHER ENTITIES OPERATING NOW, OR IN THE FUTURE, UNDER FRANCHISE FROM THE VILLAGE OF CAROL STREAM, INCLUDING, BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, AND TO THEIR SUCCESSORS AND ASSIGNS, IN, ON, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" (OR "P.U.E.") ON THIS PLAT OF SUBDIVISION. SUCH EASEMENTS GRANTING AND PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, INSPECT, OPERATE, REPLACE, RENEW, ALTER, ENLARGE, REMOVE, REPAIR, CLEAN AND MAINTAIN VARIOUS UTILITY AND SIMILAR TRANSMISSION, RECEIVING AND DISTRIBUTION SYSTEMS, INCLUDING, BUT NOT LIMITED TO CABLES, LINES, TRANSFORMERS, COMPUTER DEVICES, SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND ANY AND ALL NECESSARY MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH UTILITY AND SIMILAR SERVICE TO THE ATTACHED AREA, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS THE VILLAGE, UTILITIES AND SIMILAR ENTITIES MAY DEEM NECESSARY, USEFUL OR CONVENIENT, TOGETHER WITH A PERMANENT RIGHT OF ACCESS ACROSS THE LOTS AND REAL ESTATE SHOWN ON THIS PLAT OF SUBDIVISION FOR THE NECESSARY PERSONS AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO THE VILLAGE, UTILITIES AND SIMILAR ENTITIES TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH INSTALLATIONS, IN, ON, UPON, ACROSS, OVER, UNDER OR THROUGH SUCH EASEMENTS. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SUCH EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESaid USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR MUNICIPAL-OWNED UTILITIES, OTHER INSTALLATION OF UTILITIES AND OTHER ENTITIES SHALL BE SUBJECT TO THE PRIOR APPROVAL, AS TO LOCATION AND DESIGN, OF THE VILLAGE SO AS NOT TO INTERFERE WITH THE MUNICIPAL UTILITIES.

## SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS IS TO CERTIFY THAT I, JONATHAN D. SPINAZZOLA, REGISTERED ILLINOIS LAND SURVEYOR NO. 3868, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 8 (EXCEPT THE EAST 36.53 FEET OF THAT PART THEREOF LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF EXECUTIVE DRIVE) ALL IN CARL A. GUNDERSEN'S SUBDIVISION, UNIT NO. 2, A SUBDIVISION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 30, 1985, AS DOCUMENT R65-23222, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER AND RUNNING THENCE NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1046.85 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 21 MINUTES 06 SECONDS EAST ALONG SAID WEST LINE, 334.07 FEET TO THE SOUTH LINE OF CARL A. GUNDERSEN'S SUBDIVISION UNIT NO. 2 (RECORDED AS DOCUMENT R65-23222); THENCE NORTH 88 DEGREES 29 MINUTES 47 SECONDS EAST, 652.25 FEET; THENCE SOUTH 00 DEGREES 21 MINUTES 06 SECONDS WEST, 334.07 FEET; THENCE SOUTH 88 DEGREES 29 MINUTES 47 SECONDS WEST, 652.25 FEET TO THE POINT OF BEGINNING, CONTAINING 5.001 ACRES, MORE OR LESS, IN DUPAGE COUNTY, ILLINOIS.

AND ALSO:

LOT 1 IN GENEVA CROSSING PHASE II, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT NUMBER R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE SUBDIVISION PLAT WHICH IS A CORRECT REPRESENTATION OF SUCH SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I ALSO CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF CAROL STREAM AND THAT NO PART OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

JONATHAN D. SPINAZZOLA, PLS  
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3868  
CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2022  
4222 MERIDIAN PARKWAY, SUITE 112  
AURORA, ILLINOIS 60504  
630-554-6655

SURVEYOR'S FILE NO. OF SURVEY FOR IDENTIFICATION PURPOSES: M21160

THIS PLAT CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN ILLINOIS.



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MeritCorp

PROJECT NO. M21160

DRAWN BY: JDS

CHECKED BY: JDS

SHEET NO. 2/2

TYNDALE HOUSE FINAL  
PLAT OF CONSOLIDATION

351 EXECUTIVE DRIVE  
CAROL STREAM, IL 60188



MeritCorp

CONSULTING, PLANNING, SURVEYING, ENVIRONMENTAL

4222 Meridian Parkway, Suite 112

Aurora, IL 60504

Office 630.554.6655

Lic. No. 184-005860

www.meritcorp.com

Other Office Locations:

Gurnee, IL

DATE:  
02/25/2022  
04/01/2022

DESCRIPTION:  
ISSUED DRAFT TO CLIENT  
REVISED PER VILLAGE COMMENTS

PIN # 05-04-302-030

PIN # 05-04-304-079

LEGEND

- PROPERTY BOUNDARY
OFFSITE PROPERTY LINE
PROPOSED LOT LINE
PROPOSED EASEMENT LINE
EXISTING EASEMENT LINE
CONCRETE MONUMENT
FOUND IRON PIPE
FOUND DISK
RECORD DIMENSION
SET 3/4" IRON PIPE
EASEMENT HEREBY VACATED

ABBREVIATIONS

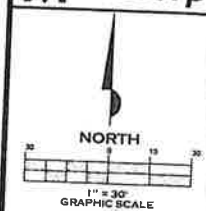
- P.U.E. = PUBLIC UTILITY EASEMENT
U.E. = UTILITY EASEMENT
C.E. = CITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
S.C. & S.M.E. = STORMWATER CONVEYANCE & STORMWATER MANAGEMENT EASEMENT
S.M. & C.E. = STORMWATER MANAGEMENT & CONVEYANCE EASEMENT
W.S.D.E. = WHEATON SANITARY DISTRICT EASEMENT

PLAT OF VACATION

BEING A SUBDIVISION OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS

EXHIBIT J

COPYRIGHT © 2022 MeritCorp



OWNER'S CERTIFICATE:

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED HEREON, AND HAS/HAVE CAUSED THE SAME TO BE PLATTED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

TITLE \_\_\_\_\_

ADDRESS \_\_\_\_\_
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY CERTIFICATE:

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR THE COUNTY, IN THE STATE

AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON/PERSONS WHOSE NAME/NAMES IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER/OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HE/THEY SIGNED THE PLAT AS HER/HIS/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

MORTGAGEE CERTIFICATE:

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ ) SS

\_\_\_\_\_, HOLDER(S) OF A MORTGAGE ON THE PROPERTY DESCRIBED HEREIN, HEREBY CONSENTS TO THE EXECUTION AND RECORDING OF THE ABOVE AND FOREGOING PLAT AND HEREBY SUBMITS ITS MORTGAGE

RECORDED \_\_\_\_\_ AS DOCUMENT NUMBER \_\_\_\_\_ IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS, TO ALL OF THE PROVISIONS THEREOF.

IN WITNESS WHEREOF, THE SAID \_\_\_\_\_ HAS CAUSED THIS INSTRUMENT TO BE SIGNED BY ITS DULY AUTHORIZED OFFICERS ON ITS BEHALF AT \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

PRINT MORTGAGEE NAME: \_\_\_\_\_

BY: \_\_\_\_\_

ATTEST: \_\_\_\_\_

MORTGAGE NOTARY CERTIFICATE:

STATE OF \_\_\_\_\_ )
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO THE AFORESAID CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

VACATION CERTIFICATE

VACATION OF EASEMENTS, APPROVED AND ACCEPTED BY THE FOLLOWING:

AUTHORITIES ON SIGNING THIS DOCUMENT HEREBY RELEASE AND CONSENT TO THE RELEASE, VACATION AND ABROGATION OF THE PORTIONS OF EASEMENTS AS SHOWN HEREON, ORIGINALLY GRANTED BY DOCUMENT NUMBERS R97-059651 & R2017-125315.

COMMONWEALTH EDISON COMPANY (COMED)

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

COMCAST

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

NORTHERN ILLINOIS GAS COMPANY (NICOR)

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

AT&T

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

VILLAGE OF CAROL STREAM (STORMWATER & VILLAGE UTILITIES)

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_

NAME \_\_\_\_\_ TITLE \_\_\_\_\_

SIGNATURE \_\_\_\_\_

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M, AND WAS RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_

RECORDER OF DEED \_\_\_\_\_

VILLAGE CLERK'S CERTIFICATE:

STATE OF ILLINOIS )
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY \_\_\_\_\_ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS HIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

MAYOR \_\_\_\_\_

VILLAGE CLERK \_\_\_\_\_

VACATION PROPERTY LEGAL DESCRIPTION:

LOT 1 IN GENEVA CROSSING PHASE II, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT NUMBER R2017-125315, IN DUPAGE COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE:

STATE OF ILLINOIS )
COUNTY OF DUPAGE ) SS

I, JONATHAN D. SPINAZZOLA, REGISTERED ILLINOIS LAND SURVEYOR NO. 3868, DO HEREBY DECLARE THAT I HAVE PREPARED THE PLAT HEREON DRAWN FOR THE PURPOSE OF VACATING EASEMENT AREA AS SHOWN, AND THAT THE PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID VACATION.

ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

JONATHAN D. SPINAZZOLA, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3868
CURRENT LICENSE EXPIRES ON NOVEMBER 30, 2022
4222 MERIDIAN PARKWAY, SUITE 112
AURORA, ILLINOIS 60504
630-554-6655



SURVEYOR'S FILE NO. OF SURVEY FOR IDENTIFICATION PURPOSES: M21160

THIS PLAT CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN ILLINOIS.

SURVEYOR'S NOTES

- 1. BASIS OF BEARING: GRID NORTH - IL EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
2. ONLY THOSE EXISTING EASEMENTS PROVIDED BY CLIENT WERE REVIEWED FOR THIS SURVEY. PLEASE REFER TO THE DEED, TITLE INSURANCE COMMITMENT, AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS, SETBACKS, & EASEMENTS. ADDITIONAL EASEMENTS MAY EXIST THAT ARE NOT DEPICTED HEREON.
3. NO TITLE COMMITMENT WAS PROVIDED OR REVIEWED AS PART OF THIS SURVEY.
4. COMPARE ALL DESCRIPTIONS AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
5. PROPERTY IS OUTSIDE OF SPECIAL FLOOD HAZARD AREA (ZONE "X") PER MAP NO 17043C0063J WITH AN EFFECTIVE DATE OF 8-01-2019.
6. SURVEY IS BASED ON FIELD WORK COMPLETED JANUARY 13, 2022.

VACATION OF EXISTING EASEMENT NOTES

PORTIONS OF A 10' UTILITY EASEMENT RECORDED 04-29-1997 AS DOC. NO. R1997-059651 ARE TO BE VACATED OVER THE PORTIONS SHOWN HEREON (SEE LEGEND AND REFERENCES)
PORTIONS OF A STORMWATER MANAGEMENT & CONVEYANCE EASEMENT RECORDED 12-07-2017 AS DOC. NO. R2017-125315 ARE TO BE VACATED OVER THE PORTIONS SHOWN HEREON (SEE LEGEND AND REFERENCES)

TAX DISTRICTS

PIN # 05-04-304-079

ADDRESS: 351 EXECUTIVE DRIVE
CAROL STREAM, ILLINOIS 60188

- TAXING DISTRICTS: UNIT SCHOOL DISTRICT 200
CAROL STREAM FIRE
CAROL STREAM PARK
VILLAGE OF CAROL STREAM
VILLAGE OF CAROL STREAM LIBRARY
COLLEGE OF DUPAGE 502
COUNTY OF DUPAGE
FOREST PRESERVE DISTRICT
MILTON TOWNSHIP ROAD
MILTON TOWNSHIP
WHEATON MOSQ DISTRICT
DUPAGE AIRPORT AUTHORITY

MeritCorp

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Aurora, IL 60504
Office 630.554.6655
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www.meritcorp.com

Other Office Locations:
Gurnee, IL

TYNDALE HOUSE
PLAT OF VACATION

2442 N. MAIN ST
CAROL STREAM, IL 60188

PROJECT NO. M21160

DRAWN BY: CLS

CHECKED BY: JDS

SHEET NO. 1 / 1

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**  
September 26, 2022

**TO:**  
Chairman and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the UDO
- An Amendment to a Special Use Permit for a Drive Through, in accordance with Section 16-3-11 of the UDO

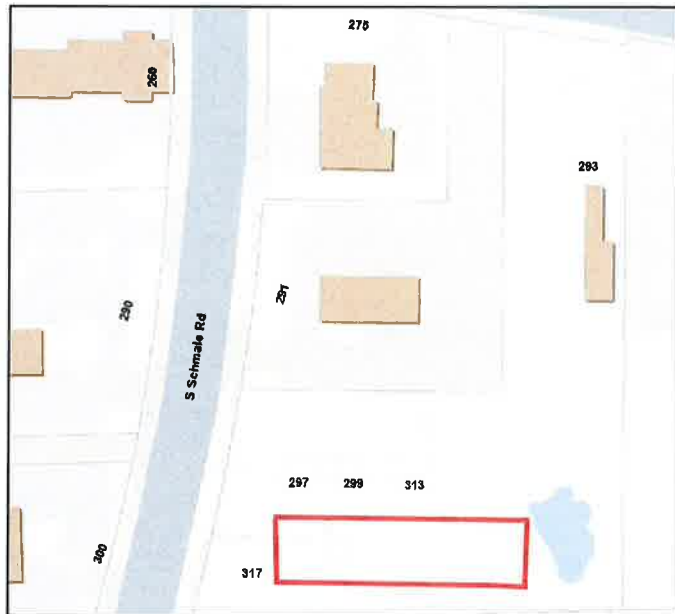
**APPLICANT/ CONTACT:**  
Mr. Vishal Vaghani  
Prestige Donuts, Inc.  
1438 Snowberry Lane  
West Chicago, IL 60185



**CASE #:** 22-0036

**LOCATION:** 317 S. Schmale Road

**PROJECT NAME:** Prestige Donuts Inc. / Dunkin



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Carol's Court)	Corridor Commercial
North	B-3 General Business District	Commercial (Village Tavern)	Corridor Commercial
South	B-3 General Business District	Commercial (Multi-Tenant Commercial Building)	Corridor Commercial
	R-4 Multi-Unit Residence District	Multi-Unit Residential (West Haven Apartments)	Multi-Unit Residential
East	B-3 General Business District	Commercial (Multi-Tenant Commercial Building)	Corridor Commercial
West	B-3 General Business District	Commercial (Manhattan's)	Corridor Commercial

The property highlighted above is located on the east side of Schmale Road and south of St. Charles Road.

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## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The continued use of the property as a restaurant with a drive-through is compatible with this designation.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter from ECA Architects dated August 30, 2022, Drive-Thru Queuing Summary updated August 22, 2022, Public Notice, Planned Development Plan (Exhibit A), Landscape Plan (Exhibit B), Title Sheet (Exhibit C), Site Demolition Plan (Exhibit D), Site Geometric Plan (Exhibit E), Site Development Plan (Exhibit F), Site Grading and Utility Plan (Exhibit G), Elevations (Exhibit H-1 and H-2), Floor Plan (Exhibit I), and Signage Plans (Exhibit J-1 through J-6).

**BACKGROUND:**

The applicant, Vishal Vaghani with Prestige Donuts, Inc., requests approval of Amendments to Special Use Permits for a Planned Development (PD) and a Drive-Through for Dunkin, located at 317 S. Schmale Road. Dunkin is part of a multi-building commercial planned development known as Carol’s Court. Other uses include a multi-tenant building to the north that includes Kentucky Fried Chicken and Pizza Hut, and a single-tunnel car wash (PRIDE Car Wash). The restaurant originally received Special Use approval in 2010 under Ordinance No. 2010-04-18. In light of growing drive-through services as an extension of the pandemic, Dunkin proposes to construct a second order point and drive-through expansion on the west side of the property. Other site, façade, and signage modifications are also proposed.


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**Staff Analysis**

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**SPECIAL USE AMENDMENT**

As described in the submitted cover letter, Dunkin proposes the following modifications to the site:

- The drive-through entrance will be shifted west approximately 23 feet to allow additional space for a second order point near the southwest corner of the building. Two parking spaces will be eliminated and the existing dumpster enclosure will be removed to accommodate the expansion. The existing dumpster enclosure to the east of the building will be expanded to provide space for Dunkin refuse and recycling.
- Similar to other restaurants with dual drive-through lanes, both lanes will converge back to a single lane to proceed to the proposed payment window along the south side of the building. From there, customers will pick up their orders at the second window on the east side of the building. The drive-through expansion has been designed to meet the standards within the UDO.
- Landscaping is proposed in the island that will separate the order points, as well as along the west side of the drive-through lanes, to provide adequate screening of said lanes. Outdoor seating will also be maintained in an area directly west of the building, and will be secured by a fence reinforced with bollards.
- Façade modifications include updating the tower elements on the north and west sides of the building with new “Hardie” siding, installing new metal canopies, and constructing a new pickup window on the south side of the building.
- New wall signage is proposed. Wall signage is proposed on the north, south, and west sides of the building. This includes identification signage with either “Dunkin” or “DD” on the building, and additional signage with taglines “Carol Stream  Dunkin” and “Something Fresh is Always Brewing.” According to the UDO, wall signage is allowed on the north and west sides only. Staff can support a PD allowance for the additional signage on the south side of the building along the drive-through lane. The combined square footage of all proposed signage is 95 square feet, and existing wall signage equates to 202 square feet (reduction of over 100 square feet of wall signage). In addition, the proposed signage has been tastefully designed and should not distract motorists or customers to the facility.

- New menu boards and instructional signage are also proposed. Proposed menu board, instructional, and clearance bar signage will meet UDO standards in terms of height and square footage, and will provide visual instructions to motorists.
- In order to accommodate the second drive-through lane and expanded dumpster enclosure, three parking spaces will be removed on the east and west sides of the building. Parking for all three buildings within the Carol's Court development is shared, and requirements for the subject development are as follows:

<b>Business</b>	<b>Area of Use</b>	<b>Code Requirement</b>	<b>Spaces Required</b>
Dunkin 1,930 S.F. 1,241 S.F. NFA	Restaurant with Drive-Through	2.5 / 250 S.F. NFA	12 spaces
Car Wash 2,920 S.F.	Car Wash	1 / employee	2 spaces
Commercial Building (KFC, Pizza Hut, Former Meineke) 7,500 S.F. Restaurants 2,000 S.F. NFA Auto Repair 2,000 S.F. NFA plus three service bays	Restaurant with Drive Through/Takeout  Auto Repair & Service	2.5 / 250 S.F. NFA  0.5/250 S.F. NFA plus 1 / service bay	20 spaces  7 spaces
<b>Parking Spaces Required:</b>			<b>41 spaces</b>
<b>Parking Spaces Provided (with reduction of three spaces with dual-lane project):</b>			<b>77 spaces</b>
<b>Parking Surplus:</b>			<b>36 spaces</b>

There are currently 80 on-site parking spaces, and as mentioned, three spaces will be eliminated. Parking requirements were recalculated for the restaurant, auto service, and car wash uses using net floor area and removing spaces occupied by bathrooms, storage, equipment, and vestibule areas. There will still be a surplus of 36 parking spaces with the minor loss of three spaces. Staff supports the parking reduction, and has also reviewed traffic flow and the design of the proposed drive-through expansion, and deems it acceptable. Initially, staff had concerns with the shift of the drive-through lane to be closer to both Schmale Road and the KFC drive-through exit to the north of Dunkin, in terms of vehicle stacking and potential conflicts between both drive-through lanes. However, the applicant has submitted a drive-through queuing summary, prepared by BLA, Inc., which provides an analysis of vehicle queuing or stacking adequacy and basic traffic counts for the property, which alleviates staff's concerns.

According to the summary, the maximum number of stacked vehicles in the Dunkin drive-through lane was 13 vehicles, with an average of seven vehicles in the drive-through lane. The proposed double drive-through lane has been designed to accommodate the maximum number of vehicles in the analysis. Likewise, no more than three vehicles were observed to be stacked at the Schmale Road driveway waiting to exit the property (other vehicles may drive past the car wash and utilize the St. Charles Road exit). In addition, KFC opens after 10:00 am, and therefore the KFC drive-through is not in operation during the peak time for Dunkin (7:00 am to 10:00 am), which eliminates most conflicts with vehicles entering and exiting both drive-through lanes at the same time.

### **SPECIAL USE FINDINGS OF FACT**

The Plan Commission's recommendation regarding the requested Special Use request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The addition of a second drive-through lane with a menu board for ordering will improve ordering time frequency for restaurant customers, which is geared toward the public convenience for Dunkin's customers.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The second drive-through lane has been designed to operate in a manner that will not be impede traffic flow or endanger other motorists or pedestrians.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The addition of the second drive-through lane and building modifications represent a significant investment and should not be injurious to the use or enjoyment of other property in the immediate vicinity, nor substantially diminish or impair property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.



5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

---

### **Recommendation**

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Staff has reviewed the applicant's submittal and can support the Special Use Amendments. Therefore, staff recommends approval of an Amendment to a Special Use Permit for a Planned Development and an Amendment to a Special Use Permit for a Drive-Through, for Prestige Donuts, Inc. (Dunkin) at 317 S. Schmale Road, Case No. 22-0036, subject to the following conditions:

1. That all terms and conditions of Ordinance No. 2010-04-18 not specifically revised herein shall be hereby reaffirmed by reference;
2. That all improvements, including but limited to the building, parking lot, drive-through area, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
3. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
4. That the applicant must obtain the required sign permits prior to the installation of any new signage; and
5. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.



RECEIVED

JUL 29 2022

COMMUNITY DEVELOPMENT  
DEPT

Do Not Write in This Space	
Date Submitted:	<u>7-29-22</u>
Fee Submitted:	<u>8800.00</u>
File Number:	<u>22-0036</u>
Meeting Date:	<u>9/26/22</u>
Public Hearing Required:	<u>Y</u>

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Prestige Donuts Inc. Phone 630-605-7467  
 Address 1438 Snowberry Lane, West Chicago, IL 60185 Fax \_\_\_\_\_  
 E-Mail Address v@vaghani.network  
 (required)  
 Name of Attorney n/a Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner CIMA Developers Phone 630.653.1700  
 (required if other than applicant)  
 Address 30W180 Butterfield Road, Warrenville, IL 60555 Fax \_\_\_\_\_  
 Name of Architect ECA ARCHITECTS, Eric Carlson Phone 630-608-0500  
 (if applicable)  
 Address 24 N Bennett Street, Geneva, IL 60134 Fax \_\_\_\_\_

2. \*Common Address/Location of Property 317 S Schmale Road

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision -- Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation -- Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation -- Sign (requires Form B-2)
<input type="checkbox"/> Planned Development -- Final	<input type="checkbox"/> Variation -- Fence (requires Form B-3)
<input type="checkbox"/> Planned Development -- Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C) (Amendment to PD)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action Please approve the changes to the site plan and Special Use to accommodate a

2nd order station/menu board for the existing drive-through Dunkin. The entrance to the drive through will move toward Schmale Rd. and the existing trash enclosure will be relocated to the northeast corner of the lot.

The building w/ be modified to have a pay window drive thru addition and pick up window in the existing location  
Please approve updated signage locations, quantities and square footages as well.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 800.00

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
x	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Vishal Vaghani  
Print Name

[Signature]  
Signature

11/28/2022  
Date

Revised 07/11



FORM C

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JUL 29 2022

COMMUNITY DEVELOPMENT  
DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## **SPECIAL USE APPLICATION**

for project at: 317 S Schmale

(Drive Thru PD Allowance responses below)

### **PLEASE SEE SEPARATE LETTER FOR SIGN PD ALLOWANCE**

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

The proposed second order station/menu board for the existing Dunkin' will add public convenience to this location. As trends have changed and evolved, especially with the increased demand COVID has made on drive thru services, an additional order station will allow for more patrons to use the drive thru at a faster rate. Most new Dunkin' locations have incorporated two drive thru order stations, not unlike what you see at a McDonald's and other drive thru restaurants. Dunkin' corporate has been studying this type of layout at length and has therefore, designed it to be most efficient for the patron and the franchisee.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed second order station/menu board for the existing Dunkin' will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort, or general welfare. The purpose for the second order station/menu board is to improve and enhance the public experience and provide additional convenience to the drive thru service that patrons currently receive. The other proposed changes to the site for the relocation of the trash enclosure to location of the other trash enclosures and removal of two spaces, will not be detrimental or dangerous to the public either.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed second order station/menu board for the existing Dunkin' will not be injurious to the use and enjoyment of the other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The proposed site changes are minor and essentially moves the entrance to the drive thru only one car length closer to Schmale. Please see the traffic memo for additional information. The relocation of the trash and removing two spaces for it, will still leave more parking than required. Plus the trash pick up will be at one location and out of the drive thru lane. The neighboring property values will not be affected by enhancing the existing drive thru.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The proposed second order station/menu board for the existing Dunkin' and other site changes, will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The Dunkin' is already an established business in this location off Schmale, the purpose of the site changes and additional menu board is not to affect the strip mall or the neighbors. The primary work is being done within the existing drive thru lane area and the new location of the trash enclosure, though farther from Dunkin', is designed to have the least impact on the development.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

The proposed second order station/menu board for the existing Dunkin' has a minimal increase in the impervious footprint of the drive thru pavement. The changes for the dumpster location are essentially a trade off to the parking spaces used for the dumpster. All utilities, access roads, drainage and other important necessary community facilities will remain unchanged. Please see the engineering sheets for further information.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposed second order station/menu board and trash enclosure relocation for the existing Dunkin' will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board. As mentioned above the Village has confirmed that 63 parking spaces were required per code for the entire development and 82 spaces were provided. Therefore, the loss of two spaces will still comply with the ordinance.

7. Other pertinent information or reason for request.

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August 30, 2022

Community Development Department  
Village of Carol Stream  
Attn: Tom Farace, Planning & Economic Development Manager  
500 N. Gary Avenue,  
Carol Stream, IL 60188

RE: 317 S. Schmale Road Cover Letter - **Revised**

Dear Mr. Farace:

On behalf of our client, we are submitting an application to approve changes to the site plan and Special Use approval to accommodate a 2nd order station/menu board for the existing Dunkin' drive-through. The entrance to the drive through will move closer to Schmale Road by approximately 23 feet and the existing trash enclosure will be relocated to the northeast corner of the lot. Additionally, our client requests a PD allowance to provide landscaping at the west side of the proposed drive thru in lieu of a wall or fence.

Our client is also requesting an PD Allowance for exterior building signage. The current building has signage that was permitted on the North, South and West facades. We are proposing to update the signage with current Dunkin' corporate standards on the North, South and West facades. Drive thru signage will include a clearance bar, digital menu boards and ordering canopies.

#### Dual-lane Drive Thru

The premise of a dual-lane drive thru is similar to any other fast-food dual-lane drive thru, like McDonald's, for example. The result is to provide expeditious service to a larger quantity of patrons. The first window in the drive thru at this location, will be for payment. The second window is to hand off food and drinks to the patron. The typical turnaround time for a drive thru patron is 90 seconds to 120 seconds start to finish. In the event of a large order, there is a spot designated near the front door for the patron to wait for the food to be brought to them. During the busiest times of the day, 7am to 10am, there will be two staff members taking orders to keep the process moving as quickly as possible.

Regarding the technical aspect of which car goes first with two menu boards, it is part of an internal computer tracking system. As a patron orders, the staff member confirms the order on the menu board screen. If the order is correct, the staff member clicks a button that logs the order in the system. No additional order can be taken at that menu board until the previous order is logged in. Meanwhile, the second patron, will go thru the same process – which may or may not be at the same time if there are two staff members taking orders. If a car goes ahead of the car next in the line for making drinks/food, the staff member may grab the order for the "second" car without issue or delay as staff confirms the order at the window. Again, if there is a potential delay to deliver food/drink, the car will be asked to move to the designated waiting spot in front of the building.

It is expected that the Drive Thru would be closed for 2-5 days for the renovation.

Vaghani Network has been a part of the Carol Stream community for the past 10 years. They started our journey with three successful Dunkin' locations in the area and recently they opened Primrose School of Carol Stream at 1271 N County Farm Road. As part of that project, they developed a 2-acre parcel and worked with the city resulting in a smooth construction process.

With the project on 317 S Schmale Road - their goal is to deliver quality coffee at a reasonable price and fast speed of service to the Carol Stream community and consumers who come to their store. The pandemic has taught them that drive-thru and speed of service are the #1 requirement for any consumer and business, especially in the food industry. They will greatly appreciate it if zoning can be approved for a double drive-thru ordering station. The current signage also provides visibility for the Dunkin' from each direction along Schmale and would appreciate keeping the signage on the same three facades that had been previously permitted. Overall, both of these requests would be beneficial for the business and the community.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Carlson", is written over a horizontal line.

Eric Carlson, Architect  
ECA

Cc. Vishal Vaghani, Vaghani Network



**Date:** April 26, 2022

*Updated August 22, 2022*

**To:** Mr. Eric Carlson  
ECA Architects and Planners

**From:** Lynn M. Means, P.E., PTOE, RSP1  
Senior Transportation Engineer - BLA, Inc

**Re:** Drive-Thru Queuing Summary  
Dunkin'  
317 S. Schmale Road  
Carol Stream, Illinois

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BLA-Inc. has conducted a Drive-Thru Queuing (Stacking) Summary for the proposed site modifications to the existing Dunkin' restaurant located at 317 S. Schmale Road in Carol Stream, Illinois. The site currently contains an approximately 1,900 square-foot Dunkin' restaurant with drive-thru window, a 7,500 square-foot retail building that includes a Kentucky Fried Chicken (KFC) restaurant with drive-thru window, a Pizza Hut restaurant and vacant tenant space (formerly occupied by Meineke automobile service facility) and an automatic tunnel carwash. The existing Dunkin' drive-thru lane provides storage (stacking) for 10 vehicles. An additional 5 vehicles can store on site (towards Schmale Road), prior to impacting operations off-site (for a total storage of 15 vehicles).

Access to the site is provided via one full access on Schmale Road and one full access on St. Charles Road. The site also provides cross access to the adjacent Village Tavern & Grill of Carol Stream restaurant, providing an additional full access on Schmale Road.

*Exhibit 1* shows the location of the site with respect to the surrounding street system.

As proposed, the project will include modifications to the existing Dunkin' restaurant to accommodate a second drive-thru window. Access to the site will remain via the existing driveways on Schmale Road and St. Charles Road.

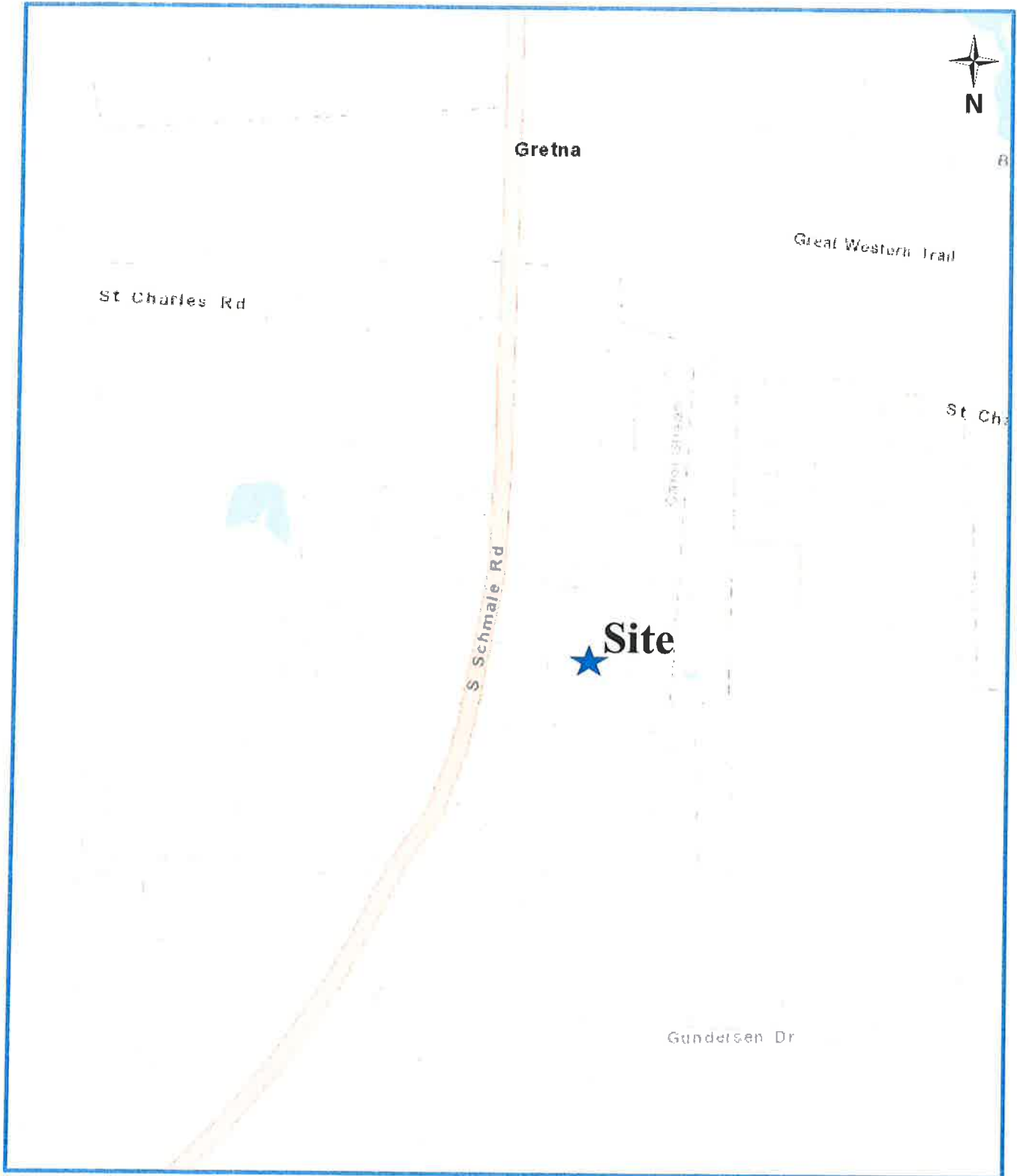
The following summarizes the analysis conducted, our findings and provides various recommendations for your consideration.

## EXISTING CONDITIONS

### Area Land Use

The site includes a Dunkin' restaurant with drive-thru window, a KFC with drive-thru window, a Pizza Hut restaurant, approximately 3,400 square-feet of vacant retail space (former Meineke) and an automatic tunnel carwash. The site is bound by Schmale Road, commercial and the Carol Stream Fire Station to the west; commercial and multi-family residential uses to the south; St. Charles Road, an animal hospital and horse stables to the north, and commercial uses to the east.

**Exhibit 1: Site Location Map**



### Existing Traffic

Traffic count data was obtained from IDOT's Traffic Count Database System along Schmale Road and St. Charles Road from the year 2020. Based on these counts, the weekday morning, midday and evening peak hours occurred from 8:00 to 9:00 AM, 12:00 to 1:00 PM and 4:00 to 5:00 PM, respectively.

*Table 1* summarizes the annual average daily traffic (AADT) volumes, obtained from IDOT ([www.gettingaroundillinois.com](http://www.gettingaroundillinois.com)) near the site:

**Table 1: Summary of IDOT AADT Volumes**

Location	IDOT AADT (2020)
<b>Schmale Road</b>	
Between St. Charles Road and Geneva Road	16,000
<b>St. Charles Road</b>	
Between Gary Avenue and Bloomingdale Road	5,900

Summaries of the traffic count data are contained in *Appendix A*. *Note: The IDOT traffic volumes presented in Appendix A represent "raw", unadjusted data. These volumes are adjusted based on day of week and month of year factors, resulting in an AADT which is lower than the raw total.*

## PROPOSED DEVELOPMENT PLAN

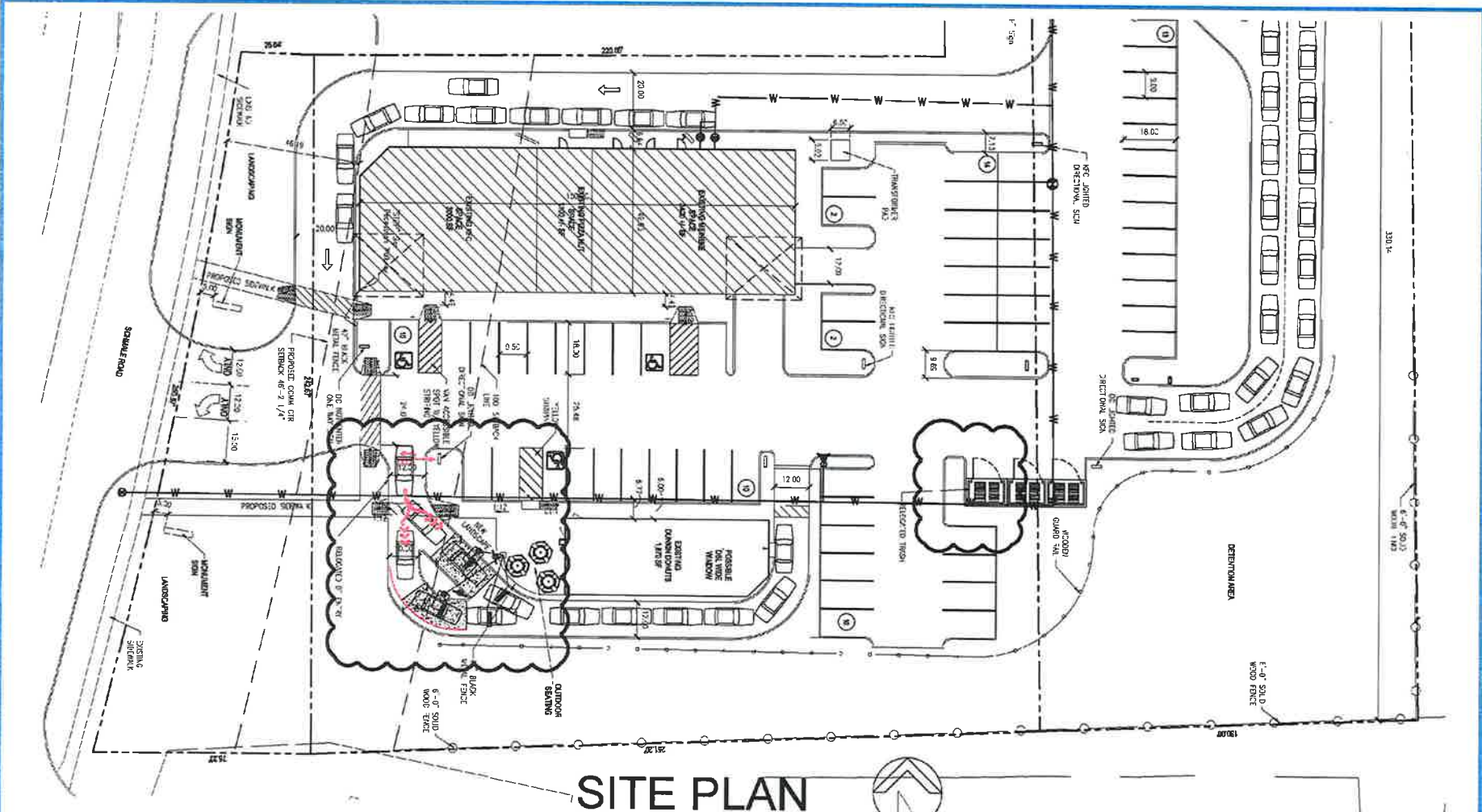
The proposed Site Plan is illustrated on *Exhibit 2*. The development includes modifications to the existing Dunkin' restaurant to accommodate a second drive-thru window. With the proposed improvements, the available storage space within the drive-thru lane will be increased, along with providing efficiencies in the service time by permitting two drivers to place their orders at the same time. This will be accomplished by shifting the drive-thru entrance to the west, along with the relocation of the Dunkin' trash enclosure from within the drive-thru lane (southwest area of the building) to east of the building, adjacent to the other two site trash enclosures. Access to the site will remain via the existing driveways on Schmale Road and St. Charles Road.

## DRIVE-THRU QUEUEING (STACKING) ANALYSIS

A drive-thru queuing (stacking) analysis was conducted to determine whether the proposed storage space is adequate to accommodate the drive-thru vehicles. Based on the Site Plan prepared by ECA Architects and Planners (see *Exhibit 2*), the on-site vehicle storage space of the proposed dual drive-thru window lane is 13 vehicles without the disruption of site access or on-site circulation.

Observations were performed at the existing site in April 2022 during the weekday morning (6-9 AM) and midday (11AM to 1PM) peak periods, coinciding with the peak operations of the existing Dunkin' (see *Appendix B*) and KFC (see *Appendix C*) restaurants, respectively. Based on these observations, during the weekday morning peak period, the maximum observed drive-thru queue at the Dunkin' was 13 vehicles, with an average peak queue of 7 vehicles; KFC, as well as Pizza Hut, is not open during this timeframe. The maximum observed vehicle queue length for westbound exiting vehicles onto Schmale Road during this timeframe was 3 vehicles, with typical westbound vehicle queue lengths not exceeding one vehicle, which does not impact existing or proposed drive-thru activities.

Exhibit 2: Site Plan



**SITE PLAN**



SCALE: 1" = 30'

**PRELIMINARY SITE PLAN**

SCALE: 1" = 30'-0"  
DATE: 12.09.2021

**DUNKIN' DRIVE THROUGH**  
317 S SCHMALE RD. CAROL STREAM, ILLINOIS  
9 DEC 2021

**ECA** ARCHITECTS  
PLANNERS

Observations during the weekday midday peak period revealed the maximum drive-thru queue at the Dunkin' was 3 vehicles, with an average queue length of 1 vehicle. The KFC drive-thru maximum queue length was observed at 3 vehicles, with an average of 1 vehicle. The maximum vehicle queue length on the westbound site access approach to Schmale Road did not exceed one vehicle during the weekday midday peak timeframe observed, which does not impact existing or proposed drive-thru activities.

The observations performed at the site were compared with recent surveys conducted in 2017, 2019 and 2021 at 12 similar Dunkin' coffee shops in the Chicagoland area with drive-through facilities (see *Appendix B*). As shown, the average stacking ranged between four (4) and nine (9) vehicles, which can be accommodated on site without impacting on- or off-site operations. The maximum stacking observed at the 12 locations surveyed was 12 vehicles, which can also be adequately accommodated within the proposed drive-thru lanes.

Similarly, the KFC site observations were compared with recent surveys in April 2022 at 3 existing similar locations (see *Appendix C*). As shown, the average stacking was 1 vehicle, with the maximum observed at 3 vehicles.

Accordingly, the maximum observed Dunkin' drive-thru queue, occurring during the weekday morning peak period, can be accommodated within the proposed dual drive-thru storage lanes, minimizing the vehicle queuing occurring within the adjacent site drive aisle. As previously described, the adjacent KFC and Pizza Hut are not open during this timeframe. The Dunkin' experiences minimal traffic / drive-thru activity when the adjacent KFC and Pizza Hut uses experience peak operations. Therefore, the relocation of the drive-thru entrance to the west is not anticipated to impact drive-thru operations serving the KFC restaurant.

## **CONCLUSIONS**

A drive-thru queuing (stacking) analysis was performed for the proposed site modifications to the existing Dunkin' restaurant located at 317 S. Schmale Road in Carol Stream, Illinois. Based on the analyses contained herein, the on-site vehicle storage capacity within the drive-thru lane will be increased, which is expected to accommodate the peak vehicle queues for the Dunkin' drive-thru window. This will minimize the vehicle queuing within the adjacent site drive aisles, improving on-site circulation.

## Appendices

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**Appendix A**  
**Traffic Count Summaries**

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# Volume Count Report

LOCATION INFO	
Location ID	022 3598
Type	LINK
Funct'l Class	4
Located On	SCHMALE RD
From Road	St Charles Rd
To Road	Geneva Rd
Direction	2-WAY
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	2-WAY
Notes	
Station	SCHMALE RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL:60-min	
Time	Hourly Count
0:00-1:00	64
1:00-2:00	63
2:00-3:00	35
3:00-4:00	49
4:00-5:00	81
5:00-6:00	249
6:00-7:00	585
7:00-8:00	828
8:00-9:00	858
9:00-10:00	1,071
10:00-11:00	1,198
11:00-12:00	1,406
12:00-13:00	1,765
13:00-14:00	1,518
14:00-15:00	1,589
15:00-16:00	1,550
16:00-17:00	1,605
17:00-18:00	1,496
18:00-19:00	1,238
19:00-20:00	936
20:00-21:00	647
21:00-22:00	375
22:00-23:00	236
23:00-24:00	145
<b>Total</b>	<b>19,587</b>
<b>AM Peak</b>	11:00-12:00 1,406
<b>PM Peak</b>	12:00-13:00 1,765





# Volume Count Report

LOCATION INFO	
Location ID	022 3598_NB
Type	LINK
Funct'l Class	4
Located On	SCHMALE RD
From Road	St Charles Rd
To Road	Geneva Rd
Direction	NB
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	NB
Notes	
Station	SCHMALE RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL: 60-MIN	
Time	Hourly Count
0:00-1:00	25
1:00-2:00	27
2:00-3:00	15
3:00-4:00	26
4:00-5:00	45
5:00-6:00	140
6:00-7:00	299
7:00-8:00	384
8:00-9:00	398
9:00-10:00	532
10:00-11:00	613
11:00-12:00	720
12:00-13:00	885
13:00-14:00	746
14:00-15:00	794
15:00-16:00	798
16:00-17:00	809
17:00-18:00	733
18:00-19:00	581
19:00-20:00	492
20:00-21:00	351
21:00-22:00	188
22:00-23:00	123
23:00-24:00	70
<b>Total</b>	<b>9,794</b>
<b>AM Peak</b>	11:00-12:00 720
<b>PM Peak</b>	12:00-13:00 885



# Volume Count Report

LOCATION INFO	
Location ID	022 3598_SB
Type	LINK
Funct'l Class	4
Located On	SCHMALE RD
From Road	St Charles Rd
To Road	Geneva Rd
Direction	SB
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	SB
Notes	
Station	SCHMALE RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL: 60-min	
Time	Hourly Count
0:00-1:00	39
1:00-2:00	36
2:00-3:00	20
3:00-4:00	23
4:00-5:00	36
5:00-6:00	109
6:00-7:00	286
7:00-8:00	444
8:00-9:00	460
9:00-10:00	539
10:00-11:00	585
11:00-12:00	686
12:00-13:00	880
13:00-14:00	772
14:00-15:00	795
15:00-16:00	752
16:00-17:00	796
17:00-18:00	763
18:00-19:00	657
19:00-20:00	444
20:00-21:00	296
21:00-22:00	187
22:00-23:00	113
23:00-24:00	75
<b>Total</b>	<b>9,793</b>
<b>AM Peak</b>	11:00-12:00 686
<b>PM Peak</b>	12:00-13:00 880



# Volume Count Report

LOCATION INFO	
Location ID	022 3790
Type	LINK
Funct'l Class	5
Located On	St Charles Rd
From Road	GARY AVE
To Road	Bloomingtondale Rd
Direction	2-WAY
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	2-WAY
Notes	
Station	ST CHARLES RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL: 60-MIN	
Time	Hourly Count
0:00-1:00	28
1:00-2:00	18
2:00-3:00	15
3:00-4:00	25
4:00-5:00	68
5:00-6:00	138
6:00-7:00	278
7:00-8:00	374
8:00-9:00	377
9:00-10:00	390
10:00-11:00	393
11:00-12:00	474
12:00-13:00	558
13:00-14:00	550
14:00-15:00	578
15:00-16:00	591
16:00-17:00	620
17:00-18:00	585
18:00-19:00	442
19:00-20:00	273
20:00-21:00	181
21:00-22:00	133
22:00-23:00	66
23:00-24:00	72
<b>Total</b>	<b>7,227</b>
<b>AM Peak</b>	11:00-12:00 474
<b>PM Peak</b>	16:00-17:00 620



# Volume Count Report

LOCATION INFO	
Location ID	022 3790_EB
Type	LINK
Funct'l Class	5
Located On	St Charles Rd
From Road	GARY AVE
To Road	Bloomingtondale Rd
Direction	EB
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	EB
Notes	
Station	ST CHARLES RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVALS (SO - EOP)	
Time	Hourly Count
0:00-1:00	11
1:00-2:00	10
2:00-3:00	7
3:00-4:00	12
4:00-5:00	31
5:00-6:00	66
6:00-7:00	151
7:00-8:00	211
8:00-9:00	187
9:00-10:00	190
10:00-11:00	192
11:00-12:00	222
12:00-13:00	261
13:00-14:00	267
14:00-15:00	251
15:00-16:00	254
16:00-17:00	262
17:00-18:00	231
18:00-19:00	210
19:00-20:00	120
20:00-21:00	88
21:00-22:00	60
22:00-23:00	30
23:00-24:00	43
<b>Total</b>	<b>3,367</b>
<b>AM Peak</b>	11:00-12:00 222
<b>PM Peak</b>	13:00-14:00 267



# Volume Count Report

LOCATION INFO	
Location ID	022 3790_WB
Type	LINK
Funct'l Class	5
Located On	St Charles Rd
From Road	GARY AVE
To Road	Bloomingtondale Rd
Direction	WB
County	Dupage
Community	CAROL STREAM
MPO ID	
HPMS ID	
Agency	Illinois DOT

COUNT DATA INFO	
Count Status	Accepted
Start Date	Wed 6/3/2020
End Date	Thu 6/4/2020
Start Time	1:00:00 PM
End Time	1:00:00 PM
Direction	WB
Notes	
Station	ST CHARLES RD
Study	
Speed Limit	
Description	
Sensor Type	
Source	CombineVolumeCountsIncremental
Latitude,Longitude	

INTERVAL: 60-MIN	
Time	Hourly Count
0:00-1:00	17
1:00-2:00	8
2:00-3:00	8
3:00-4:00	13
4:00-5:00	37
5:00-6:00	72
6:00-7:00	127
7:00-8:00	163
8:00-9:00	190
9:00-10:00	200
10:00-11:00	201
11:00-12:00	252
12:00-13:00	297
13:00-14:00	283
14:00-15:00	327
15:00-16:00	337
16:00-17:00	358
17:00-18:00	354
18:00-19:00	232
19:00-20:00	153
20:00-21:00	93
21:00-22:00	73
22:00-23:00	36
23:00-24:00	29
<b>Total</b>	<b>3,860</b>
<b>AM Peak</b>	11:00-12:00 252
<b>PM Peak</b>	16:00-17:00 358

**Appendix B**  
**Dunkin' Survey Data**

## Dunkin' with Drive-Thru Window Weekday AM (6-9AM) Observations

### April 2022

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Carol Stream, IL 317 S. Schmale Rd	11*	13	7	Schmale Rd – 16,000 (2020)

\*Site also shares parking with a KFC and Pizza Hut, both uses not open during observations.

### August 2021

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Long Grove, IL 3980 IL 22	8	7	5	IL 22 – 15,400 (2019) Old McHenry Rd – 11,800 (2019)
Palatine, IL 801 E Dundee Rd	6	12	9	Dundee Rd – 26,100 (2019)
Arlington Heights, IL 105 W. Dundee Rd	7	6	5	Dundee Rd – 31,000 (2019)
Arlington Heights, IL 1010 E. Rand Rd	9	11	9	Rand Rd – 29,200 (2019)

### September 2019

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Chicago, IL 6250 N. Clark Ave	6	7	5	Clark Ave – 15,000 (2018)
Chicago, IL 3132 W. Devon Ave	7	7	6	Devon Ave – 24,800 (2018)
Chicago, IL 3401 W. Peterson Ave	10	9	6	Peterson Ave – 30,000 (2019) Kimball Ave – 13,500 (2014)

Source: Gewalt-Hamilton, Associates.

### July 2017

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Chicago, IL 6332 N. Broadway	9	10	6	Broadway – 20,000 (2018)
Round Lake Beach, IL 369 Rollins Rd	13	7	6	Rollins Rd – 22,100 (2019)
Northbrook, IL 2775 Dundee Rd	13	9	6	Dundee Rd – 18,600 (2019) Pfungsten Rd – 11,200 (2018)
Niles, IL 8080 Milwaukee Ave	7	7	5	Milwaukee Ave – 29,700 (2019)
Waukegan, IL 2900 Belvidere Rd	9	7	4	Belvidere Rd – 24,300 (2019)

Source: Gewalt-Hamilton, Associates

## Dunkin' with Drive-Thru Window Weekday MID (11AM-1PM) Observations

April 2022

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Carol Stream, IL 317 S. Schmale Rd	7*	3	1	Schmale Rd – 16,000 (2020)

\*Site also shares parking with a KFC and Pizza Hut, parking demand was based on observed customers/employees/deliveries entering/exiting site.



**Appendix C**  
**KFC Survey Data**

## Kentucky Fried Chicken (KFC) with Drive-Thru Window Weekday MID (11AM-1PM) Observations

April 2022

Location	Parking Demand (Maximum)	Drive-Thru Queue		AADT (year)
		Maximum	Average	
Carol Stream, IL 317 S. Schmale Rd	6*	3	1	Schmale Rd – 16,000 (2020)
Vernon Hills, IL 700 N. Milwaukee Ave	3	3	1	Milwaukee Ave – 23,200 (2021)
Schaumburg, IL 1160 Roselle Rd	7	2	1	Roselle Rd – 27,700 (2018)
Hoffman Estates, IL 1030 N. Roselle Rd	3	3	1	Roselle Rd – 35,800 (2018)

\*Site also shares parking with a Dunkin' and Pizza Hut, parking demand was based on observed customers/employees/deliveries entering/exiting site.

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on September 7, 2022 and the last publication of the notice was made in the newspaper dated and published on September 7, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

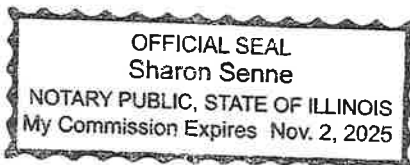
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on September 7, 2022.

Examiner Publications, Inc.

By: Publisher   
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of September, A.D. 2022.

Notary Public



## LEGAL NOTICE PUBLIC NOTICE FILE #22-0036

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, September 26, 2022 at 6:00 p.m. to consider an application from Prestige Donuts, Inc./Dunkin for the following actions:

An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream Unified Development Ordinance; and

An Amendment to a Special Use Permit for a Drive Through, in accordance with Section 16-3-11 of the Unified Development Ordinance

For the property located at 317 S. Schmale Road (PIN 05-04-203-019).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:  
[https://us02web.zoom.us/join/register/WN\\_7g7EqJn2Rh-mh2WF6Tg92A](https://us02web.zoom.us/join/register/WN_7g7EqJn2Rh-mh2WF6Tg92A)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 826 3851 4317

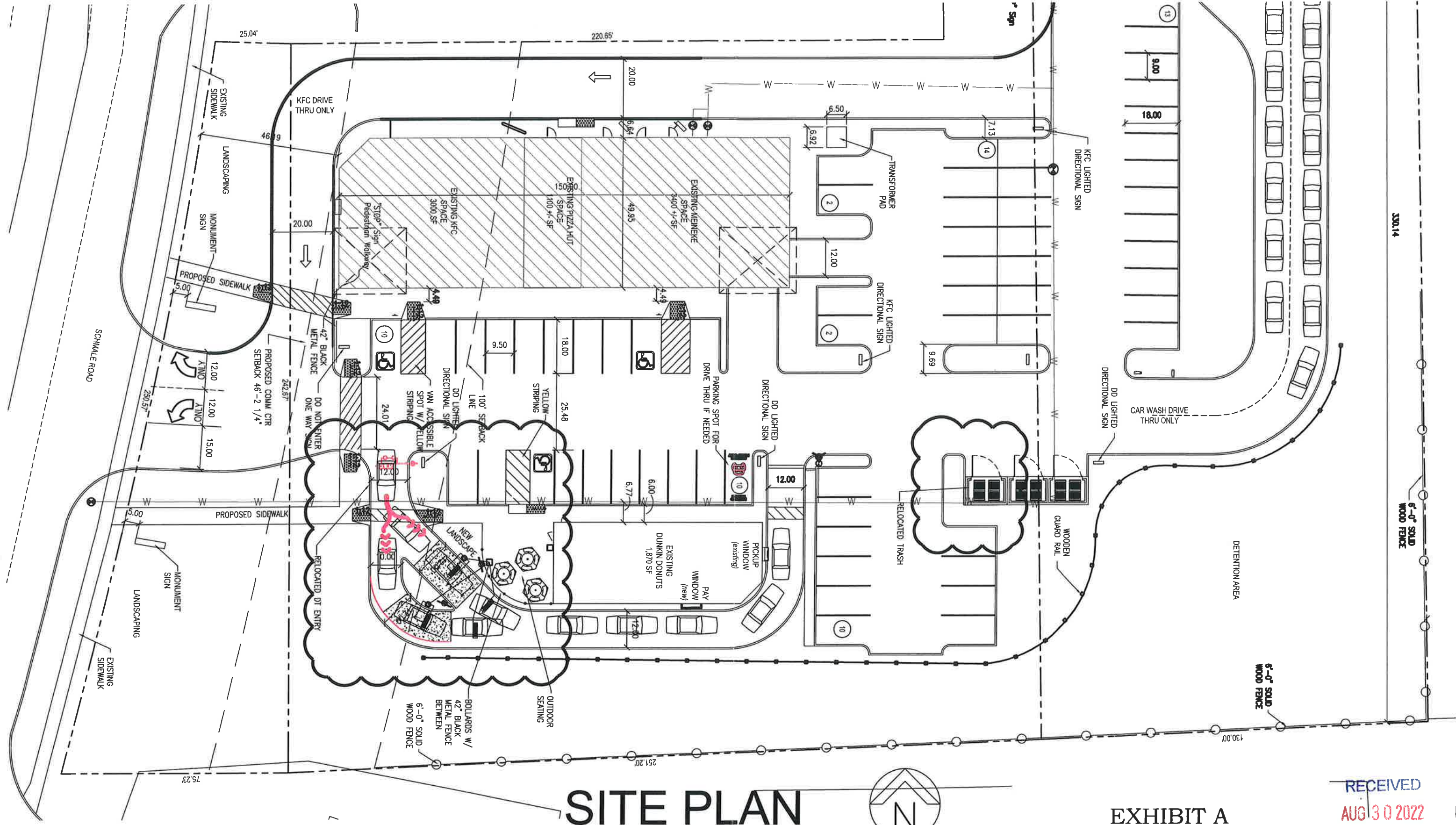
International numbers available:  
<https://zoom.us/j/82638514317>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing.

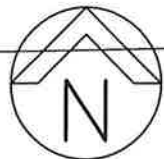
The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org).

Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-671-6250.

As published in The Examiner September 7, 2022 0907



# SITE PLAN



SCALE: 1" = 30'

EXHIBIT A

## Planned Development Plan

SCALE: 1" = 30'-0"  
 DATE: 08.18.2022

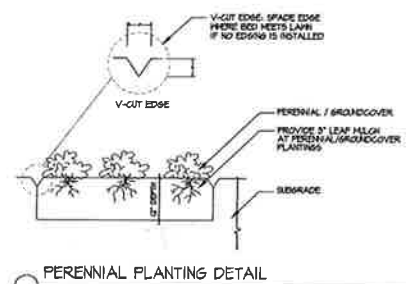
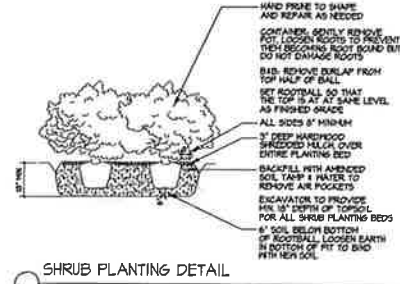
**DUNKIN - DRIVE THROUGH**  
 317 S SCHMALE RD. CAROL STREAM, ILLINOIS  
 9 DEC 2021

**ECA** ARCHITECTS  
 PLANNERS

RECEIVED  
 AUG 30 2022  
 COMMUNITY DEVELOPMENT  
 DEPT

**LANDSCAPE NOTES**

- In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
- Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
- Contractor shall follow and conform to the Village of Carol Stream, IL building codes.
- Job site safety and means and methods of construction are the responsibility of the Contractor.
- Contractor shall excavate and dispose of excavated materials off site.
- Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
- Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
- Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
- Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
- Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
- Landscape Architect not responsible for installation permits unless otherwise noted.
- Determine subsurface conditions and subsurface drainage requirements of all plant material.
- Removals:** Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
- Topsoil:** Any new topsoil shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
- Amend Existing Soil:** Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Roll-in amendments into planting beds.
- Plant Material:** The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition 'American Standard for Nursery Stock'. All plants are subject to inspection by the Landscape Architect at the job site or nursery.
- Plant Installation:** Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structures. Do not fill around trunks or stems. Do not use frozen or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
- Mulch:** Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
- Watering:** LC to water installed plant materials for the entire first season.
- Sod:** Supply and install new bluegrass blend sod as shown on plan. Place sod on min. 4" depth rolled, fine graded, pulverized topsoil. Guarantee new sod for 30 days. Time delivery of sod so that sod will be placed within 24 hours after shipping. Protect sod against drying and breaking of rolled strips. If new sod is laid late in the Fall, the guarantee shall be extended into the Spring of the next growing season.
- Repair Disturbed Areas:** All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Sod all repaired areas.
- Bed Edge:** Spade edge where bed meets lawn if no edging is installed.
- Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

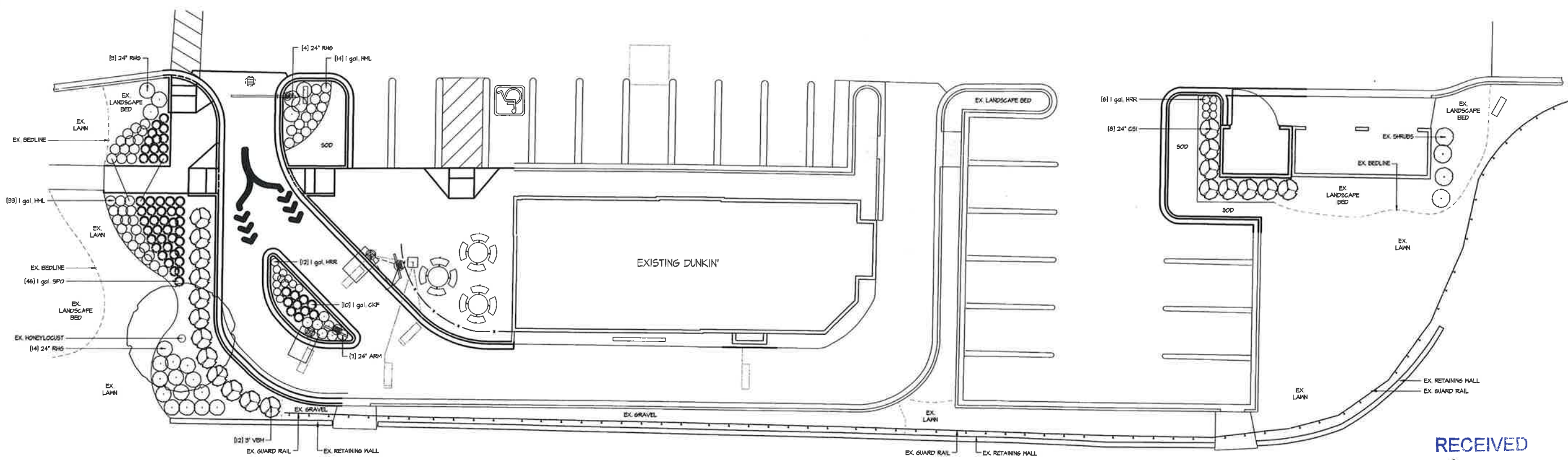


**PLANT LIST**

SHRUBS	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
ARM	7	24"		<i>Aronia melanocarpa</i> 'CONNAMI65'	Low Scope Mound Chokeberry	Full branching to ground
CSI	8	24"		<i>Cornus sericea</i> 'Ipsat'	Isari Redstart Dogwood	Full branching to ground
RHG	21	24"		<i>Rhus aromatica</i> 'Grow-Low'	Grow-Low Fragrant Sumac	Full branching to ground
VEM	12	24"		<i>Viburnum dentatum</i> 'Christolm'	Blue Muffin Arrowwood Viburnum	Full branching to ground

PERENNIALS AND ORNAMENTAL GRASSES	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
CKF	10	1 gal.		<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	Container
H-L	41	1 gal.		<i>Hemerocallis</i> 'Mauna Loa'	Mauna Loa Daylily	Container; Orange flower
HRR	18	1 gal.		<i>Hemerocallis</i> 'Rosy Returns'	Rosy Returns Daylily	Container; Pink flower
SPO	46	1 gal.		<i>Sporobolus heterolepis</i>	Prairie Dropseed	Container



**EXHIBIT B**

**RECEIVED**  
**AUG 30 2022**  
 COMMUNITY DEVELOPMENT  
 DEPT

**NOT FOR CONSTRUCTION**

CLIENT NAME:  
 ECA Architects & Planners  
 24 N. Bennett Street  
 Geneva, Illinois

LANDSCAPE ARCHITECTURE  
**pamelaself**  
 282 South Cook Street Ste #214  
 Barrington, Illinois 60015  
 847.438.4922  
 www.pamelaself.com

LICENSE # 157.000683  
 STAMP:

ARCHITECT:  
 CIVIL ENGINEER:  
 GENERAL CONTRACTOR:

**DUNKIN'**  
 317 S. Schmale Road  
 Carol Stream, Illinois

REVISIONS	No.	Description	Date

Design by: KWS  
 Drawn by: KWS  
 Checked by: PKS  
 Start date: 08.30.2022  
 Project no.

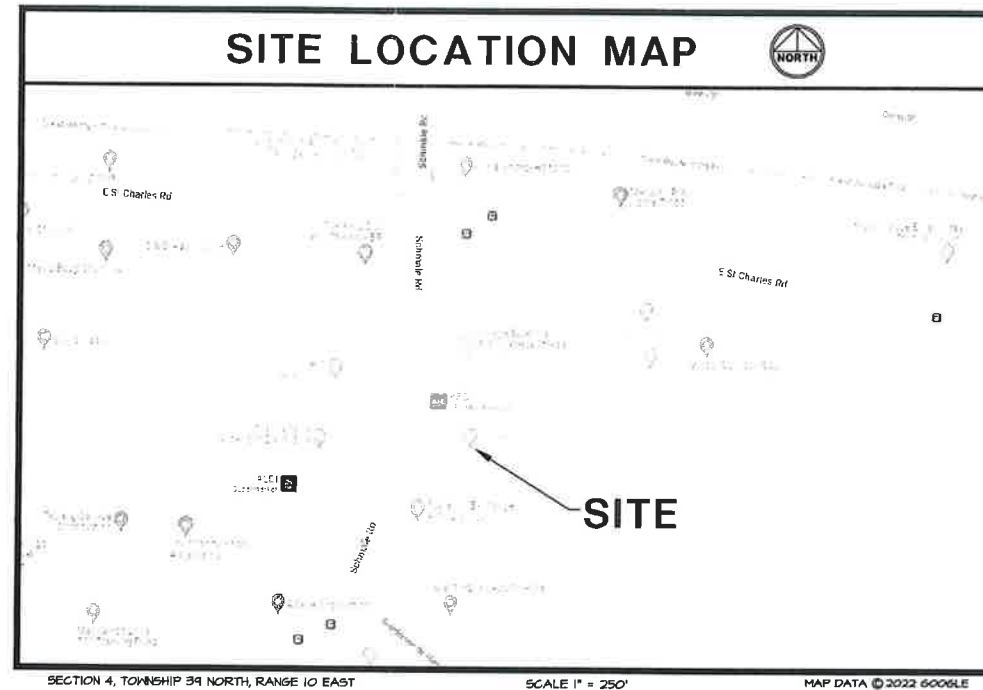
**LANDSCAPE PLAN**

**L-1.0**

# DRIVE-THROUGH IMPROVEMENTS 317 SOUTH SCHMALE ROAD CAROL STREAM, ILLINOIS 60188

DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	8-23-22
C-1.0	SITE DEMOLITION PLAN	8-23-22
C-2.0	SITE GEOMETRIC PLAN	8-23-22
C-3.0	SITE DEVELOPMENT PLAN	8-23-22
C-4.0	SITE GRADING AND UTILITY PLAN	8-23-22
C-5.0	STORMWATER POLLUTION PREVENTION PLAN	8-23-22
C-6.0 - C-6.1	CONSTRUCTION DETAILS	8-23-22
C-7.0	PROJECT SPECIFICATIONS	8-23-22
SUR-1	TOPOGRAPHIC SURVEY	5-2-22

**SITE BENCHMARK:**  
SITE BENCHMARK - SQUARE CUT ON CONCRETE LIGHT POLE BASE, 43' WEST OF DRIVE THRU ENTRANCE AS SHOWN.  
ELEVATION = 791.20' (NAVD88)



### CIVIL ENGINEERING STATEMENT AND SEAL

I, RANDALL E. SIMON, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

*Randall E. Simon*

DATE: 8/23/2022

RANDALL E. SIMON - ILLINOIS P.E. # 062-073454  
DATE OF EXPIRATION - NOVEMBER 30, 2023



CALL JULIE  
SIMPLY BIU OR TOLL FREE 1(800)842-0123  
OPERATES 24 HOURS A DAY 365 DAYS A YEAR



CALL 1(800)842-0123  
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

EXHIBIT C

RECEIVED  
AUG 30 2022  
COMMUNITY DEVELOPMENT  
DEPT

ISSUE	
TO	DATE
FOR ZONING S.P. 7/22/22	
CITY COMMENTS 8/18/22	

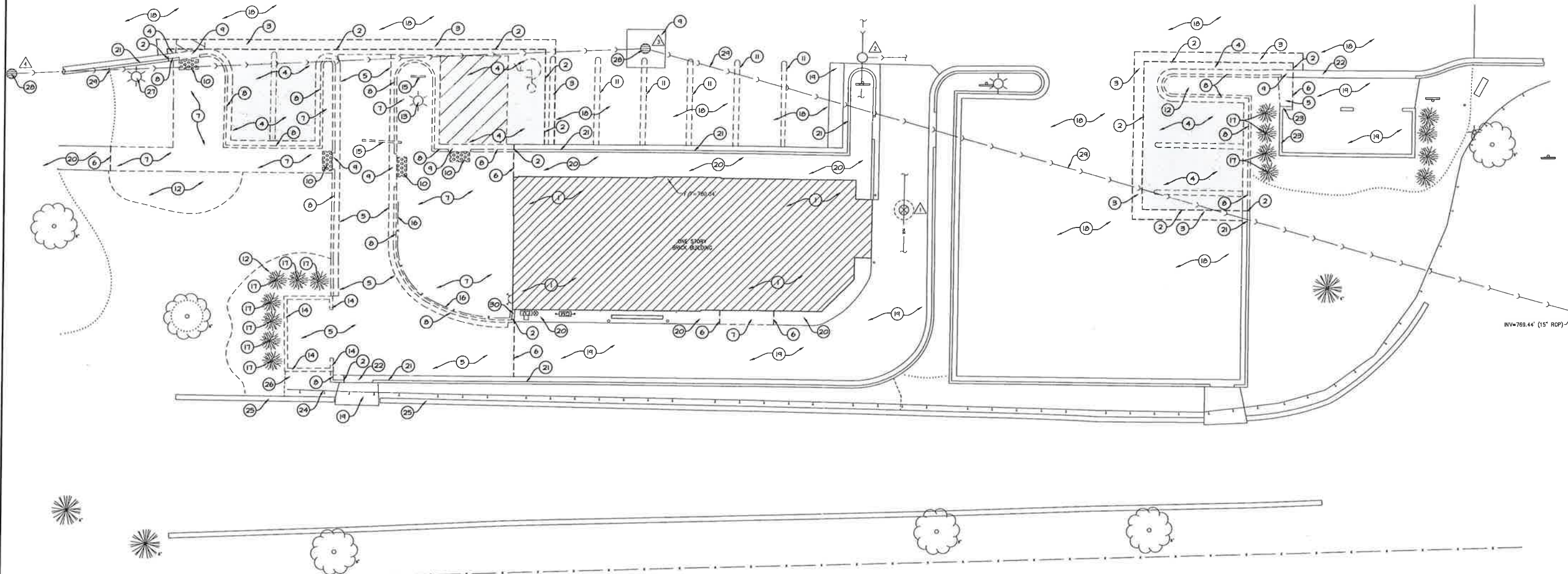
CHECK: RES  
DRAWN: VE  
JOB: C2200041

T-1.0  
TITLE SHEET

WT GROUP  
Engineering with Precision, Pace and Passion.  
317 South Schmale Road, Carol Stream, IL 60188  
630.293.3333 | F: 630.293.3444  
www.wtgroup.com  
L. License No. 184.07750 0015 Expires 04.30.2023  
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DRIVE-THROUGH IMPROVEMENTS  
317 SOUTH SCHMALE ROAD  
CAROL STREAM, IL 60188  
DUNKIN DONUTS

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY



**EXISTING UTILITY DATA**

- △ RIM=778.95' (WATER)  
48" CONCRETE STRUCTURE  
773.09' AT TOP OF 6" DIP N/S
- △ RIM=778.75' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=773.32' (6" PVC N/S)  
ING=773.32' (6" PVC E)
- △ RIM=778.44' (STORM)  
48" CONCRETE STRUCTURE  
INV=770.41' (15" PVC SE)
- △ RIM=778.82' (STORM)  
24" CONCRETE STRUCTURE  
INV=775.02' (12" RCP E)

**LEGEND**

- — — — — EXISTING STORM SEWER
- — — — — EXISTING SANITARY SEWER
- — — — — EXISTING WATERMAIN LINE
- EXISTING CLOSED MANHOLE
- EXISTING OPEN FRAME MANHOLE
- ⊗ EXISTING WATER VALVE VAULT
- ⊙ EXISTING B-BOX
- ▬ EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH
- ▬ EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH

**PROJECT NOTES:**

1. EXISTING BUILDING TO REMAIN.
2. NEW FULL DEPTH SAW CUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
3. NEW 2' WIDE BUTT JOINT.
4. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS. AREAS THAT WILL BECOME LANDSCAPED AREAS, SHALL HAVE ENTIRE AGGREGATE BASE REMOVED.
5. EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS. AREAS THAT WILL BECOME LANDSCAPED AREAS, SHALL HAVE ENTIRE AGGREGATE BASE REMOVED.
6. SAWCUT EXISTING SIDEWALK/PAVEMENT AT NEAREST JOINT TO PROVIDE CLEAN CONSTRUCTION BREAK.
7. EXISTING CONCRETE SIDEWALK TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS. AREAS THAT WILL BECOME LANDSCAPED AREAS, SHALL HAVE ENTIRE AGGREGATE BASE REMOVED.
8. EXISTING CURB AND GUTTER TO BE REMOVED.
9. EXISTING DEPRESSED CURB AND GUTTER TO BE REMOVED.
10. EXISTING DETECTABLE WARNING PLATE TO BE REMOVED.
11. EXISTING PAVEMENT STRIPING TO BE REMOVED.
12. EXISTING LANDSCAPE AREA TO BE REMOVED.
13. EXISTING AREA LIGHT TO BE REMOVED AND RELOCATED. VERIFY NEW LOCATION WITH OWNER.
14. EXISTING TRASH ENCLOSURE TO BE REMOVED.
15. EXISTING SIGN TO BE REMOVED.
16. EXISTING FENCE TO BE REMOVED.
17. EXISTING SHRUB TO BE REMOVED.
18. EXISTING ASPHALT PAVEMENT TO REMAIN.
19. EXISTING CONCRETE PAVEMENT TO REMAIN.
20. EXISTING CONCRETE SIDEWALK TO REMAIN.
21. EXISTING CURB AND GUTTER TO REMAIN.
22. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN.
23. EXISTING TRASH ENCLOSURE TO REMAIN.
24. EXISTING GUARD RAIL TO REMAIN.
25. EXISTING BLOCK WALL TO REMAIN.
26. EXISTING GRAVEL TO REMAIN.
27. EXISTING AREA LIGHT TO REMAIN.
28. EXISTING STORM STRUCTURE TO REMAIN.
29. EXISTING STORM SEWER TO REMAIN.
30. EXISTING BARRIER CURB TO REMAIN.

**SITE DEMOLITION NOTES:**

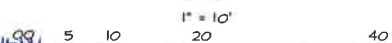
- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24' THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROVIDE REMOVAL AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 05-02-22, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SUR-1 TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LFC-662 AND/OR LFC-663 FORMS AS PART OF THEIR CONTRACT.
- S. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

EXHIBIT D

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1" = 10'



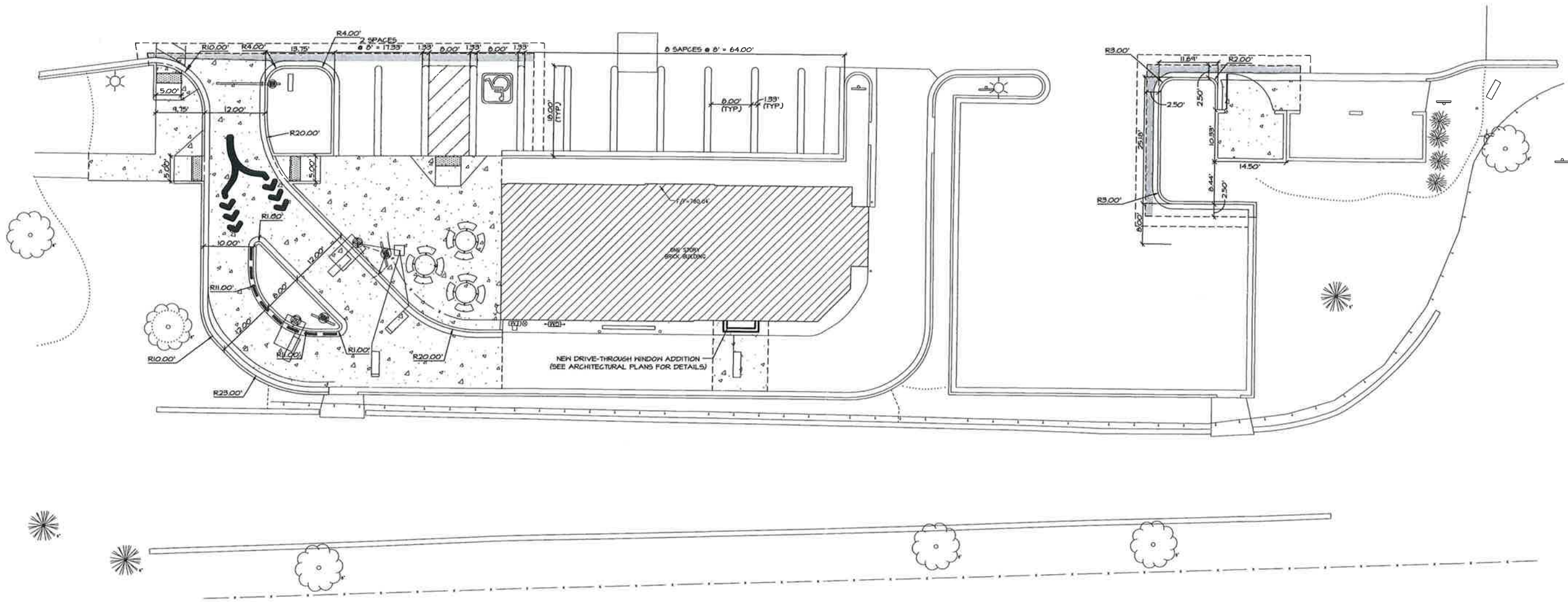
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**WT Group**  
 Drive-Through Improvements  
 317 SOUTH SCHMALE ROAD  
 CAROL STREAM, IL 60188  
**DUNKIN DONUTS**

CHECK: RES  
 DRAWN: VE  
 JOB: C2200041

**C-1.0**  
 SITE DEMOLITION PLAN



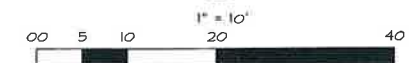
**PAVEMENT SECTIONS**

- NEW 5" CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" CA-6
- NEW 7" CONCRETE PAVEMENT  
7" PORTLAND CEMENT CONCRETE  
4" CA-6
- NEW FULL DEPTH ASPHALT PAVEMENT  
1-1/2" HMA SURFACE COURSE  
1-1/2" HMA BINDER COURSE  
10" CA-6  
(MATCH EXISTING CROSS SECTION)
- NEW FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT  
1-1/2" HMA SURFACE COURSE  
1-1/2" HMA BINDER COURSE  
15" CA-6  
(MATCH EXISTING CROSS SECTION)

**SITE GEOMETRIC NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 05-02-22, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

**EXHIBIT E**



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317 SOUTH SCHMALE ROAD  
CAROL STREAM, IL 60188  
**DUNKIN DONUTS**

ISSUE

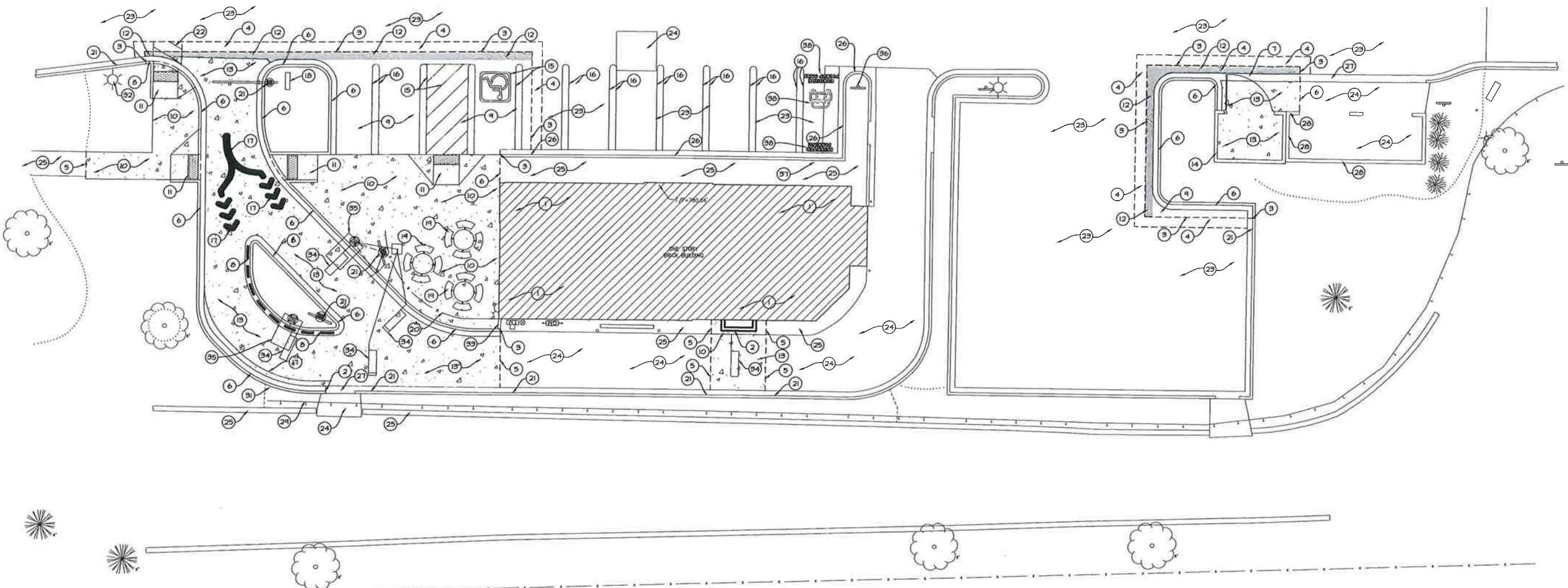
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**C-2.0**  
SITE GEOMETRIC PLAN

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY





**PAVEMENT SECTIONS**

- NEW 5" CONCRETE SIDEWALK**  
5" PORTLAND CEMENT CONCRETE  
4" CA-6
- NEW 1" CONCRETE PAVEMENT**  
1" PORTLAND CEMENT CONCRETE  
4" CA-6
- NEW FULL DEPTH ASPHALT PAVEMENT**  
1-1/2" HMA SURFACE COURSE  
1-1/2" HMA BINDER COURSE  
10" CA-6  
(MATCH EXISTING CROSS SECTION)
- NEW FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT**  
1-1/2" HMA SURFACE COURSE  
1-1/2" HMA BINDER COURSE  
15" CA-6  
(MATCH EXISTING CROSS SECTION)

**PROJECT NOTES:**

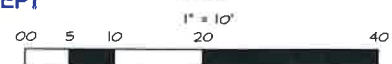
1. EXISTING BUILDINGS TO REMAIN.
2. NEW DRIVE-THROUGH WINDOW (SEE ARCHITECTURAL PLANS FOR DETAILS).
3. NEW FULL DEPTH SAW CUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
4. NEW 2" WIDE BUTT JOINT.
5. SAWCUT EXISTING SIDEWALK/PAVEMENT AT NEAREST JOINT TO PROVIDE CLEAN CONSTRUCTION BREAK.
6. NEW B6/12 CONCRETE CURB AND GUTTER.
7. NEW DEPRESSED CURB AND GUTTER.
8. NEW B6/12 CONCRETE CURB REVERSE GUTTER PITCH.
9. NEW FULL DEPTH ASPHALT PAVEMENT.
10. NEW 5" CONCRETE SIDEWALK.
11. NEW ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP.
12. NEW HEAVY DUTY ASPHALT PAVEMENT.
13. NEW 1" CONCRETE PAVEMENT.
14. NEW TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS).
15. ACCESSIBLE PARKING SPACE STRIPINGS AND SYMBOL.
16. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPINGS.
17. NEW 4" YELLOW PAINTED TRAFFIC FLOW ARROW AND STRIPINGS.
18. NEW DIRECTIONAL SIGN.
19. NEW OUTDOOR SEATING.
20. NEW 42" BLACK METAL FENCE (SEE ARCHITECTURAL PLANS FOR DETAILS).
21. NEW DRIVE-THROUGH MENU BOARD.
22. RE-STRIP AS NECESSARY TO MATCH EXISTING.
23. EXISTING ASPHALT PAVEMENT TO REMAIN.
24. EXISTING CONCRETE PAVEMENT TO REMAIN.
25. EXISTING CONCRETE SIDEWALK TO REMAIN.
26. EXISTING CURB AND GUTTER TO REMAIN.
27. EXISTING DEPRESSED CURB AND GUTTER TO REMAIN.
28. EXISTING TRASH ENCLOSURE TO REMAIN.
29. EXISTING GUARD RAIL TO REMAIN.
30. EXISTING BLOCK WALL TO REMAIN.
31. EXISTING GRAVEL TO REMAIN.
32. EXISTING AREA LIGHT TO REMAIN.
33. EXISTING BARRIER CURB TO REMAIN.
34. NEW DETECTOR LOOP (SEE ARCHITECTURAL AND ELECTRICAL PLANS FOR INSTALLATION DETAILS AND CONCRETE CUTTING CONFIGURATION).
35. DRIVE-THRU CANOPY.
36. REPLACEMENT OF EXIST. DIRECTIONAL SIGN.
37. CURBSIDE PICKUP OF DESIGNATED PARKING SPOT.
38. RESERVE SPACE GRAPHIC, SEE ARCH PLANS FOR DETAILS, COLORS AND PAINT SPECIFICATIONS.

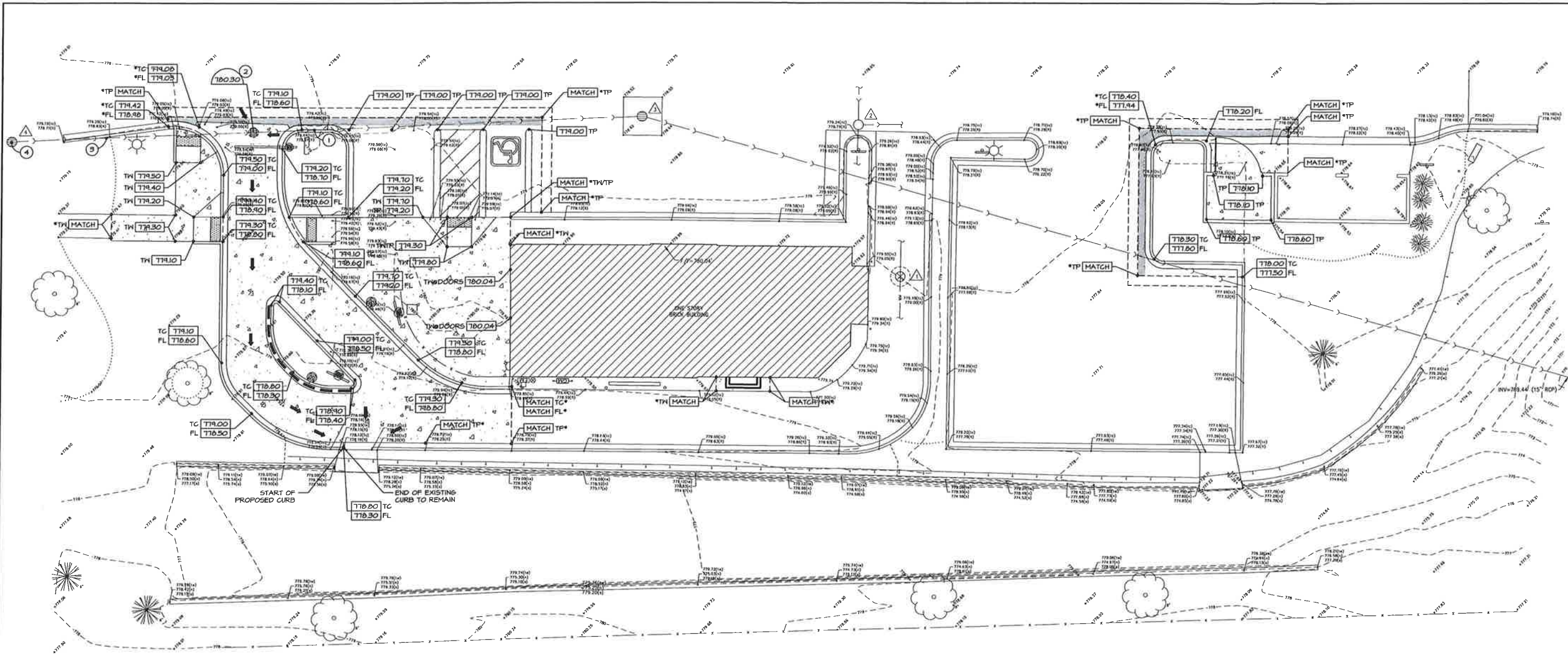
**SITE DEVELOPMENT NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 05-02-22, PREPARED BY HT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- C. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- D. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- E. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- F. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH 6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET.
- H. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- I. CONTRACTOR SHALL RE-STRIP ALL STRIPINGS DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- L. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- M. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

**EXHIBIT F**

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**PAVEMENT SECTIONS**

<b>NEW 5" CONCRETE SIDEWALK</b> 5" PORTLAND CEMENT CONCRETE 4" CA-6	
<b>NEW 1" CONCRETE PAVEMENT</b> 1" PORTLAND CEMENT CONCRETE 4" CA-6	
<b>NEW FULL DEPTH ASPHALT PAVEMENT</b> 1-1/2" HMA SURFACE COURSE 1-1/2" HMA BINDER COURSE 10" CA-6 (MATCH EXISTING CROSS SECTION)	
<b>NEW FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT</b> 1-1/2" HMA SURFACE COURSE 1-1/2" HMA BINDER COURSE 15" CA-6 (MATCH EXISTING CROSS SECTION)	

**EXISTING UTILITY DATA**

 RW=778.99' (WATER) 48" CONCRETE STRUCTURE 773.09' AT TOP OF 6" DIP N/S	 RW=778.75' (SANITARY) 48" CONCRETE STRUCTURE RW=773.37' (6" PVC N/S) WC=773.32' (6" PVC E)
 RW=778.46' (STORM) 48" CONCRETE STRUCTURE RW=770.41' (15" PVC SE)	 RW=778.62' (STORM) 24" CONCRETE STRUCTURE RW=775.02' (12" RCP E)

**GRADING AND UTILITY LEGEND**

	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	INTERPOLATED SPOT GRADE
	PROPOSED RIM ELEVATION
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	OVERLAND FLOW ARROW
	100 YEAR OVERLAND FLOW ROUTE
	EMERGENCY OVERFLOW ARROW
TP	TOP OF PAVEMENT ELEVATION
TN	TOP OF SIDEWALK ELEVATION
G	FINISHED GRADE ELEVATION
FF	FINISHED FLOOR ELEVATION
TC	TOP OF CURB ELEVATION
FL	FLOW LINE ELEVATION
MATCH	MATCH EXISTING GRADE ELEVATION
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN LINE
	EXISTING CLOSED MANHOLE
	EXISTING OPEN FRAME MANHOLE
	EXISTING WATER VALVE VAULT
	EXISTING B-BOX
	PROPOSED INLET

- PROJECT NOTES:**
- STORM SEWER**
- EXISTING STORM SEWER TO REMAIN.
  - NEW 24" DIA. PRECAST CONCRETE INLET TO BE INSTALLED ON EXISTING STORM SEWER.
  - EXISTING STORM SEWER TO REMAIN.
  - EXISTING STORM STRUCTURE TO REMAIN.

- SITE GRADING AND UTILITY NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 05-02-22, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
  - CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-892-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRICAL, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
  - CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
  - CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
  - CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
  - CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
  - ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
  - ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
  - VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
  - ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
  - CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
  - ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
  - ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
  - EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.
  - CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
  - CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORINGS AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
  - ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.08 OF THE "STANDARD SPECIFICATIONS".
  - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
  - CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
  - CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
  - ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.
  - MISSION COUPLING OR SIMILAR CONNECTION BETWEEN PIPES OF DISSIMILAR SIZE OR MATERIAL.

**CHANGE IN PERVIOUS AREA CALCULATION**

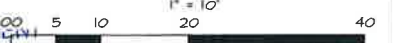
WORK ON WEST END (DRIVE UP)	WORK ON EAST END (DUMPSTER)
EXISTING PERVIOUS AREA WITHIN PROJECT LIMITS 5326 S.F.	3949 S.F.
PROPOSED PERVIOUS AREA WITHIN THE PROJECT LIMITS 2123 S.F.	545 S.F.
NET REDUCTION IN PERVIOUS AREA WITHIN PROJECT LIMITS 1,057 S.F.	

EXHIBIT G

RECEIVED  
AUG 30 2022  
UNITY DEVELOPMENT  
DEPT



1" = 10'



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

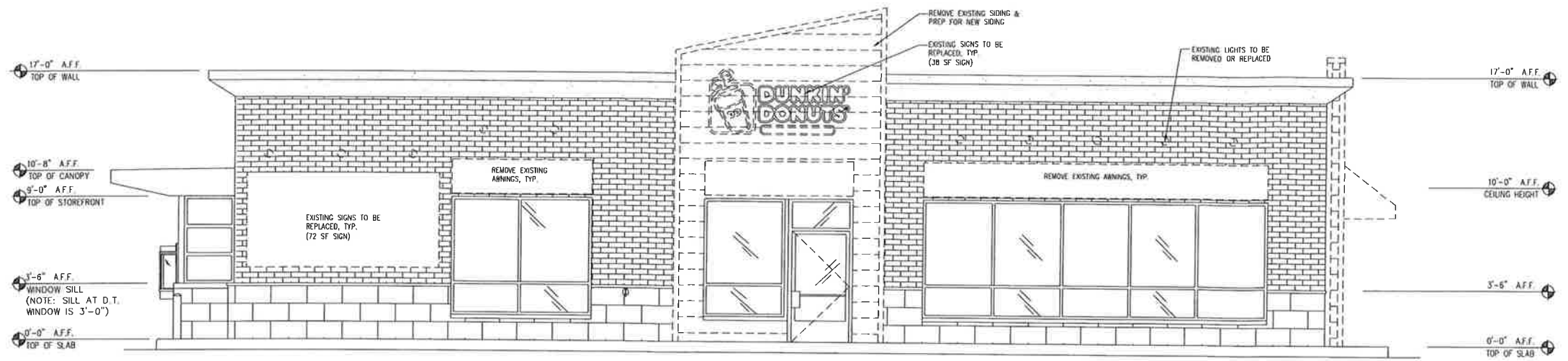
**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 2875 Putnam Avenue, Hoffman Estates, IL 60132  
 T: 815.353.6333 | F: 815.353.6444  
 www.wtgroup.com  
 IL License No: 184-007090-0017, Expires 04/30/2023  
 © COPYRIGHT 2022, THE WT GROUP, LLC

**WT Group**  
 Engineering with Precision, Pace and Passion.

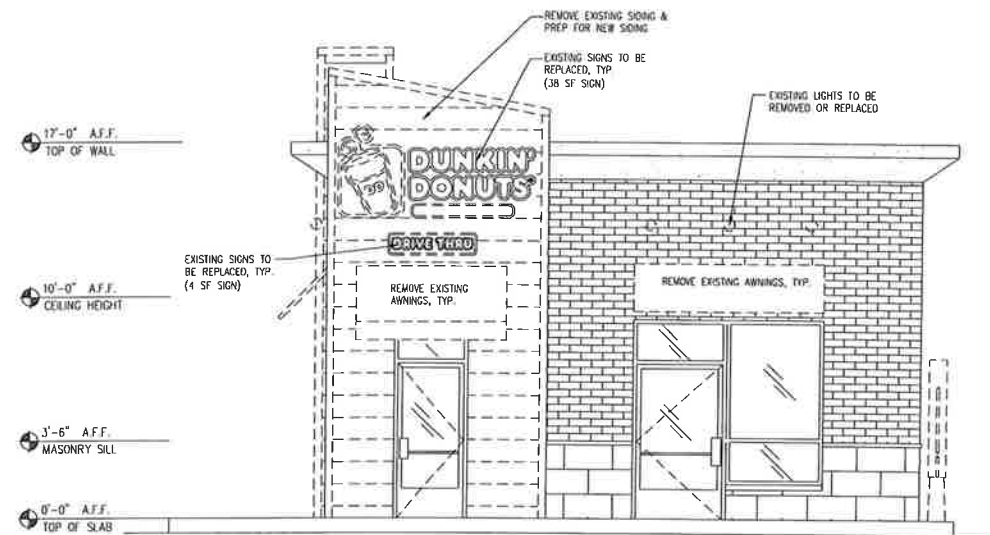
**DRIVE-THROUGH IMPROVEMENTS**  
 317 SOUTH SCHMALE ROAD  
 CAROL STREAM, IL 60188  
**DUNKIN DONUTS**

CHECK: RES  
 DRAWN: VE  
 JOB: C2200041

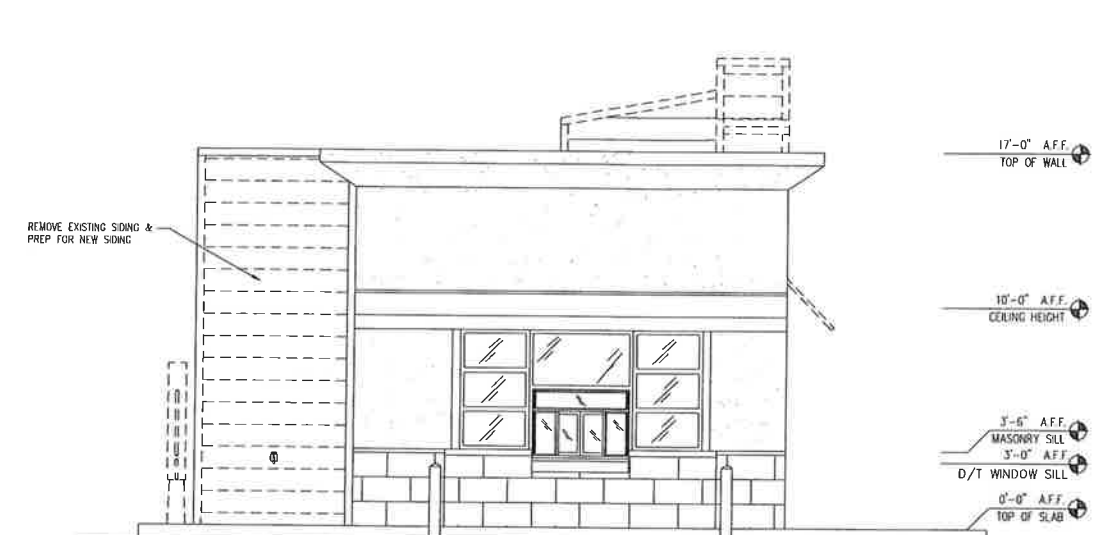
**C-4.0**  
 SITE GRADING AND  
 UTILITY PLAN



FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

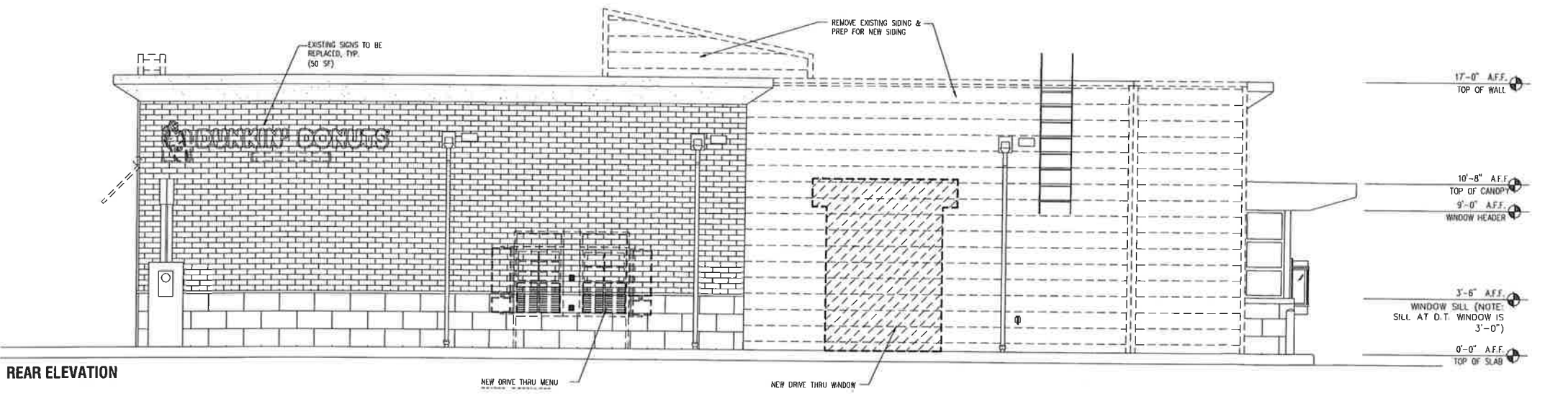
**EXISTING SIGNAGE**

**FRONT ELEV:**  
 PEOPLE SIGN = 72 SF  
 DUNKIN' DONUTS W/ CUP  
 + COFFEE & MORE = 38 SF  
 SUBTOTAL = 110 SF

**RIGHT SIDE ELEV:**  
 DUNKIN' DONUTS W/ CUP  
 + COFFEE & MORE = 38 SF  
 DRIVE THRU = 4 SF  
 SUBTOTAL = 42 SF

**REAR ELEV:**  
 DUNKIN' DONUTS W/ CUP  
 + COFFEE & MORE = 50 SF

**TOTAL: 110+42+50 = 202 SF**



REAR ELEVATION

**DEMO ELEVATIONS**



EXHIBIT H-1

**DUNKIN' PC# 349378**  
 317 S SCHMALE RD; CAROL STREAM, ILLINOIS  
 07.21.2022

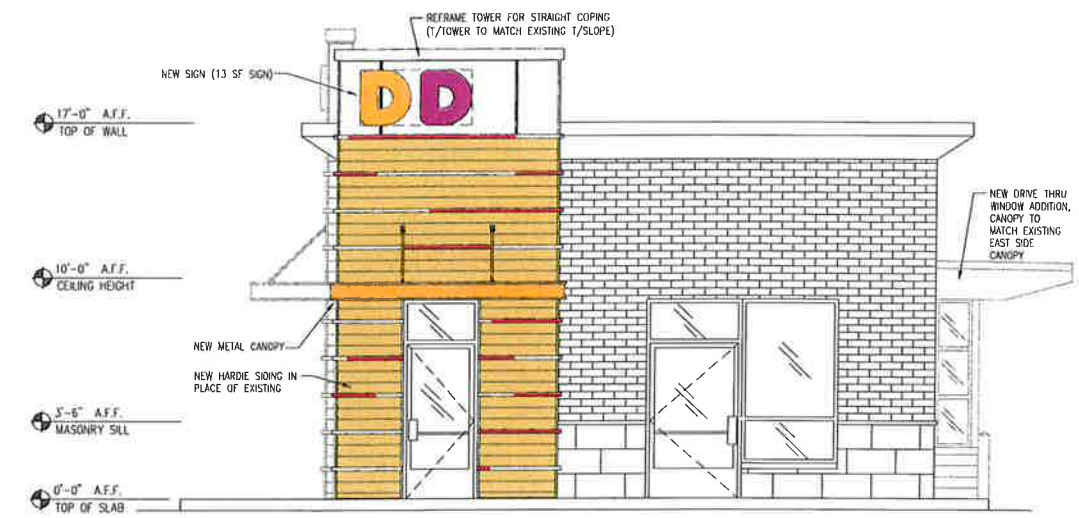


RECEIVED  
 JUL 29 2022  
 COMMUNITY DEVELOPMENT  
 DEPT

- 01 GRAY
- 02 CHARCOAL
- 03 WOOD PATTERN
- 04 OFF WHITE FINISH
- 12 DD PINK
- 13 DD ORANGE



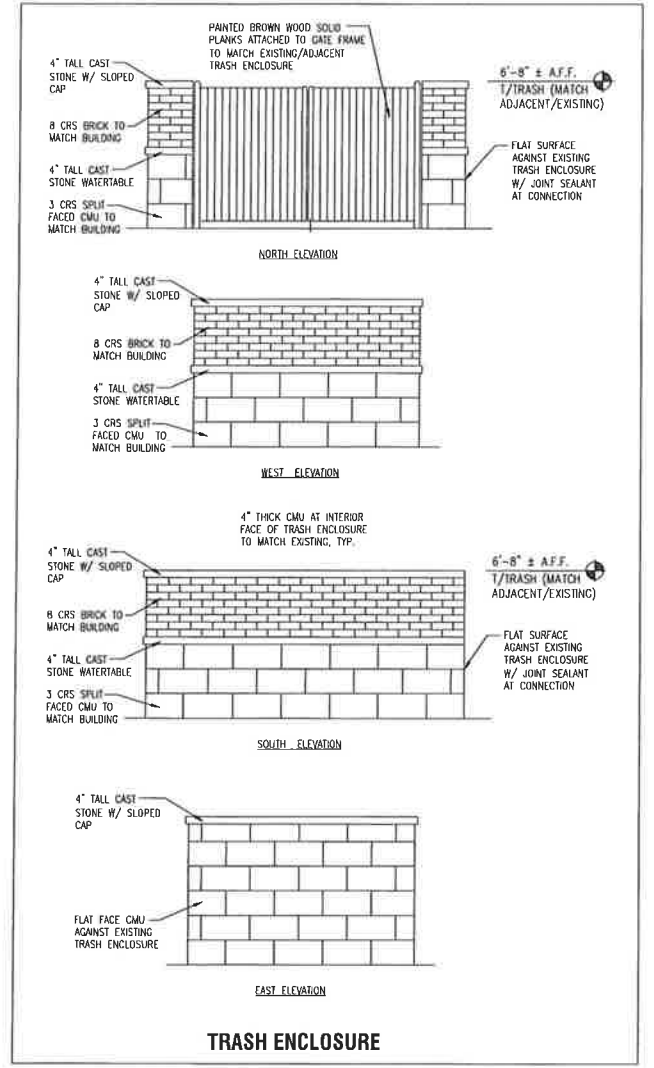
FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



**PROPOSED SIGNAGE**

**FRONT ELEV:**  
 CAROL STREAM RUNS ON DUNKIN' = 18 SF  
 DUNKIN' = 25 SF  
 SUBTOTAL = 43 SF

**RIGHT SIDE ELEV:**  
 D D = 13 SF

**REAR ELEV:**  
 DUNKIN' + DRIVE THRU = 24 SF  
 SOMETHING FRESH IS ALWAYS BREWING = 15 SF  
 SUBTOTAL = 39

**TOTAL: 43+13+39 = 95 SF**



REAR ELEVATION

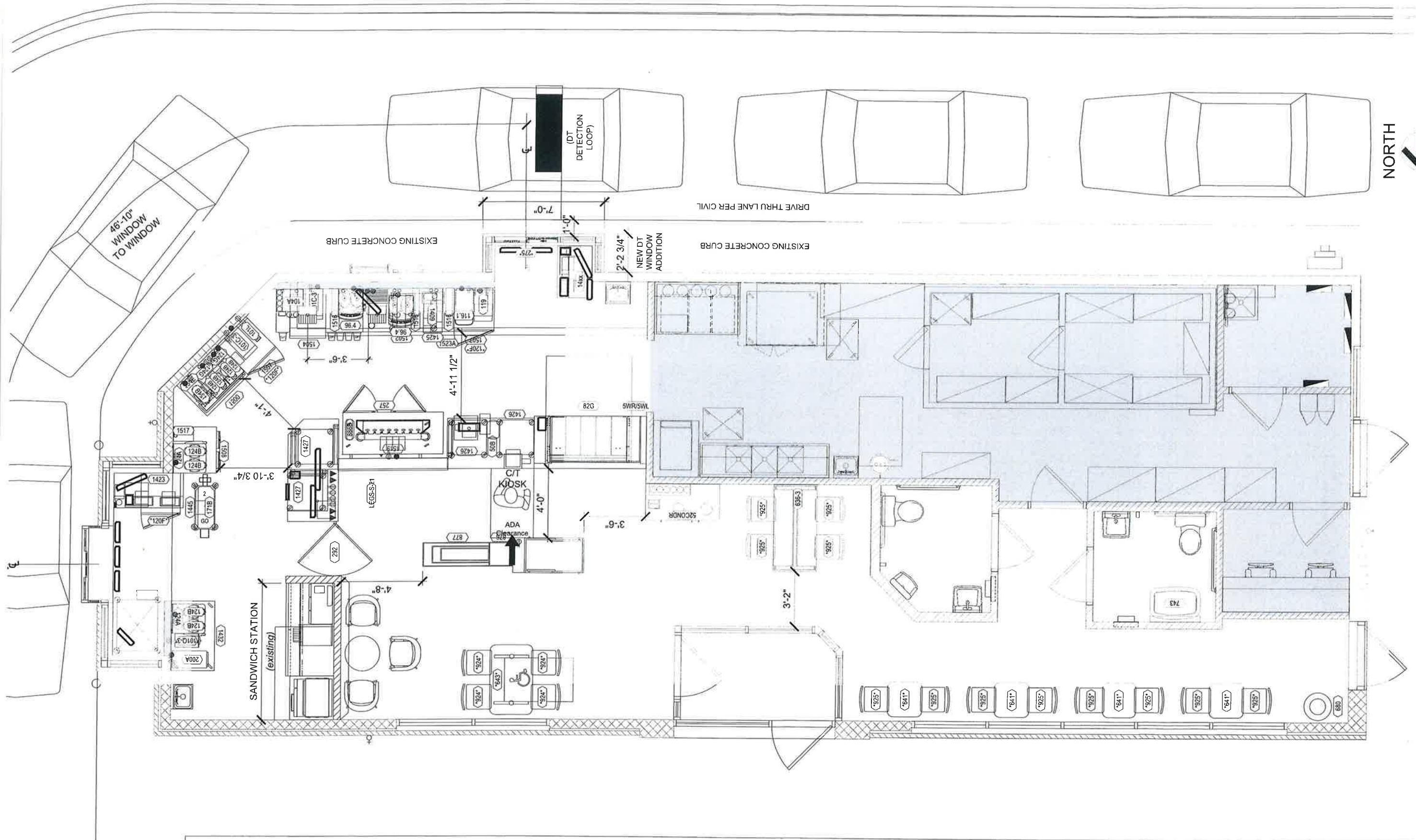
**PRELIMINARY ELEVATIONS**



EXHIBIT H-2

RECORDED  
 AUG 30 2022  
 COMMUNITY DEVELOPMENT  
 DEPT  
**DUNKIN' PC# 349378**  
 317 S SCHMALE RD; CAROL STREAM, ILLINOIS  
 08.18.2022





SCALE: 3/16" = 1'-0"

**PRELIMINARY FLOOR PLAN**

EXHIBIT I

RECEIVED  
 JUL 29 2022  
 COMMUNITY DEVELOPMENT  
 DEPT

Add bump out at new DT window to bring window close enough to drive thru lane. New roof element/canopy over addition.

PC# 349378  
 317 S Schmale Rd  
 Carol Stream, IL  
 07.21.2022

317 S SCHMALE,  
CAROL STREAM, IL



## DUNKIN' NEXTGEN SIGNAGE / STANDARDS & GUIDANCE PACKAGE

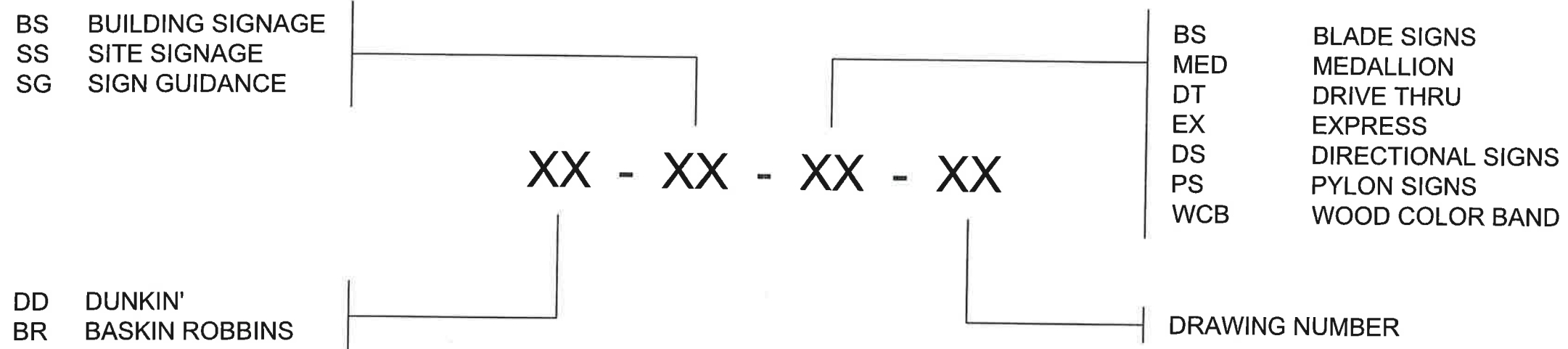


EXHIBIT J-1

RECEIVED  
AUG 30 2022  
COMMUNITY DEVELOPMENT  
DEPT



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE

COVER SHEET

DATE: 05.25.2020

REV. #05

DUNKIN' BRANDS INC.  
CONSTRUCTION SERVICES

COVER

ARTWORK FONT : DUNKIN SANS DISPLAY

SWEEP AND CLEAN THE SURFACE OF THE DRIVEWAY, MAKING SURE IT IS FREE OF DEBRIS.

PAINT THE CONCRETE WITH CONCRETE PRIMER (IF APPLICABLE).

USING DUCT TAPE, SECURE THE STENCIL TO THE DESIRED LOCATION. MAKE SURE THE STENCIL IS STRAIGHT AND CENTERED.

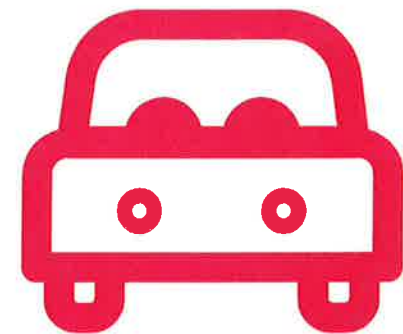
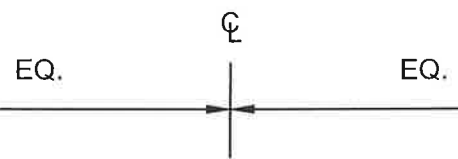
AFTER LETTERS ARE PAINTED AND STENCIL IS REMOVED, TOUCH UP BY HAND ANY VOIDS IN THE LETTERS THAT WERE LEFT BY THE STENCIL.

PAINT THE ADJACENT PARKING STALL LINES.

FOR CONCRETE DRIVEWAY APPLICATION IT IS HIGHLY RECOMMENDED THAT A CONCRETE PRIMER IS USED PRIOR TO PAINTING.

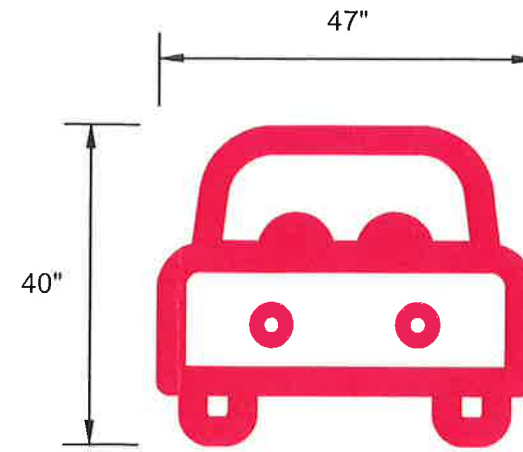
VARIES

**RESERVED  
PARKING**

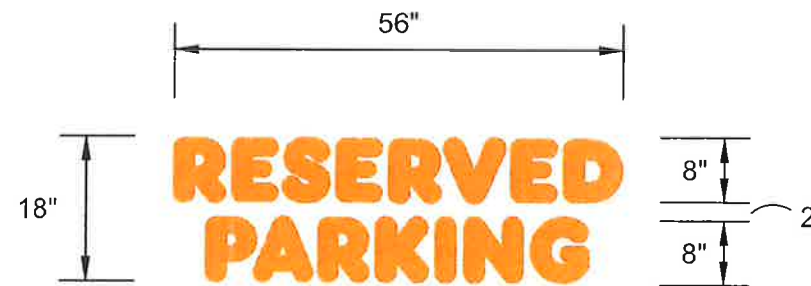


**CURBSIDE  
PICKUP ONLY**

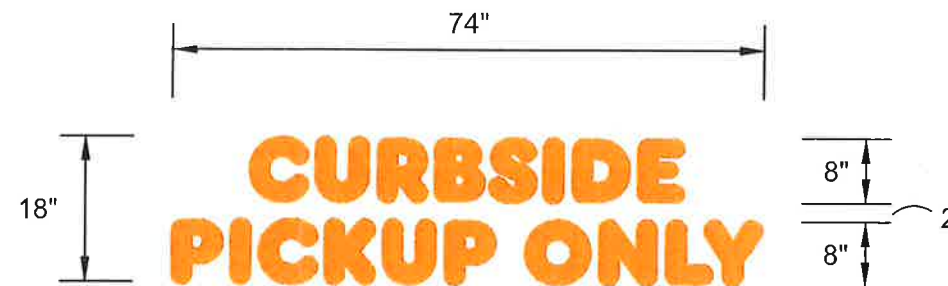
VARIES



CAR ICON IN FRONT OF STALL  
SCALE : N.T.S.



"RESERVED PARKING" SHOULD BE PAINTED ON THE TOP OF THE PARKING STALL (CURB SIDE)  
SCALE : N.T.S.



"CURBSIDE PICKUP ONLY" SHOULD BE PAINTED ON THE BOTTOM OF THE PARKING STALL  
SCALE : N.T.S.

EXHIBIT J-2

RECEIVED  
AUG 30 2022  
COMMUNITY DEVELOPMENT  
DEPT

PMS

VINYL / PAINT

PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

DATE: 05.25.2020

REV. #05

DUNKIN' BRANDS INC.  
CONSTRUCTION SERVICES

DD-SS-CS-02



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE

CURBSIDE PARKING STALL

NOTES

1. 5" x 1" x .063" ALUMINUM SPACE FRAME
2. 1" ALUMINUM RETAINER
3. 1" x 1" x 1/8" ALUMINUM ANGLE
4. 4" x 4" x .075" SQUARE TUBE SUPPORT PAINTED ORANGE PMS 165 C
5. GE TETRA MAX 7100K WHITE LED'S, AS REQUIRED (OR GE REPLACEMENT EQUIVALENT)
6. LED POWER SUPPLIES, AS REQUIRED
7. .118 CLEAR SOLAR GRADE POLYCARBONATE FACE 2ND SURFACE
8. BACKGROUND COLOR TO BE 403 WHITE BACK-SPRAY
9. 3M #3630-3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
10. 3M #3630-1379 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
11. 3M #7125-41 DUNKIN' GRAY TRANSLUCENT FILM 2ND SURFACE

ADDITIONAL NOTES:

ARTWORK FONT : DUNKIN SANS DISPLAY

EXTERIOR FINISH : PAINT PANTONE 7540C

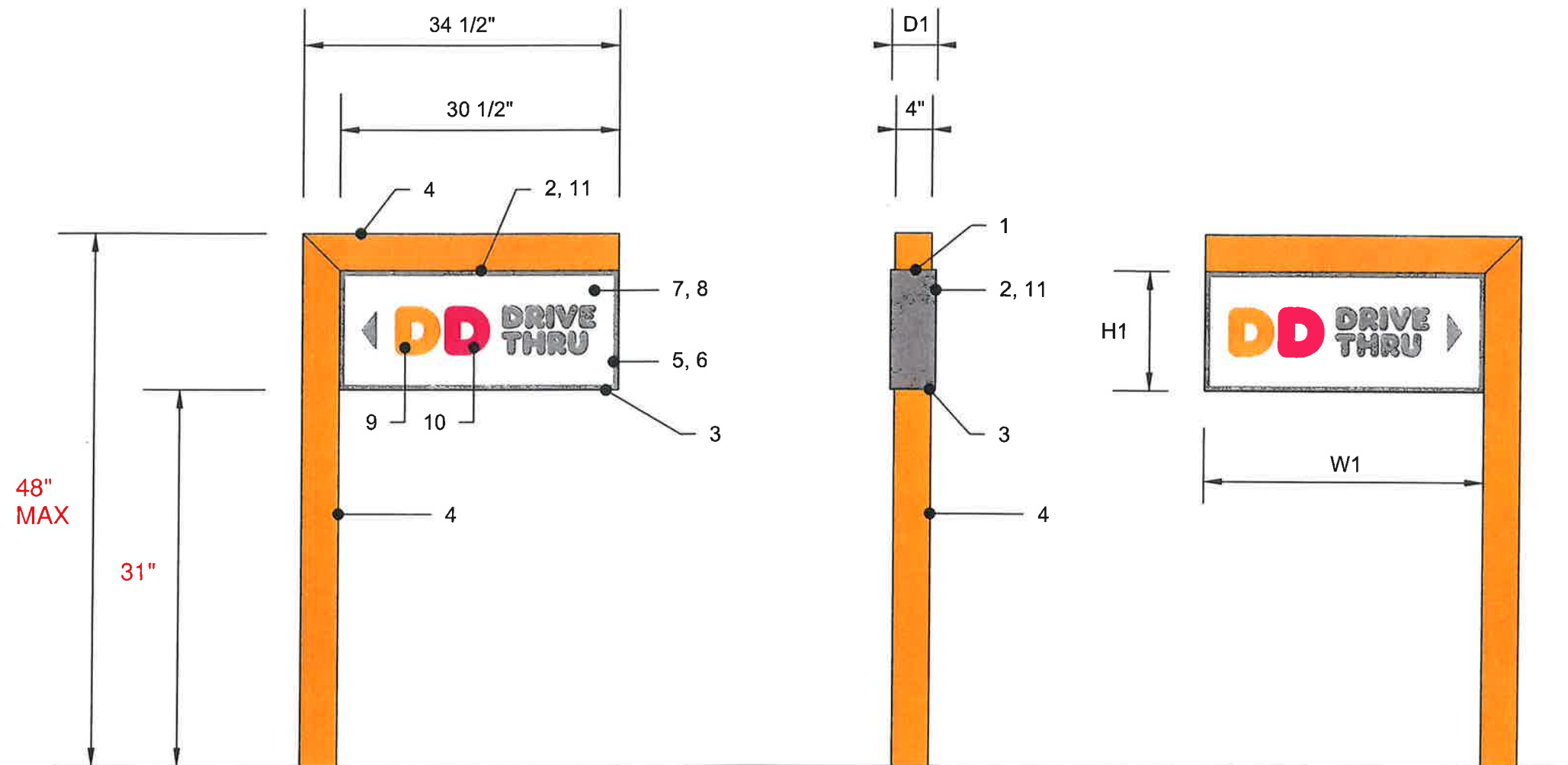
INTERIOR FINISH : PAINTED REFLECTIVE WHITE

RETAINERS / FACE REMOVABLE FOR SERVICE ACCESS

DIRECT BURY INSTALLATION PER CODE

(1) 20 AMP / 120 VOLT CIRCUIT

U.L. LISTED



LED ILLUMINATED DIRECTIONAL SIGN (SIDE A)  
SCALE : N.T.S.

LED ILLUMINATED DIRECTIONAL SIGN (SIDE C)  
SCALE : N.T.S.

LED ILLUMINATED DIRECTIONAL SIGN (SIDE B)  
SCALE : N.T.S.

AT EXIT OF DT LANE

NEAR ENTRY OF DT LANE

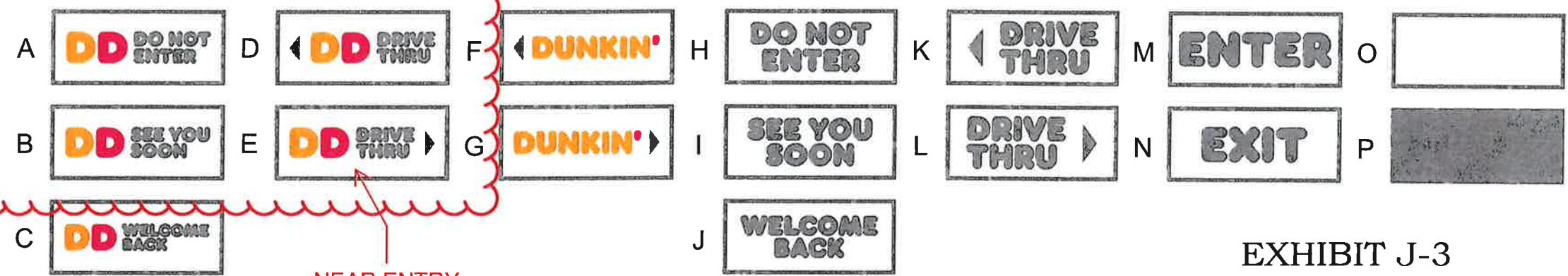


EXHIBIT J-3

RECEIVED  
AUG 30 2022  
COMMUNITY DEVELOPMENT DEPT

SIZE	H1	W1	D1	S.F. (BOX)
ALL	13"	30.5"	5"	2.75'
CUSTOM	-	-	-	-
PMS				VINYL / PAINT
PMS 165 - DUNKIN' ORANGE				3M #3630-3123
PMS 219 - DUNKIN' PINK				3M #3630-1379
PMS 7540C - DUNKIN' GRAY				3M #7725-41
PMS COOL GRAY 1C				3M #7725-11



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE  
DIRECTIONAL SIGNS

DATE: 05.25.2020 REV. #05  
DUNKIN' BRANDS INC. CONSTRUCTION SERVICES

DD-SS-DS-01

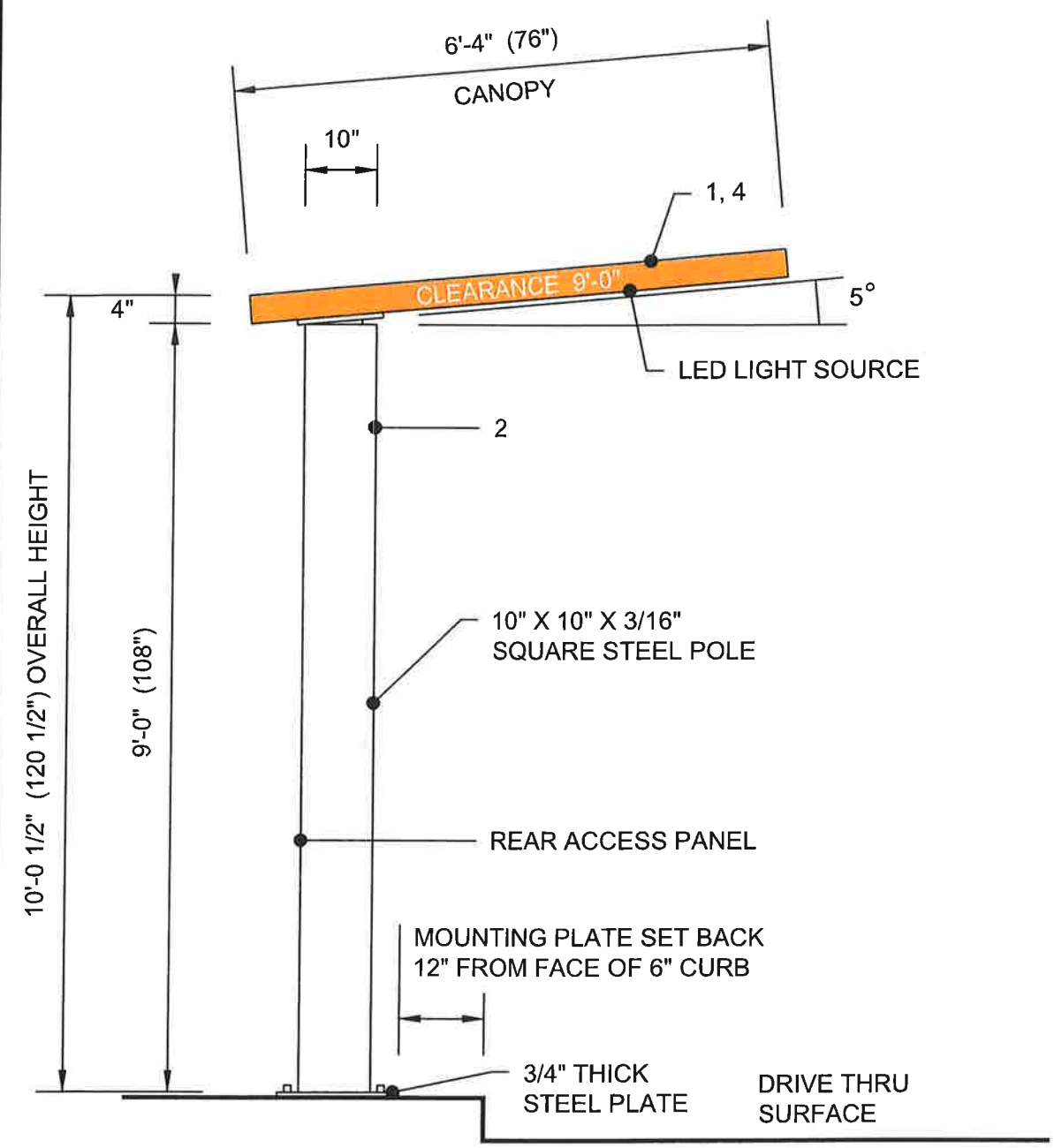


NOTES

1. PAINT TO MATCH ORANGE PMS 165 C, GLOSS FINISH
2. PAINT TO MATCH PMS COOL GRAY 1 C, GLOSS FINISH
3. BLACK VINYL, ARLON 2100-03. MIC BY OTHERS.
4. BREAKAWAY SWIVEL TOP

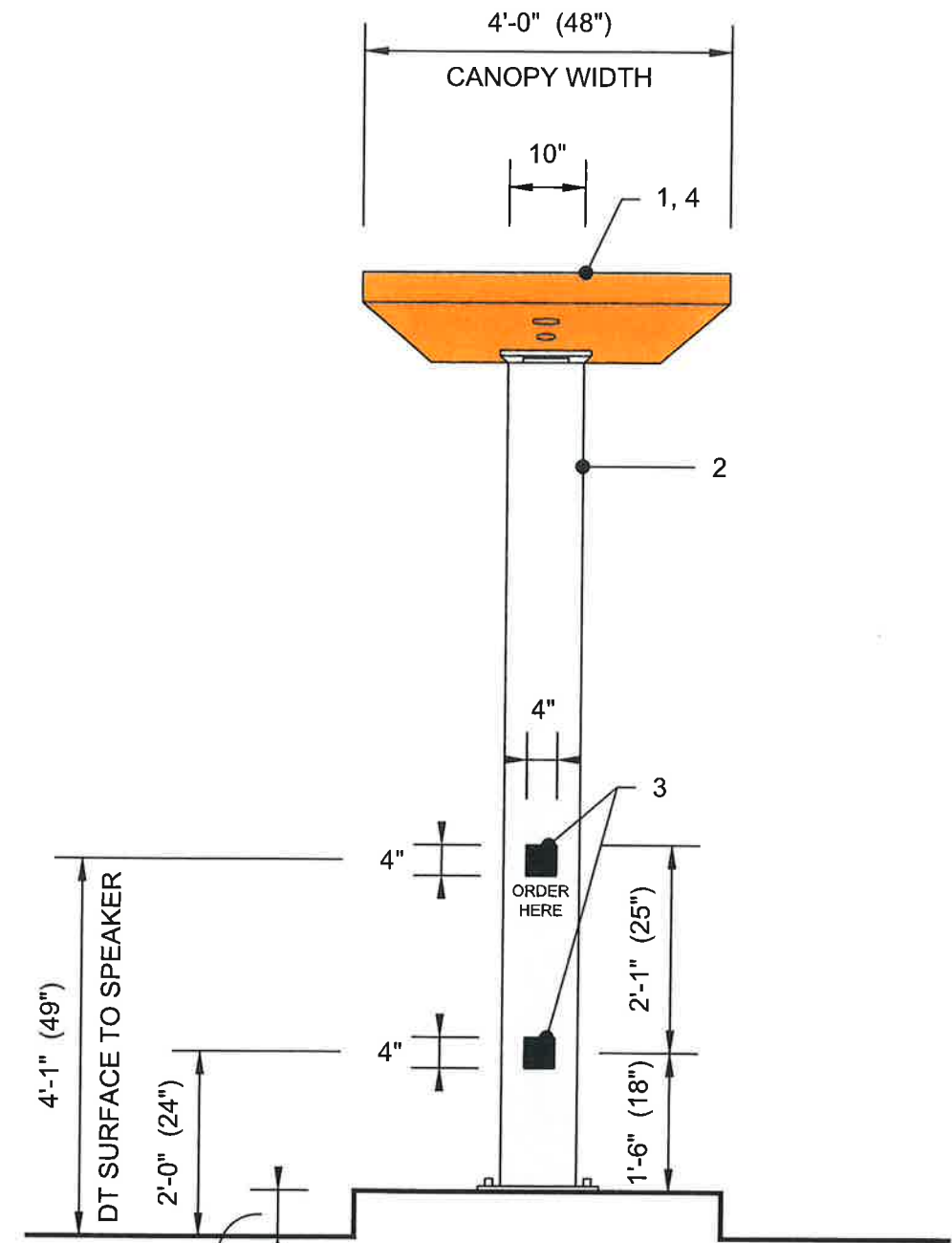
ADDITIONAL NOTES:

ARTWORK FONT : DUNKIN SANS DISPLAY  
 120 VOLT CIRCUIT, TO BE CONFIRMED BY SITE  
 CLEARANCE TO BE CONFIRMED BY SITE  
 TOP HAS TWO DOWN LIGHTS



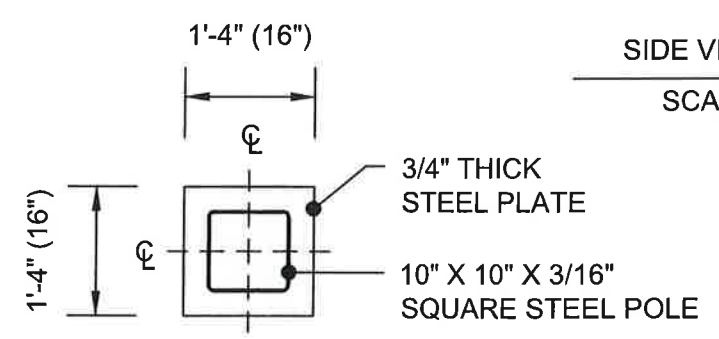
SIDE VIEW (APPROACH)

SCALE : 1/2" = 1'-0"



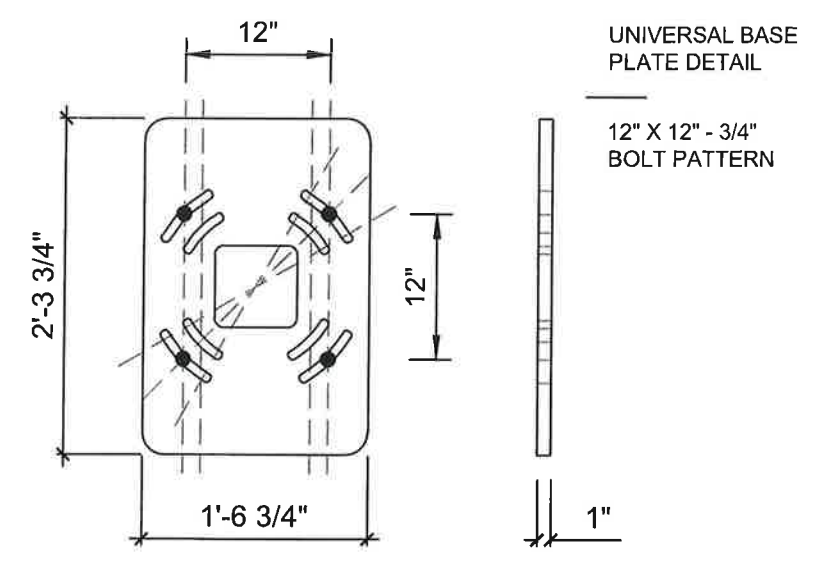
FRONT VIEW (ELEVATION)

SCALE : 1/2" = 1'-0"



MOUNTING PLATE DETAIL

SCALE : 1/2" = 1'-0"



UNIVERSAL BASE PLATE DETAIL

12" X 12" - 3/4" BOLT PATTERN

EXHIBIT J-4

RECEIVED

AUG 30 2022

COMMUNITY DEVELOPMENT DEPT

PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

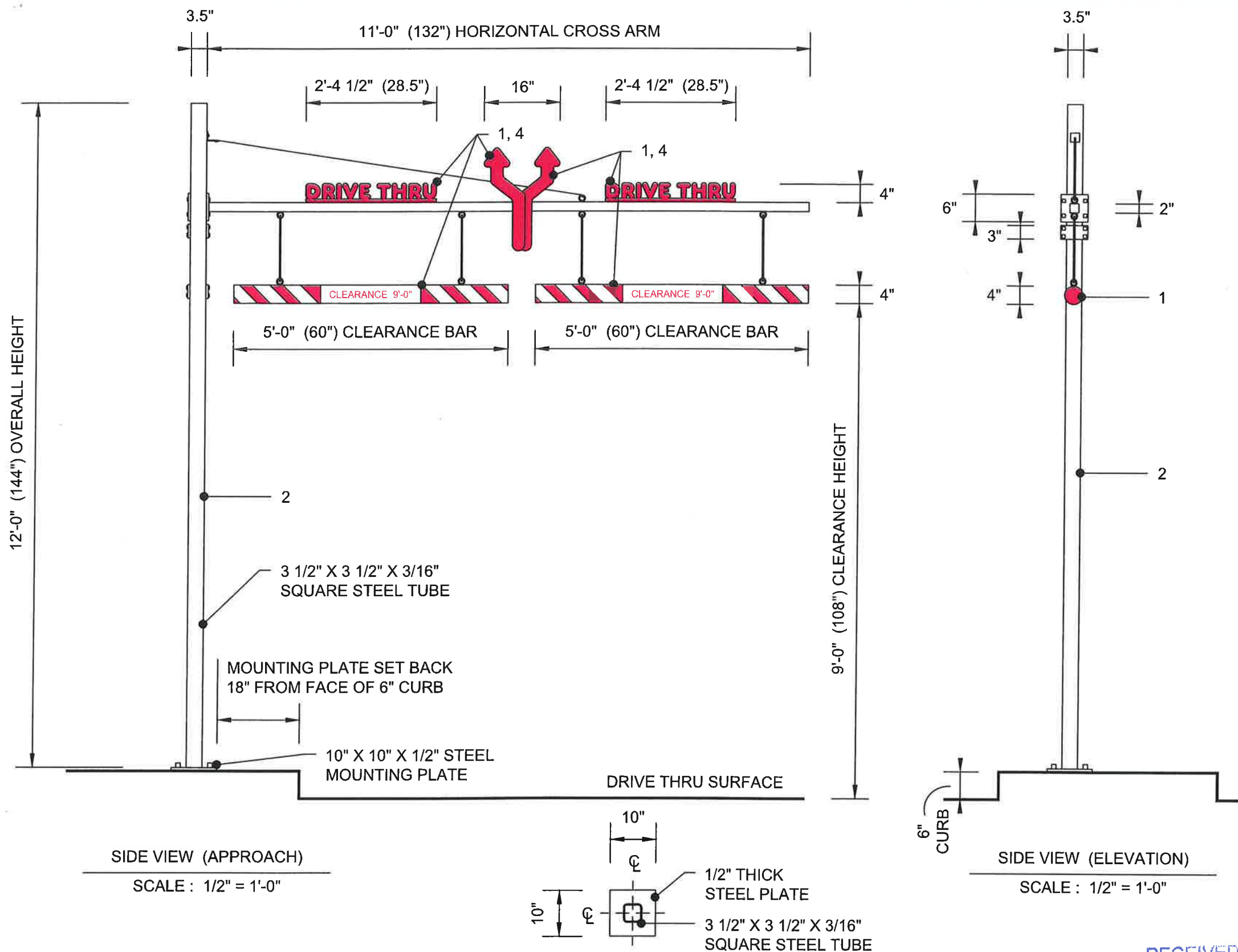


THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE  
 ILLUMINATED DRIVE THRU CANOPY SIGN

DATE: 05.25.2020 REV. #05  
 DUNKIN' BRANDS INC.  
 CONSTRUCTION SERVICES

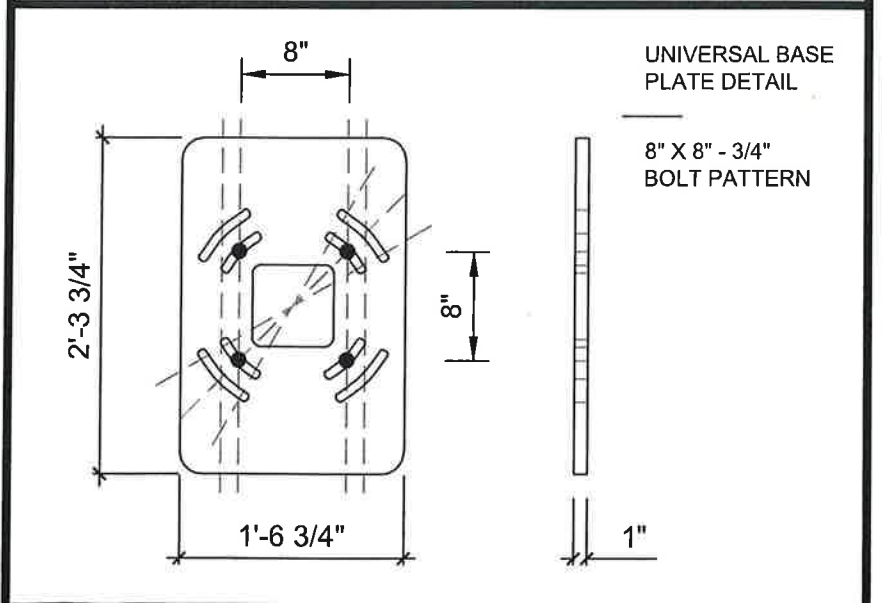
DD-SS-DT-01



NOTES

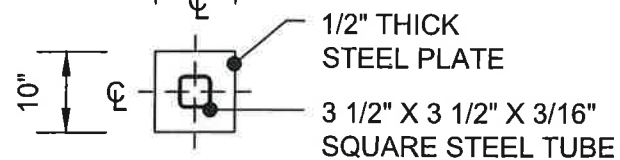
1. PAINT TO MATCH PMS 219 C, GLOSS FINISH
2. PAINT TO MATCH PMS COOL GRAY 1 C, GLOSS FINISH
  
4. OPTIONAL REFLECTIVE FILM;  
 3M IJ680CR-10 SCOTCHLITE REFLECTIVE  
 MCS (LATEX OR SOLVENT INKS)  
 8519 LUSTER PROTECTIVE LAMINATE PRINTED TO MATCH ...  
 - PMS 165 DUNKIN' ORANGE  
 - PMS 219 DUNKIN' PINK  
 - PMS 7540C DUNKIN' GRAY  
 - PMS COOL GRAY 1C

ADDITIONAL NOTES:  
 ARTWORK FONT : DUNKIN SANS DISPLAY  
 120 VOLT CIRCUIT, TO BE CONFIRMED BY SITE  
 CLEARANCE TO BE CONFIRMED BY SITE



PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

SIDE VIEW (APPROACH)  
 SCALE : 1/2" = 1'-0"



MOUNTING PLATE DETAIL  
 SCALE : 1/2" = 1'-0"

SIDE VIEW (ELEVATION)  
 SCALE : 1/2" = 1'-0"

RECEIVED  
 AUG 30 2022  
 COMMUNITY DEVELOPMENT  
 DEPT

EXHIBIT J-5



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE  
 NON-ILLUMINATED DRIVE THRU STRUCTURE

DATE: 05.25.2020 REV. #05  
 DUNKIN' BRANDS INC.  
 CONSTRUCTION SERVICES

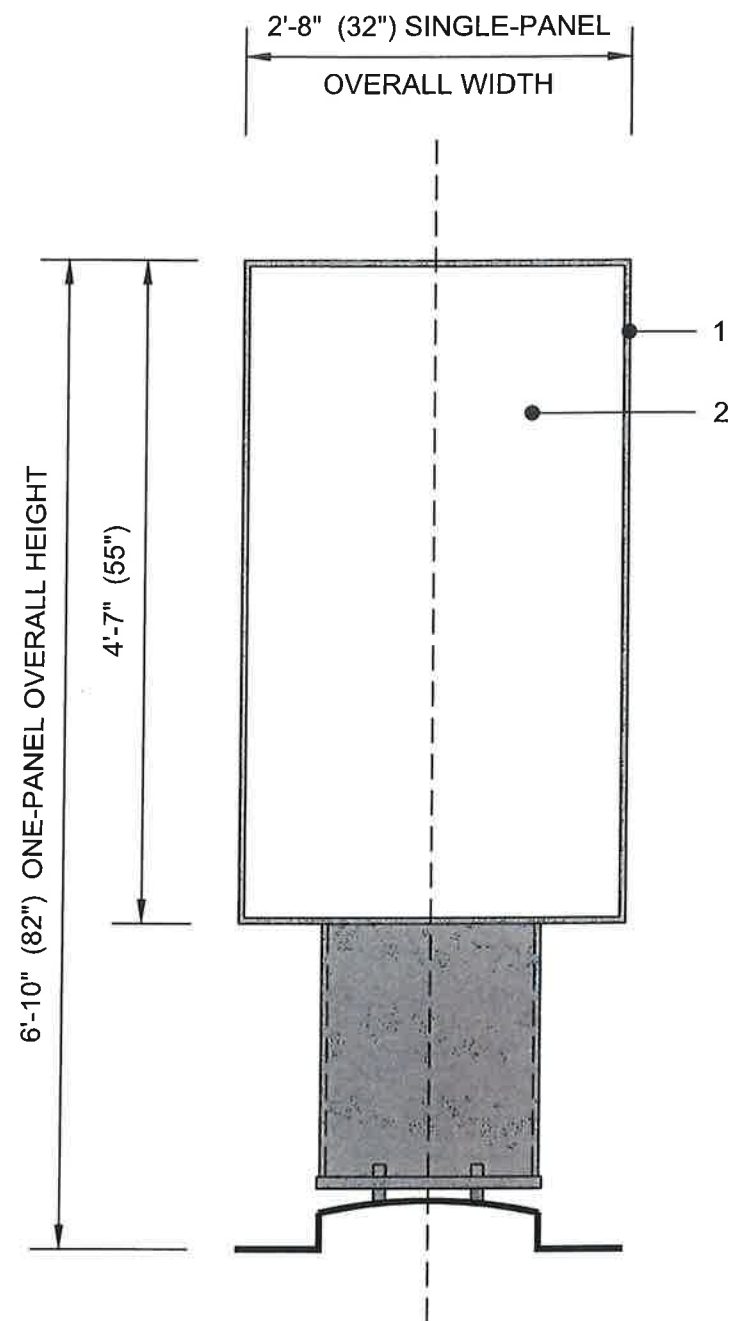
DD-SS-DT-03

NOTES

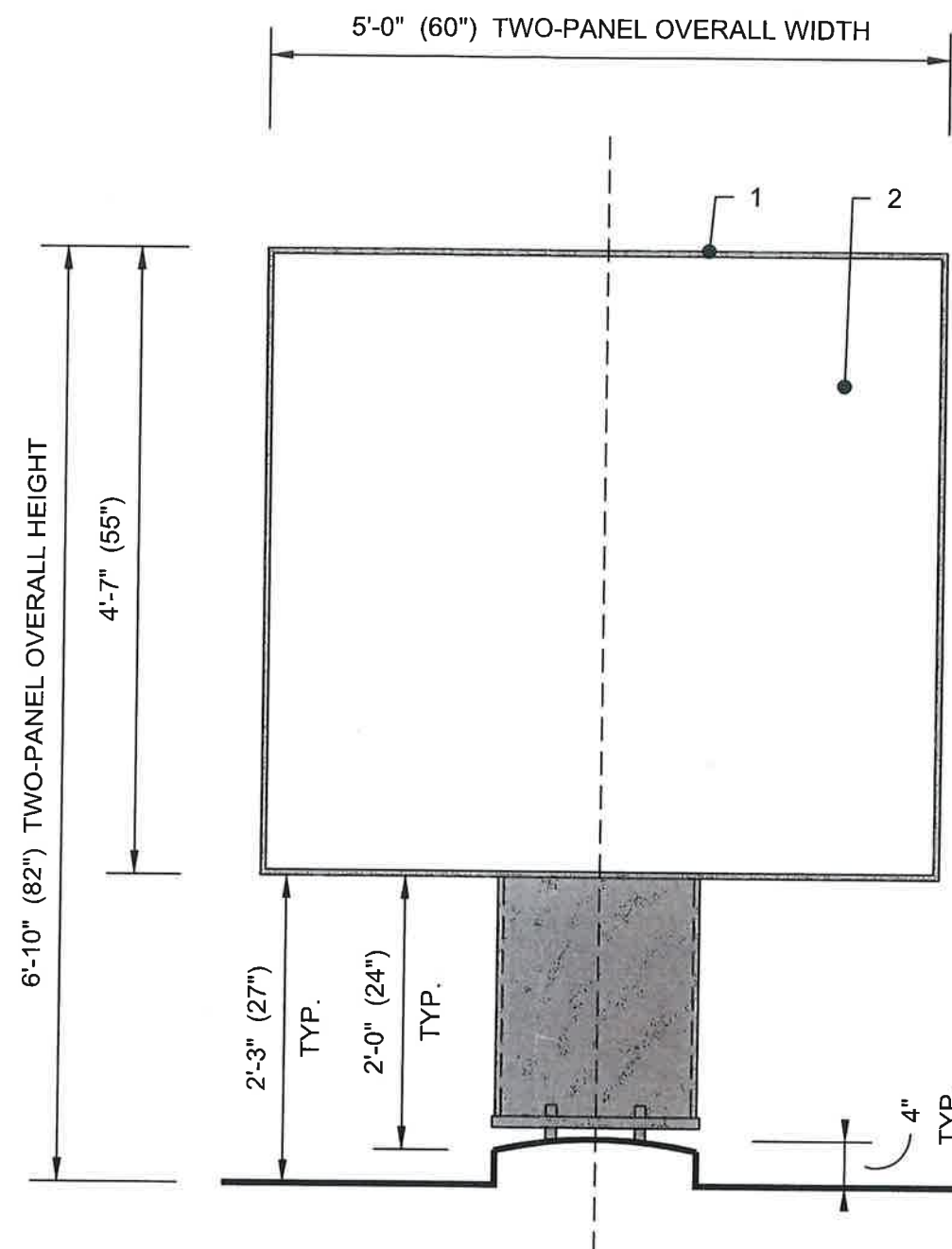
1. MENUBOARD IS POWDER COATED OR PAINTED TO MATCH PMS 7540C (CABINET, BASE CLADDING, DOOR FRAMES & EXTENDER FRAMES)
2. SAMSUNG OHF SERIES DISPLAY MENUBOARDS, OH55F - 55"

ADDITIONAL NOTES:

ARTWORK FONT : DUNKIN SANS DISPLAY



FRONT VIEW (SINGLE PANEL)  
SCALE : 3/4" = 1'-0"



FRONT VIEW (TWO & THREE PANEL)  
SCALE : 3/4" = 1'-0"

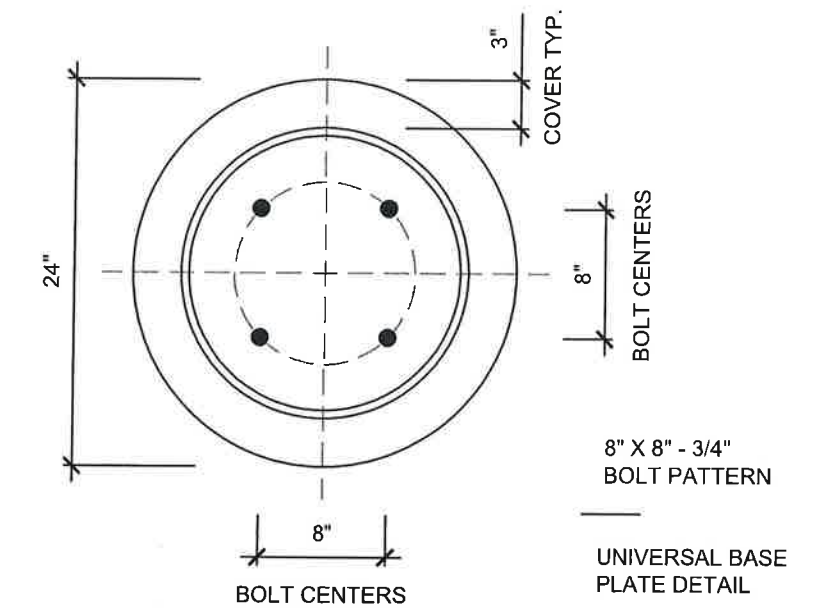


EXHIBIT J-6

RECEIVED

AUG 30 2022

COMMUNITY DEVELOPMENT  
DEPT



THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWINGS.

DD BUILDING & SITE SIGNAGE  
MULTIPLE PANEL DIGITAL MENU BOARDS

DATE: 05.25.2020 REV. #05

DUNKIN' BRANDS INC.  
CONSTRUCTION SERVICES

DD-SS-DT-09

PMS	VINYL / PAINT
PMS 165 - DUNKIN' ORANGE	3M #3630-3123
PMS 219 - DUNKIN' PINK	3M #3630-1379
PMS 7540C - DUNKIN' GRAY	3M #7725-41
PMS COOL GRAY 1C	3M #7725-11

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

September 26, 2022

**TO:**  
Chairman and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning &  
Economic Development  
Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Special Use Permit for a Microbrewery, in accordance with Section 16-3-11 of the UDO

**APPLICANT/ CONTACT:**  
Mr. William King  
206 Brewing Company, LLC  
600 E. North Avenue  
Carol Stream, IL 60188



**CASE #:** 22-0037

**LOCATION:** 600 E. North Avenue

**PROJECT NAME:** 206 Brewing Company, LLC



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Shoppes at Carol Stream)	Corridor Commercial
North	Village of Glendale Heights I Industrial District	Industrial (Spraying Systems)	Industrial
South	B-3 General Business District	Commercial (Carol Plaza)	Corridor Commercial
East	B-3 General Business District	Commercial (Grace Plaza)	Corridor Commercial
	O-S Office and Service District		
West	B-3 General Business District	Commercial (Carol Stream Marketplace)	Corridor Commercial

The property highlighted above is located at the southeast corner of North Avenue and Schmale Road.

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## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed microbrewery is compatible with this designation.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letters from William King received August 5, 2022 and August 31, 2022 (Exhibit A), Public Notice, Site Plan (Exhibit B) and Floor Plan (Exhibit C).

**BACKGROUND:**

The applicant, William King, seeks approval of a Special Use Permit for a microbrewery at 600 E. North Avenue in the Shoppes at Carol Stream. Mr. King is a retired Carol Stream firefighter and Air Force veteran, and proposes to operate a microbrewery called 206 Brewing Company. During an economic development workshop held with the Village Board in October 2020, the Board supported allowing new business types in the community such as brewpubs, microbreweries, and video gaming cafes, to provide additional service and food and beverage amenities for residents and visitors to the community. The microbrewery would operate in the 1,368 square foot tenant space formerly occupied by Subway.

---

**Staff Analysis**

---

**SPECIAL USE AMENDMENT**

As illustrated in the submitted cover letter and floor plan, the proposal consists of the following:

- The applicant proposes to have approximately 10 beers in tap, including beers that will be produced on-site and guest taps with beer brought in from other breweries. Ciders, wine, and other beverage selections are also proposed. Food will not be prepared on-site, but customers will be allowed to bring food in from other establishments, or have food delivered to the facility. The applicant will need to obtain Village and State liquor licenses for the proposed microbrewery, and a new Village liquor license classification for microbreweries is currently under review for the business.
- The applicant details the brewing process in his cover letter, but in brief, the process includes heating/boiling and cooling liquids, grains, and hops to produce the variety of beers. The applicant indicates that minimal noise and odors will occur during the beer-making processes, and the tenant space is already equipped with an exhaust system above the proposed brewing area. Should there be any noticeable odors, vapors, or any other impacts to surrounding businesses or properties from the on-site brewing equipment, staff recommends that the applicant remedy the impact immediately in consultation with the Village.
- The applicant anticipates producing approximately 3,000 gallons of beer annually, or between 90-100 barrels of beer. Waste from both the beer production and the food at the facility should fit within existing refuse and recycling containers at the shopping center for disposal purposes. The applicant also indicates that composting of spent grain will also be pursued.
- The applicant states that product deliveries will be limited, and several products will be picked up from local distributors instead. It is also anticipated that brewing will occur on Wednesday mornings, with additional brewing possibly taking place on Saturday mornings.
- The microbrewery is proposed to be open Wednesday-Sunday, with approximately 5-7 employees and seating for approximately 34 occupants. The applicant also proposes to have a membership program, and allowing a “members-only” time at the microbrewery on Wednesday nights.
- Parking requirements for the Shoppes at Carol Stream are as follows:

Business	Area of Use	Code Requirement	Spaces Required
Proposed 206 Brewing microbrewery 1,368 S.F. GFA 786 S.F. NFA	Microbrewery	3 spaces / 250 S.F. NFA	9 spaces
Hong Ning Restaurant 3,001 S.F. GFA 2,100 S.F. NFA	Sit-Down Restaurant	4 spaces / 250 S.F. NFA	34 spaces
Jin 28 Restaurant 3,210 S.F. GFA 2,247 S.F. NFA	Sit-Down Restaurant	4 spaces / 250 S.F. NFA	36 spaces
Pharmacy and Vacant Space 9,900 S.F. GFA 7,500 S.F. NFA	Retail and Service	1 space / 250 S.F. NFA	30 spaces
Starbuck's 1,924 S.F. GFA 1,247 S.F. NFA	Restaurant w/Drive-Thru	2.5 space / 250 S.F. NFA	12 spaces
<b>Parking Spaces Required:</b>			<b>121 spaces</b>
<b>Parking Spaces Provided:</b>			<b>123 spaces</b>
<b>Parking Surplus:</b>			<b>2 spaces</b>

There are currently 123 on-site parking spaces, and parking requirements were calculated for the restaurant, retail, and service uses using net floor area and removing spaces occupied by bathrooms, storage, hallway, equipment, and vestibule areas. There will be a slight surplus of two parking spaces with the inclusion of the parking requirements for the proposed microbrewery. Staff has visited the property on several occasions and has never observed a parking issue. Staff also believes that the property can accommodate the parking demand for the microbrewery, including vehicles making deliveries. There is an 8,800 square-foot former fitness center space that is currently vacant, and staff would re-evaluate parking demand should a non-retail or service business propose to occupy the space.

Staff has reviewed the applicant's operations plan and preliminary floor plan, and supports the proposed use.

## SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed microbrewery will provide a unique (to Carol Stream) adult beverage establishment to the community.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The applicant has provided an operations plan that illustrates the microbrewery will be managed and maintained in an orderly fashion, and should not be detrimental or endanger the public health, safety, morals, comfort or general welfare of the community.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The microbrewery should operate in an orderly fashion, and not have negative effects on surrounding businesses and properties from a parking, sanitation, or operations perspective.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The business is expected to conform to all applicable codes and requirements.



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## Recommendation

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Staff has reviewed the applicant's submittal and supports the Special Use request, which will bring a unique (to Carol Stream) adult beverage establishment to the community. Therefore, staff recommends approval of a Special Use Permit for a Microbrewery for 206 Brewing Company, at 600 E. North Avenue, Case No. 22-0037, subject to the following conditions:

1. That the submitted cover letter (received August 31, 2022), shall be adopted as part of the governing ordinance for the Special Use Permit;
2. That DuPage County Health Department approval of the microbrewery shall be required prior to issuance of any Village building permits;
3. That if there are any noticeable odors, vapors, or any other impacts on surrounding businesses or properties from the on-site brewing equipment, the applicant shall remedy the impact immediately in consultation with the Village; and
4. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

T:\Planning New\Planning\Plan Commission\Staff Reports\2022 Staff Reports\22-0037 206 Brewing Company SUP 600 E North Ave.docx



**Do Not Write in This Space**  
 Date Submitted: 8-5-22  
 Fee Submitted: \$800.00  
 File Number: 22-0037  
 Meeting Date: 9/26/22  
 Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188  
 PHONE 630.871.6230 ▪ FAX 630.665.1064  
[www.carolstream.org](http://www.carolstream.org)

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**FORM A**

**GENERAL APPLICATION  
 PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant 206 Brewing Company LLC Phone 630-784-1932  
 Address 600 E NORTH AVE Carol Stream Fax \_\_\_\_\_  
 E-Mail Address 206Brewing@gmail.com  
 (required)  
 Name of Attorney N/A Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner William KING Phone 630-802-1926  
 (required if other than applicant)  
 Address 949 Navajo ST Carol Stream IL 60188 Fax \_\_\_\_\_  
 Name of Architect N/A Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 600 E NORTH AVE Carol Stream

3. Requested Action: (check all that apply)
- |  |  |
|--|--|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                       |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances             |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)          |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)            |
| <input type="checkbox"/> Planned Development – Final       | <input checked="" type="checkbox"/> Special Use Permit (requires Form C) |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Map Amendment (requires Form D-1)               |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Text Amendment (requires Form D2)               |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Staff Adjustment (requires Form E)              |

Describe requested action Special use permit to operate micro brewery at 600 E North Ave

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ \_\_\_\_\_

Annexation approvals:		
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
Gary/North Avenue Corridor Review:		
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
Planned Development:		
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
Special Use:		
<input checked="" type="checkbox"/>	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
Subdivision:		
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
Text Amendment:		
	Building Codes	\$240
	Unified Development Ordinance	\$640
Variation:		
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

William F King JR  
Print Name

  
Signature

7-18-2022  
Date

Revised 07/21



FORM C

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DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

*The special use permit is required in order to operate a micro brewery in already developed space*

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

*The business will responsibly serve Alcohol produced on site + off site. All servers will be BASSET certified*

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

*206 Brewing company employees will police behavior of customers as to NOT impact other businesses. Food purchase from neighboring Restaurants*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

*Property is currently fully developed*

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Property currently developed per Village regulations

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6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

206 Brewing company will follow all requirements determined applicable by Village

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7. Other pertinent information or reason for request.

206 Brewing company will be the first micro brewery in Carol Stream. We have signed a 3 year lease for the space at 600 E North Ave

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on September 7, 2022 and the last publication of the notice was made in the newspaper dated and published on September 7, 2022. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

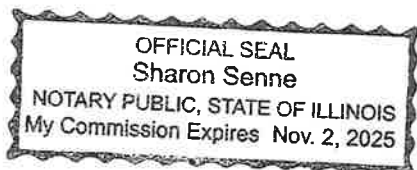
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on September 7, 2022.

Examiner Publications, Inc.

By: Publisher   
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of September, A.D. 2022.

Notary Public





## LEGAL NOTICE PUBLIC NOTICE FILE #22-0037

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, September 26, 2022 at 6:00 p.m. to consider an application from 206 Brewing Company, LLC for the following actions:

A Special Use Permit for a Microbrewery, in accordance with Section 16-3-11 of the Unified Development Ordinance

For the property located at 600 E. North Avenue (PIN 05-04-200-041).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:  
<https://us02web.zoom.us/j/84854202020>

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or  
+1 646 558 8656

Webinar ID: 826 3851 4317

International numbers available:  
<https://zoom.us/j/84854202020>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org).

Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in The Examiner September 7, 2022 0907



600 E North Ave  
Carol Stream, IL 60188  
630-784-1932  
206 Brewing@Gmail.com  
206Brewing.com

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## Village of Carol Stream

### Dear Village Staff,

My name is Bill King. I am a retired Carol Stream Firefighter and an Air Force Veteran. I am applying for a special use permit to operate a Micro-Brewery in the Village of Carol Stream.

206 Brewing Company will be a First Responder and Military themed Micro-Brewery.

The concept for 206 Brewing came about while having lunch with my Brother and Sister-in-law. There was a table next to us where several County Sheriffs officers were seated. They were graphically discussing an incident they were on. To me it seemed like normal conversation but my Sister-in-law was horrified. We ended up leaving prior to ordering. I realized that we (first responders and military etc.) Have much different life experiences that don't translate well to "normal" society. We also have many stories we won't/can't share with "normal" people. Add to that the suicide rate of Veterans and First responders. I realized these people need a "safe space" to talk about these events.

206 Brewing Company will have a membership program that is limited to those who have served their country and/or their community. This will include Military/veteran and first responders current and past. Wednesdays will be reserved for Members only so people with similar and shared backgrounds can come together and share their stories.

We will have a wall of photos and stories of local friends and family who have fallen in the line of duty. Beginning spring of 2023 every month we will release a beer that will be dedicated to someone who has fallen in the line of duty. We will tell their story and profits from sales of that release will go to a related charitable organization in their name.





We will be licensed under the State of Illinois Class 3 Brewer license. This will allow for the sale of beer (Onsite production), wine and spirits produced (Produced off-site). Our focus will be traditional beer styles produced on-site as well as guest taps from other breweries. There will be a selection of Cider, Wine and limited mixed drinks and spirits. The majority of sales will be for on-site consumption. Growlers will be available for take home consistent with state and local regulations.

There will be no food service. Customers will be encouraged to bring in food from neighboring and local restaurants. We will have a variety of snacks available for purchase.

206 Brewing Company produced beer will be brewed on a 1 barrel (31 gallon) electric brewhouse.

Thank you for your consideration,  
Bill King  
Owner  
206 Brewing Company LLC  
630-802-1426

600 E North Ave  
Carol Stream, IL 60188  
630-784-1932  
206 Brewing@Gmail.com  
206Brewing.com

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## Village of Carol Stream

Response to comments on Special Use Permit application.

1-a. We plan to be open:

Wednesday and Thursday 11am-8pm

Friday and Saturday 11am-10pm

Sunday 11am-5pm

For employees I anticipate myself and my wife being the primary workers initially. I expect to have 3-5 part-time employees. As the business grows, I anticipate 1-2 full-time employees in addition to the part-time staff. Hopefully full-time staff will be added no later than next spring. As far as allowing under 21 years of age. I don't want to prohibit people from bringing their children, especially very young. There will be soft drinks, fresh (not over salted popcorn) and other snacks available for them. I hadn't considered entertainment for children. There will be some board games available.

Please advise what would be required to allow children. If necessary, we will make the requirement to be 21 or over.

1-b Information on brewing process:

- i. I will have 10 taps available on main tap tower. The variety of beer and cider will rotate. Due to space and equipment, we will primarily brew ales. This will allow for 10 products to be available on tap. The styles will vary depending on demand. Typical tap list would include a variety of pale ales (West Coast IPA, New England IPA, American Pale ale etc). Our tap list will also include rotating Porters, Stouts, Barley Wines and Barrel aged varieties. We plan to include Non-Alcoholic selections. A brewery named Go Brewing in Naperville is all low/zero alcohol beer. We plan to have one of their beers on tap most of the time. I am also working with a flavoring company to have craft sodas available. We will have rotating cider selection made by local companies and ourselves. We also plan to have rotating guest taps. These will be mostly craft breweries who have particularly exceptional examples of style I am not making.

EXHIBIT A

The brewing process – There are three kettles in the “Brew House” These are electric kettles. The first is a Hot Liquor tank (HLT) the second is the Mash Tun (MT) and the third is the boil kettle (BK). Water is heated in the HLT and once it comes to temperature it is transferred into the MT. At this point grains are added to make the mash (Similar to making oatmeal). After about an hour the grain is washed with more water and transferred into the Boil Kettle. At this point the liquid is called Wort. The wort is raised to a boil. At this time hops are added at various times to create bittering and aroma. After about an hour the boil is shut down and wort is cooled. Once it reaches under 100 degrees it is transferred into a fermenter. Once all wort is transferred to fermenter, the yeast is added (pitched). Temperature control is extremely important. Temperature can be controlled in several ways. For me this control will happen by placing the fermenter in a cooler and setting the cooler to the appropriate temperature. Depending on the yeast used, the fermenter be left in the cooler at temperature for 1-2 weeks to ferment. After fermentation the liquid is now beer but it has no carbonation. The beer is transferred to a “Brite Tank”. This is a pressure capable tank. The beer is chilled and put under pressure with CO2 to carbonate. While in the Brite tank the beer will also clarify. After a couple days the beer can be transferred to kegs and be ready to serve.

As far as noise concerns, we will be receiving our grain premilled so there really won't be any noise beyond normal conversation/music.

There will be some odor from the brewing process. There is an exhaust vent above the brewing area. Minimal odor may be present but not at an offensive level.

ii. Initially Wednesday mornings will be our brew day. The brewing process usually takes about 4 hours. The brewing should be complete or near complete prior to opening. Cleaning will likely occur throughout the day. If multiple brew days are needed, Saturday mornings would be the secondary brew day.

iii. The brew house and fermenters are 1 bbl (31 gallons). I anticipate brewing 31-62 gallons per week. So, the maximum anticipated volume would be about 3,000 gallons annually.

iv. With the 1-barrel brew house only about 70 pounds of grain will be used per batch. This will roughly fill ½ of a standard 33 gallon trash can. Ideally, I will find a local place where this can be composted. I have reached out to another brewery that has a place that composts their spent grain but at this time I am still waiting for a response. Otherwise, it ends up in the regular trash.

There are two dumpsters onsite for the businesses located in the same strip mall. The dumpster on the west side is often filled about 75% prior to pickup. This is primarily from Hong Ning restaurant. The dumpster to the east is usually about 50% full at pickup (based on my observations) this is primarily from Jin 28. I don't foresee any issue with an excess of trash. We will be generating trash from takeout containers guests bring in. The trash will be “tamped down” to reduce volume prior to taking to dumpster.

Based on the capacity of our system there should be very little expired product.

Liquid that may expire would have to be poured down the drain. The worst case would be a full batch that gets infected. This would require the 31 gallon batch be disposed of. This is unlikely to be any cause for concern for the sanitary system. I have sent an email to Sue Ruta at the WRC outlining any foreseeable incidents asking for direction on how to mitigate potential issues.

I-c Product deliveries will be very limited. Due to my size deliveries will be cost prohibitive. My current plan is to pick up most products myself from a local distributor. I will unload from the back of the building. This will have no impact on other businesses. When deliveries are required, I will try to schedule them for Mondays (Hong Ning is closed) and/or mornings prior to 11am to minimize impact on other businesses.

I-d The Membership program will only be on Wednesdays. This concept is still evolving but will not be any more than 1 day per week. All other hours will be open to everyone.

I-e As far as partnering with local restaurants, I absolutely want to do that. I am not sure if there is anything I can do with Grub hub or similar as the recipient not a seller (I hadn't considered that but will look in to it). I will keep a supply of menus from local restaurants and encourage guests to order from them. I have also considered having restaurants come in and sell/serve meals (obviously with health department and Village approval). I have considered food trucks. I have a couple concerns with that though. First positioning of truck. There would probably be space in front of the old Retro Fitness but I would be concerned with guests walking out with alcoholic beverages. That is a total No Go for me and I'm sure the Village and PD would agree. Second and maybe more importantly I don't want to disrespect my neighbors. I would rather my guests order from them rather than a food truck. As time goes on and relationships are built, I will consider them further.

I-f Outdoor seating. As much as I would love to have outdoor seating, I don't see how that would be possible in the current location.

#### 4. Regarding wine and spirits sales

I understand the concern of being more like a Bar rather than a micro-brewery. While I have a very clear picture in my mind how that would look it is sometimes difficult to articulate my reasoning and vision.

Based on personal experience and with many conversations, one issue with micro-breweries is keeping groups engaged. Personal experiences going out with other couples and friends is that not everyone enjoys craft beer. So often times they will stop in for one beer then move on to another location with better drink selection for the rest of the group.

I absolutely DO NOT want to run a bar. My vision is to have premixed drinks available. There are a number of canned or bottled mixed drinks on the market now. This would be the extent of mixed drinks. Things like premixed margaritas would be a prime example.

I would like to have a small amount of wine. Bottles and/or single serve containers would be desired. A very basic selection of "Red or White" wine.

I would like to have a selection of Bourbon available. While this may seem to lean more towards a "Bar", Bourbon and craft beer have become very intertwined. Over the past decade or so many breweries have started "Barrel" programs. This is where they take used Bourbon barrels and age their beer in them. Most commonly stouts are aged this way but I have seen a wide variety of ales aged in barrels. Bourbon pours also tend to attract a more mature crowd. I absolutely do not want to have people coming to "do shots". The Bourbon selections would be mostly "Top Shelf" varieties.

As much as I would like to have the opportunity to prove my concept, at the core I want a brewery. If the license will be denied as proposed, I will take what I can get.

6-a I have sent an email to Sue Ruta at WRC describing all chemicals that will be used and ask what, if anything, I need to do in the event I need to dump product or concerns with chemicals used.

As far as plans are concerned, I have included basic drawings of intended upgrades. Fortunately, everything I need structurally is already in place. The electric I need for the Brew house is already in place from the Subway ovens. There is an exhaust vent in place where the brewing equipment will be positioned. I will need to build a bar top. I will discuss further to see what permits may be needed to move forward.

I have uploaded a basic floor plan and very basic plan of the bar I plan to build. I was unclear if a building permit would be required to build the bar since it is pretty much free standing. If these drawings don't meet with your standards I will have professional drawings completed prior to the meeting when scheduled.

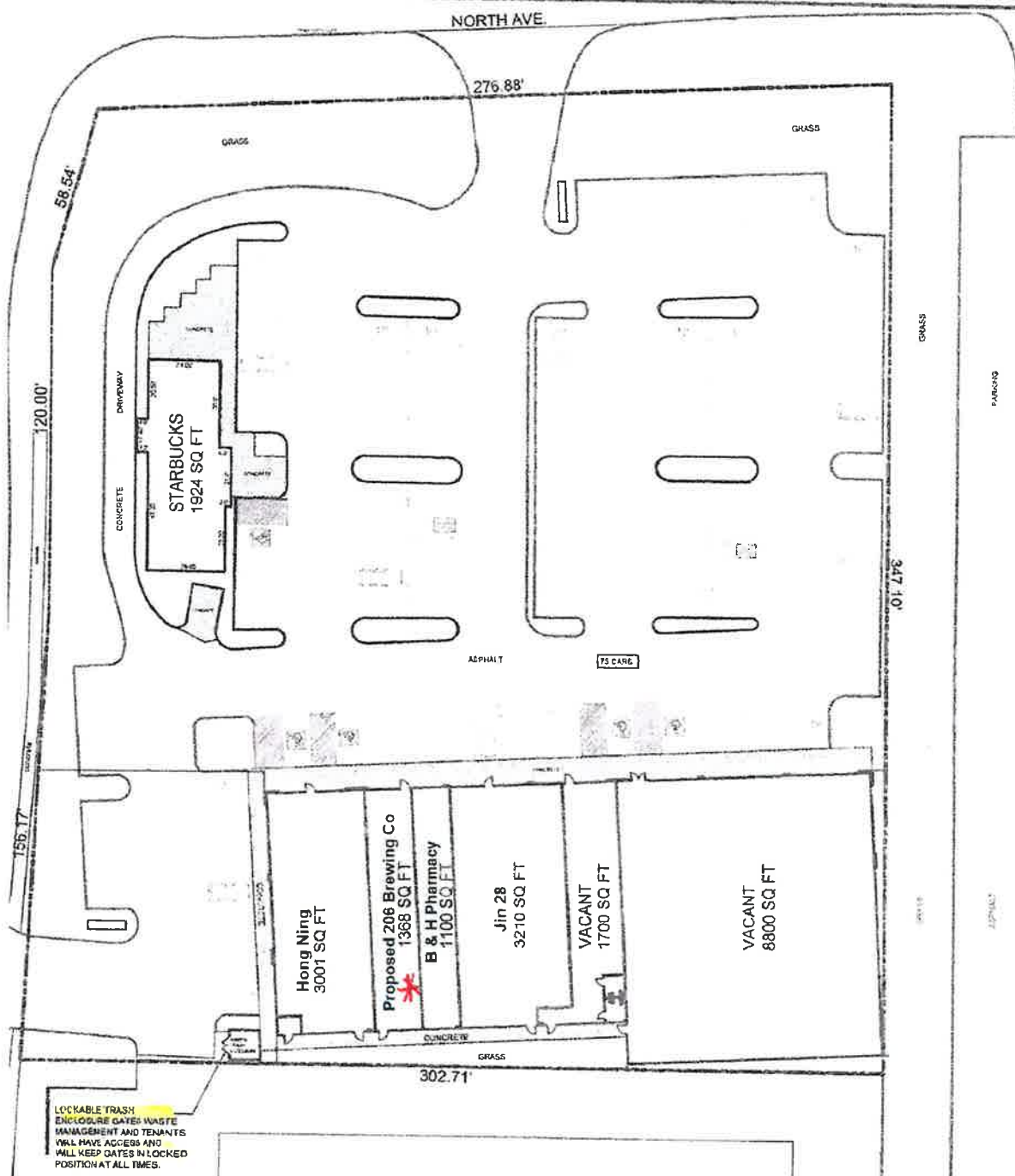
Thank you for your consideration.

Bill King

Owner

206 Brewing Company LLC

630-802-1426



PLAN  
1/8" = 1'-0"

**RESTAURANT REMODEL**  
**THE SHOPPES AT CAROL STREAM**

600 E North Ave

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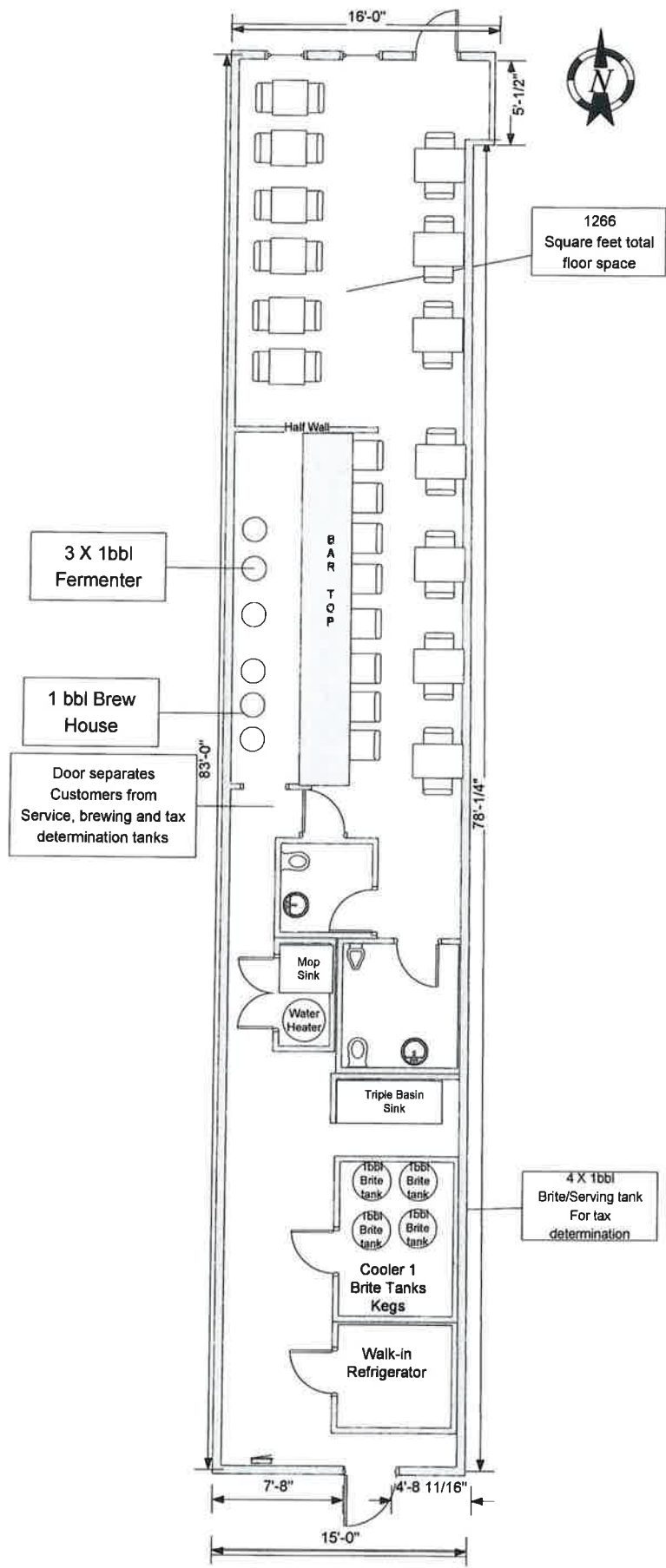
**LEGEND**

- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- EXISTING ELECTRIC

SITE DATA TABLE			
NO.	TENANT	HOURS OF OPERATION	SEAT
1	Hong Ning Restaurant	11am-10pm Mon-Sat, 11am-9am Sun	
2	Proposed 206 Brewing Company	11am-9pm Wed-Thu, 11am-10pm Fri-Sat, 11am-5pm Sun	
3	Jin 28 Restaurant	11am-10pm Mon-Fri, 11am-11pm Sat, 11am-9pm Sun	
4	B & H Pharmacy	Mon-Sun 9am-6pm, Sat 10am-2pm	

**EXHIBIT B**

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# EXHIBIT C

600 E North Ave, Carol Stream IL 60188  
206 Brewing Company