

Village of Carol Stream

AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, DECEMBER 12, 2022 AT 6:00 P.M.

ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON

- I. Roll Call: Present:
Absent:

- II. Approval of Minutes: November 28, 2022

- III. Public Hearing

22-0049– White Castle – 110 W. North Avenue
Amendment to a Special Use Permit for a Drive-Through
Gary/North Avenue Corridor Review

- IV. Presentation:

- V. Old Business:

- VI. New Business:

- VII. Report of Officers:

- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
November 28, 2022.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

- Present: 6 Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi
- Absent: 1 Commissioner Christopher
- Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Patty Battaglia, Planning and Permitting Assistant; a representative from County Court Reporters

MINUTES:

Commissioner Petella moved and Commissioner Tucek seconded the motion to approve the minutes of the Regular Meeting held on October 10, 2022.

The results of the roll call vote were:

- Ayes: 4 Commissioners Morris, Petella, Tucek and Chairman Parisi
- Nays: 0
- Abstain: 2 Commissioners Battisto and Meneghini
- Absent: 1 Commissioner Christopher

The motion passed by a majority vote.

Case #22-0052– LiUNA – 1200 N. Gary Avenue
Plat of Consolidation

Chairman Parisi asked the petitioner to provide his presentation.

Mr. Steven Edwards, representative from LiUNA, stated part of the annexation agreement had a condition of approval to have the two subject properties consolidated.

Chairman Parisi asked Mr. Farace to provide a presentation.

Mr. Farace stated a component of their Rezoning and Special Use approval was to consolidate all lots. The main property is located on Old Gary and the smaller parcel has their training center. Now the lots will be consolidated.

Commissioner Petella moved and Commissioner Morris seconded the motion with no further discussion. The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi
 Nays: 0
 Abstain: 0
 Absent: 1 Commissioner Christopher

The motion passed by unanimous vote.

PUBLIC HEARING:

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Meneghini moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi
 Nays: 0
 Abstain: 0
 Absent: 1 Commissioner Christopher

The motion passed by unanimous vote.

Case #22-0020 – Revir Carol Stream – 400 Main Place
Amendment to a Special Use Permit for a Planned Development

Chairman Parisi swore in Mr. Eric Carlson from EAC Architects and asked him to give his presentation.

Mr. Carlson stated he is speaking on behalf of the applicant, Mr. Rushi Shah, who is present and the owner of the Mag Mile Capital. Mr. Shah is looking to redevelop the existing office building at 400 Main Place into 18 residential units with some studio, 1, 2 and 3 bedroom apartments. The building itself will stay the same but the site will be redeveloped. A realignment of the parking will allow for additional spaces and the area along the west end of the building will be converted to parking also. The other two buildings to the west are also part of the purchase and use a shared parking lot. Reconfiguring the parking will make it more cohesive and include the middle building. We are adding some sidewalks that connect the building with the other existing building along with a gazebo area to be utilized by all three buildings. The façade and entryway will remain the same but we are adding an elevator to meet ADA requirements. We are also enhancing the lobby, adding a formalized entry on the west side and replacing the gravel on the south side with some grass per Staff's recommendation.

Chairman Parisi asked for any comments or questions from the audience and there were none.

Mr. Farace stated Mag Mile Capital is the new owner of the three buildings located on Executive Drive and Main Place. They will be repurposing the existing office building to provide 18 additional apartment units. The parking lot will be reconfigured and expanded with an additional lot on the southern end, some parking islands will be added with landscaping as well as some additional landscaping around the

building. The parking meets the necessary requirements. Staff is supportive of this request, with conditions, and is recommending approval.

Chairman Parisi asked for comments of questions from the Commission.

Commissioner Meneghini had no questions at this time.

Commissioner Morris asked what the demographics will be and if they are going to install a playground.

Mr. Carlson stated there is an existing playground.

Chairman Parisi swore in Mr. Rushi Shah so he can answer that question.

Mr. Shah stated there would be mostly families with one or two kids.

Commissioner Petella asked about the trailers in the south parking lot and asked if he planned to put trailers there. He also asked if he read the eight recommendations from Staff and was willing to comply.

Mr. Shah stated that was an old picture and he does not plan to put any trailers in that lot. He also said he is aware of the eight conditions and is willing to comply.

Commissioner Tucek asked if the trash containers could be more centrally located and had a construction concern.

Mr. Shah stated each building has a trash container nearby.

Mr. Farace said if any construction takes place by the other businesses, they would be several feet on Mr. Shah's property and they will be installing a fence on that side.

Commissioner Battisto had no questions.

Commissioner Meneghini asked Mr. Shah if he would be able to comply with the eight conditions recommended by Staff.

Mr. Shah replied yes.

Chairman Parisi asked about the comment on the site plan reading 'concrete to remain' and inquired if that was pertaining to the service drive.

Mr. Carlson stated that area had some old sidewalk and will be replaced with grass.

Commissioner Petella moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 1 Commissioner Christopher

The motion passed by unanimous vote.

This case will go before the Village Board on Tuesday, December 5, 2022, at 6:00 PM for review.

Case #22-0051 – Carol Stream Animal Hospital – 160 W. Elk Trail

Amendment to a Special Use Permit for a Boarding and Kennel Facility (Indoor)

Chairman Parisi swore in Dr. Mondrian Contreras from Carol Stream Animal Hospital and asked him to give his presentation.

Dr. Contreras stated original plan did not include the outdoor training areas and just reflected grass. The three fenced in areas, approximately 20 x 30, will be used for training purposes and used about 10 percent of the time.

Chairman Parisi asked for comments or questions from the audience and Mr. Farace stated a comment was received and it should be on record.

Mr. Farace stated the comment is from Michelle and Robert Kronam, 161 W. Elk Trail. The email was titled "Fence Change for Carol Stream Central Bark". The email read: We are opposed to the fence change and outdoor use for Central Bark. Our main concern is them not being able to abate barking dogs outside in the yard. There are THREE people in this building that work nights and SLEEP during the daylight hours so ANY barking will DISTURB their rest to be able to work and perform their overnight jobs! It also will interfere with quiet enjoyment that is guaranteed under village and Illinois state law! We as the village vote NO to the proposed change and have Central Bark stick with the original plan of a wooden privacy fence with soundproof panels. Thank You for this consideration!

Dr. Contreras replied that dogs will bark, but by having the outdoor, fenced in areas we will be able to control the barking. Also, all dogs have to pass a behavioral assessment. Any dog that continually barks inside will not be allowed to remain in our facility because that dog is in distress. In addition, the average decibel of a screaming child is 90 decibels. An average decibel rating of a barking dog is 80 decibels.

Mr. Farace stated Dr. Contreras is seeking an amendment for a Special Use Permit he received last year for a kennel and boarding facility indoors. Central Bark is a franchise with two other locations in Illinois. The training area kennels are outdoor. The Lakehaven Apartment Complex is located to the south; to the north are the Carolshire Condominiums (where the Kronam's live) across the street. To the west is Park District Property where the path and Mitchell Lake is located. Staff was under the impression the dogs would be limited to outside activity, and a wood fence was proposed on the other sections that the Park District did not repair. Now Dr. Contreras is proposing to maintain the 6-foot chain link fence, add an angled extension at the top bringing the total height to 7 feet (allowed per code) and install mesh screening on the entire fence. Each 20 x 30 fenced, training area will have 12 dogs per one employee. The rear area would be used for agility training which is one dog and one employee. In general, Staff is supportive of the proposal but would like feedback from the Commission on the following: Amount of dogs inside was projected to be 70-80 dogs. If each training area has 12 dogs that would be about half of the dog population outside and are concerned that might be excessive. Staff thought maybe the dogs outside for training could be limited. Staff is also working with Dr. Contreras on the plans regarding the utility easement on the west side of the property. Staff recommends approval but questions if there should be a limit to the number of dogs outside.

Chairman Parisi asked what the intent of the slope or angle at the top of the fence.

Dr. Contreras replied that it would not be barbed wire, but to protect the dogs if they were able to get over the first two fences.

Chairman Parisi asked for comments or questions from the Commission.

Commissioner Battisto stated there are only close neighbors (approximately 40 feet) on the rear side of the property and because of that distance, he does not have a concern. Regarding limiting the number of dogs, I really do not have a number to suggest.

Commissioner Tucek stated he does not know a number for limiting dogs, but is concerned about a dog walking on the path might bark and then trigger all the other dogs outside to bark. He also asked what the purpose of the mesh is in the fencing.

Dr. Contreras replied the fenced areas are further away from the path. Dogs will bark but it will not be excessive.

Someone in the audience wanted to speak and Chairman Parisi received approval from the Commission to allow.

Mr. Bruce Carol, partner to Dr. Contreras, stated the first nine sections of the fence to the gate, along the pond, would have a see through mesh from the parking lot to the first gate so people can see coming out of the lot. It will be a solid mesh around the whole building so you cannot see through it.

Commissioner Petella stated with 12 dogs in each training area you will have 36 dogs outside which is a lot and you're going to have barking and there is no way to stop it. I am not sure how one person can train 12 dogs at a time, but people have a legitimate concern especially right behind you. Will you always have people outside with the dogs.

Dr. Contreras responded there would always be a person in each training area and the most dogs in each area will be twelve but could have less.

Chairman Parisi asked if the number 12 was determined by the amount of space.

Dr. Contreras stated that was instituted for three years because it used to be 20. This is a franchise decision because the training is more successful with no more than 12 dogs.

Chairman Petella asked what kind of surface will be inside the three fenced areas, what he plans to do if the dogs are territorial and constantly bark which might have screaming people on the phones, and what are the hours employees will be with the dogs.

Dr. Contreras said a synthetic turf will be used and the dogs cannot be territorial at all and will not be allowed at the facility. We do not want screaming people on the phones because it is not good for business. People will be with the dogs from 6:30 a.m. – 7:00 p.m. but nobody on the premises overnight.

Chairman Parisi asked what is commonplace and compare yourself to a different franchise or provide an industry norm.

Dr. Contreras stated the model for every franchise is to get as many dogs as you can and have the largest number of dogs per person as legally possible. I do not know what that number is. The difference between us is we are teachers, not lifeguards.

Commissioner Morris asked if dogs are left overnight because the owners are on vacation and if there is an area for them to go and how often is that area cleaned.

Dr. Contreras stated there is an area and it is cleaned up multiple times per day.

Commissioner Meneghini asked what the thinking was behind going from 25 dogs to 12.

Dr. Contreras stated the reasoning behind it was we are able to interact with them better, group them better and decrease the number of injuries and sicknesses for whole health purposes.

Chairman Parisi asked if there is excessive barking and there was a recommendation for an action plan, what would be your action plan or what would you do if a repeated caller complained about the barking.

Dr. Contreras stated my action would be to have less playgroups and less dogs running outside at one time.

Chairman Parisi reiterated stating you would reduce the frequency of the playgroups outside.

Dr. Contreras said he was correct.

Commissioner Battisto stated our role as Commissioners is to zero in on the noise issue because that is what our residents would want us to do a good job of. The 2-3 yard distance from the closest resident, should be enough distance for the noise to not be a major problem.

Chairman Parisi stated the acoustics will travel separately whether it is winter or summer but landscaping would affect the sound, but I'm not going to promote landscaping because that would provide a nightmare for you. I am also not concerned with the neighbor across the way. Most of the sound will travel to the west where the pond is located. A wooden fence might help a little more, but the sound will just bounce off the fence and go up. My recommendation would be to have an understanding with Dr. Contreras that if the barking sound becomes an issue, he will be able to abate it.

Commissioner Petella moved and Commissioner Battisto seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes:	6	Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi
Nays:	0	
Abstain:	0	
Absent:	1	Commissioner Christopher

The motion passed by unanimous vote.

This case will go before the Village Board on Tuesday, December 5, 2022, at 6:00 PM for review.

PUBLIC HEARING:

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Meneghini moved and Commissioner Morris seconded the motion.

The results of the roll call vote were:

Ayes:	6	Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi
Nays:	0	
Abstain:	0	

Absent: 1 Commissioner Christopher

The motion passed by unanimous vote.

Some Commissioners viewed the Village Board meeting, so there was a brief discussion about the sale of cannabis in Carol Stream.

NEW BUSINESS:

Mr. Farace asked our new Assistant Planner, Bravo Berisha, to introduce himself.

OLD BUSINESS:

OTHER BUSINESS:

ADJOURNMENT:

At 7:17 p.m. Commissioner Morris moved and Commissioner Tucek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 1 Commissioner Christopher

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT
December 12, 2022

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, Planning & Economic
Development Manager

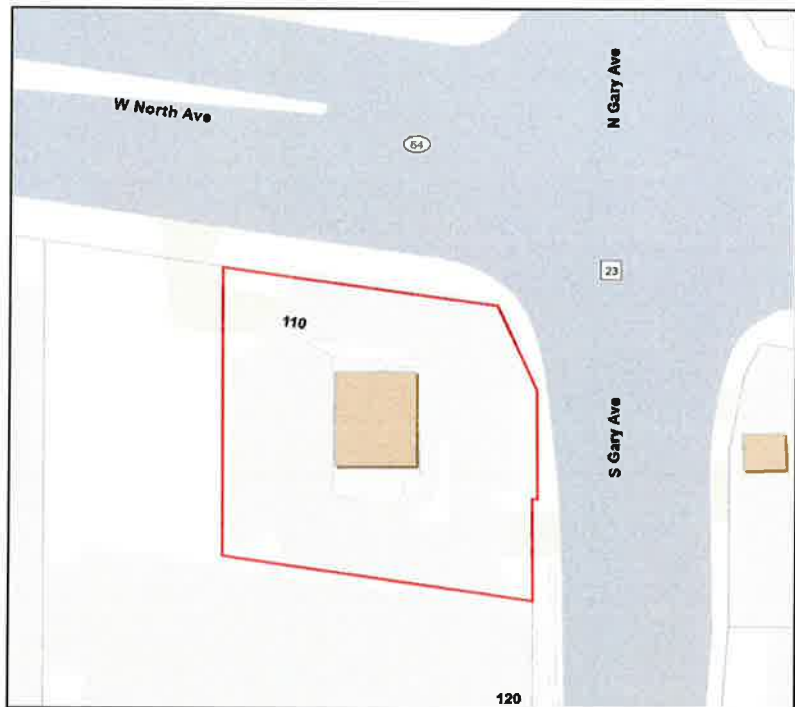
ACTION REQUESTED:
The applicant is requesting
approval of the following:

- Amendment to a Special Use Permit for a Drive Through, in accordance with section 16-3-11 of the UDO
- Gary/North Avenue Corridor Review, in accordance with Section 16-3-7 of the UDO

APPLICANT/ CONTACT:
Todd Harkins
DLZ
6121 Huntley Road
Columbus, OH 43229



CASE #: 22-0049
LOCATION: 110 W North Avenue
PROJECT NAME: White Castle



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (White Castle Restaurant)	Corridor Commercial
North	B-3 General Business District	BP Gas Station	Corridor Commercial
South	B-3 General Business District	Commercial (Nova Express Car Wash)	Corridor Commercial
East	B-3 General Business District	Shell Gas Station	Corridor Commercial
West	B-3 General Business District	Commercial (Nova Express Car Wash)	Corridor Commercial

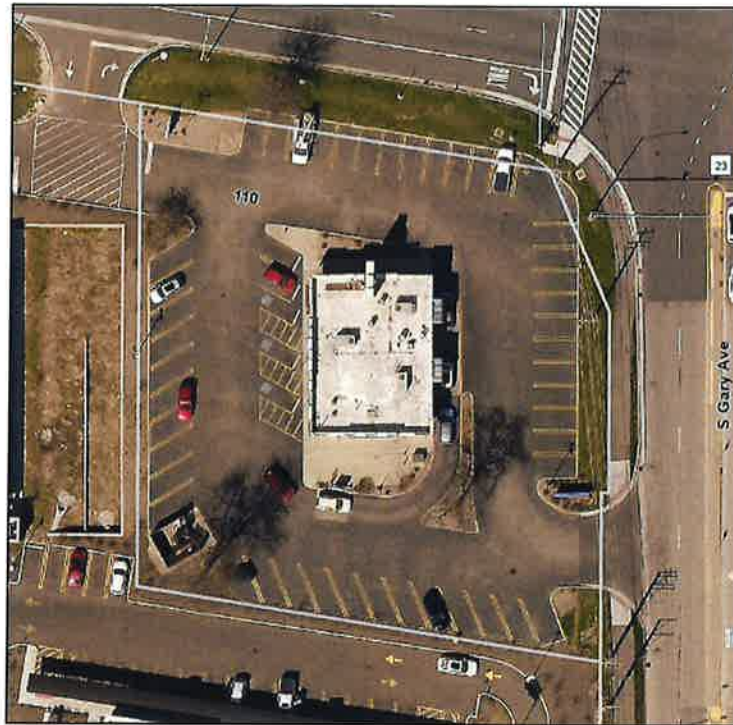
The property highlighted above is located at the southwest corner of North Avenue and Gary Avenue

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The continued use of the property as a restaurant with drive-up service is compatible with this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter from Todd Harkins dated October 7, 2022, Public Notice, Title Sheet (Exhibit A), ALTA Survey (Exhibit B), Site Demo Plan (Exhibit C), Site Improvement Plan (Exhibit D), Site Grading Plan (Exhibit E), Site Utility Plan (Exhibit F) Site Landscape Plan (Exhibit G), Details Sheet (Exhibit H), Architectural Removal and Floor Plan (Exhibits I-1 and I-2), and Exterior Elevations (Exhibits J-1 and J-2).

BACKGROUND:

The applicant, Todd Harkins with DLZ, on behalf of White Castle, requests approval of an Amendment to a Special Use Permit for a drive through expansion for the existing restaurant at 110 W North Ave, along with Gary/North Avenue Corridor Review. The restaurant originally received Special Use approval in March 1985 under Ordinance No. 85-03-23. In light of growing drive-through services as an extension of the pandemic, White Castle proposes to install a second order point on the south side of the property, with a second drive-through lane next to the existing lane.

Staff Analysis

SPECIAL USE AMENDMENT

As described in the submitted cover letter, White Castle proposes the following modifications to the site:

- A second drive-through lane will be constructed next to the existing lane.
- A second order point is proposed directly south of the existing ordering point, and will include a new menu board.
- Similar to other restaurants with dual drive-through lanes, both lanes will converge back to a single lane to proceed to the payment window along the east side of the building.
- New wall signage with LED channel letters and new monument signage will be installed, both of which will meet the Village’s UDO guidelines.
- New landscaping will be installed north of the building, at the northeast corner of the property, along Gary Avenue to provide parking lot screening, and along the two drive through lanes for screening purposes. Proposed landscaping will meet the Village’s landscape requirements per the UDO.
- Façade modifications include modifying the roofline with a decorative EIFS cornice, and inclusion of stone veneer at the base of the building. The modified roofline will provide adequate screening of rooftop mechanical equipment. New awnings will be also be installed over windows, and a hospitality door will also be installed on the east side of the building to allow for the proposed order pickup window to open as a door to the drive through lane to better serve customers.
- Parking requirements for the subject property are as follows:

Business	Code Requirement	Spaces Required
White Castle 2,698 sq ft NFA	2.5 / 250 NFA	27
	Parking Spaces Required	27
	Parking Spaces Provided	33 + 2 (ADA)

There are currently a total of 45 on-site parking spaces. 10 Spaces will be removed in order to make room for the drive through expansion. There will be a total of 35 on-site parking spaces, with two of those spaces being ADA compliant for handicapped individuals. There will be a total surplus of 8 parking spaces according to UDO requirements. Staff supports the parking modification and has also reviewed traffic flow and the design of the proposed drive-through expansion, and deems it acceptable.

SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the Zoning Code. As stated in §16-15-8(E) of the Zoning Code, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The addition of a second drive-through lane with a menu board for ordering will improve ordering time frequency for restaurant customers, which is geared toward the public convenience for White Castle's customers.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The second drive through lane has been designed to operate in a manner that will not be impede traffic flow or endanger other motorists or pedestrians.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The addition of the second drive-through lane represents a significant investment and should not be injurious to the use or enjoyment of other property in the immediate vicinity, nor substantially diminish or impair property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Most surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

Recommendation

Staff has reviewed the applicant's submittal and can support the Special Use Amendment and Gary/North Avenue Corridor Review request. Therefore, staff recommends approval of an Amendment to a Special Use Permit for a drive through expansion and Gary/North Avenue Corridor Review for White Castle at 110 W North Avenue, Case No. 22-0049, subject to the following conditions:

1. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
2. That parking spaces shall be striped in accordance with the Village's looped striping detail;
3. That the applicant must obtain the required sign permits prior to the installation of any new signage;
4. That if the new roofline does not adequately screen the mechanical equipment or if any additional ground-mounted or roof mounted mechanical equipment is installed, said equipment shall be screened per requirements of the UDO; and
5. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

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RECEIVED

OCT 11 2022

COMMUNITY DEVELOPMENT
DEPT

Do Not Write in This Space

Date Submitted: 10-11-22
Fee Submitted: \$ 2300.00
File Number: 22-0049
Meeting Date: 12/12/22
Public Hearing Required: Y

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Todd Harkins, PE Phone 614-888-0040
 Address 6121 Huntley Rd, Columbus, OH 43229 Fax 614-848-6712
 E-Mail Address tharkins@dlz.com
 (required)
 Name of Attorney _____ Phone _____
 (if represented)
 Address _____ Fax _____
 Name of Owner White Castle System, Inc. Phone 800-843-2728
 (required if other than applicant)
 Address 555 Edgar Waldo Way, Columbus, OH 43215 Fax _____
 Name of Architect DLZ Architecture, Inc. Phone 614-888-0040
 (if applicable)
 Address _____ Fax 614-848-6712

2. *Common Address/Location of Property 110 W North Ave, Carol Stream, IL 60188

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision – Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation – Zoning (requires Form B-1)
<input checked="" type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation – Sign (requires Form B-2)
<input type="checkbox"/> Planned Development – Final	<input type="checkbox"/> Variation – Fence (requires Form B-3)
<input type="checkbox"/> Planned Development – Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action Approval of remodel of existing building and site. Building includes interior and exterior modifications. Site improvements include a new double drive-thru, ADA compliance, and landscaping upgrades.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$2,300.00

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
X	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
X	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

TOOO HARKINS, P.E.

Print Name

T. Harkins, P.E.

Signature

9-30-22

Date

Revised 07/21



FORM C

RECEIVED

OCT 11 2022

COMMUNITY DEVELOPMENT DEPT

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org ▪ website: www.carolstream.org

SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

The proposed double drive-thru will provide greater public convenience by improving site circulation to one-way traffic flow while also reducing wait times.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed double drive-thru also includes ADA upgrades and an accessible route to the building, thus enhancing public safety.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed double drive-thru reduces the amount of pavement on site and provides landscaping upgrades to enhance appearance and increase property values.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The proposed double drive-thru will reduce congestion on site by allowing for more stacking so as to not impede traffic flow.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

No new utilities are proposed on site other than limited electrical work. Drainage will be improved on site as more green space has been provided compared to existing.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

Most of the site will retain existing features with the exception of the improvements outlined above. Parking will be re-stripped to accommodate one-way traffic.

7. Other pertinent information or reason for request.

The interior and exterior of the building will also be improved to allow for more modern materials and aesthetics.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

RECEIVED
OCT 11 2022
COMMUNITY DEVELOPMENT
DEPT

DATE: October 7, 2022
TO: Village of Carol Stream PC/ZBA
500 N. Gary Avenue
Carol Stream, IL 60188
RE: White Castle Improvements – 110 W North Ave
PROJECT # 2221600800

To whom it may concern,

DLZ Architecture, Inc. is requesting Gary/North Avenue Corridor plan review and approval, along with an amendment to the existing Special use for proposed improvements to the White Castle property at 110 W North Ave in Carol Stream.

The project consists of an interior remodel of the existing building, as well as an exterior re-skin of the existing structure to provide modern materials and aesthetics.

Associated site improvements include a new double drive-thru to improve the customer experience, which requires an amendment to the existing special use for a drive-thru facility. The addition of the double drive-thru will also improve on-site circulation by adjusting traffic to a one-way flow. Other site improvements include new ADA compliant parking and an ADA accessible route from the public right-of-way to the main entrance of the building for added customer safety and convenience.

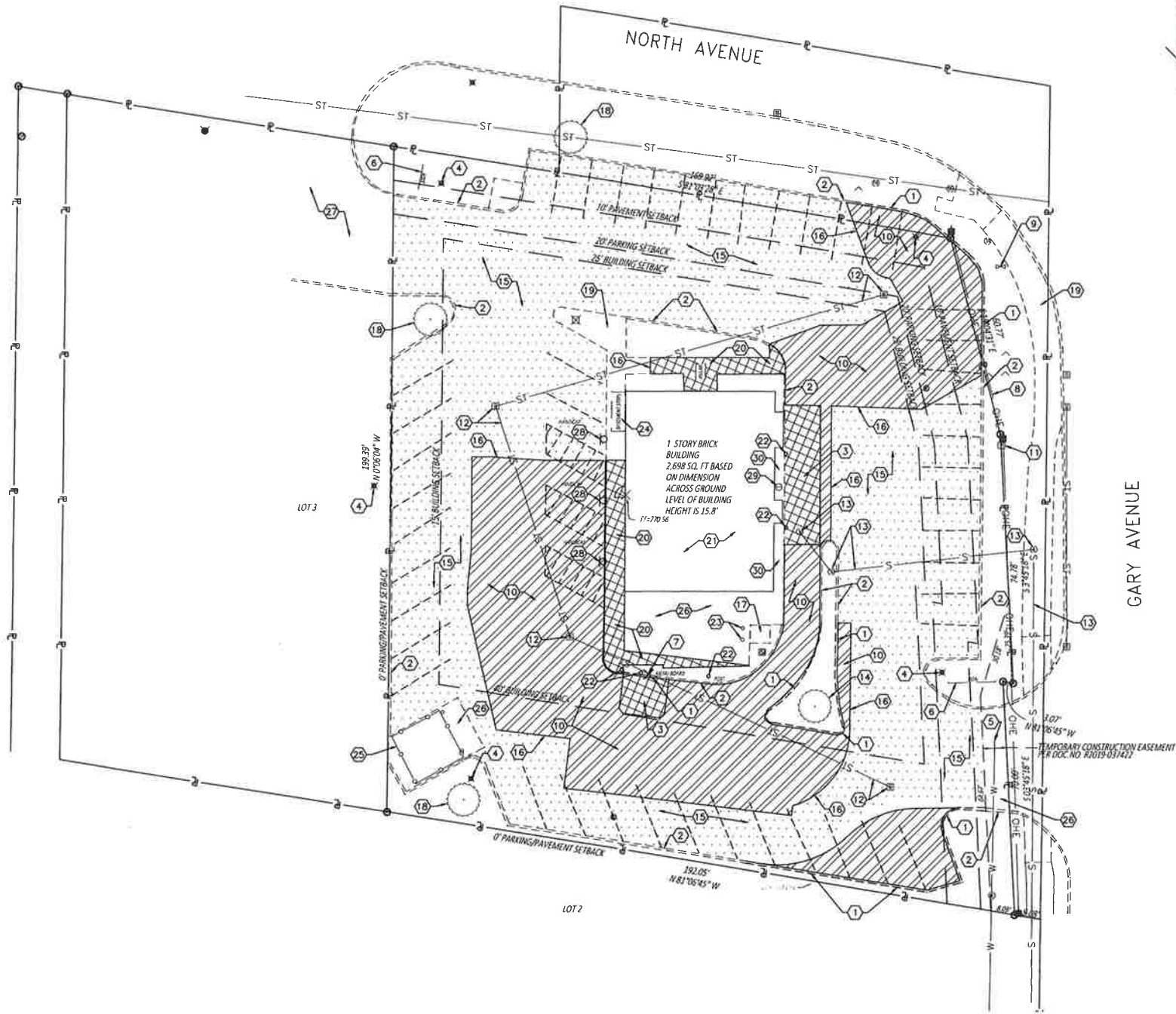
The parking count on site will be reduced while still exceeding minimum requirements. As a result of reducing the parking on site, more green space has been provided than the existing site, as well as additional landscaping.

Please do not hesitate to reach out to me at 614-888-0040 or tharkins@dlz if you have any questions or need any further information.

Sincerely,

Todd Harkins, PE

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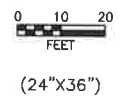
- KEYED NOTES (X)**
- EXISTING CURB TO BE REMOVED AND DISPOSED OF.
 - EXISTING CURB TO REMAIN.
 - EXISTING CONCRETE PAVEMENT AND BASE COURSE TO BE REMOVED AND DISPOSED OF.
 - EXISTING LIGHT POLES TO REMAIN.
 - EXISTING WATER SERVICE TO REMAIN.
 - EXISTING MONUMENT SIGN TO BE RE-FACED. EXISTING POLE TO REMAIN AND BE PAINTED.
 - EXISTING MENU SIGN TO BE REMOVED AND DISPOSED OF.
 - EXISTING ELECTRIC SERVICE TO REMAIN.
 - EXISTING GAS SERVICE TO REMAIN.
 - EXISTING ASPHALT PAVEMENT AND BASE COURSE TO BE REMOVED AND DISPOSED OF.
 - EXISTING UNDERGROUND TELEPHONE SERVICE TO REMAIN.
 - EXISTING STORM SEWER PIPE AND/OR STRUCTURE TO REMAIN.
 - EXISTING SANITARY SEWER PIPE AND/OR STRUCTURE TO REMAIN.
 - EXISTING TREE TO BE REMOVED.
 - EXISTING ASPHALT TO BE MILLED TO A DEPTH OF 1.5". SEE SHEET SD2.0 FOR COORDINATION.
 - SAW CUT EXISTING PAVEMENT, FULL DEPTH.
 - EXISTING ELECTRIC TRANSFORMER TO REMAIN.
 - EXISTING TREE TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING SIDEWALK TO BE REMOVED.
 - EXISTING BUILDING TO REMAIN. SEE ARCHITECTURAL PLANS FOR IMPROVEMENTS.
 - EXISTING GUARD POST TO BE REMOVED AND DISPOSED OF.
 - EXISTING GUARD POST TO REMAIN.
 - EXISTING STAIRS TO REMAIN.
 - REPAIR AND MAINTAIN DUMPSTER ENCLOSURE PER WHITE CASTLE CONSTRUCTION REPRESENTATIVE.
 - EXISTING CONCRETE PAVEMENT TO REMAIN.
 - EXISTING ASPHALT PAVEMENT TO REMAIN.
 - EXISTING SIGN TO BE REMOVED AND DISPOSED OF.
 - EXISTING GAS METER TO REMAIN.
 - EXISTING BUILDING APRON TO REMAIN.

- NOTES**
- AT START OF PROJECT AND PRIOR TO DEMOLITION OF EXISTING CONDITIONS, CONTRACTOR SHALL BE IN CONTACT WITH ADJACENT PROPERTY OWNERS, CITY REPRESENTATIVE AND WHITE CASTLE REPRESENTATIVE TO COORDINATE DEMOLITION TIMING.
 - CONTRACTOR TO REMOVE AND DISPOSE OF ALL DEBRIS AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION PHASE OF THIS PROJECT. CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR DAMAGE TO NEIGHBORING PROPERTIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES.
 - ALL EXISTING UTILITIES ARE SHOWN HEREIN AS REFERENCE ONLY AND ARE BASED ON RECORD OF THE VARIOUS UTILITY COMPANIES AND A FIELD SURVEY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE STATE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - CONTRACTOR SHALL CONFINE ALL STOCKPILING OF DEMOLITION MATERIALS TO WITHIN THE LIMITS OF THE SUBJECT PROPERTY.
 - CONTRACTOR SHALL INSTALL SILT FENCE AND INLET PROTECTION, PER SHEETS SD7.0 AND SD7.1 PRIOR TO BEGINNING SITE DEMOLITION.
 - ALL EXCAVATIONS FROM THE REMOVAL OF UNDERGROUND STRUCTURES SHOULD BE BACKFILLED WITH PROPERLY COMPACTED ENGINEERED FILL.

- LEGEND**
- FULL DEPTH ASPHALT REMOVAL - [diagonal hatching]
 - FULL DEPTH CONCRETE REMOVAL - [cross-hatching]
 - ASPHALT MILLING 1.5" DEPTH - [stippled pattern]

SITE DATA			
	SQ. FT.	ACRE	PERCENT
SITE AREA	36,582	0.84	100.00%
EXISTING BUILDING	2,698	0.06	7.38%
EXISTING DUMPSTER	255	0.01	0.70%
TOTAL PROPOSED IMPERVIOUS AREA	31,268	0.72	85.47%
TOTAL EXISTING IMPERVIOUS AREA	32,558	0.75	89.00%
TOTAL PROPOSED PERVIOUS AREA	5,314	0.12	14.53%
TOTAL EXISTING PERVIOUS AREA	4,024	0.09	11.00%

EXHIBIT C

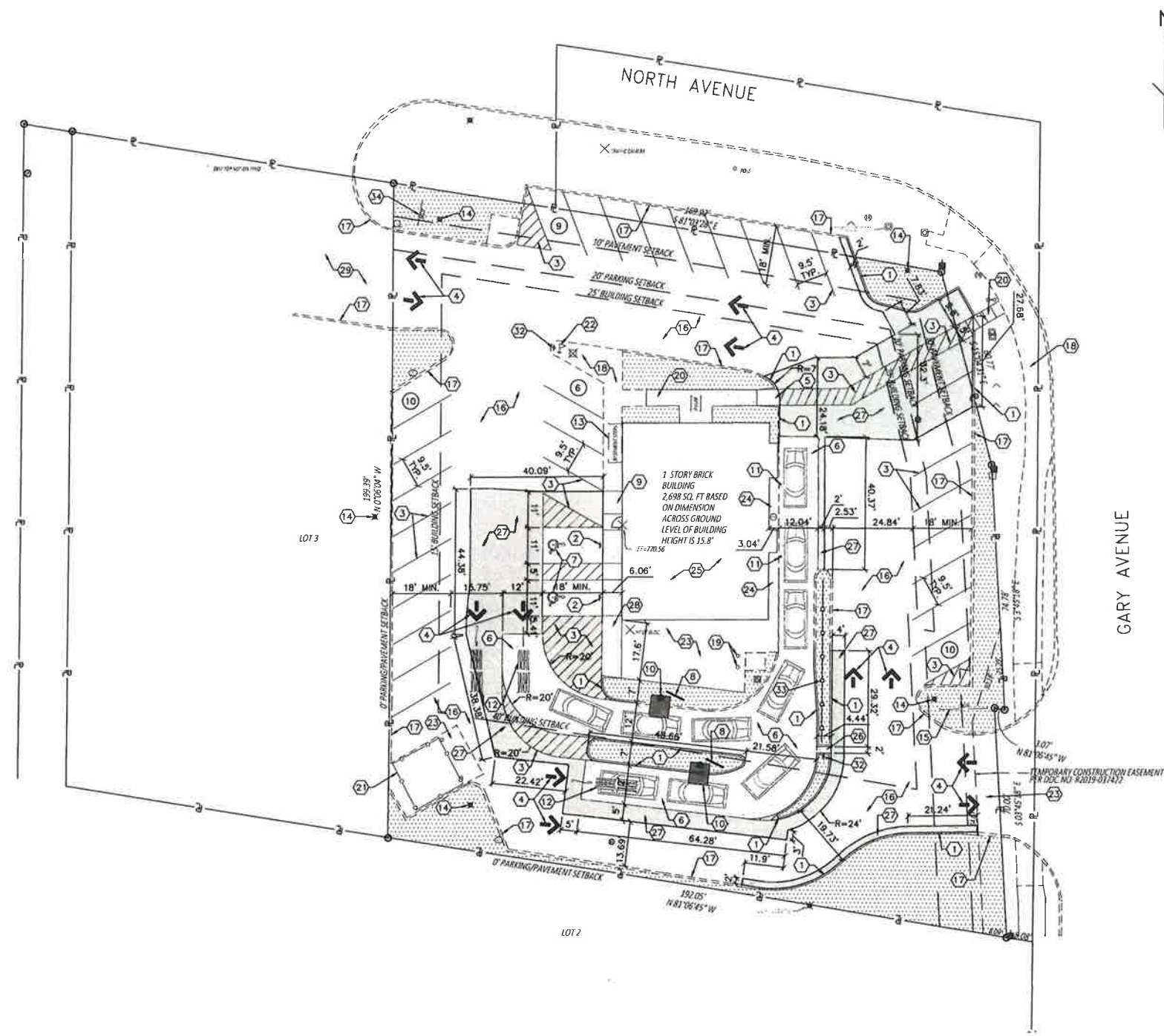


NO.	REVISION	DATE

DRAWING NUMBER: 110 W NORTH AVE
 DRAWN: CAROL STREAM, ILLINOIS, 60188
 DESIGNED: WHITE CASTLE
 APPROVED: CH #51 CAROL STREAM
 DATE: NOVEMBER 15, 2022
 CLIENT PROJECT NUMBER: 2221-6008-00
 SITE DEMOLITION PLAN
 DRAWING NUMBER: SD1.0
 SITE DEVELOPMENT

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SITE DATA			
	SQ. FT.	ACRE	PERCENT
SITE AREA	36,582	0.84	100.00%
EXISTING BUILDING	2,698	0.06	7.38%
EXISTING DUMPSTER	255	0.01	0.70%
TOTAL PROPOSED IMPERVIOUS AREA	31,268	0.72	85.47%
TOTAL EXISTING IMPERVIOUS AREA	32,558	0.75	89.00%
TOTAL PROPOSED PERVIOUS AREA	5,314	0.12	14.53%
TOTAL EXISTING PERVIOUS AREA	4,024	0.09	11.00%



ZONING INFORMATION:
ADDRESS: 110 W NORTH AVE
PARCEL AREA: ±36,584 SF (0.84 AC)
ZONING DISTRICT: B-3 - GENERAL BUSINESS DISTRICT
BUILDING SETBACK: 25' FROM W NORTH AVE
25' FROM GARY AVE
15' FROM WEST P/L
40' FROM SOUTH P/L
PAVEMENT SETBACK: 10' FROM W NORTH AVE
10' FROM GARY AVE
0' FROM WEST P/L
0' FROM SOUTH P/L
PARKING SETBACK: 20' FROM W NORTH AVE
20' FROM GARY AVE
0' FROM WEST P/L
0' FROM SOUTH P/L
PARKING:
REQUIRED PARKING: 2.5 SPACES PER 250 SF OF FLOOR AREA
(2,698/250) * 2.5 = 27 SPACES REQUIRED
PROVIDED PARKING: (2) ADA ACCESSIBLE SPACES + (33) STANDARD SPACES = (35) SPACES PROVIDED

LEGEND

PROPOSED ASPHALT - [Symbol]
PROPOSED CONCRETE - [Symbol]
MILL AND OVERLAY - [Symbol]
LANDSCAPE AREA - [Symbol]

- KEYED NOTES (X)**
- CONCRETE CURB PER DETAIL 8 ON SHEET SD6.0.
 - GENERAL CONTRACTOR TO PROVIDE AND INSTALL (2) POSTS FOR HANDICAP PARKING SIGNS WITH "3350 MINIMUM FINE" SIGN PER DETAILS 1 AND 1.1 ON SHEET SD6.1. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS.
 - PAINTED WHITE STRIPING (TYPICAL). ALL PARKING STALLS SHALL HAVE LOOPED STRIPING PER SECTION 16-5-2 (b)(3)(i) OF THE VILLAGE OF CAROL STREAM'S UNIFIED DEVELOPMENT ORDINANCE.
 - PAINTED TRAFFIC FLOW ARROW (TYPICAL) PER DETAIL 2 ON SHEET SD6.1.
 - CONCRETE HANDICAP RAMP. SEE SHEET SD3.0 FOR ELEVATIONS. SEE DETAIL 5 ON SHEET SD6.1.
 - CONCRETE SLAB FOR "DRIVE-THRU" TRAFFIC. SEE DETAIL 6 ON SHEET SD6.0 FOR CONCRETE SECTION. COORDINATE LIMITS OF CONCRETE WITH THIS SHEET.
 - PAINTED HANDICAP PARKING SYMBOL, SEE DETAIL 4 ON SHEET SD6.1.
 - WHITE CASTLE MENU SIGN WITH PEDESTAL OCB PER DETAIL 1 ON SHEET SD6.0.
 - CURBED SIDEWALK PER DETAIL 9 ON SHEET SD6.0.
 - VEHICLE HEIGHT CLEARANCE DETECTOR, CANOPY STYLE PER DETAIL 3 ON SHEET SD6.0.
 - GUARD POST PER DETAILS 4 AND 5 ON SHEET SD6.0.
 - PROPOSED PAINTED "DRIVE-THRU" TEXT PER DETAIL 6 ON SHEET SD6.1.
 - EXISTING STAIRS TO REMAIN.
 - EXISTING LIGHT POLE TO REMAIN.
 - EXISTING MONUMENT SIGN TO BE RE-FACED. EXISTING POLE TO REMAIN AND BE PAINTED.
 - EXISTING PAVEMENT TO BE MILLED AND OVERLAID AT 1.5" DEPTH.
 - EXISTING CURB TO REMAIN.
 - EXISTING SIDEWALK TO REMAIN.
 - EXISTING GUARD POST TO REMAIN.
 - PROPOSED SIDEWALK PER CAROL STREAM STANDARDS.
 - REPAIR AND MAINTAIN DUMPSTER ENCLOSURE PER WHITE CASTLE CONSTRUCTION REPRESENTATIVE.
 - PROPOSED FLAG POLE PER DETAIL 2 ON SHEET SD6.0.
 - EXISTING CONCRETE PAVEMENT TO REMAIN.
 - EXISTING BUILDING APRON TO REMAIN.
 - EXISTING BUILDING TO REMAIN. SEE ARCHITECTURAL SHEETS FOR IMPROVEMENTS.
 - PROPOSED 2' WIDE CONCRETE FLUME THROUGH CURBED ISLAND FOR DRAINAGE. CONCRETE SHALL MATCH THE ADJACENT DRIVE-THRU SLAB.
 - PROPOSED ASPHALT PAVEMENT PER DETAIL 7 ON SHEET SD6.0.
 - PROPOSED CONCRETE APRON PER DETAIL 10 ON SHEET SD6.0.
 - EXISTING ADA COMPLIANT RAMP PER CAROL STREAM STANDARDS. SEE SHEET SD3.0 FOR ELEVATIONS.
 - PARALLEL ADA COMPLIANT RAMP PER CAROL STREAM STANDARDS. SEE SHEET SD3.0 FOR ELEVATIONS.
 - CONCRETE PAVEMENT FOR ADA SPACES PER DETAIL 6 ON SHEET SD6.0.
 - PROPOSED "ONE WAY" AND "DO NOT ENTER" SIGNS PER DETAILS 1 AND 1.1 ON SHEET SD6.1.
 - BUFFTECH OR APPROVED EQUAL 48" TALL DOUBLE SIDED WHITE VINYL FENCE. SEE DETAIL 7 ON SHEET SD6.1.
 - EXISTING SIGN TO REMAIN. SIGN SHALL HAVE NEW SKIRT INSTALLED AROUND BASE PER SIGNAGE DRAWINGS.

- NOTES**
- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, AND PROPERTY INFORMATION ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
 - CONTRACTOR SHALL CLEAN AND SEAL EDGE OF EXISTING PAVEMENT PRIOR TO CONSTRUCTING PROPOSED PAVEMENT.
 - CONTRACTOR RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - UTILITY LOCATIONS ARE APPROXIMATE, BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - THIS SITE IS LOCATED IN ZONE X OF FIRM MAPS #17043C0063J DATED 8/1/2019.
 - ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

DLZ
ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION SERVICES
D.L.Z. ARCHITECTURE, INC.

White Castle

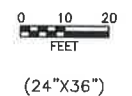
DATE	REVISION	NO.

DRAWN: [Name] CHK'D: [Name]
DESIGNED: [Name] APPROVED: [Name]
DATE: NOVEMBER 15, 2022
DLZ PROJECT NUMBER: 2221-6008-00
CLIENT PROJECT NUMBER: [Number]

CAROL STREAM, ILLINOIS, 60188
WHITE CASTLE
CH #51 CAROL STREAM
SITE IMPROVEMENT PLAN

110 W NORTH AVE
DRAWING NUMBER: **SD2.0**
SITE DEVELOPMENT

EXHIBIT D



(24"X36")

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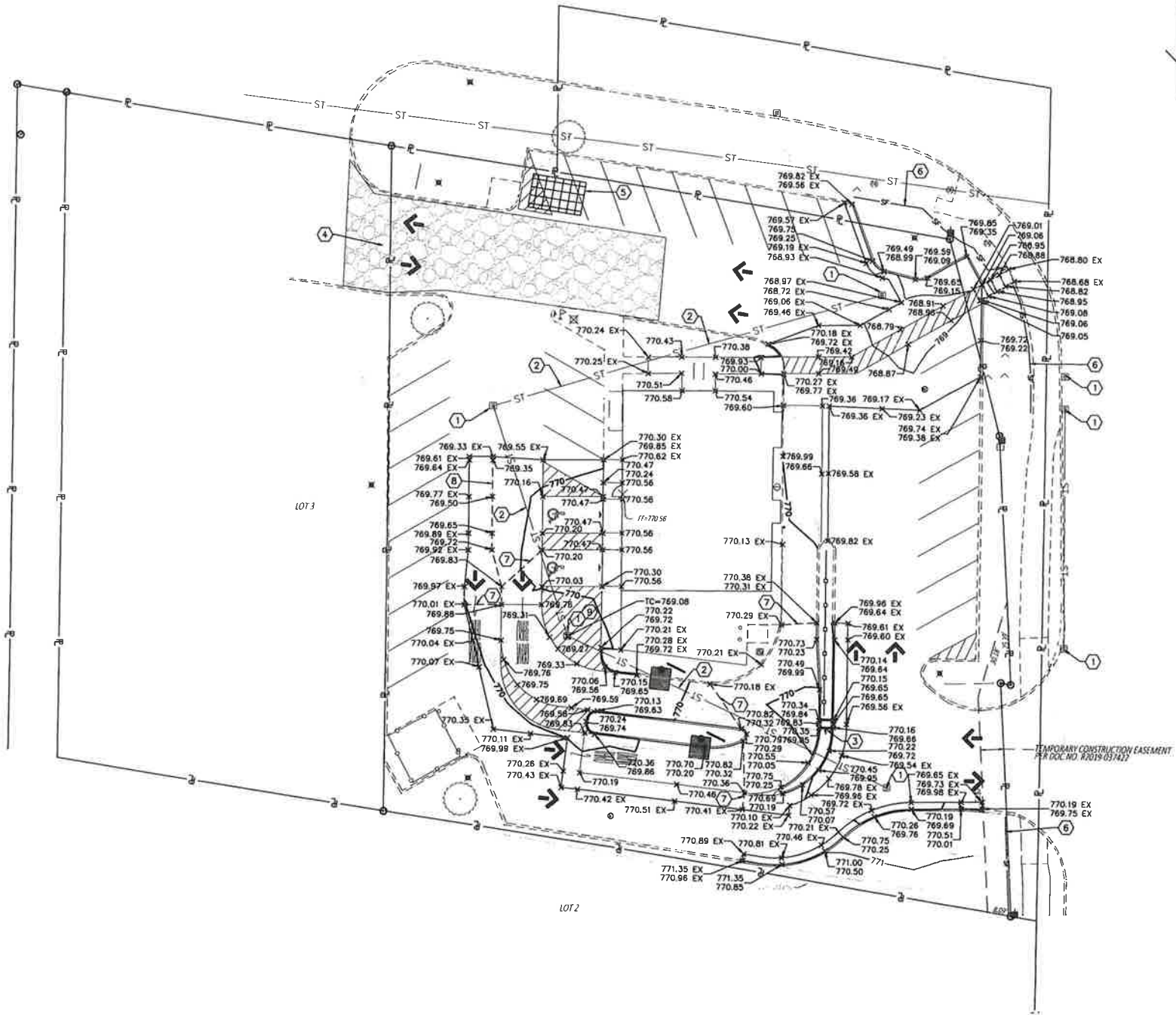


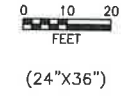
EXHIBIT E

- KEYED NOTES (X)**
- EXISTING CATCH BASIN TO REMAIN, CONTRACTOR SHALL PROVIDE INLET PROTECTION PER THE DETAIL ON SHEET SD7.1.
 - EXISTING STORM SEWER TO REMAIN.
 - PROPOSED CONCRETE FLUME FOR DRAINAGE, SEE SITE IMPROVEMENT PLAN.
 - TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER THE DETAIL ON SHEET SD7.1.
 - CONCRETE WASHOUT PER THE DETAIL ON SHEET SD7.1.
 - STANDARD SILT FENCE PER THE DETAIL ON SHEET SD7.1.
 - PROPOSED PAVEMENT CROWN.
 - PROPOSED INVERTED PAVEMENT CROWN.
 - CONTRACTOR SHALL ADJUST GRATE TO PROPOSED GRADE.

- NOTES**
- THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION PROVIDED BY THE SURVEYOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING GRADES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS AND THESE PLANS.
 - ALL PROPOSED SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLAN ARE PROPOSED FINISHED GRADES. THE GENERAL CONTRACTOR SHALL ADJUST SUBGRADE ELEVATIONS ACCORDINGLY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE THE BUILDING PLANS FOR FURTHER DETAILS. GENERAL CONTRACTOR SHALL ALSO ADJUST SUBGRADE ELEVATION IN ALL LANDSCAPED ISLANDS TO ACCOUNT FOR TOPSOIL AND MULCH. SEE LANDSCAPE PLANS FOR FURTHER DETAIL.
 - WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4".
 - NEW WALKING SURFACE CROSS SLOPES SHALL NOT EXCEED 2%.
 - WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/4" IN THE DIRECTION OF TRAFFIC FLOW.
 - ON ACCESSIBLE ROUTES, WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OR ANY WALK EXCEEDS 1V:20H, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.
 - PER ADA STANDARDS FOR ACCESSIBLE DESIGN 303.3, ON ACCESSIBLE ROUTES, CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED. CHANGES GREATER THAN 1/4" MUST BE BEVELED NO GREATER THAN 1V:2H AND CHANGES GREATER THAN 1/2" SHALL COMPLY WITH REQUIREMENTS FOR CURB RAMPS.
 - ALL WALKS WITH CONTINUOUS SLOPE SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.
 - ASPHALT ELEVATION ADJACENT TO CATCH BASINS TO BE 1/8" ABOVE RIM ELEVATION SHOWN FOR CATCH BASIN (TYPICAL).
 - INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS AND PROCEDURES.
 - NO GRADING ACTIVITIES SHALL BE PERFORMED OFF-SITE WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER AND/OR LOCAL JURISDICTION.
 - EXISTING GRADES SHALL BE MATCHED WITH THE LEGAL BOUNDARY UNLESS OTHER PROVISIONS HAVE BEEN MADE.
 - SOILS USED FOR STRUCTURAL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIAL.
 - CONTRACTOR TO ADJUST AND/OR RECONSTRUCT TO GRADE ALL UTILITY STRUCTURES TO MEET PROPOSED GRADES.
 - SPOT ELEVATIONS SHOWN FOR CURB AND GUTTER ARE TOP OF CURB AND EDGE OF PAVEMENT. WHERE PROPOSED CURB MEETS EXISTING CURB CONTRACTOR SHALL MATCH EXISTING ELEVATIONS.
 - SPOT ELEVATIONS LABELED "EX" INDICATE MATCH EXISTING GRADE.
 - PER ADA STANDARDS FOR ACCESSIBLE DESIGN 502.4, THE ENTIRE ADA PARKING STALL AND ADJACENT ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
 - PER ADA STANDARDS FOR ACCESSIBLE DESIGN 404.2.4.1, ACCESSIBLE ENTRANCE DOORS SHALL HAVE A DOOR MANEUVERING AREA WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
 - UTILITIES, OTHER THAN STORM SEWER, ARE SHOWN HERE FOR REFERENCE ONLY. COORDINATE SANITARY SEWER, GAS LINE AND WATERLINE WORK WITH SITE UTILITY PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.

LEGEND

SPOT ELEVATION (CURB)	X XXXX.XX XXXX.XX
SPOT ELEVATION (GRADE)	X XXXX.XX
EXISTING MAJOR CONTOUR	-----
EXISTING MINOR CONTOUR	-----
PROPOSED MAJOR CONTOUR	-----1020-----
PROPOSED MINOR CONTOUR	-----1019-----



ARCHITECTURE • ENGINEERING • PLANNING
SURVEYING • CONSTRUCTION SERVICES
DLZ ARCHITECTURE, INC.

NO.	REVISION	DATE

DRAWN: CHVS
APPROVED: [Signature]

DATE: NOVEMBER 15, 2022
DLZ PROJECT NUMBER: 2221-6008-00
CLIENT PROJECT NUMBER: [Blank]

DRAWING NUMBER: 110 W NORTH AVE
WHITE CASTLE
CH #51 CAROL STREAM

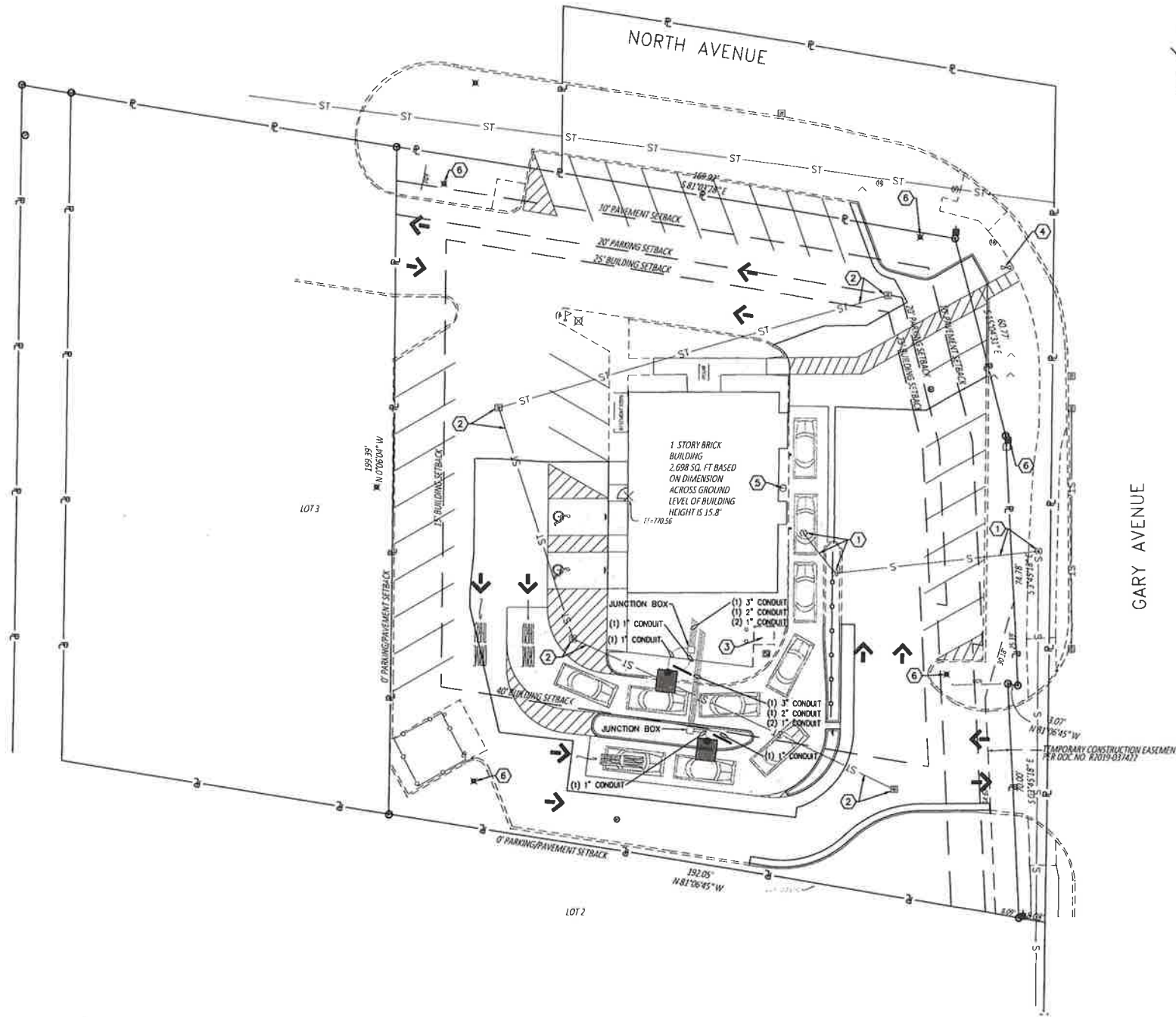
CAROL STREAM, ILLINOIS, 60188

SD3.0

SITE DEVELOPMENT

SITE GRADING PLAN

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KEYED NOTES (X)

1. EXISTING SANITARY SERVICE OR STRUCTURE TO REMAIN, CONTRACTOR SHALL ADJUST ALL CLEAN OUT LIDS TO PROPOSED GRADE.
2. EXISTING STORM SEWER OR CATCH BASIN TO REMAIN.
3. EXISTING ELECTRIC TRANSFORMER TO REMAIN.
4. EXISTING GAS SERVICE TO REMAIN.
5. EXISTING GAS METER TO REMAIN.
6. EXISTING LIGHT POLE TO REMAIN.

GENERAL NOTES

- A. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. CONTRACTOR SHALL VERIFY ORIGIN OF SERVICE, INSTALLATION PROCEDURES, AND ALL STANDARDS FOR WORK WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION. ON SITE TRENCHING SHALL BE MINIMIZED WHEN POSSIBLE. UTILITIES, CONDUITS, AND IRRIGATION SHALL MAKE USE OF SHARED TRENCHING WHEN PERMITTED. FOR TRENCHING INFORMATION, SEE DETAIL.
- B. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY SIZES, TYPES, AND LOCATIONS SHOWN ON PLANS. ALL UTILITY WORK SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS, THESE PLANS, AND/OR GOVERNING REGULATIONS.
- C. ALL EXISTING UTILITIES, ARE TAKEN FROM SURVEY AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.



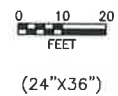
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DRAWN:	CHK'D:
DESIGNED:	APPROVE:
DATE: NOVEMBER 15, 2022	DLZ PROJECT NUMBER: 2221-6008-00
	CLIENT PROJECT NUMBER:

110 W NORTH AVE
 CAROL STREAM, ILLINOIS, 60188
 WHITE CASTLE
 CH #51 CAROL STREAM
 SITE UTILITY PLAN

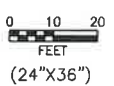
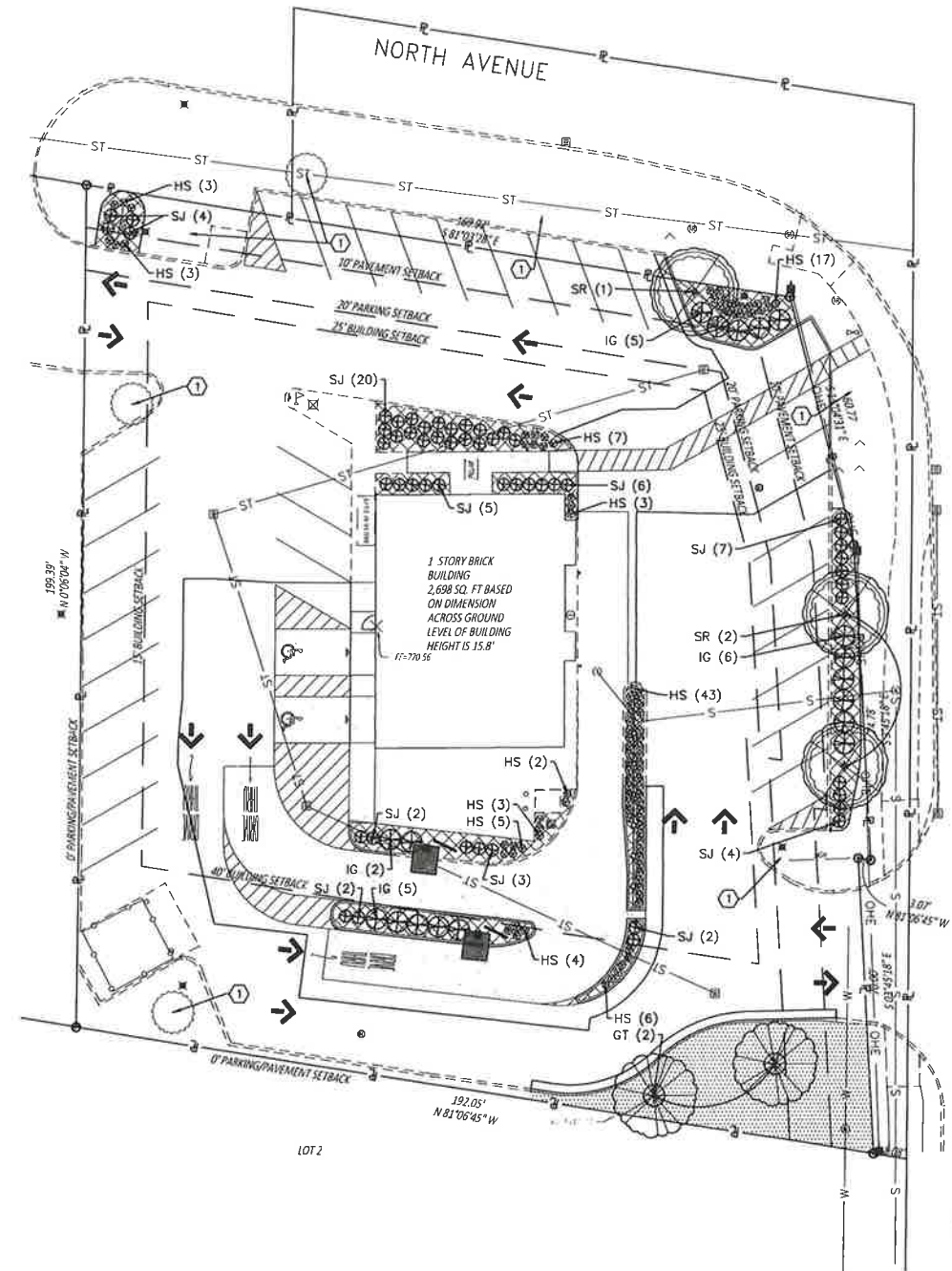
DRAWING NUMBER
SD4.0
 SITE DEVELOPMENT

EXHIBIT F



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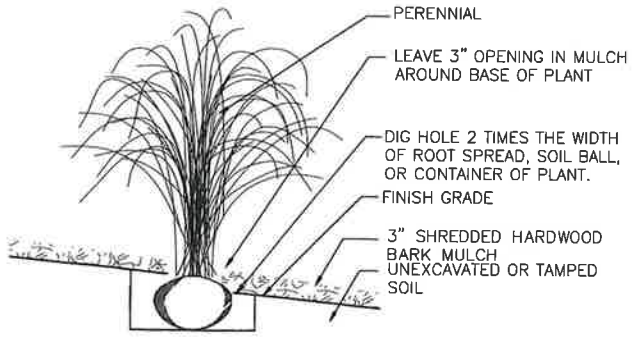


PLANT SCHEDULE						
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	SPACING	REMARKS
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	B&B	2		2.5" CALIPER
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B&B	3		2.5" CALIPER
SHRUBS						
	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	SPACING	REMARKS
IG	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	#5	18	5' O.C.	24" HT.
SJ	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	#15	55	3' O.C.	6' HT.
PERENNIALS						
	BOTANICAL NAME	COMMON NAME	CONT.	QTY.	SPACING	REMARKS
HS	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	#1	96	2' O.C.	

EXHIBIT G

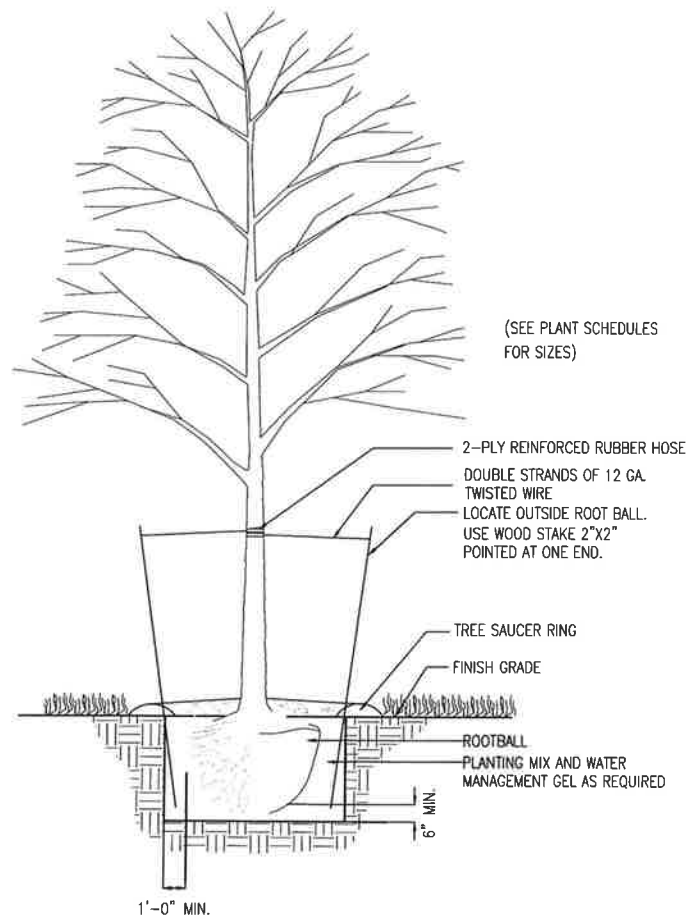


- KEYED NOTES** (X)
- EXISTING LANDSCAPING TO REMAIN RE-SEED OR RE-MULCH PER THE DIRECTION OF THE OWNER
- GENERAL NOTES**
- ALL PLANT MATERIALS TO COMPLY WITH THE LATEST EDITION OF A.N.A. STANDARDS FOR NURSERY STOCK AND BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.
 - LANDSCAPE CONTRACTOR IS TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND RECEIVE APPROVAL FROM GENERAL CONTRACTOR OR SITE SUPERVISOR, IF NECESSARY, TO MAKE CHANGES IN PLANT LOCATIONS.
 - LANDSCAPE CONTRACTOR MUST COORDINATE WITH GENERAL CONTRACTOR AND OTHER SITE OPERATIONS.
 - MINOR ADJUSTMENTS TO THE PLANT LOCATIONS ARE TO BE MADE IN THE CASE OF ANY CONFLICTS WITH PROPOSED UTILITIES.
 - ALL PLANTING BEDS AND FREE STANDING TREES TO BE MULCHED WITH 3" GRADE "A" DOUBLE PROCESSED HARDWOOD MULCH. BEDS ARE TO BE GRADED SMOOTH AND FREE OF SOIL CLODS AND STONES. ALL TREES TO BE STAKED AND WRAPPED WITH ASPHALTIC WRINKLE KRAFT TREE WRAP.
 - ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS, CAGES AND NON-BIODEGRADABLE MATERIALS.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADES; LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND TO PROVIDE 4" OF AMENDED TOPSOIL FOR PLANTING BEDS.
 - ALL ORGANIC MATTER AND DEBRIS ARE TO BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR. LAWN AREAS AND BEDS SHOULD BE FREE OF STONES GREATER THAN 2".
 - PLANT QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY; THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR HIS OWN "TAKE OFFS". DRAWING PREVAILS OVER WRITTEN QUANTITIES.
 - THE LANDSCAPE CONTRACTOR SHALL SUBMIT A ONE (1) YEAR MAINTENANCE CONTRACT FOR CONSIDERATION BY THE OWNER. CONTRACT SHALL BE SEPARATE FROM INSTALLATION CONTRACT.
 - PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED AT PRODUCT SPECIFIED RATE UNLESS OTHERWISE NOTED.
 - PLANTING SHALL BE FERTILIZED UPON INSTALLATION. RECOMMENDED FERTILIZER SHALL BE MIXED WITH BACKFILL AT PRODUCT SPECIFIED RATE.
 - BED EDGE SHALL BE SMOOTH, CONSISTENT 4 1/2" DEEP AND HAND CUT, EDGES TO BE LOCATED BETWEEN ALL BEDS (INCL. TREES) AND LAWN AREAS.
 - CONTRACTOR TO SOD ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLAN.
 - CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING/IMPROVEMENTS AS NECESSARY TO INSTALL PROPOSED LAWN AND/OR PLANTINGS.
 - DECIDUOUS SHADE TREES WILL HAVE UNIFORM CROWN AND FORM AND BE EVENLY LIMBED TO A MINIMUM HEIGHT ABOVE GRADE OF 5'-0", UNLESS OTHERWISE SPECIFIED.
 - NURSERY STOCK IDENTIFICATION TAGS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF FINAL INSTALLATION BY THE CITY.



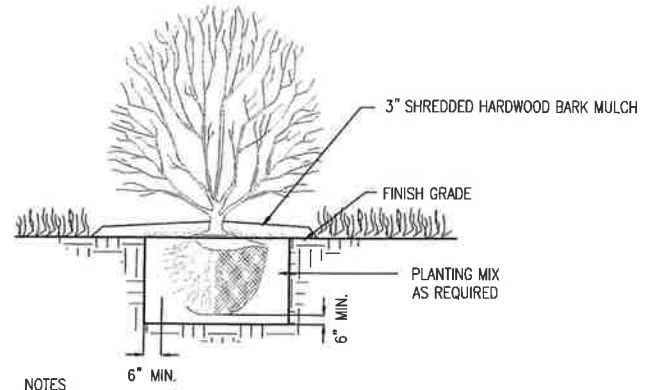
- NOTES**
- PLANTS SHALL BE SOAKED IMMEDIATELY FOLLOWING PLANTING.
 - ALL SHRUB PLANTING BEDS SHALL BE MULCHED WITH 3" SHREDDED HARDWOOD BARK MULCH AS SPECIFIED.
 - REMOVE METAL OR PLASTIC CONTAINERS COMPLETELY.

PERENNIAL PLANTING DETAIL
NOT TO SCALE



- NOTES**
- SET PLANTS SO THAT TOP OF ROOT BALL IS APPROXIMATELY 2" ABOVE FINISH GRADE.
 - PLANTS SHALL BE SOAKED IMMEDIATELY FOLLOWING PLANTING.
 - ALL TREE SAUCERS SHALL BE MULCHED WITH 3" SHREDDED HARDWOOD BARK MULCH IN A 3' DIAMETER RING.
 - WHEN PLANTING ON SLOPES, SET TREE SO THE ROOT FLARE ON THE UPHILL SIDE IS FLUSH WITH THE SURROUNDING SOIL ON THE SLOPE; APPLY ENOUGH SOIL TO COVER THE DOWNHILL SIDE OF THE ROOT BALL.

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



- NOTES**
- SET PLANTS SO THAT TOP OF ROOT BALL IS APPROXIMATELY 2" ABOVE FINISH GRADE.
 - PLANTS SHALL BE SOAKED IMMEDIATELY FOLLOWING PLANTING.
 - ALL SHRUB PLANTING BEDS SHALL BE MULCHED WITH 3" SHREDDED HARDWOOD BARK MULCH AS SPECIFIED.
 - WHEN PLANTING ON SLOPES, SET THE SHRUB SO THE ROOT FLARE ON THE UPHILL SIDE IS FLUSH WITH THE SURROUNDING SOIL ON THE SLOPE; APPLY ENOUGH SOIL TO COVER THE DOWNHILL SIDE OF THE ROOT BALL.

SHRUB PLANTING DETAIL
NOT TO SCALE

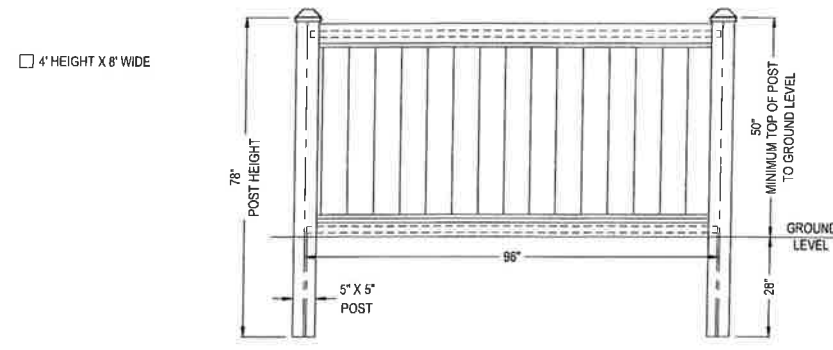
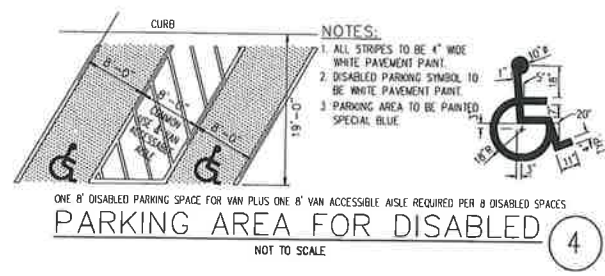
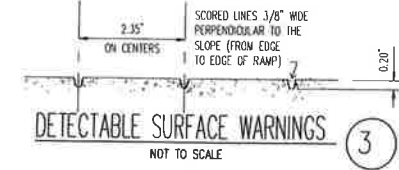
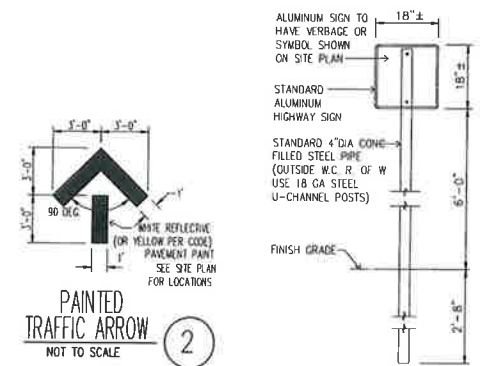
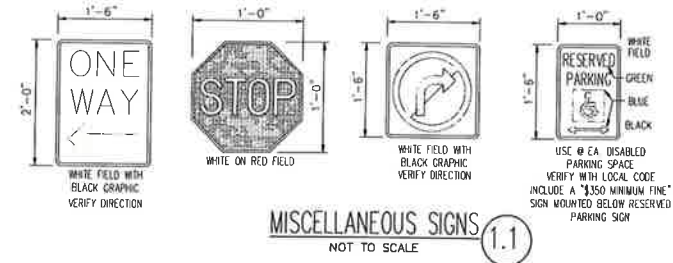


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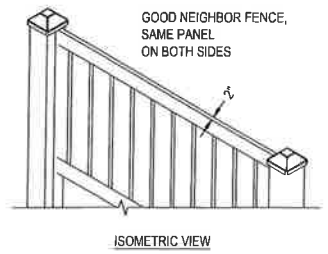
DRAWN: []
 DESIGNED: []
 CHECKED: []
 APPROVED: []
 DATE: NOVEMBER 15, 2022
 DLZ PROJECT NUMBER: 2221-6008-00
 CLIENT PROJECT NUMBER: []

110 W NORTH AVE
 CAROL STREAM, ILLINOIS, 60188
 WHITE CASTLE
 CH #51 CAROL STREAM
 SITE LANDSCAPE PLAN
SD5.0
 SITE DEVELOPMENT

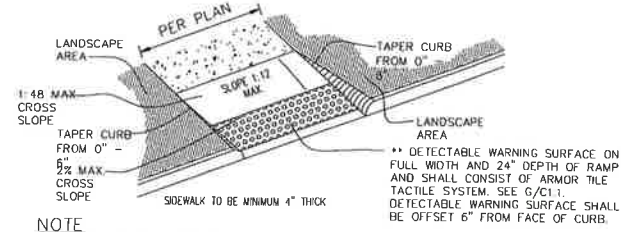
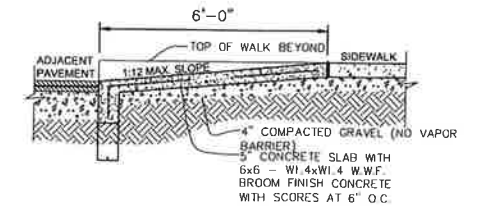
EXHIBIT H



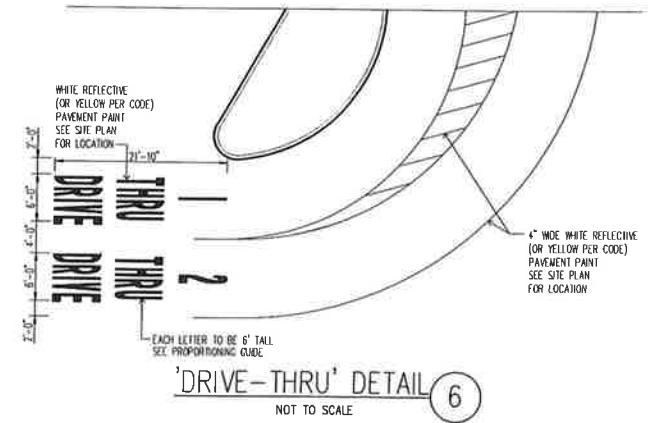
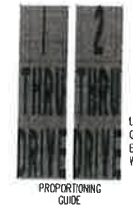
SPECIFICATIONS
FINISH: MADE WITH LINEAR LOW DENSITY POLYETHYLENE PLASTIC (LLDPE)
ACTUAL PANEL DIMENSIONS: 48" H X 94.25" W
PANEL WEIGHT: 60 LBS
TOLERANCES: ± 5"



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



NOTE:
DETECTABLE WARNING SURFACE SHALL BE COMPRISED OF TRUNCATED DOMES MADE OF RED CONCRETE IN ACCORDANCE WITH IDOT STANDARDS.



NO.	REVISION	DATE

110 W NORTH AVE
CAROL STREAM, ILLINOIS, 60188
WHITE CASTLE
CH #51 CAROL STREAM
SITE DETAILS SHEET

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EXHIBIT I-1



1 - EXISTING ROOF - FOR REFERENCE ONLY



2 - EXISTING EXTERIOR - FOR REFERENCE ONLY



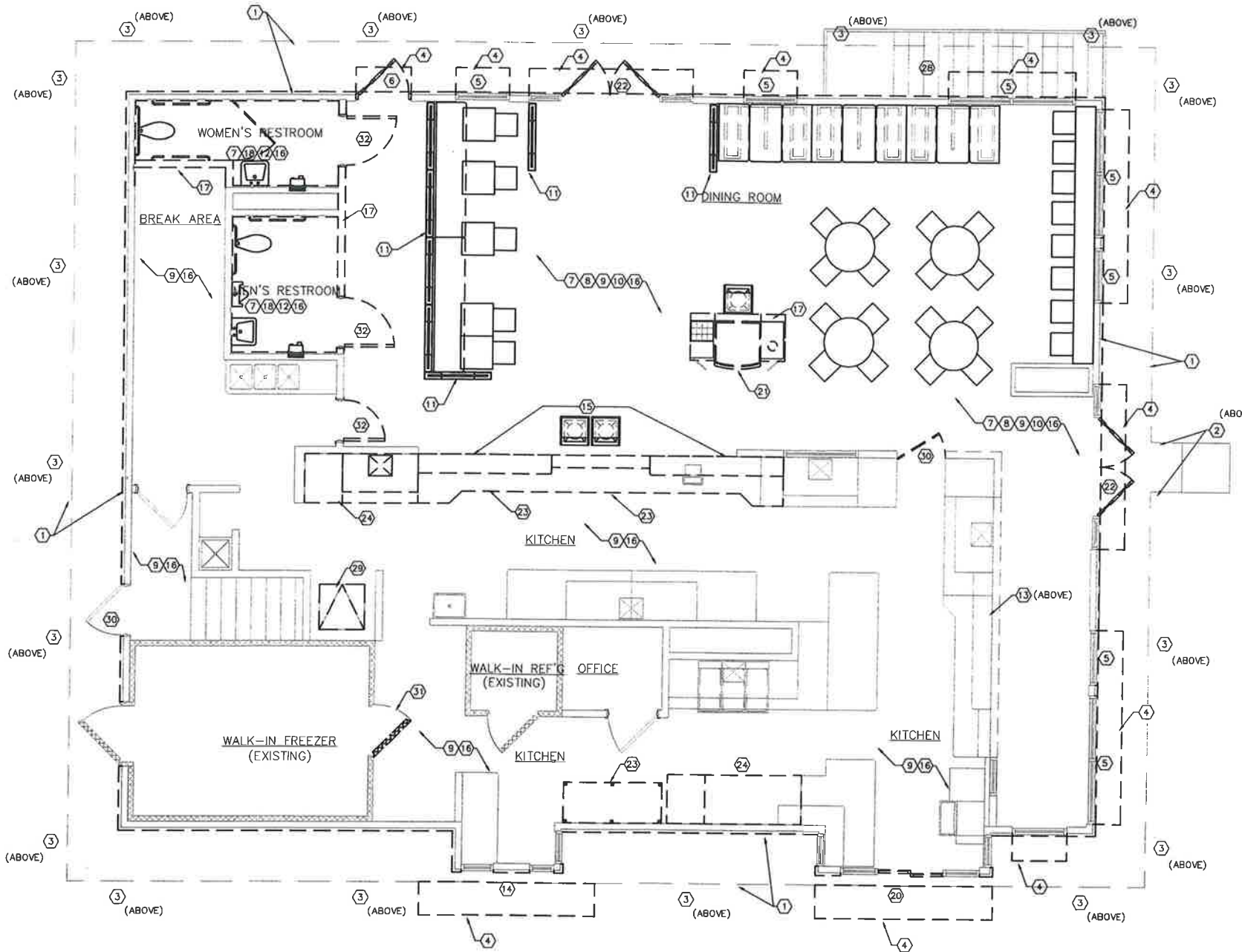
3 - EXISTING EXTERIOR - FOR REFERENCE ONLY



4 - EXISTING INTERIOR DINING - FOR REFERENCE ONLY



5 - EXISTING INTERIOR DINING - FOR REFERENCE ONLY



DEMOLITION PLAN
 SCALE: 1/4"=1'-0"
 NORTH



6 - EXISTING INTERIOR DINING ROOM - FOR REFERENCE ONLY



7 - EXISTING INTERIOR KITCHEN - FOR REFERENCE ONLY



8 - EXISTING INTERIOR KITCHEN - FOR REFERENCE ONLY



9 - EXISTING INTERIOR KITCHEN - FOR REFERENCE ONLY



10 - EXISTING INTERIOR KITCHEN - FOR REFERENCE ONLY



11 - EXISTING RESTROOM - FOR REFERENCE ONLY

- GENERAL NOTES:**
1. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
 2. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
 3. GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL DAMAGED SURFACES TO MATCH ADJACENT SURFACES. ALL EXISTING DRYWALL THAT IS TO REMAIN AND TO RECEIVE A NEW SCHEDULES WALL COVERING SHALL HAVE ALL DEFECTS (CRACKS, PAINT CHIPPING, ETC.) FILLED, OR REPLACED AND CLEANED PRIOR TO THE SCHEDULED FINISH.
 4. ALL EXISTING FINISHES TO BE PATCHED AND / OR REPAIRED AFTER DINING ROOM REMODELING, PER CURRENT CODE REQUIREMENT.
 5. GENERAL CONTRACTOR TO REPORT TO OWNER ANY DISCREPANCIES BETWEEN PLANS AND SITE CONDITIONS.
 6. GENERAL CONTRACTOR IS TO FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
 7. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
 8. EXISTING CONDITION PHOTOS SHOWN ON THIS SHEET FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING CONDITIONS.

- KEYED NOTES (X)**
1. EXISTING PORCELAIN PANEL EXTERIOR FINISH TO BE REMOVED AND STRIPPED DOWN TO STEEL FRAMING-HAT CHANNELS ARE TO REMAIN. REMOVE DECORATIVE CREPELLATIONS. PREPARE FRAMING TO RECEIVE NEW EXTERIOR FINISH.
 2. EXISTING EXTERIOR BUILDING SIGNAGE ON TOWER TO BE REMOVED.
 3. EXISTING EXTERIOR BUILDING LIGHTS TO BE REMOVED.
 4. EXISTING AWNINGS OVER WINDOWS AND DOORS TO BE REMOVED.
 5. EXISTING EXTERIOR WINDOWS TO REMAIN. REPAIR AS NECESSARY.
 6. EXISTING EXTERIOR DOOR TO BE REMOVED AND OPENING TO BE INFILLED.
 7. EXISTING TILE FLOOR TO BE REMOVED. PREP SLAB TO RECEIVE NEW TILE FLOORING.
 8. EXISTING CUSTOMER FURNITURE TO BE REMOVED.
 9. EXISTING SUSPENDED ACOUSTIC CEILING PANEL AND GRID TO BE REMOVED.
 10. EXISTING WALL FINISHES (WALL GRAPHICS, PANELING, AND TILE WAINSCOT) TO BE REMOVED DOWN TO EXISTING SUBSTRATE.
 11. EXISTING paneled wall structure to be removed.
 12. EXISTING RESTROOM FIXTURES TO BE REMOVED. CAP PLUMBING/DRAIN & WATER LINES. REMOVE HAND-DRYERS TERMINATE WIRING.
 13. EXISTING MENU BOARDS TO BE REMOVED AND REPLACED.
 14. EXISTING DRIVE THRU WINDOW TO REMAIN.
 15. EXISTING FRONT COUNTER AND FRONT COUNTER PANEL TO BE REMOVED. SEE PHOTO 6. PREP AREA TO RECEIVE NEW COUNTER AND FRONT COUNTER PANEL. SEE ELEVATION ON SHEET EQ1.0.
 16. EXISTING INTERIOR LIGHT FIXTURES TO BE REMOVED.
 17. EXISTING WALL TO BE REMOVED, FULL HEIGHT.
 18. EXISTING WALL FINISH AND SUBSTRATE TO BE REMOVED DOWN TO STUDS IN EXISTING RESTROOMS.
 19. NOT USED.
 20. EXISTING DRIVE THRU WINDOW TO BE REMOVED AND BE REPLACED WITH NEW HOSPITALITY DOOR. MODIFY FRAMING AS REQUIRED FOR HOSPITALITY DOOR.
 21. REMOVE EXISTING DRINK STATION. CAP DRAIN AND WATER LINES BACK TO MAIN.
 22. EXISTING STOREFRONT ENTRY DOORS TO BE REMOVED AND REPLACED. STOREFRONT SYSTEM TO REMAIN AND BE REPAIRED AS NECESSARY. DO NOT DISCARD UNTIL NEW DOORS ARE RECEIVED.
 23. REMOVE EXISTING EQUIPMENT AND COUNTER.
 24. REMOVE EXISTING 2-PLATE GRIDDLE, HOOD, AND ROOF MOUNTED EXHAUST FAN.
 25. NOT USED.
 26. NOT USED.
 27. NOT USED.
 28. EXISTING EXTERIOR BASEMENT ACCESS STAIR, RAIL, AND GATE TO REMAIN.
 29. EXISTING ROOF HATCH (ABOVE) TO BE REMOVED. REPLACED WITH NEW.
 30. EXISTING DOOR TO BE REMOVED. DO NOT DISCARD
 31. EXISTING WALK-IN FREEZER DOOR TO BE REMOVED AND REPLACED WITH NEW.
 32. REMOVE EXISTING DOOR AND DOOR FRAME SYSTEM IN ITS ENTIRETY. DO NOT DISCARD UNTIL NEW DOORS ARE RECEIVED.

** G.C. NOT TO DISCARD ANY INTERIOR OR EXTERIOR DOORS UNTIL REPLACEMENT DOORS HAVE BEEN RECEIVED.

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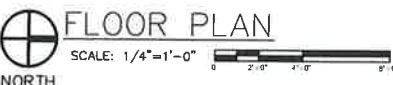
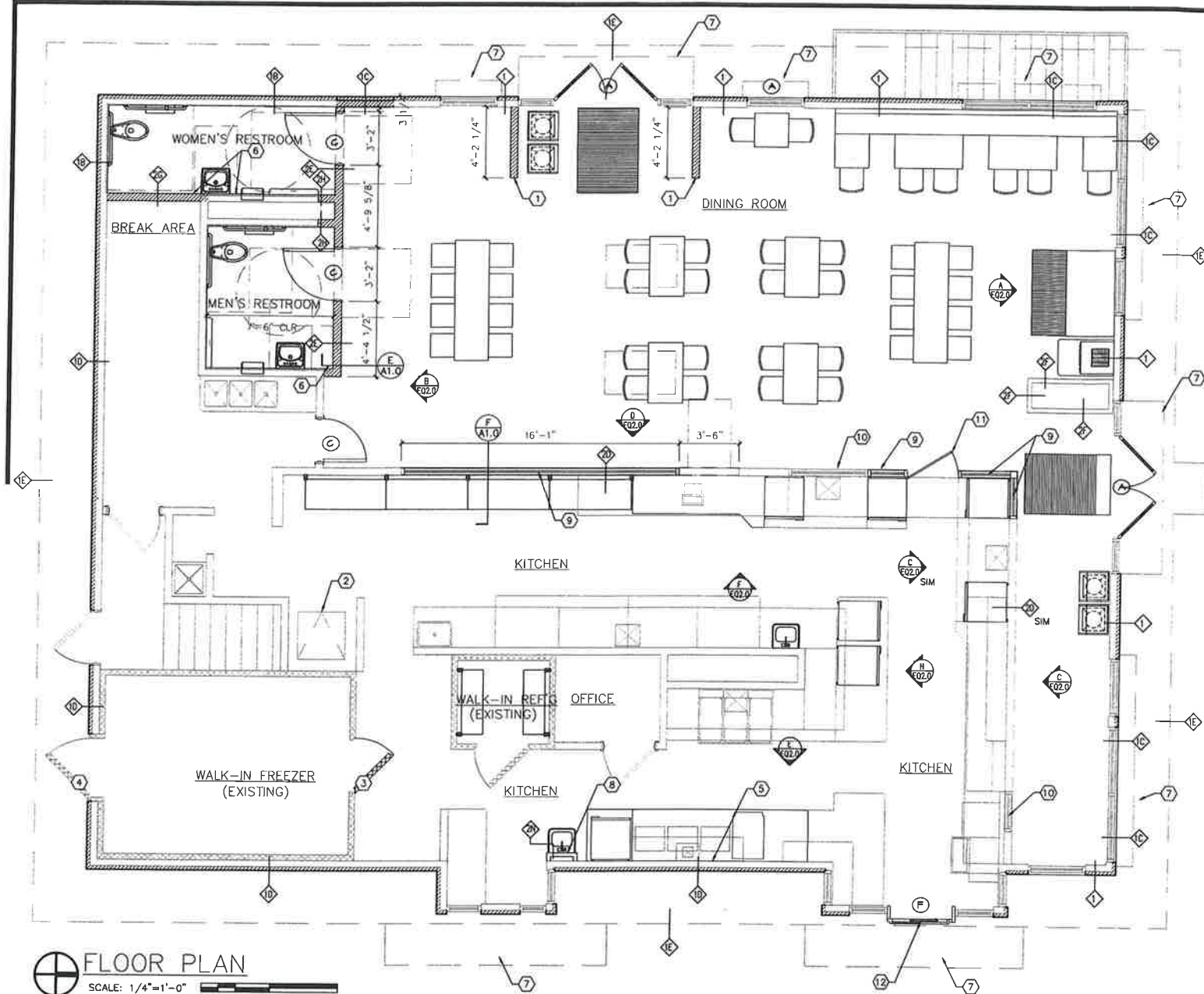


NO.	REVISION	DATE

DRAWN: JHT/JC | CHECKED: SPK
 DESIGNED: AH
 APPROVED: SPK
 DATE: NOVEMBER 15, 2022
 DLZ PROJECT NUMBER: 2221-6008-00
 CLIENT PROJECT NUMBER:

110 W NORTH AVE
 CAROL STREAM, ILLINOIS, 60188
 WHITE CASTLE
 CH #51 CAROL STREAM
 ARCHITECTURAL REMOVAL PLAN

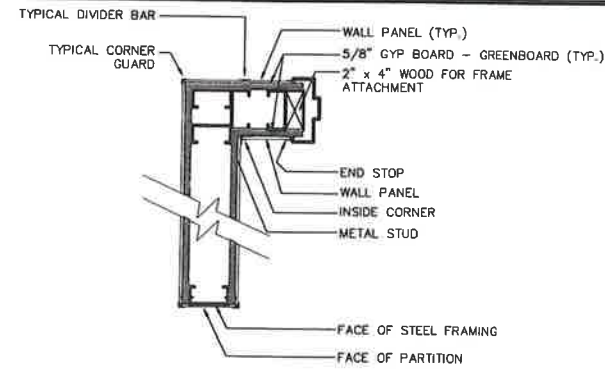
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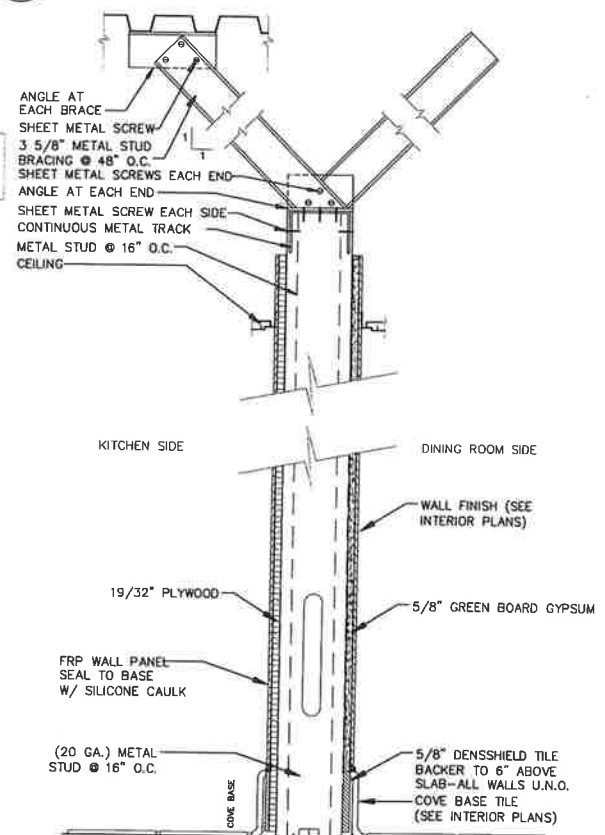
WALL TYPES:

NOTE: WALL TYPES BELOW MAY NOT BE USED IN THE PROJECT

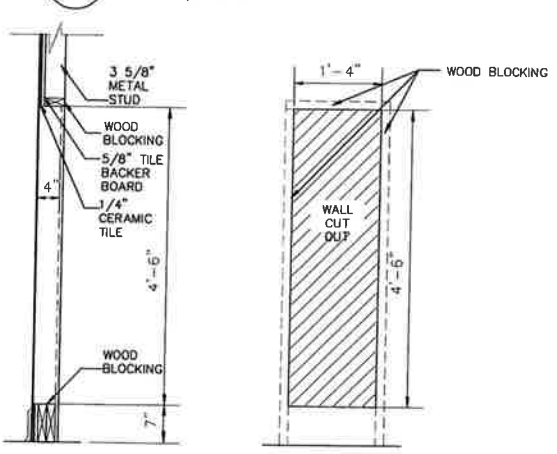
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|--|---|---|--|--|
| <p>1 1/2" R-7.5 EPS INSULATION
WEATHER RESISTANT MEMBRANE (DUPOUNT STUCCO WRAP)
19/32" APA SPAN RATING 40/20 WALL SHEATHING EXPOSURE 1
EXISTING 4" STUDS @ 16" O.C.
R-13 OWENS CORNING EcoTouch PINK BATT INSULATION
5/8" GREEN BOARD GYPSUM
PAINT (ABOVE) / SOLID SURFACE CHAIR RAIL/ VINYL WALLCOVERING (WAINSCOT)</p> | <p>1 1/2" CULTURED STONE VENEER (BELOW)
E.I.F.S. (ABOVE)</p> <p>2 1/2" CULTURED STONE VENEER (BELOW)
E.I.F.S. (ABOVE)</p> <p>2 1/2" CULTURED STONE VENEER (BELOW)
E.I.F.S. (ABOVE)</p> <p>1 1/2" R-7.5 EPS INSULATION
WEATHER RESISTANT MEMBRANE (DUPOUNT STUCCO WRAP)
19/32" APA SPAN RATING 40/20 WALL SHEATHING EXPOSURE 1
EXISTING 4" STUDS @ 16" O.C.
R-13 OWENS CORNING EcoTouch PINK BATT INSULATION
5/8" GREEN BOARD GYPSUM
PAINT (ABOVE) / SOLID SURFACE CHAIR RAIL/ VINYL WALLCOVERING (WAINSCOT)</p> | <p>1 1/2" R-7.5 EPS INSULATION
WEATHER RESISTANT MEMBRANE (DUPOUNT STUCCO WRAP)
19/32" APA SPAN RATING 40/20 WALL SHEATHING EXPOSURE 1
EXISTING 4" STUDS @ 16" O.C.
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PAINT (ABOVE) / SOLID SURFACE CHAIR RAIL/ VINYL WALLCOVERING (WAINSCOT)</p> <p>1 1/2" R-7.5 EPS INSULATION
WEATHER RESISTANT MEMBRANE (DUPOUNT STUCCO WRAP)
19/32" APA SPAN RATING 40/20 WALL SHEATHING EXPOSURE 1
EXISTING 4" STUDS @ 16" O.C.
R-13 OWENS CORNING EcoTouch PINK BATT INSULATION
5/8" GREEN BOARD GYPSUM
PAINT (ABOVE) / SOLID SURFACE CHAIR RAIL/ VINYL WALLCOVERING (WAINSCOT)</p> | <p>1/8" FRP WALL PANEL
19/32" PLYWOOD
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
1/8" FRP WALL PANEL</p> <p>1/8" FRP WALL PANEL
19/32" PLYWOOD
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
5/8" CEMENTITIOUS BOARD (DUROCK)
1/4" ALLIANCE WALL PANEL</p> <p>EXISTING FINISHES
EXISTING STUDS @ 16" O.C.
5/8" CEMENTITIOUS BOARD (DUROCK)
1/4" NON-COMBUSTIBLE ALLIANCE WALL PANEL</p> <p>HERITAGE WOOD VINYL WALLCOVERING (DINING)
5/8" GREEN BOARD GYPSUM
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
1/8" FRP WALL PANEL (KITCHEN)</p> <p>1/4" CERAMIC TILE (RESTROOM)
5/8" DENSSHIELD TILE GUARD
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
w/ SOUND RATED INSULATION
5/8" GREEN BOARD GYPSUM
PAINT (ABOVE) / SOLID SURFACE CHAIR RAIL/ VINYL WALLCOVERING (WAINSCOT) (DINING)</p> <p>PAINT (ABOVE)
SOLID SURFACE CHAIR RAIL
VINYL WALL COVERING (WAINSCOT)
EXISTING GYPSUM BOARD
EXISTING STUDS</p> | <p>1/4" CERAMIC TILE (RESTROOM)
5/8" DENSSHIELD TILE GUARD
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
w/ SOUND RATED INSULATION
1/8" FRP WALL PANEL (BREAK AREA)</p> <p>1/4" CERAMIC TILE (RESTROOM)
5/8" DENSSHIELD TILE GUARD
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
w/ SOUND RATED INSULATION</p> <p>PAINT
5/8" GREEN BOARD GYPSUM
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
EXISTING WALL FINISH</p> <p>PAINT
5/8" GREEN BOARD GYPSUM
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
5/8" CEMENTITIOUS BOARD (DUROCK)
1/4" NON-COMBUSTIBLE ALLIANCE WALL PANEL</p> <p>PAINT
5/8" GREEN BOARD GYPSUM
3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
1/8" FRP WALL PANEL</p> <p>3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C.
19/32" PLYWOOD
1/8" FRP WALL PANEL (KITCHEN)</p> <p>1/4" CERAMIC TILE (RESTROOM)
5/8" DENSSHIELD TILE GUARD
2" (20 GAUGE) METAL STUDS @ 16" O.C.
w/ SOUND RATED INSULATION
EXISTING GYPSUM BOARD
5/8" DENSSHIELD TILE GUARD
1/4" CERAMIC TILE (RESTROOM)</p> |
|--|---|---|--|--|



D WALL PANEL FINISH (TYP.)
N.T.S.



E INTERIOR WALL DETAIL
SCALE: 1 1/2"=1'-0"



H RECESSED WASTE RECEPTACLE DETAIL
SCALE: N.T.S.

PLAN NOTES:

- DIMENSIONS SHOWN ARE FROM FACE OF STUD TO FACE OF STUD OR FACE OF EXISTING CONDITION, U.N.O.
- BRACE ALL STUD WALLS ADEQUATELY TO UNDERSIDE OF STRUCTURE (NOT DECK).
- GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- DENOTES DOOR/ WINDOW. SEE SCHEDULE SHEET A2.0.
- REFER TO ROOM FINISH SCHEDULE AND INTERIOR ELEVATION FOR ADDITIONAL INFORMATION.

ACCESSORY NOTES:

- REFER TO SHEET EQ1 FOR LOCATION OF RESTROOM ACCESSORIES.
- PROVIDE PROPER 2X BLOCKING AT WALL MOUNTED FURNITURE, FIXTURES AND ACCESSORIES.
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED AND INSTALLED PER ADA REQUIREMENTS. REFER TO SHEET EQ1.

FRAMING LEGEND:

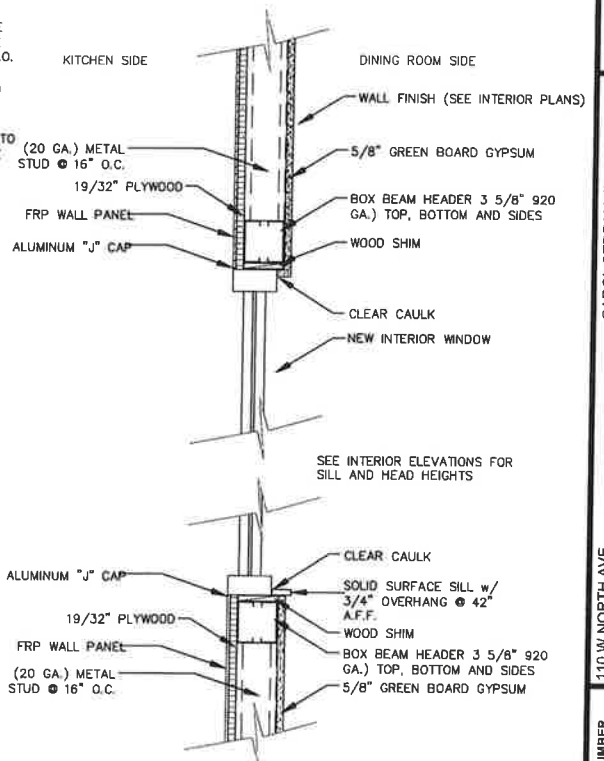


FRAMING NOTES:

- BRACE ALL STUD WALLS ADEQUATELY TO UNDERSIDE OF STRUCTURE ABOVE (NOT DECK).
- G.C. IS TO PROVIDE PRESSURE TREATED 2x WOOD BLOCKING AROUND ALL WINDOWS AND DOOR FRAMES.
- FRP PANELS MUST BE SMOOTH, HI-GLOSS WHITE PANELS, CLASS A RATED.

KEYED NOTES (X)

- NEW LOW WALLS, TOP OF WALL @ 4'-0" A.F.F. WITH CAP. PROVIDE KNEE WALL SUPPORT POST FOR BRACING.
- NEW ROOF HATCH ABOVE EXISTING ROOF ACCESS LADDER TO REMAIN.
- EXISTING INTERIOR WALK IN FREEZER DOOR TO REMAIN.
- EXISTING EXTERIOR FREEZER PASS THRU DOOR TO REMAIN.
- BEHIND EXHAUST HOODS: NON COMBUSTIBLE ALLIANCE WALL PANELS OVER CEMENTITIOUS WALLBOARD, SHALL EXTEND 18" MIN. BEYOND HOOD @ BOTH ENDS, FULL HEIGHT.
- ALIGN NEW WALL WITH EXISTING.
- NEW CANOPY ABOVE, PROVIDE BLOCKING AT ALL ATTACHMENT POINTS.
- FRAME AND FINISH WALL FOR NEW PLUMBING FIXTURE AND PIPING.
- NEW INTERIOR WINDOW, SEE INTERIOR ELEVATIONS.
- INTERIOR WINDOW TO REMAIN.
- NEW KITCHEN DOOR.
- NEW HOSPITALITY DOOR.



F INTERIOR WINDOW DETAIL
SCALE: 1 1/2"=1'-0"



NO.	REVISION	DATE

DRAWN: AH/K/L
DESIGNED: AH
APPROVED: SPK
DATE: NOVEMBER 15, 2022
DLZ PROJECT NUMBER: 2221-6008-00
CLIENT PROJECT NUMBER:

CAROL STREAM, ILLINOIS, 60188
WHITE CASTLE
CH #51 CAROL STREAM

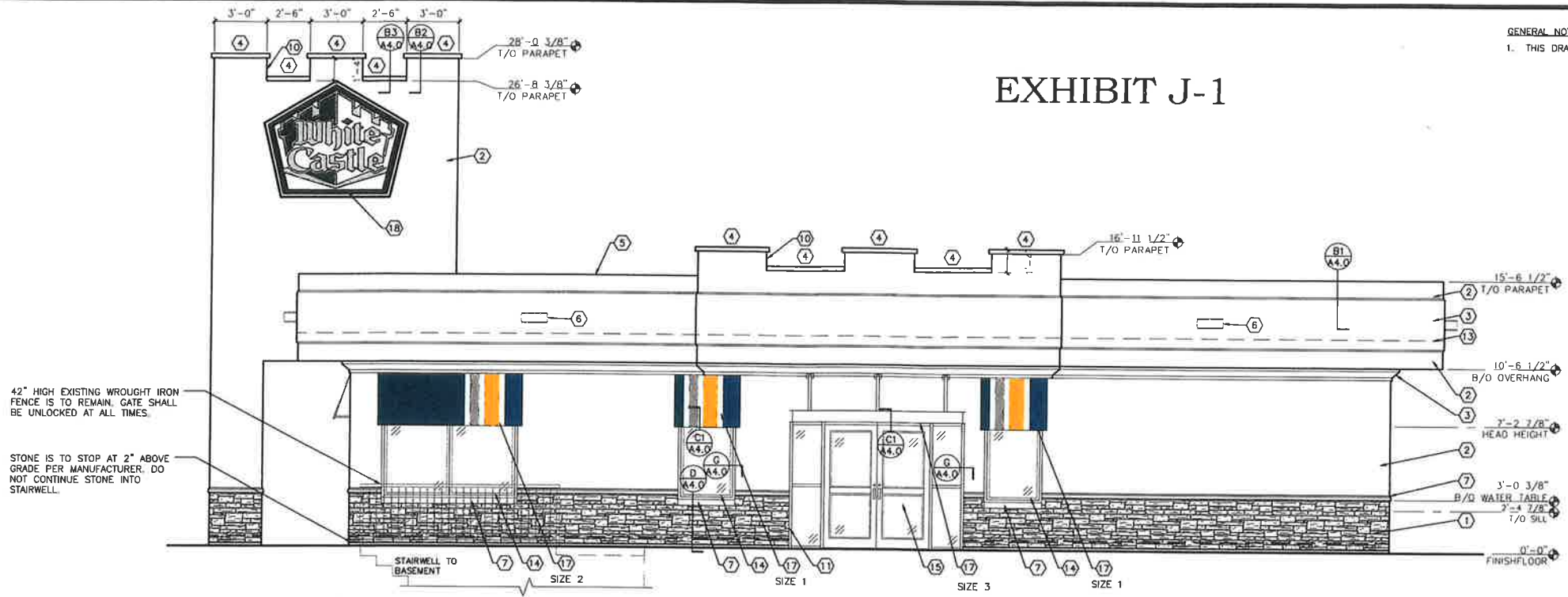
110 W NORTH AVE
ARCHITECTURAL FLOOR PLAN

DRAWING NUMBER
A1.0
ARCHITECTURE

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EXHIBIT J-1

GENERAL NOTES:
1. THIS DRAWING SHEET IS PRINTED IN COLOR.

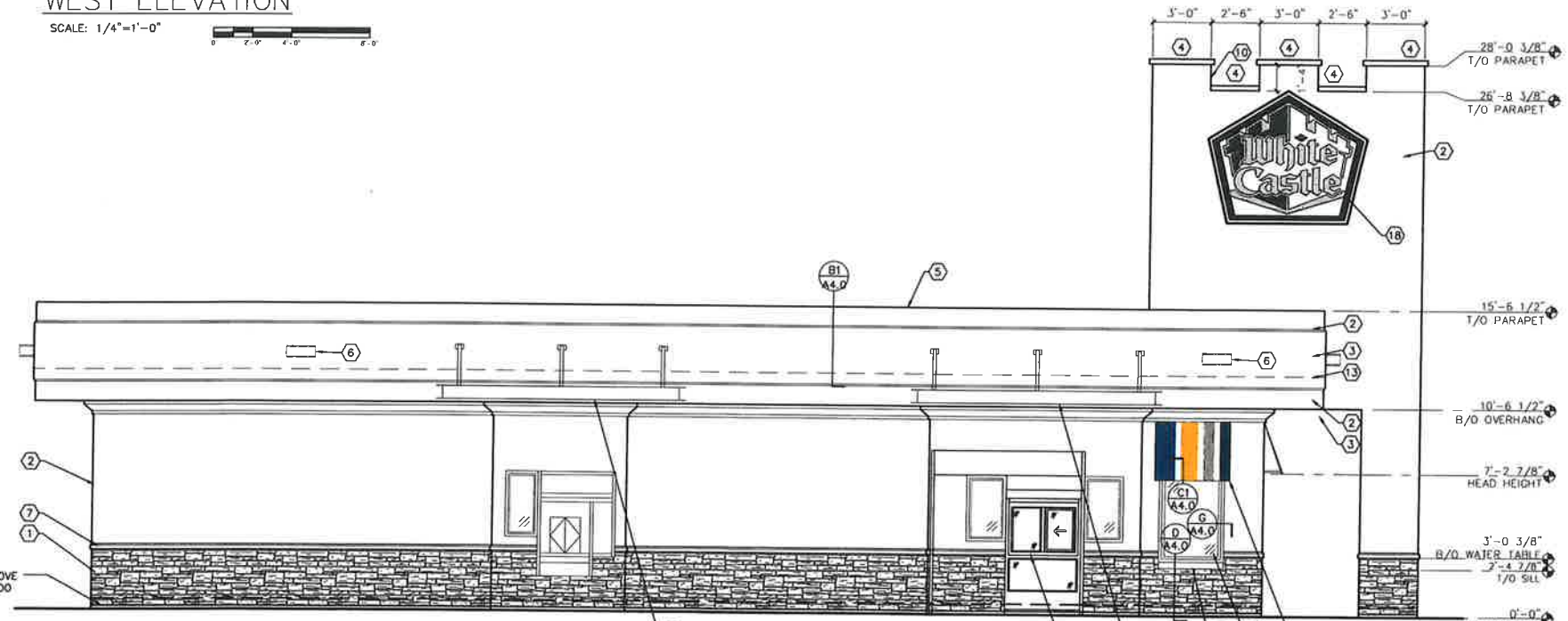
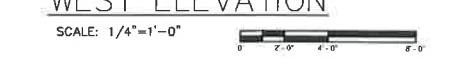


WEST ELEVATION

SCALE: 1/4"=1'-0"

42" HIGH EXISTING WROUGHT IRON FENCE IS TO REMAIN. GATE SHALL BE UNLOCKED AT ALL TIMES.

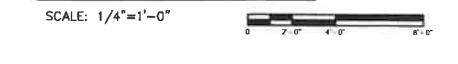
STONE IS TO STOP AT 2" ABOVE GRADE PER MANUFACTURER. DO NOT CONTINUE STONE INTO STAIRWELL.



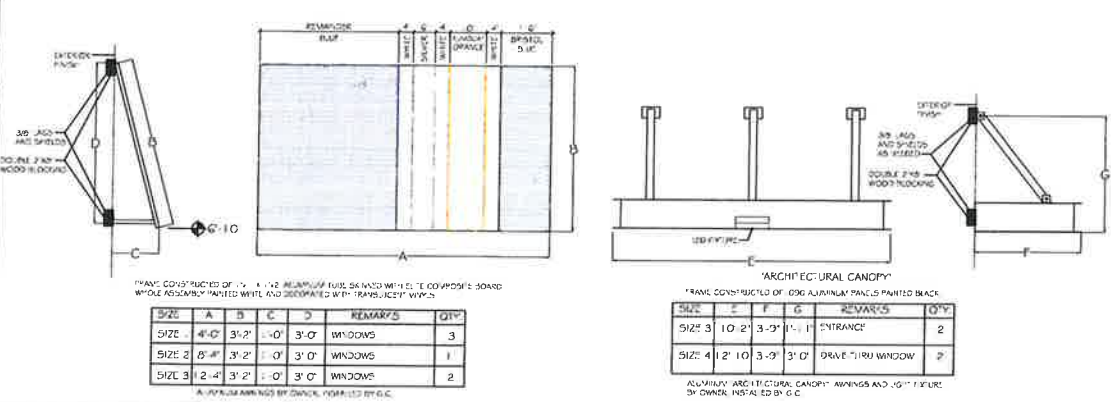
EAST ELEVATION

SCALE: 1/4"=1'-0"

STONE IS TO STOP AT 2" ABOVE GRADE PER MANUFACTURER. DO NOT CONTINUE STONE INTO STAIRWELL.



AWNING SCHEDULE



CONSTRUCTION NOTES

1. PARAPET DIMENSIONS ARE FROM FINISH TO FINISH.
2. EXTERIOR FINISH MASONRY PRODUCTS SHALL BE:
 PURCHASED FROM: BOULDER CREEK STONE, 8282 ARTHUR ST. MINNEAPOLIS, MN 55432. CONTACT: PAUL MOORE. PHONE: (651) 964-9089.
 APPROVED ALTERNATE: PROVA STONE POLAR EDGE CUT. CONTACT: BRUCE WIGAL. PHONE: (740) 819-6534.
3. GROUT - RICH COLOR WHITE WITH WHITE SAND.
4. 3.4 LB. SQ/YD CORROSION RESISTANT WIRE LATH IS TO BE APPLIED DIRECTLY OVER EPS INSULATION. LATH IS TO BE INSTALLED HORIZONTALLY.
5. A SCRATCH COAT IS TO BE APPLIED OVER THE LATH FOLLOWED BY A SETTING BED PER MANUFACTURER'S INSTRUCTIONS.
6. GROUT - RICH COLOR WHITE WITH WHITE SAND.
7. AWNINGS OVER DOORS SHALL NOT INTERFERE WITH FREE SWING OF DOORS. AWNINGS SHALL BE CENTERED OVER DOORS AND WINDOWS.

ELEVATION CODED NOTES

- 1 WAINSCOT - CULTURED STONE VENEER. MANUFACTURER: BOULDER CREEK. PRODUCT: OHIO RUBBLE. COLOR: OKLAHOMA CREME S4750-9. GROUT: RICH COLOR - WHITE (WHITE SAND). JOINTS: RAKED.
- 2 BODY OF BUILDING - E.I.F.S. COLOR: SW7009 PEARLY WHITE.
- 3 ACCENT BAND - E.I.F.S. COLOR: SW7029 AGREEABLE GRAY.
- 4 CAPSTONE (TYPICAL) WHITE PRECAST CONCRETE PROVIDED AND INSTALLED BY MASON. MERLONS: 1" OVERHANG ON ENDS AND INSIDE EDGE. 2" OVERHANG ON OUTSIDE EDGE. CRENELS: 1" OVERHANG ON INSIDE EDGE, 2" OVERHANG ON OUTSIDE EDGE. CRENELS SHALL FIT AGAINST ADJACENT FINISH WITHOUT GAPS AT ENDS. MITERED STONES AT CORNERS OF BUILDING/TOWER.
- 5 METAL COPING BY ROOFING CONTRACTOR. COLOR: WHITE.
- 6 EXTERIOR LIGHT FIXTURE - USE EXISTING LIGHT FIXTURE LOCATION. COLOR: BRUSHED ALUMINUM MOUNTED ON SMOOTH SURFACE (SEE DETAIL ON SHEET E2.0) SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
- 7 WINDOW SILLS / WATER TABLE MANUFACTURER: BOULDER CREEK. PRODUCT: CHISEL FACE SILLS. COLOR: HARVEST WHEAT SLCH-840. CUT/MADE TO LENGTH (EXISTING TO REMAIN).
- 8 UNDERSIDE OF SOFFIT - SAME AS CODED NOTE 2, BODY OF BUILDING.
- 9 ADDRESS STONE MANUFACTURER: TO BE PURCHASED LOCALLY AND APPROVED BY W.C. REP.
- 10 CRENELATION / TOWER REVEAL (TYPICAL) SIDES SHALL BE CLAD WITH EXTERIOR FINISH MATERIAL.
- 11 RETURN EXTERIOR FINISHES FULL DEPTH TO JAMB OR ADJACENT SURFACE.
- 12 EXISTING FREEZER PASS-THRU DOOR.
- 13 ROOF LINE.
- 14 ALUMINUM STOREFRONT W/ 1" TEMPERED GLASS (EXISTING TO REMAIN).
- 15 NEW ALUMINUM ENTRY DOOR IN EXISTING STOREFRONT SYSTEM (SEE SHEET A2.0 FOR ADDITIONAL INFORMATION).
- 16 NEW HOSPITALITY DOOR.
- 17 NEW AWNING (SEE SCHEDULE FOR SIZES).
- 18 WHITE CASTLE LOGO SIGN. SEE ELEVATIONS FOR SQ. FT. SUPPLIED BY OWNER, INSTALLED BY SIGN CONTRACTOR.
- 19 HOLLOW METAL DOOR (SEE SHEET A2 FOR ADDITIONAL INFORMATION).
- 20 STAINLESS STEEL RTI FLUSH MOUNT FILL BOX.



DATE	REVISION	NO.

DRAWN: [Name]
 DESIGNED: [Name]
 APPROVED: [Name]
 DATE: NOVEMBER 15, 2022
 DLZ PROJECT NUMBER: 2221-6008-00
 CLIENT PROJECT NUMBER: [Number]

CAROL STREAM, ILLINOIS, 80188
 WHITE CASTLE
 CH #51 CAROL STREAM

EXTERIOR ELEVATIONS

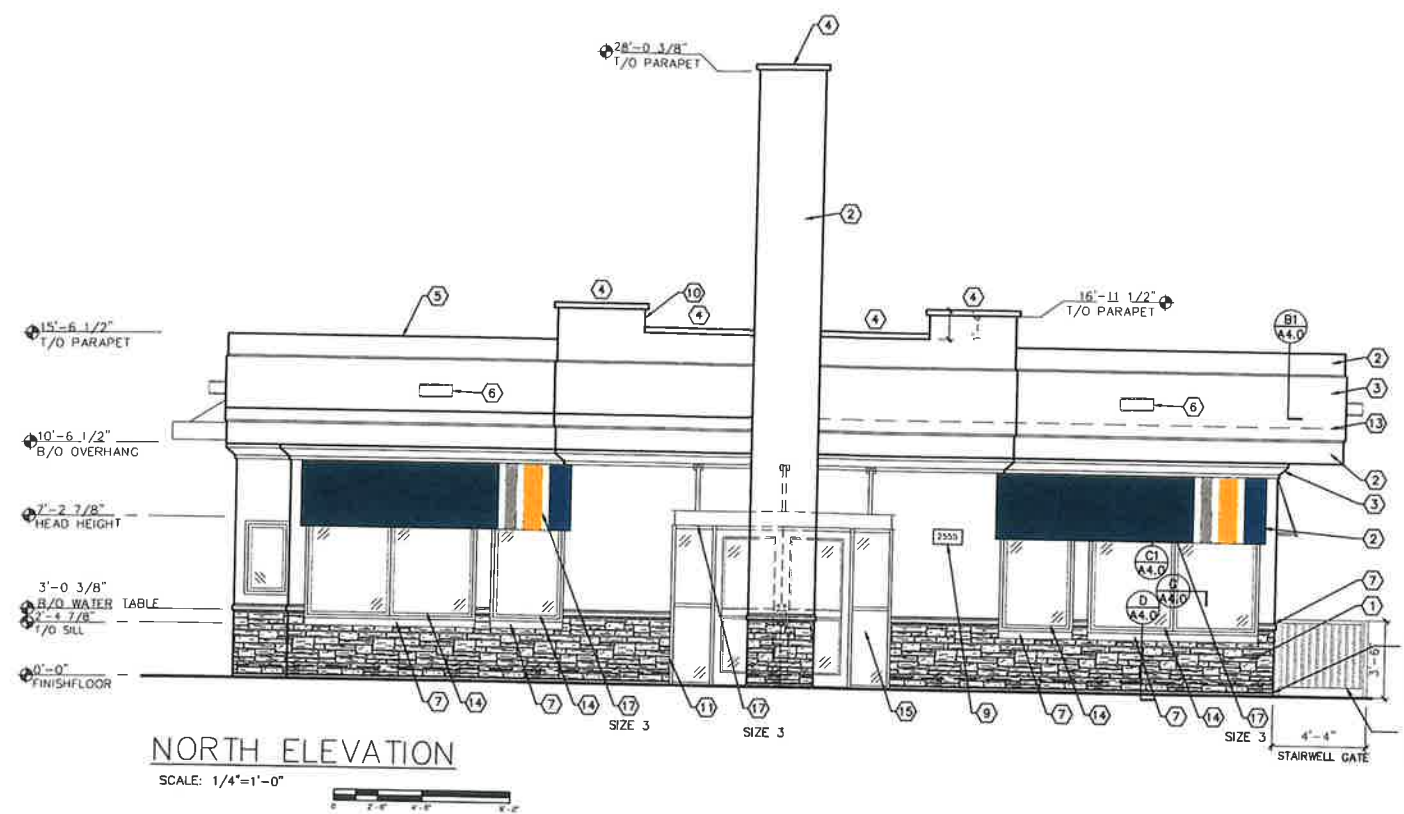
110 W NORTH AVE

DRAWING NUMBER: **A3.0**
 ARCHITECTURE

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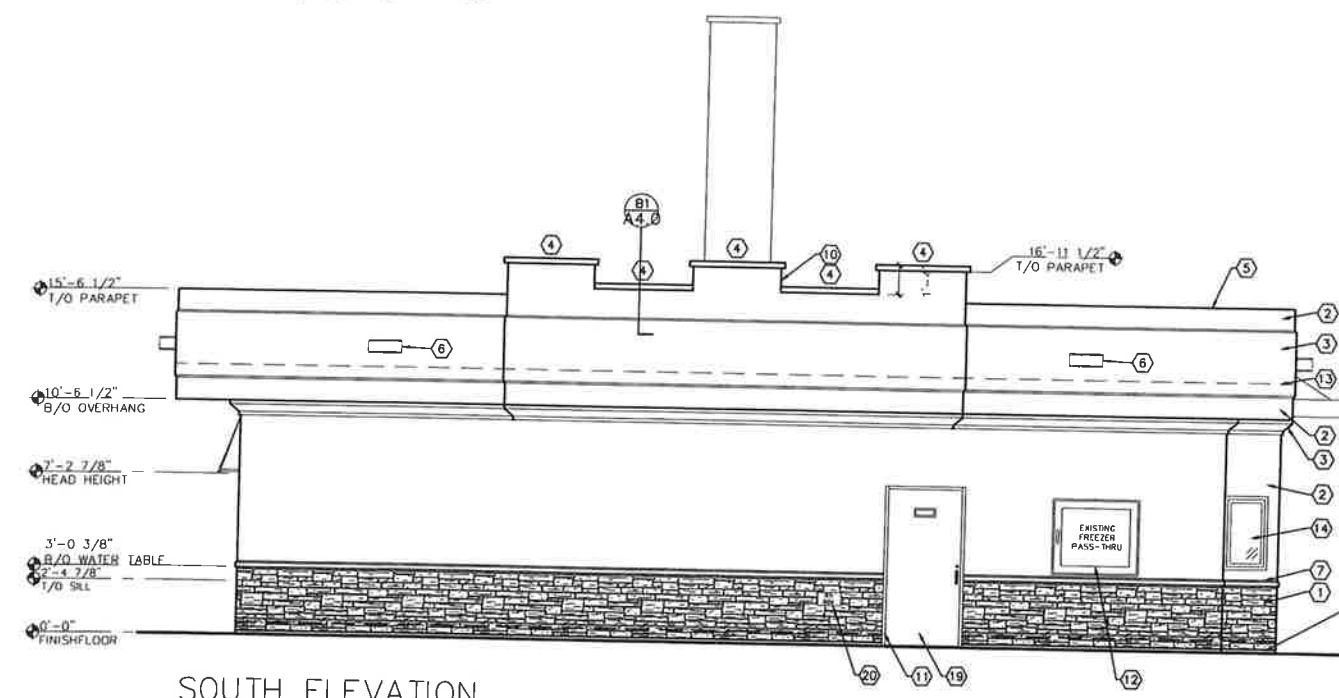
EXHIBIT J-2

GENERAL NOTES:
1. THIS DRAWING SHEET IS PRINTED IN COLOR.



NORTH ELEVATION
SCALE: 1/4"=1'-0"

STONE IS TO STOP AT 2" ABOVE GRADE PER MANUFACTURER. DO NOT CONTINUE STONE INTO STAIRWELL.
42" HIGH EXISTING WROUGHT IRON FENCE IS TO REMAIN. GATE SHALL BE UNLOCKED AT ALL TIMES.



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

STONE IS TO STOP AT 2" ABOVE GRADE PER MANUFACTURER. DO NOT CONTINUE STONE INTO STAIRWELL.

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ELEVATION CODED NOTES

- ① WAINSCOT-CULTURED STONE VENEER MANUFACTURER: BOULDER CREEK PRODUCT: OHIO RUBBLE COLOR: OKLAHOMA CREME S4750-9 GROUT: RICH COLOR- WHITE (WHITE SAND) JOINTS: RAKED
- ② BODY OF BUILDING - E.I.F.S. COLOR: SW7009 PEARLY WHITE
- ③ ACCENT BAND - E.I.F.S. COLOR: SW7029 AGREEABLE GRAY
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- ⑩ CRENNELLATION / TOWER REVEAL (TYPICAL) SIDES SHALL BE CLAD WITH EXTERIOR FINISH MATERIAL.
- ⑪ RETURN EXTERIOR FINISHES FULL DEPTH TO JAMB OR ADJACENT SURFACE
- ⑫ EXISTING FREEZER PASS-THRU DOOR
- ⑬ ROOF LINE
- ⑭ ALUMINUM STOREFRONT W/ 1" TEMPERED GLASS (EXISTING TO REMAIN)
- ⑮ NEW ALUMINUM ENTRY DOOR IN EXISTING STOREFRONT SYSTEM (SEE SHEET A2.0 FOR ADDITIONAL INFORMATION)
- ⑯ NEW HOSPITALITY DOOR
- ⑰ NEW AWNING (SEE SCHEDULE FOR SIZES)
- ⑱ WHITE CASTLE LOGO SIGN SEE ELEVATIONS FOR SQ. FT. SUPPLIED BY OWNER, INSTALLED BY SIGN CONTRACTOR
- ⑲ HOLLOW METAL DOOR (SEE SHEET A2 FOR ADDITIONAL INFORMATION)
- ⑳ STAINLESS STEEL RTI FLUSH MOUNT FILL BOX

AWNING SCHEDULE

SIZE	A	B	C	D	REMARKS	QTY
SIZE 1	4'-0"	3'-0"	0"	3'-0"	WINDOWS	3
SIZE 2	6'-4"	3'-2"	0"	3'-0"	WINDOWS	1
SIZE 3	2'-4"	3'-2"	1'-0"	3'-0"	WINDOWS	2

SIZE	E	F	G	REMARKS	QTY
SIZE 3	10'-2"	3'-9"	0"	2" FRANGE	2
SIZE 4	12'-10"	3'-9"	3'-0"	DRIVE THRU WINDOW	2



NO.	REVISION	DATE

DRAWN: CHW: CAROL STREAM, ILLINOIS, 60188
DESIGNED: CHW: WHITE CASTLE
APPROVED: DATE: NOVEMBER 15, 2022
DLZ PROJECT NUMBER: 2221-6008-00
CLIENT PROJECT NUMBER: 2221-6008-00

110 W NORTH AVE
WHITE CASTLE
CH #51 CAROL STREAM
EXTERIOR ELEVATIONS

DRAWING NUMBER: **A3.1**
ARCHITECTURE

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