

# Village of Carol Stream

## AGENDA

### REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, MARCH 27, 2023 AT 6:00 P.M.

*ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON*

I. Roll Call: Present:  
Absent:

II. Approval of Minutes: March 13, 2023

III. Public Hearing

**22-0032– Casey’s Retail Company – 1025 N. Gary Avenue**  
*Amendment of a Special Use Permit for a Planned Development*  
*Text Amendment to Allow Fuel Sales as a Special Use in the B-1 District*  
*Special Use Permit for Fuel Sales*  
*Gary Avenue Corridor Review*  
*Plat of Consolidation*

**22-0056 – SBA Monarch Towers III, LLC/T-Mobile – 877-901 E. Geneva Road**  
*Height Variation for a Stealth Antenna Tower (continued from the March 13, 2023 meeting)*

**23-0002 – New Asian Spa – 383 N. Gary Avenue**  
*Special Use Permit for a Massage Establishment*

IV. Presentation:

V. Old Business:

VI. New Business:

VII. Report of Officers:

VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
March 13, 2023.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi

Absent: 1 Commissioner Petella

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Patty Battaglia, Planning and Permitting Assistant

**MINUTES:**

Commissioner Tucek moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on February 13, 2023.

The results of the roll call vote were:

Ayes: 4 Commissioners Christopher, Meneghini, Morris, and Tucek

Nays: 0

Abstain: 2 Commissioner Battisto and Chairman Parisi

Absent: 1 Commissioner Petella

The motion passed by a majority vote.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Christopher moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 1 Commissioner Petella

The motion passed by unanimous vote.

**Case #22-0056– SBA Monarch Towers III, LLC/T-Mobile-877-901 E. Geneva Rd.**  
*Height Variation for a Stealth Antenna Tower (continued from the February 13, 2023 meeting)*

Mr. Farace stated the applicant contacted him earlier today stating they are changing the design for the top 40 feet of the tower.

Chairman Parisi swore in Mr. Eric Greenfield, associate of applicant, Mr. Mark Iacopetti, from SBA Monarch Towers III, LLC.

Mr. Greenfield stated they decided to change the design on the top 40 feet of the tower and Mr. Farace informed them they need to resubmit updated plans showing the changes. Mr. Greenfield then asked for a continuance to the March 27, 2023 meeting.

Commissioner Christopher moved and Commissioner Battisto seconded the motion with no further discussion.

The results of the roll call vote were:

- Ayes:        6        Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi
- Nays:        0
- Abstain:    0
- Absent:     1        Commissioner Petella

The motion passed by unanimous vote.

**23-0008 – Village of Carol Stream – 500 N. Gary Avenue**  
*Zoning Text Amendment – Unified Development Ordinance (UDO)-Miscellaneous Modifications*

Chairman Parisi swore in Mr. Farace.

Mr. Farace stated staff is recommending the following text amendments for miscellaneous modifications to the UDO:

- Modify definition of *Microbrewery* to read 155,000 gallons or 3,690 barrels instead of 15,000 barrels per the recommendation of the Village attorney
- Contractor’s Office and Shop should only be listed as a permitted use in the Industrial District and should be removed as a permitted use in the B-3 District.
- Use Specific Standards to be changed from 16-4-16 to 16-14-15 and the following verbiage will be added to 16-4-17 Drive Through: *Size, appearance and location of additional appurtenances associated with the drive through use, including but not limited to clearance bars, speaker boxes, pavement markings, and ordering canopies, shall be evaluated as part the review of the drive through use.*

- Off-Street Parking and Loading updated to read *parking spaces may not be used for the regular storage or parking of vehicles, equipment or materials associated with the principal use on the property.*
- Permanent Signs Requiring a Permit will additionally read: *Should sign copy be incorporated onto a sign's backing plate, it shall be a dimensional copy with a minimum depth of two inches.*
- Extension of Annexation Agreements to be listed under 16-8-4 Petition Review and Approval (P) Annexation.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Christopher moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi  
Nays: 0  
Abstain: 0  
Absent: 1 Commissioner Petella

The motion passed by unanimous vote.

**NEW BUSINESS:**

The Plan Commission viewed Part 1 of the PC/ZBA Training Video provided by the Illinois Chapter of the American Planning Association.

**OLD BUSINESS:**

**OTHER BUSINESS:**

**ADJOURNMENT:**

At 6:52 p.m. Commissioner Battisto moved and Commissioner Meneghini seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Christopher, Meneghini, Morris, Tucek and Chairman Parisi  
Nays: 0  
Abstain: 0  
Absent: 1 Commissioner Petella

The motion passed by unanimous vote.



FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Patty Battaglia  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

March 27, 2023

**TO:**  
Chairperson and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting approval  
of the following:

- An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the UDO
- A Text Amendment to Allow Fuel Sales as a Special Use in the B-1 District, in accordance with Section 16-8-4 (M) of the UDO
- A Special Use Permit for Fuel Sales, in accordance with Section 16-3-11 of the UDO
- Gary Avenue Corridor Review, in accordance with Section 16-8-4 (J) of the UDO
- Plat of Consolidation, in accordance with Section 16-8-4 (O) of the UDO

**APPLICANT/ CONTACT:**  
Mr. Richard McMahon  
Casey's Retail Company  
3305 SE Delaware Avenue  
Ankeny, IA 50021



**CASE #:** 22-0032

**LOCATION:** 1025 N. Gary Avenue

**PROJECT NAME:** Casey's Retail Company



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-1 Town Center District	Commercial (Vacant)	Corridor Commercial
North	B-1 Town Center District	Commercial (Open Space)	Open Space
South	B-1 Town Center District	Commercial (Vacant)	Corridor Commercial
East	I Industrial District	Industrial (Assa Abloy)	Industrial
West	R-4 Multiunit Residence District	Open Space (Detention)	Open Space

The property highlighted above is located at the northeast corner of Gary Avenue and Lies Road.

---

## Site Assessment

---

### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed fuel sales station and convenience store fit within this designation.

### AERIAL PHOTOGRAPH:



---

## Project Summary

---

### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Text Amendment Application, Cover Letter from Kimley Horn dated February 14, 2023, Public Notice, Planned Development Plans (Exhibits A-1 and A-2), Grading Plan (Exhibit B), Utility Plan (Exhibit C),

Landscape Plans (Exhibits D-1 through D-3), Truck Turning Exhibits (Exhibits E-1 and E-2), Building, Fuel Canopy and Dumpster Enclosure Elevations (Exhibits F-1 through F-3), Plat of Consolidation (Exhibits G-1 through G-3), and Sign Packet (Exhibits H-1 through H-7).

**BACKGROUND:**

The applicant, Richard McMahon with Casey's Retail Company, requests approval of the following items associated with the development of a Casey's fuel sales station and convenience store at the northeast corner of Gary Avenue and Lies Road:

- Amendment of a Special Use Permit for a Planned Development
- Text Amendment to allow fuel sales as a Special Use in the B-1 District
- Special Use Permit for Fuel Sales
- Gary Avenue Corridor (GAC) Review
- Plat of Consolidation

In 2007, a Planned Development (PD) was approved for the 4.14 acres at the northeast corner of Gary and Lies (Tallgrass PUD). The PD consisted of three multi-tenant retail buildings and a bank. The existing subdivision illustrates four parcels for the previously approved PD. Due to the economic downturn a few years after the PD was approved, the project never moved forward and the property has been marketed for new development opportunities. Casey's proposes to consolidate all parcels into a single lot, and develop a 12-pump fueling station and 4,300 square foot convenience store.

---

**Staff Analysis**

---

**UDO TEXT AMENDMENT**

As stated above, the applicant is seeking approval of a Text Amendment to add "Fuel Sales" to the list of allowable Special Uses in the B-1 Town Center District. Fuel Sales, or gas stations, are currently allowed as a Special Use in the B-3 General Business District.

In review of this request, staff has considered the purpose and intent of the B-1 District as compared to the B-3 District, the characteristics of B-1 District properties in the Village, and the characteristics of both retail and service uses in general. In addition, staff reviewed the Village Comprehensive Plan, and specifically provisions regarding the Town Center Node. It should be noted that, since the use is proposed to be listed as a Special Use, any future fuel sales facility interested in operating in the B-1 District would be evaluated in accordance with the Special Use standards on a case-by-case basis. Please also note that fuel sales is defined in the UDO as the following:

**FUEL SALES.** *A retail facility that sells gasoline for the fueling of automobiles that may include one or more of the following accessory uses: convenience store and restaurant. The facility shall not be designed to serve vehicles over 12,000 pounds.*



According to the UDO, "The B-1 District is established to foster the growth and development of the village's "Town Center". The intent of this district is to provide for a variety of retail, office, service, residential, and cultural amenities in a central setting. While visitors are likely to access the B-1 district by vehicle, bicycle and pedestrian facilities and circulation within the district are prioritized." Included among the permitted uses in the B-1 District are general retail sales, general commercial service uses, restaurants, grocery and specialty food stores, and offices. Included among the allowable special uses in the B-1 District are hotels, shopping centers, microbreweries, and drive-through uses.

In addition, the Village's Comprehensive Plan states the following in regards to the Gary Avenue and Lies Road intersection, specifically vacant parcels at the northeast and southeast corners of the intersection:

*"The frontage of the sites on the east side of Gary Avenue might be able to attract smaller-scale specialty commercial retail, services, and entertainment. Potential uses would include restaurants, a childcare facility, dry cleaners, a bank branch, phone store or drug store, or other businesses serving residents' daily needs. In addition, a bike or outdoor enthusiast sale and repair store could be suitable, especially as area bikeway projects are completed. Set back from the frontage but within a short walk, medical offices (preferably associated with a nearby hospital) or medical clinics are possible. A moderately priced hotel with a banquet or entertainment center may be possible, but this should be the last piece of the development. Other proposed additions would likely be necessary before a hotel, and future growth among industrial corridor businesses, specifically more corporate meetings and business travel, could support the hotel."*

The proposed fuel sales station and convenience store align with retail and service uses recommended in the Comprehensive Plan, and will serve residents, businesses, and travelers along both Gary Avenue and Lies Road. The proposed text amendment is illustrated below:

Proposed Use	Additional Regulations	R-1	R-2	R-3	R-4	B-1	B-2	B-3	O-S	I
<b>Auto Oriented Businesses</b>										
Autobody Repair, all vehicles								S		S
Fuel Sales						S		S		
Repair and Service								S		S
Car Wash								S		S
Automobile and Commercial Vehicle Fueling Plaza								S		
Vehicle Sales and Rental	§ 16-4-13							P		S
Outdoor Vehicle Storage	§ 16-4-18							S		S

## TEXT AMENDMENT EVALUATION CRITERIA

The Plan Commission's recommendation regarding the requested text amendment must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (M) of the UDO, no text amendment shall be recommended by the Plan Commission nor approved by the Village Board unless the text amendment:

1. Is consistent with the purpose of this UDO and the village comprehensive plan.

As previously stated, the B-1 District was established to foster the growth and development of Carol Stream's Town Center. Uses that will support such growth and development include retail, service, office, and recreational uses. Likewise, the Comprehensive Plan calls for commercial development within the Town Center Node. The proposed fuel sales station and convenience store fall within these categories.

2. Will not adversely affect the public health, safety, or general welfare.

The proposed fuel sales station and convenience store should not adversely affect public health, safety, or general welfare, and the site has been designed to safely accommodate automobile and delivery truck traffic (discussed in more detail later in this report).

3. Is necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.

The proposed fuel sales station and convenience store will provide an economically viable development in the Town Center, without hindering the viability of surrounding properties. Staff also notes that the parcels have remained vacant (undeveloped) under the retail/commercial zoning classification for several decades.

## PLANNED DEVELOPMENT AMENDMENT / SPECIAL USE FOR FUEL SALES

§ 16-7-6 of the UDO specifies that amendments to PD Plans can either be categorized as minor or major amendments. A minor amendment can be approved at the staff level, and includes changes to a site plan or design details that do not alter the concept or intent of the PD. These changes include minor parking, site amenity, and landscaping/open space changes. Major changes to PD Plans must be reviewed by the PC/ZBA and approved by the Village Board, and include increasing the project density or expanding buildings, reducing open space by more than 10%, and amending development agreements or covenants. Since the proposed Casey's project would entirely change the previous PD Plan, the proposal is considered a major PD amendment and must be reviewed by the PC/ZBA and Village Board.

Below is a summary of the project (additional information will be provided in the Gary Avenue Corridor section of this report):

- The proposed development consists of a 4,319 square foot convenience store, with 12 fuel pumps situated under a canopy to the west of the convenience store. It should be noted that

no truck fuel pumps are proposed at this development, nor are there truck parking spaces. Staff would not support a fuel sales facility with truck fuel pumps in the Town Center Node, as it is not conducive to the character of the Town Center.

- Access to the site is proposed from two driveway locations: one full access driveway along Lies Road and one limited access driveway along Gary Avenue. The applicant has provided truck-turning templates illustrating sufficient turning maneuvers for fuel and delivery trucks to enter and exit the site safely. A sidewalk connection is also proposed along Lies Road, connecting the site with a future bike path along Lies Road scheduled to be constructed this year.
- A sidewalk is proposed along the front/west side of the convenience store. Spaces have been carved out along the front sidewalk for outdoor sales of products, such as firewood and packaged ice. Fourteen parking spaces are also proposed along the west side of the convenience store, with the inclusion of bollards for protection along the front of the building.
- Two outdoor tables, a bicycle rack, and a trash receptacle are proposed on the north side of the convenience store, along with the dumpster enclosure that will be constructed to match the building. In addition, a delivery area is proposed along the south side of the building.
- A site amenity is proposed at the southwest corner of the development, which will include a decorative stone seat wall, benches, and landscaping. Staff supports the corner amenity as it mirrors (though at a smaller scale) other decorative and stone elements seen in the Town Center.
- Detention will be accounted for in a compensatory storage basin on the north side of the property that will tie into the existing basin to the north. Also, an existing drainage/floodplain area runs along the entire west side of the property, and is covered by a drainage and floodplain easement. Additional discussion on the drainage area, and its effect on the site layout, will be discussed in more detail when reviewing requested PD exemptions below.
- Additional description of landscaping, architectural design, and signage will be provided in the GAC section of the staff report. However, PD allowances are requested from a landscaping and building setback perspective.
  - *Foundation Landscaping Allowance.* The UDO states that a landscaped area at least five feet in width shall be provided along the foundation of a non-residential or multiunit residential building, at the front and exterior sides of the building, to visually soften long expanses of walls. Landscaping must also be provided along at least 80% of the length of the building wall, excluding where ingress/egress walkways are located. In the case of the Casey's building, the west and south sides of the building would require foundation plantings. Plant material is proposed along the majority of the south building wall, but only along approximately 30% of the west building wall. Staff can support the reduction of plant material along the west building wall, since landscaping is proposed along this front side of the building at its northwest and southwest corners. These landscaped areas will act as "anchors" along the front building wall and soften the corners of the building, and will also provide space for outdoor product displays for firewood, packaged ice, and propane tanks. It should also be noted that plant material is proposed along the north building wall, and the UDO does not require landscaping along this side of the building.

- *East Transition Area Landscaping Allowance.* The UDO requires the subject property (a commercial use) to provide a 10-foot wide landscaped buffer from an adjacent property with an industrial use. Specific plant material requirements are also provided, which include a number of trees and shrubs/native grasses based on the lineal property frontage, and a six-foot tall wall or fence. As proposed, the transition or buffer area between the subject property and the adjacent industrial property to the east will be 10 feet wide, but contain 10 fewer ornamental trees, eight fewer canopy/evergreen trees, and 85 fewer shrubs/native grasses than required by the UDO. In addition, a fence is not proposed. In its place, a berm of approximately five feet in height is proposed just west of the transition area, with some of the plant material proposed on top of the berm. Pine and Linden trees are also proposed near the southeast corner of the building for additional screening purposes. Staff supports not installing a fence along the east property line, given that the proposed berms will provide a similar screening mechanism as a fence. However, we recommend that the landscaping be installed to meet the quantities required per the UDO. Additional landscaping can be installed either within the east transition area or on other parts of the site to provide screening or aesthetically-pleasing landscaped areas within the development. Staff asks that the PC/ZBA weigh in on this landscaping modification, and allow the applicant to work with staff on updating the landscape plan as part of the building permit review process.
- *Right of Way Landscaping Allowance.* The Code of Ordinances requires that parkway trees be installed along village rights of way, at 40-foot intervals. Due to conflicts with existing underground utilities, no parkway trees are proposed along Lies Road. However, the applicant proposes to install shrub groupings and trees to the north of the parkway to compensate for the lack of parkway trees. As such, staff supports the requested allowance.
- *Landscaping Allowance along Gary Avenue.* GAC provisions in the UDO state that properties are required to install landscaping along Gary Avenue in accordance with a "Transition Area Type D" buffer. This transition area is required to be 15 feet wide, with a required number of trees and shrubs/native grasses per lineal property frontage. Due to the existing drainage/floodplain area along the entire Gary Avenue frontage of the subject property, where plant material cannot be installed due to storm water management regulations, the applicant requests an allowance from this requirement. In place of the Gary Avenue landscaping, the applicant proposes to install a row of trees and shrubs to the west of the proposed property curb line just east of the drainage area. Proposed plant material will allow the development to come closer to meeting this requirement. Since the landscaping proposed along the curb line will meet the intent of this provision in the UDO, staff can support this allowance.
- *Building Setback Allowance.* GAC provisions in the UDO require that a building be set back a minimum of 60 feet and a maximum of 100 feet from the Gary Avenue right of way. The proposed convenience store will be set back approximately 195 feet from the Gary Avenue right of way. Staff can support this requested allowance given the proposed site layout, with the fuel pumps and canopy proposed to the west of the



building, and the existing drainage area along the Gary Avenue right of way restricting utilization of said area. It should be noted that the WoodSpring Suites building, located near the southwest corner of Gary Avenue and Stark Drive, received approval to be set back approximately 150 feet from the Gary Avenue right of way given similar site constraints and jurisdictional wetlands along its Gary Avenue frontage.

Proposed site and landscaping improvements will meet PD standards as outlined in Sections 16-7-1 and 16-7-3 of the UDO, which state that PDs should have unified buildings, structures, and site amenities through design, and should provide for safe, efficient, convenient, and harmonious grouping of structures, uses and facilities. In addition, bike and pedestrian consideration is very important in the Town Center Node as improvements help create the desired character of the area which is a more pedestrian-friendly commercial environment, that draws upon nearby residents, workers, and users of the Town Center. Proposed sidewalk connections, bike rack, outdoor seating, and corner amenity will enhance the overall development from a pedestrian and cyclist perspective.

Staff also supports the special use request for fuel sales, and believes the proposed fuel sales station and convenience center will provide an amenity for residents, employees in the adjacent industrial park, and motorists along the Gary Avenue Corridor.

#### **SPECIAL USE FINDINGS OF FACT**

The Plan Commission's recommendation regarding the requested Special Use Permits must be based on the evaluation criteria set forth in the UDO. As stated in §16-15-8(E) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The fuel station and convenience store will provide services to the community, and will be considered a public convenience at the subject location.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Overall, the proposed development will enhance storm water and drainage management facilities and has been designed to allow for safe traffic patterns in and out of the site.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed development will not have negative impacts on surrounding properties, as it has been designed with safe and efficient traffic flow. In addition, a new commercial development should enhance values for surrounding properties.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Staff does not believe the proposed facility should have an impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are either in place or will be designed and constructed in accordance with State and Village regulations.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

#### GARY AVENUE CORRIDOR REVIEW

GAC regulations are applicable to properties abutting Gary Avenue, and Plan Commission review of the proposed development is required to ensure that the proposal is in conformance with the GAC regulations. The Plan Commission has the authority to make the final determination of conformance with the GAC regulations and Village Board consideration is not required. The sections of the GAC regulations that apply to this project include site, landscape and architectural design, and signage.

- *Site Design.* As already described, driveway and parking space locations, fuel canopy and convenience store placement, and sidewalk connections have been designed to encourage safe and effective automobile and pedestrian flow throughout the site.
- *Landscape Design.* Proposed foundation, perimeter, and transition area landscaping for the project has been described. The proposed landscaping will meet the intent of the landscaping requirements of the Gary Avenue Corridor and the UDO, and will provide an aesthetically appealing property in the Town Center Node.
- *Architectural Design.* The convenience store building will be constructed of face brick, with cultured stone proposed at the base of the building on all four sides and stone columns along the west, north, and south sides of the building. Brick pilasters are also proposed along the east, north, and south sides of the building, and both soldier and rowlock brick courses are proposed to break up the building walls from a horizontal perspective. Metal awnings are proposed above most doors and windows, and the fuel canopy will have brick wrapped columns to match the building and a metal fascia branded with the Casey's red color scheme. Staff is generally supportive of the building elevations, given the quality materials and detailing that are proposed.

One item that we wish to bring to the PC/ZBA's attention is the proposed ACM (aluminum composite material) panel system on the larger canopy on the west/front side of the building. ACM is made of aluminum and a small density plastic core material. Given the location of the property within the Town Center, we recommend replacing the majority of the ACM panel material with masonry to match the building, and installing a smaller ACM panel centrally located on the canopy for wall signage installation. Staff asks that the PC/ZBA weigh in on this architectural modification, and determine if plans should be updated prior to Village Board review with the modification.

- *Signage.* Two double-sided monument signs are proposed for the development, which is allowed per the UDO based on two street frontages for the development. One sign is proposed near the Gary/Lies intersection, and one sign is proposed near the Lies driveway for the development. Both monument signs will be constructed of masonry with a stone base and decorative trim cap, which will match the materials and style of the convenience store building. Electronic message boards depicting fuel prices are also proposed on both signs. The square footage, height and landscaping material around sign bases meet requirements for signage along the GAC.

Overall, the proposed building and canopy design, site layout, landscaping, and signage will provide for an attractive development along the GAC.

#### PLAT OF CONSOLIDATION

A plat of consolidation has been submitted for review, which consolidates the four existing lots into one lot. In total, the newly established lot will measure approximately 4.14 acres. Staff from Community Development, Engineering Services, and the Village Clerk's office have reviewed the submitted plat, and deem it acceptable.

#### RECOMMENDATION

Staff has reviewed the proposed requests and supports the project. Therefore, staff recommends approval of an Amendment of a Special Use Permit for a Planned Development, Text Amendment to allow fuel sales as a Special Use in the B-1 District, Special Use Permit for Fuel Sales, Gary Avenue Corridor Review, and a Plat of Consolidation, for Casey's Retail Company at 1025 N. Gary Avenue, Case No. 22-0032, subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1

dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c) of the UDO;

4. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
5. That parking lot lighting which meets requirements of the UDO shall be required;
6. That the applicant must obtain the required sign permit prior to the installation of any new signage;
7. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO;
8. That the fuel tank vent piping shall be routed through the roof of the fuel pump canopy, as depicted on the submitted drawings;
9. That no additional products other than the proposed packaged ice cabinet, firewood racks, and propane tank cabinet shall be displayed outside, and may only be displayed at the locations shown on the PD Plan; and
10. That the site must be maintained and operated in accordance with all State, County and Village codes and regulations.

T:\Planning New\Planning\Plan Commission\Staff Reports\2023 Staff Reports\22-0032 Caseys SUP PLAT ZTA GAC 1025 N Gary.docx



**Do Not Write in This Space**  
 Date Submitted: 7-15-22  
 Fee Submitted: \$6,320.00  
 File Number: 22-0032  
 Meeting Date: 3/27/23  
 Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188  
 PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

**FORM A**

**GENERAL APPLICATION  
 PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Casey's Retail Company - Richard McMahon Phone 515-318-9944  
 Address PO Box 3304 | 3305 SE Delaware Ave, Ankeny IA, 50021 Fax \_\_\_\_\_  
 E-Mail Address Richard.McMahon@caseys.com  
 (required)  
 Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect CESO Phone 937 648 3214  
 (if applicable)  
 Address 3601 Rigby Roa, Suite 300, Miamisburg OH, 45432 Fax \_\_\_\_\_

2. \*Common Address/Location of Property NEC Lies Road & Gary Avenue, Carol Stream IL, 60188

3. Requested Action: (check all that apply)
- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                                   | <input checked="" type="checkbox"/> Subdivision – Minor/Major              |
| <input type="checkbox"/> Courtesy Review                              | <input type="checkbox"/> Temporary Waiver/Code of Ordinances               |
| <input type="checkbox"/> Development Staff Review                     | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input checked="" type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)              |
| <input checked="" type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)             |
| <input type="checkbox"/> Planned Development – Preliminary            | <input checked="" type="checkbox"/> Special Use Permit (requires Form C)   |
| <input type="checkbox"/> Shared Parking Facility                      | <input type="checkbox"/> Map Amendment (requires Form D-1)                 |
| <input checked="" type="checkbox"/> Site Plan Review                  | <input checked="" type="checkbox"/> Text Amendment (requires Form D2)      |
|   | <input type="checkbox"/> Staff Adjustment (requires Form E)                |

Describe requested action Review of Preliminary Engineering Plans for the proposed Casey's Carol Stream project.  
The proposed improvements include a convenience store, fuel canopy, and car wash.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 6,320

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
✓	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
✓	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
✓	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
✓	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
✓	Site Plan Review	\$640
✓	Special Use:	
✓	First	\$800
✓	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
✓	Subdivision:	
	Major	\$700
✓	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
✓	Text Amendment:	
	Building Codes	\$240
✓	Unified Development Ordinance x2	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80



5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Richard J. McMahon

Print Name

*Richard J. McMahon*

Signature

*9 May 2002*

Date

Revised 07/01



FORM C

RECEIVED  
JUL 15 2022  
COMMUNITY DEVELOPMENT  
DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) ▪ website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.  
See attached.  
\_\_\_\_\_  
\_\_\_\_\_
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.  
See attached.  
\_\_\_\_\_  
\_\_\_\_\_
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.  
See attached.  
\_\_\_\_\_  
\_\_\_\_\_
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.  
See attached.  
\_\_\_\_\_  
\_\_\_\_\_



5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

See attached.

---

---

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

See attached.

---

---

7. Other pertinent information or reason for request.
- 
-

Standards for Special Uses:

1. Redevelopment of the subject property with a modern Casey's branded convenience store, automobile laundry, with retail sale of motor fuels on the intersection of Gary Road & Lies Road shall provide the public with convenient access to needed amenities and service.
2. The proposed Special Uses will not be unreasonably detrimental to or endanger the public health, safety, morals, and comfort of general welfare.
  - a. The redevelopment plan will comply with all State and County Fire Prevention Codes and State Fire Marshal regulations including the implementation of the latest technologies requiring double wall underground tanks and lines, electronic monitoring and reporting.
  - b. Will not increase the potential for flood damages to adjacent property as the redevelopment shall modify storm water and drainage management facilities on site as needed and will be compliant with Best Management Practices of the DuPage County Storm Water Ordinance.
3. The proposed Special Uses will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values in the neighborhood. The redevelopment of the property as a Casey's convenience store with carwash will develop a subdivision lot which has remained vacant since it was originally platted in June 2000 and will therefore increase the viability of the area and thereby increase the market value of the surrounding properties.
4. The proposed Special Uses will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district, but rather shall provide impetus for continued redevelopment of the surrounding real estate.
5. Adequate utilities, access roads, drainage and other important and necessary facilities are already in place and will be used by the proposed Special Use in accordance with all regulations and ordinances.
6. The proposed Special Uses shall conform to applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

# PD Site Development Allowances

80 feet variation from the minimum setback requirement of 100 feet.  
Sec. 16-5-16(D)(2)

Variation to 16-5-6 (B)(3) to not install foundation landscaping.

1. Along Gary Road, there is a significant drainage ditch and floodplain. As a result, the building and overall site cannot be shifted closer to Gary without significant impacts to the existing floodplain and drainage infrastructure. Furthermore, a fuel station & convenience store use requires adequate site circulation area around the fuel canopy which results in the building being set back further. We are complying with the foundation landscape requirement on all but the front of the convenience store. Convenience stores are different from banks and other retail-use buildings in that they generate constant 24 hour high foot traffic between the parking along the front of the building by the nature of the service they provide. The sidewalks must be kept ice and snow free which destroys any landscaping along the building foundation. Carol Stream has recognized this by providing variations from the ordinance allowing the recent construction of the Seven-Eleven on 425 East Geneva Road and the retail strip center on the NW/c of North Avenue and County Farm Road.
2. The granting of the requested variances shall not adversely alter the essential character of the locality. Actually, the granting of the requested variances shall enhance and upgrade the character of the locality without changing it.
3. Due to the drainage easement/floodplain along the Gary Road frontage, the site cannot but developed as a fuel station & convenience store without granting a variance for the setback. The current requirement does adequately address the space required for a fuel station & convenience store development. The sidewalks must be kept ice and snow free which destroys any landscaping along the building foundation.
4. Due to the drainage easement/floodplain along the Gary Road frontage the request is the minimum action necessary to alleviate the hardship.
5. The granting of these variations will not be detrimental to the public welfare or injurious to other property or improvements in the area. They will allow the redevelopment of land which has been vacant.



FORM D-2

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) ▪ website: [www.carolstream.org](http://www.carolstream.org)

## TEXT AMENDMENT

Please see Section 16-8-4(M) of the Unified Development Ordinance (UDO) to learn more about Text Amendments.

In accordance with the applicable statutes of the State of Illinois, an amendment shall be granted or denied by the Village Board only after a public hearing before the Plan Commission and a report of its findings and recommendations has thereafter been submitted to the Village Board.

Proposed Text Amendments that satisfy all of the review criteria may be approved. The Plan Commission and Village Board shall consider the following criteria in their review of Text Amendments: (Please respond to each of these standards in writing below as it relates to your request.)

1. The amendment must be consistent with the purpose of this UDO and the Village Comprehensive Plan.  
The site is located in the Corridor Commercial section in the Comprehensive Plan.  
Parcels in this classification comprise retail, entertainment, hotel, office, and  
light-industrial establishments that are supported by both local residents and the  
surrounding communities due to their location along highly travelled arterial roadways.
2. A fuel station use is consistent with the UDO and Comprehensive Plan in this location.  
The amendment must not adversely affect the public health, safety, or general welfare.  
There will be no detrimental impact on the public health, safety, morals, comfort, or  
general welfare.
3. The amendment is necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.  
The amendment is necessary to allow for the the heavily traveled intersection to be  
properly served with a fuel station and convenience store.

February 14, 2023

FEB 16 2023

COMMUNITY DEVELOPMENT  
DEPT

Village of Carol Stream  
1025 N. Gary Avenue  
Carol Stream, IL 60188

ATTN: Plan Commission / Zoning Board of Appeals Case 322-0032

**RE: *Development of Casey's C-Store  
1025 North Gary Avenue - NEC E. Lies Road & N. Gary Avenue  
Carol Stream, IL 60188***

Dear Mr. Farace,

Casey's Retail Company is applying to develop the existing property with a modern 4,319 SF convenience store. Associated fuel sales will also be available on site. The building is proposed as a Casey's Convenience Store that will contain a full kitchen with freshly made pizza, sandwiches and related items, in addition to our large variety of coffee, fountain items, packaged goods and sundries.

The site – being located within the Village of Carol Stream Town Center – includes design amenities tailored for pedestrians, bicyclists, and passers-bys. The anticipated hours of operation for this store will be 24 hours daily, including C-store and fuel pump access. The estimated number of employees for this Casey's C-store is 4. Casey's is interested to provide liquor sales at this location, and as such we understand regulations and permitting must coincide with the Village of Carol Stream – coordination to be continued with the Village of Carol Stream Administration Department.

In addition to providing an attractive modern site along the Village's principal gateway – North Gary Avenue Corridor, our new store will add convenient options for food and various necessities for our neighborhood. We believe that the investment in Carol Stream will have a positive impact and look forward to our addition to the community.



Eric Tracy, P.E.  
Kimley-Horn and Associates, Inc.  
Phone: 847-260-7804  
Email: [eric.tracy@kimley-horn.com](mailto:eric.tracy@kimley-horn.com)

# Certificate of the Publisher


Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on March 8, 2023 and the last publication of the notice was made in the newspaper dated and published on March 8, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on March 8, 2023.

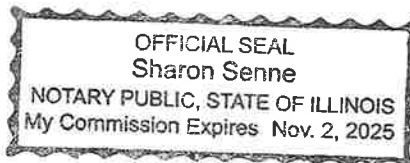
Examiner Publications, Inc.

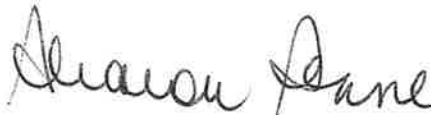
By: Publisher

  
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 8 day of March, A.D. 2023.

Notary Public





## LEGAL NOTICE PUBLIC NOTICE FILE #22-0032

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, March 27, 2023 at 6:00 p.m. to consider an application from Casey's Retail Company for the following actions:

An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the Carol Stream Unified Development Ordinance;

A Text Amendment to Section 16-3-11 (E) of the Carol Stream Unified Development Ordinance to add fuel sales as a special use in the B-1 Town Center District, in accordance with Section 16-8-4 (M) of the Carol Stream Unified Development Ordinance; and

A Special Use Permit for Fuel Sales in the B-1 Town Center District, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance

For the property located at 1025 N. Gary Avenue (PINs 02-20-404-012, 02-20-404-

013, 02-20-404-015, and 02-20-404-016).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL: <https://us02web.zoom.us/join> or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 871 7633 7475

International numbers available: <https://zoom.us/j/adsnXEZQRK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.amvpc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

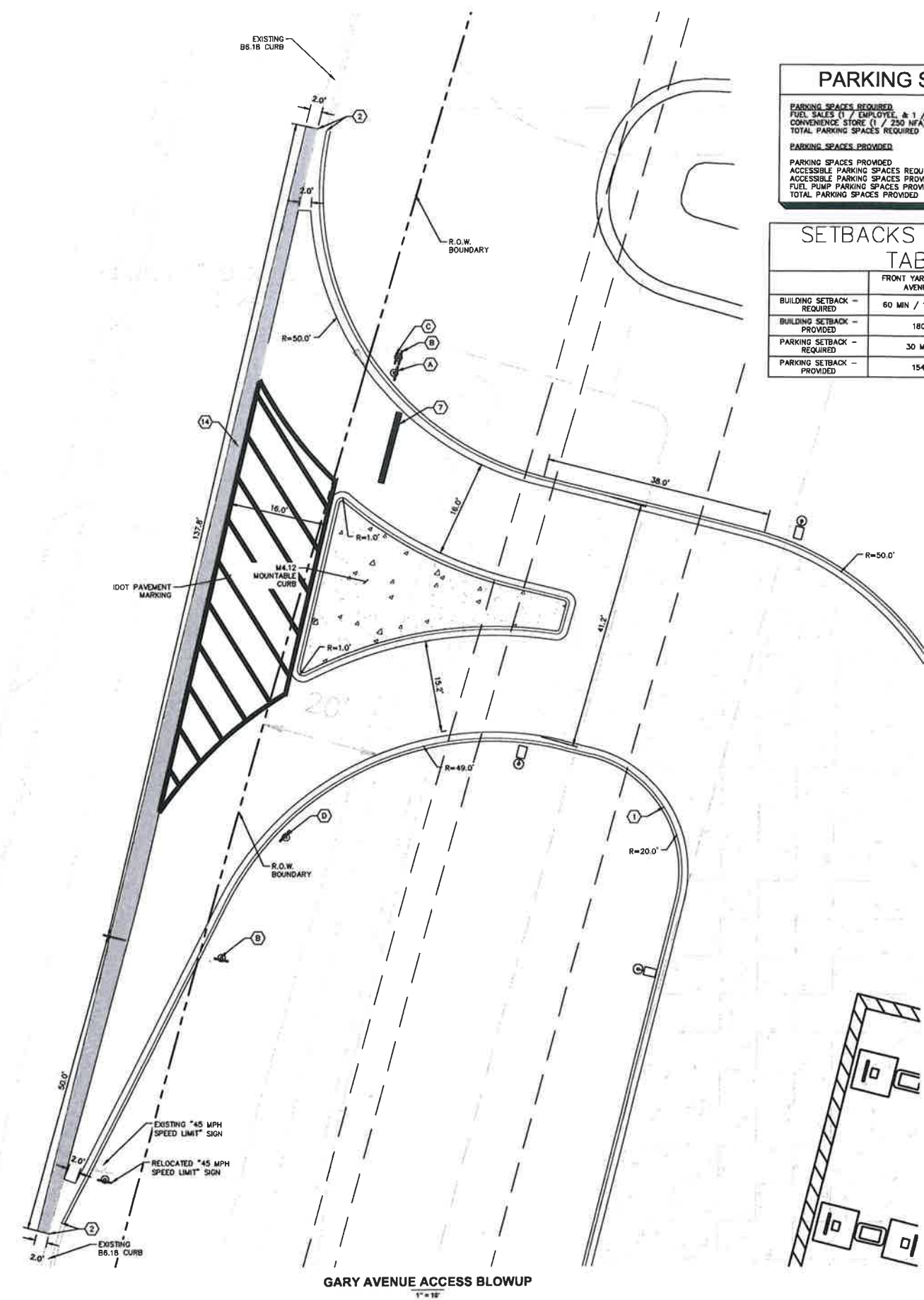
As published in *The Examiner* March 8, 2023 0308







Project name: K:\CSA\1574\15740000\_Casey's\_Corol Stream\_IL\Design\CD\Planned\CDLO SITE PLAN.dwg, C-102 Feb 13, 2023 10:33am by: m32@casey.com  
 This document is the property of Kimley-Horn and Associates, Inc. and is intended only for the specific purpose and client for which it was prepared. Plans of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### PARKING SUMMARY

<b>PARKING SPACES REQUIRED</b>	
FUEL SALES (1 / EMPLOYEE, 1 / ACCESSORY USE)	= 4
CONVENIENCE STORE (1 / 250 NFA)	= 18
<b>TOTAL PARKING SPACES REQUIRED</b>	<b>= 22</b>
<b>PARKING SPACES PROVIDED</b>	
PARKING SPACES PROVIDED	= 18 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 1 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 12 SPACES
FUEL PUMP PARKING SPACES PROVIDED	= 12 SPACES
<b>TOTAL PARKING SPACES PROVIDED</b>	<b>= 31 SPACES</b>

### SETBACKS SUMMARY TABLE

	FRONT YARD (GARY AVENUE)	FRONT YARD (LIES ROAD)
BUILDING SETBACK - REQUIRED	60 MIN / 100 MAX	60 MIN / 100 MAX
BUILDING SETBACK - PROVIDED	180	121
PARKING SETBACK - REQUIRED	30 MIN	30 MIN
PARKING SETBACK - PROVIDED	154	141

### PAVING AND CURB LEGEND

	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	6" CONCRETE PAVEMENT (STANDARD) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	7" CONCRETE PAVEMENT (APPROACH) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	8" CONCRETE PAVEMENT (HEAVY-DUTY) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	4" REINFORCED CONCRETE PAVEMENT FOR UNDERGROUND TANKS SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD PITCH CONCRETE CURB AND GUTTER
	REVERSE PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

### SITE DATA SUMMARY

PROPOSED USE:	CONVENIENCE STORE WITH FUEL SALES (SERVICE STATION)
EXISTING ZONING:	B-1
REQUIRED ZONING:	B-1
PROPERTY AREA:	4.14 ACRES
BUILDING AREA:	4,319± SF
FLOOR AREA RATIO:	0.04 (REQUIRED MAX = 0.60)
BUILDING HEIGHT:	24.4'
C-STORY:	

- ### KEY NOTES
- 1 BB.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
  - 2 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
  - 3 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
  - 4 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
  - 5 LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
  - 6 PAINTED PARKING SOLID LINE, TYP. (SEE VILLAGE OF CAROL STREAM DETAIL)
  - 7 24" WIDE STOP BAR, TYP. (SEE DETAILS)
  - 8 MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - 9 TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - 10 BOLLARD, TYP. (SEE DETAILS)
  - 11 EMERGENCY SHUT-OFF SWITCH
  - 12 AIR COMPRESSOR BOX
  - 13 SITE RETAINING WALL (SEE DETAILS)
  - 14 DEPRESSED CURB
  - 15 ADA RAMP
  - 16 FIREWOOD RACK (SEE AQ-101 FOR DETAILS)
  - 17 PROPANE TANK CABINET (SEE AQ-101 FOR DETAILS)
  - 18 PACKAGED ICE CABINET (SEE AQ-101 FOR DETAILS)
  - 19 BIKE RACK (TO BE PROCURED AND INSTALLED BY CONTRACTOR, EQUIVALENT TO MODEL 543-1002 HEAVY DUTY STANDARD WAVE STYLE, BLACK IN COLOR, AND SURFACE MOUNTED)
  - 20 CROSSWALK STRIPING (SEE DETAILS)
  - 21 DETECTABLE WARNINGS
  - 22 AMENITY BENCHES / SEATING
  - 23 TRASH RECEPTACLES

RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

### SIGNAGE LEGEND

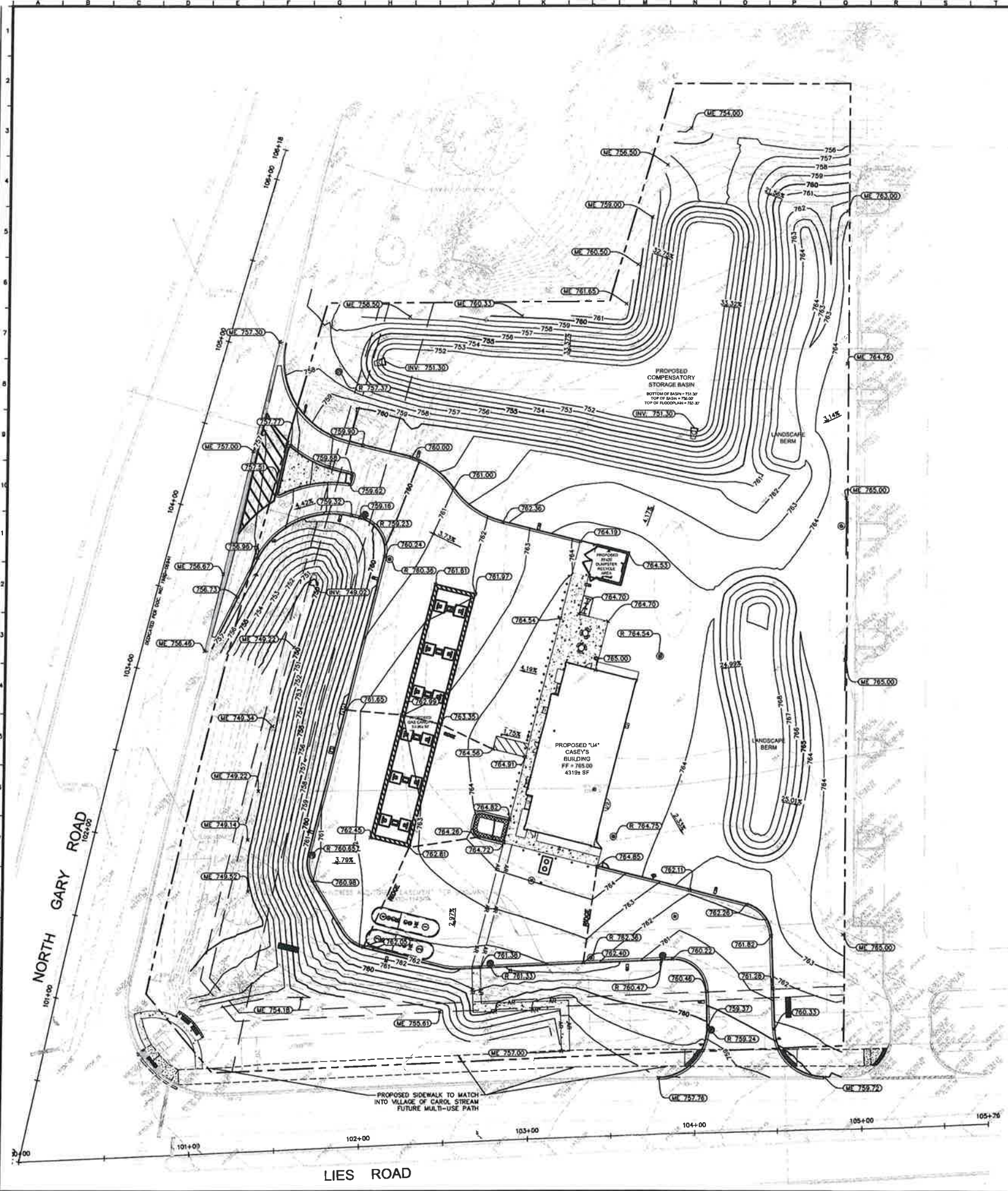
A R1-1 30" X 30"	B R3-9R 24" X 30"	C R5-1 30" X 30"	D R3-2 36" X 36"	E R7-8 9" X 18"	F R7-102 12" X 12"

EXHIBIT A-2

SCALE: AS NOTED	DESIGNED BY: INS	DRAWN BY: INS	CHECKED BY: EJT	REVISED PER VILLAGE COMMENTS & CLIENT 02/13/23	INS	DATE
				<small>© 2023 KIMLEY-HORN AND ASSOCIATES, INC.        605 WEST WASHINGTON AVENUE, SUITE 600        WILMINGTON, ILLINOIS 62704        WWW.KIMLEY-HORN.COM</small>		
<b>PLANNED DEVELOPMENT PLAN</b>						
<b>CASEY'S CAROL STREAM</b> <small>NEC LIES ROAD &amp; GARY AVENUE        CAROL STREAM, IL 60188</small>						
<small>ORIGINAL ISSUE:        5/12/2022        KHA PROJECT NO.        168865026        SHEET NUMBER  <b>C-102</b></small>						



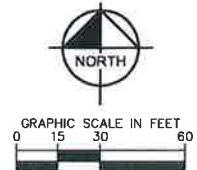
Project name: K:\GIS\DATA\PROJECTS\Casey's Case Stream\GIS\GRADING\GRADING C-201 Fig. 13, 2023 10:30am By: Ian Spence  
 This document, including all drawings and specifications, is the property of Kimley-Horn and Associates, Inc. and is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



RECEIVED

FEB 16 2023

COMMUNITY DEVELOPMENT DEPT



- ### GRADING NOTES
1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
  3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE DRAINAGE TO ESTABLISH SUBGRADE ELEVATIONS.
  4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
  5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
  6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
  7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
  8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

- ### GRADING LEGEND
- |                        |     |  |
|------------------------|-----|--|
| TP = TOP OF PAVEMENT   | XXX | PROPOSED CONTOUR   |
| EP = EDGE OF PAVEMENT  | --- | EXISTING CONTOUR   |
| FL = FLOW LINE         | --- | RIDGE LINE   |
| TC = TOP OF CURB       | XXX | SLOPE AND FLOW DIRECTION                                   |
| ME = MATCH ELEVATION   | --- | 100-YEAR OVERLAND OVERFLOW ROUTE                           |
| TF = TOP OF FOUNDATION | --- | DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE |
| R = RIM ELEVATION      | --- | PROPOSED SWALE   |
| TW = TOP OF WALL       | --- | PROPOSED RETAINING WALL                                    |
| FG = FINISHED GRADE    | --- | REVERSED PITCH CURB AND GUTTER                             |
| TS = TOP OF STAIRS     | --- | ACCESSIBLE ROUTE   |
| BS = BOTTOM OF STAIRS  | --- | RIP RAP (SEE DETAILS)                                      |

EXHIBIT B

NO.	REVISIONS	DATE	BY

Kimley Horn

2025 JAMES HORN AND ASSOCIATES, INC.  
 400 W. MONROE STREET, SUITE 200  
 WARRICKVILLE, IL 60089  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED

DESIGNED BY: INS

DRAWN BY: INS

CHECKED BY: EIT



GRADING PLAN

CASEY'S  
CAROL STREAM

NEC LIES ROAD & GARY AVENUE  
 CAROL STREAM, IL 60188

ORIGINAL ISSUE:  
5/12/2022

KHA PROJECT NO.  
168865026

SHEET NUMBER  
**C-201**



Drawing name: K:\VILLAGE\168865026\_Casey's\_Carol\_Stream\_Village\168865026\_UTILITY\_PLAN.dwg Date: 12/13/2023 10:33am by: jlm:spence  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and/or modification of this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

RECEIVED

FEB 16 2023

COMMUNITY DEVELOPMENT DEPT



UTILITY LEGEND	
	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. STORM DRAIN LINE
	EX. STORM MANHOLE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. LIGHT POLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEEDHAM R-2540) (GRASS USE NEEDHAM R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEEDHAM R-1713) (GRASS USE NEEDHAM R-1788)
	PROPOSED COMBINATION CURB INLET (88.12 C&G USE NEEDHAM R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	RIP RAP (SEE DETAILS)

- ### UTILITY NOTES
- ALL WATER LINES ≥ 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
  - ALL SANITARY SEWER LINES SHALL BE PVC, MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - CONTRACTOR TO CALL "AUIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
    - RUPTION OF ANY ADJACENT TENANT'S TRAFFIC LATION OF UTILITIES.
    - INTERLINE OF PIPE OR CENTER OF MANHOLE
    - EP PLANS FOR EXACT UTILITY CONNECTION
    - COORDINATION PURPOSES ONLY AND DO NOT SEE SITE LIGHTING PLANS BY OTHERS FOR MORE
    - STORM STRUCTURES WITHIN THE CURB LINE.
    - ST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION THORITY HAVING JURISDICTION.

**VILLAGE OF CAROL STREAM NOTES**

- ALL WATER MAIN, SANITARY SEWER, AND STORM SEWER SHALL BE PRIVATE UNTIL CONNECTION TO VILLAGE OF CAROL STREAM.

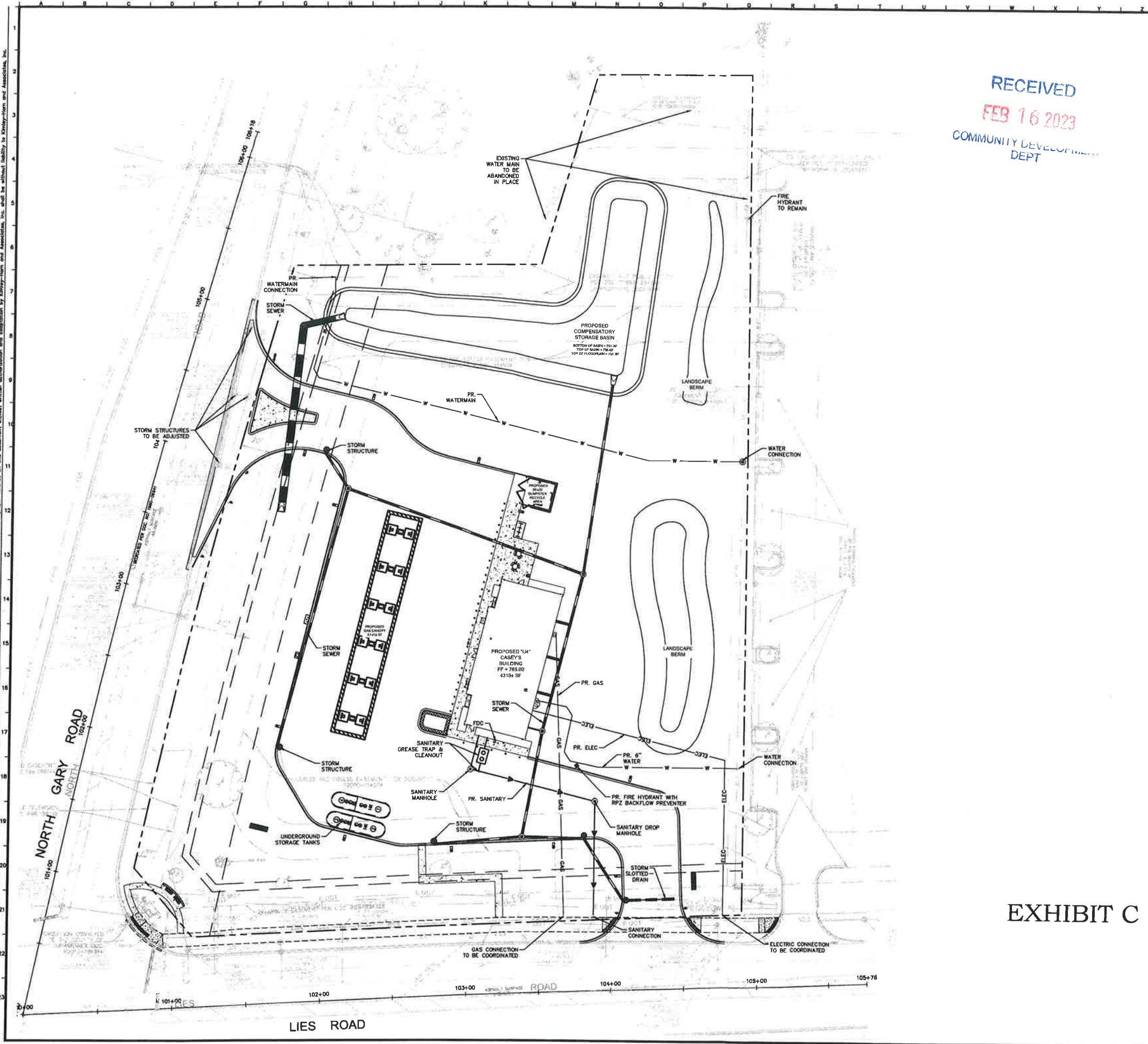
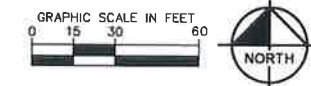


EXHIBIT C

	© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 1000 WEST WASHINGTON STREET, SUITE 600 WARRENVILLE, IL 60089 PH: 630.375.0000 WWW.KIMLEY-HORN.COM																		
	<b>UTILITY PLAN</b>																		
<b>CASEY'S CAROL STREAM</b>	NEC LIES ROAD & GARY AVENUE CAROL STREAM, IL 60188																		
ORIGINAL ISSUE: 5/12/2022	KHA PROJECT NO. 168865026																		
SHEET NUMBER <b>C-301</b>	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>							No.	DATE	BY	REVISIONS								
No.	DATE	BY	REVISIONS																



RECEIVED  
MAR 21 2023  
COMMUNITY DEVELOPMENT  
DEPT



CONSERVATION  
EASEMENT FOR  
WETLAND NO.2  
PER DOC.  
R2000-099904

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

ERNST SEED MIX, ERNMX-131, TYP. OBL WETLAND MIX

ERNST SEED MIX, ERNMX-125, TYP. MESIC TO DRY NATIVE POLLINATOR MIX

TURF SOD, TYP.

JUNCUS EFFUCUS, COMMON RUSH

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

ERNST SEED MIX, ERNMX-125, TYP. MESIC TO DRY NATIVE POLLINATOR MIX

ERNST SEED MIX, ERNMX-131, TYP. OBL WETLAND MIX

BIKE RACK SEE, DETAIL ON SHEET L-101

ADA ACCESSIBLE PICNIC TABLE T403-G-4R BY RJ MNFR. OR APPROVED EQUAL

LITTER RECEPTACLE CBTR-32 | BLACK BY BELSON OUTDOORS OR APPROVED EQUAL

PROPERTY LINE, TYP.

LANDSCAPE BED EDGE, TYP.

MONUMENT SIGN, BY OTHERS

EXISTING TREES TO BE REMOVED, SEE SHEET C-100

FUEL TANK VENT PIPES LOCATED WITHIN THE CANOPY, TYP.

MONUMENT SIGN, BY OTHERS

EXISTING TREES TO BE REMOVED, SEE SHEET C-100

TURF SOD, TYP.

BED EDGE, TYP.

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

AMENITY ENLARGEMENT, SEE SHEET L-2.0

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	AX	4	ACER X FREEMANII / FREEMAN MAPLE	B & B	2.5' CAL. MIN	
	GP	4	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	B & B	2.5' CAL. MIN	
	GT	4	GLEDITSIA TRIACANTHOS F. INERMIS / THORNLESS HONEY LOCUST	B & B	2.5' CAL. MIN	
	TM	3	TILIA AMERICANA 'MCKSENTRY' TM / AMERICAN SENTRY LINDEN	B & B	2.5' CAL. MIN	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	PO	6	PICEA OMORIKA / SERBIAN SPRUCE	B & B	6' HT MIN	
	PS	3	PINUS STROBUS / WHITE PINE	B & B	6' HT MIN	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	CC	5	CERCIS CANADENSIS / EASTERN REDBUD	B & B	2.5' CAL. MIN	SINGLE STEM
	CI	9	CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN	B & B	1.5' CAL. MIN	SINGLE STEM
	MR	7	MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE	B & B	1.5' CAL. MIN	SINGLE STEM
	SI	6	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	1.5' CAL. MIN	SINGLE STEM
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AS	28	ARONIA MELANOCARPA 'UCONNAM165' / LOW SCAPE MOUND CHOKEBERRY	-	SEE PLAN	12' HT MIN
	CH	22	CORNUS ALBA 'BALHALO' TM / IVORY HALO DOGWOOD	-	SEE PLAN	24' HT. MIN.
	HQ	13	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA	-	SEE PLAN	18" HT. MIN.
	PD2	30	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' TM / LITTLE DEVIL DWARF NINEBARK	-	SEE PLAN	18" HT. MIN.
	ST	25	SPIRAEA BETULIFOLIA 'TOR' / TOR BIRCHLEAF SPIREA	-	SEE PLAN	18" HT. MIN.
	VA	5	VIBURNUM DENTATUM 'CHRISTOM' TM / BLUE MUFFIN ARROWWOOD VIBURNUM	-	SEE PLAN	24" HT. MIN.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	JF2	39	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	-	SEE PLAN	24" HT. MIN.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	21	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	-	SEE PLAN	18" HT. MIN.
GRASSES AND PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CM	46	COREOPSIS X 'MOONBEAM' / MOONBEAM TICKSEED	1 GAL	18" OC	
	HC	59	HEMEROCALLIS X 'CHERRY CHEEKS' / CHERRY CHEEKS DAYLILY	1 GAL	18" OC	
	HH	26	HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY	1 GAL	24" OC	
	ST2	28	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSEED	1 GAL	24" OC	
GROUND COVERS	BOTANICAL / COMMON NAME					
	JUNCUS EFFUSUS / COMMON RUSH 2' PLUGS SPACED AT 18" ON CENTER					
	TURF SOD					
	ERNST SEED MIX - ERNMX-125 / MESIC TO DRY NATIVE POLLINATOR MIX					
	ERNST SEED MIX - ERNMX-131 / OBL WETLAND MIX					

NOTE: CONTRACTOR TO PROVIDE DESIGN-BUILD IRRIGATION FOR THE ENTIRE SITE.

NOTE: SEED IS TO BE INSTALLED ONLY WITHIN AREAS THAT ARE NOT INUNDATED WITH WATER AT THE TIME OF PLANTING. PLUGGING TO BE USED IN LIEU OF SEEDING IN AREAS WHERE SEEDING IS IMPOSSIBLE DUE TO HIGH WATER LEVELS AND PLUGS ARE TO SUPPLEMENT SEED AREAS AS NEEDED TO IMPROVE VEGETATIVE COVER.

**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
100 SOUTH ROUTE 600  
WARRENVILLE, IL 60089  
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
DESIGNED BY: INS  
DRAWN BY: INS  
CHECKED BY: EJT



LANDSCAPE PLAN

CASEY'S  
CAROL STREAM  
NEC LIES ROAD & GARY AVENUE  
CAROL STREAM, IL 60188

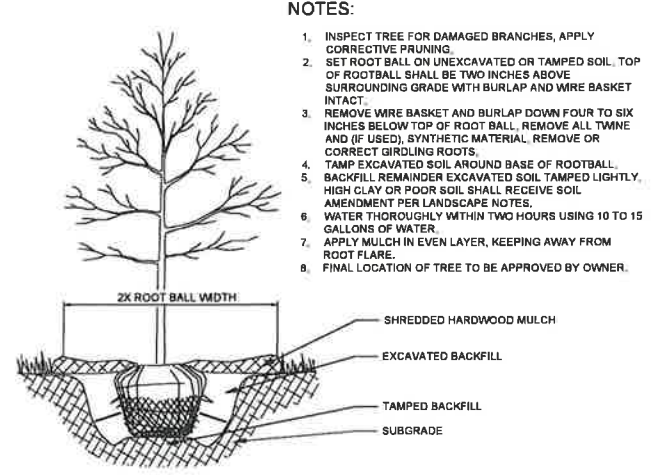
ORIGINAL ISSUE:  
5/12/2022  
KHA PROJECT NO.  
16885026  
SHEET NUMBER

L-100

EXHIBIT D-1

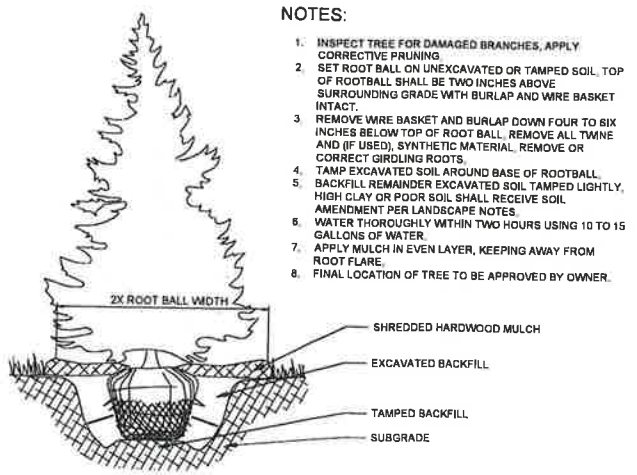


Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. for any errors or omissions in this document without written authorization and obligation by Kimley-Horn and Associates, Inc.



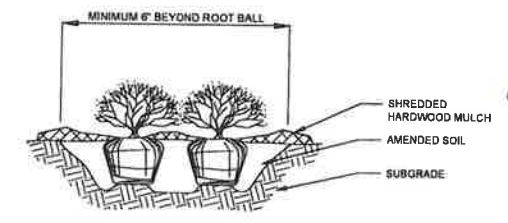
- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
  3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
  4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
  5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
  6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
  7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
  8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

**1 TREE PLANTING** NTS



- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
  3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
  4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
  5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
  6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
  7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
  8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

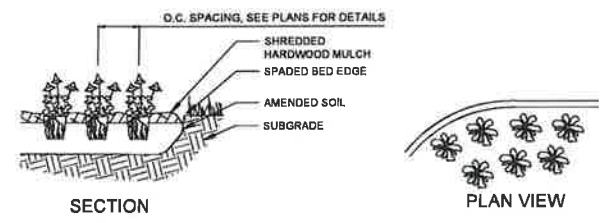
**2 EVERGREEN TREE PLANTING** NTS



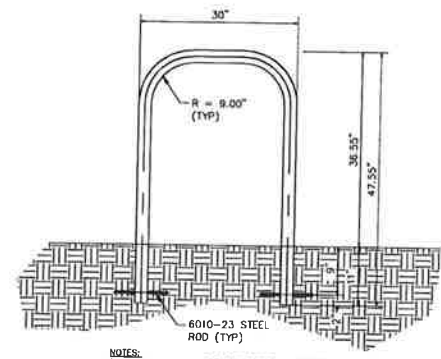
- NOTES:**
1. APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
  3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
  4. REMOVE OR CORRECT GIRDLING ROOTS.
  5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
  6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

**3 SHRUB PLANTING** NTS

- NOTES:**
1. EXCAVATE PLANTING BED.
  2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
  3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
  4. PLANT MATERIAL SHALL BE LAID OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
  5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
  6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
  7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.

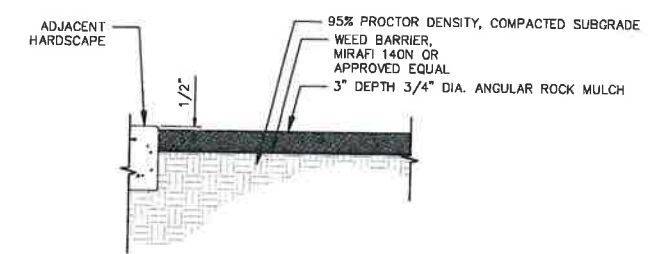


**4 PERENNIAL PLANTING** NTS



- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. FINISH IS ELECTROPLATED IN CHROMIUM.
  3. COLOR TO BE STANDARD BLACK.

**5 BIKE RACK** NTS



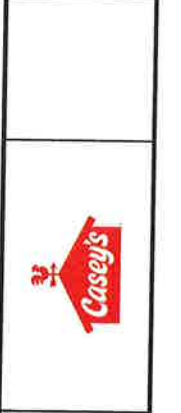
**6 ROCK MULCH** NTS

RECEIVED  
 MAR 21 2023  
 COMMUNITY DEVELOPMENT DEPT

NO.	REVISIONS	DATE	BY
1	LANDSCAPING REVISED PER VILLAGE	03/14/23	INS
2	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23	INS
3	REVISED PER VILLAGE COMMENTS & CLIENT	12/13/22	INS

Kimley-Horn  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 1000 W. WASHINGTON ST., SUITE 400  
 MILWAUKEE, WI 53233  
 PHONE: 414-764-5500  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: INS  
 DRAWN BY: INS  
 CHECKED BY: EJT



LANDSCAPE NOTES AND DETAILS

CASEY'S  
 CAROL STREAM  
NEC LIES ROAD & GARY AVENUE  
 CAROL STREAM, IL 60186

ORIGINAL ISSUE:  
 5/12/2022  
 KHA PROJECT NO.  
 168865026  
 SHEET NUMBER

L-101

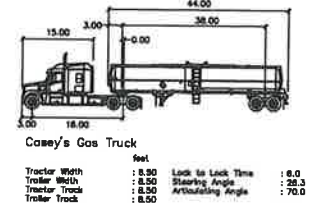
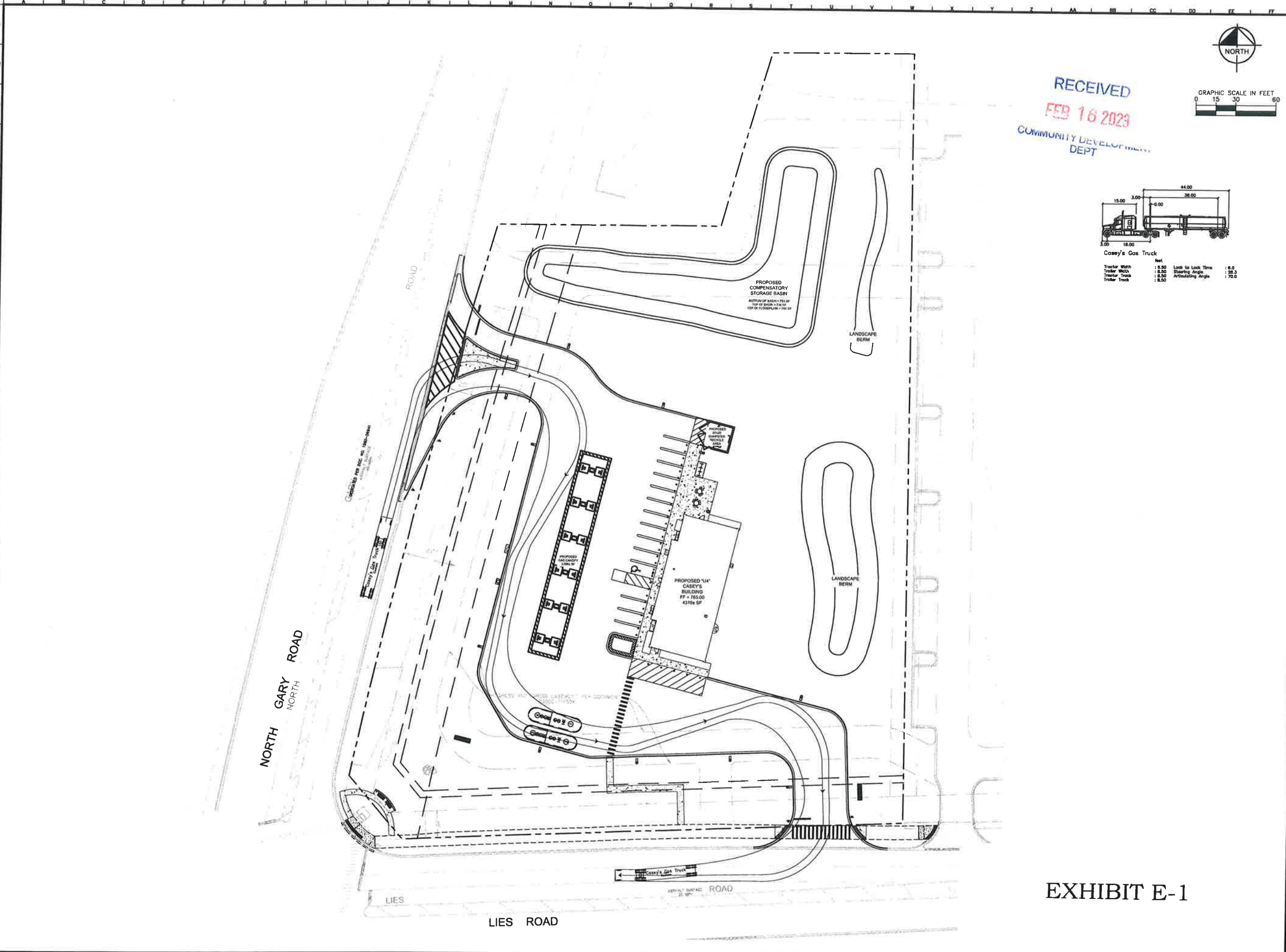
EXHIBIT D-2







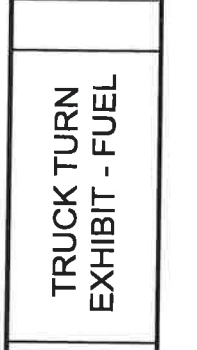
Drawing name: K:\GIS\LIC\168865026\_Casey's\_Carol\_Stream\_113\_Plan\GIS\Layouts\TRUCK TURN EXHIBIT.dwg, PLOT: Feb 14, 2023 12:24pm, by: Ian Spence  
 This document, together with the comments and design presented herein, is to be used only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NO.	REVISIONS	DATE	BY
1	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23	INS
2	REVISED PER VILLAGE COMMENTS & CLIENT	12/13/22	INS

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 200 WEST WASHINGTON STREET, SUITE 200  
 MADISONVILLE, KY 40054  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: INS  
 DRAWN BY: INS  
 CHECKED BY: EIT



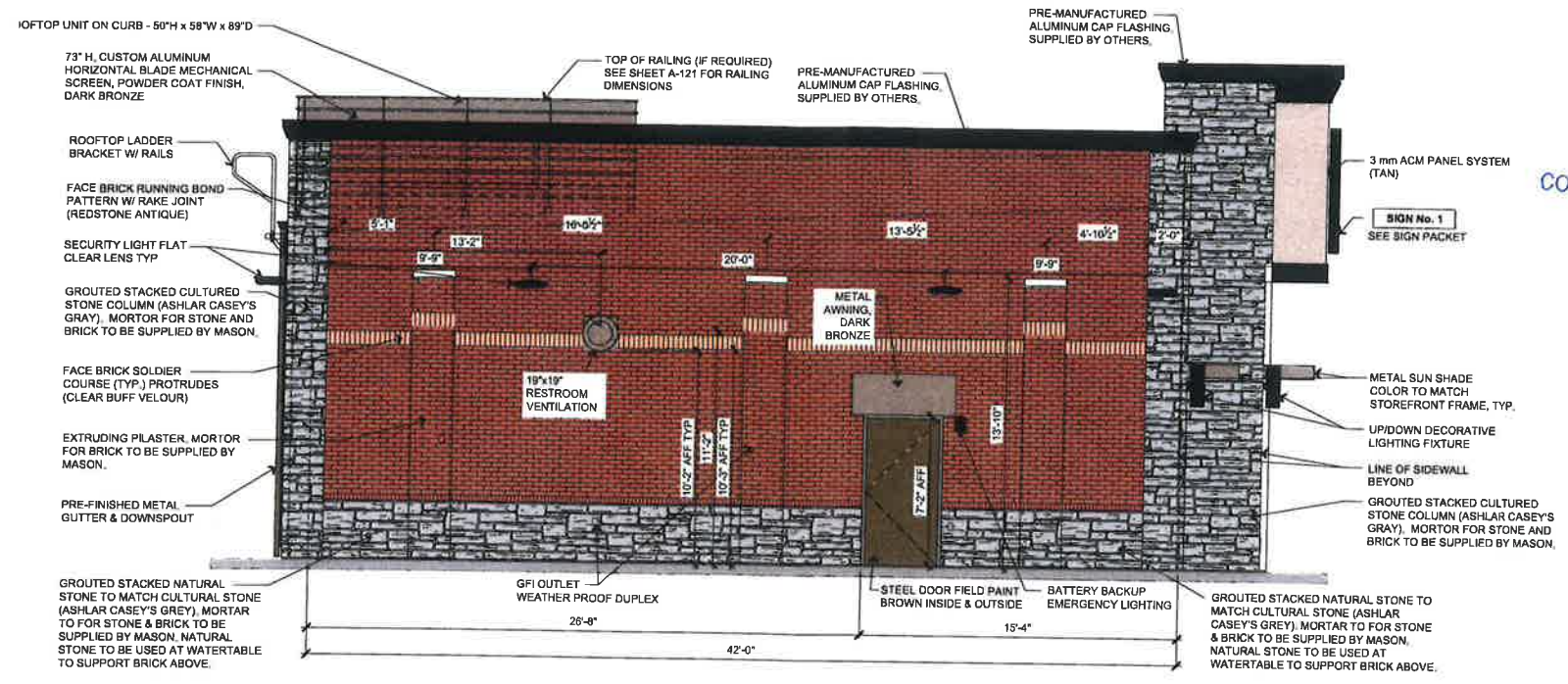
**CASEY'S**  
**CAROL STREAM**  
 TRUCK TURN  
 EXHIBIT - FUEL

ORIGINAL ISSUE:  
 5/12/2022  
 KHA PROJECT NO.  
 168865026  
 SHEET NUMBER  
**EXH.**

EXHIBIT E-1







**2** Exterior Elevation - Left Side of Building (Plan North)  
1/4"=1'-0"



**1** Exterior Elevation - Front of Building (Plan West)  
1/4"=1'-0"

**General Notes**

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:  
AL-101: FOR BUILDING LOCATION ON SITE  
AL-801: FOR INFORMATION RELATING TO SIGNAGE  
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
A-801: DOOR & WINDOW SCHEDULES AND NOTES  
S-101: FOOTINGS AND FOUNDATIONS  
S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

NOTE: CULTURED STONE TO BE USED ON ALL COLUMNS. GROUTED STACKED NATURAL STONE TO MATCH CULTURAL STONE (ASHLAR CASEY'S GREY). MORTAR TO FOR STONE & BRICK TO BE SUPPLIED BY MASON. NATURAL STONE TO BE USED AT WATERTABLE TO SUPPORT BRICK ABOVE.

NOTE: AREA COVERED BY ACM ON THE FRONT FACADE IS LESS THAN 25%  
ACM: 418 SQ. FT.  
FACADE: 2336 SQ. FT.  
PERCENTAGE = 18%

RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT

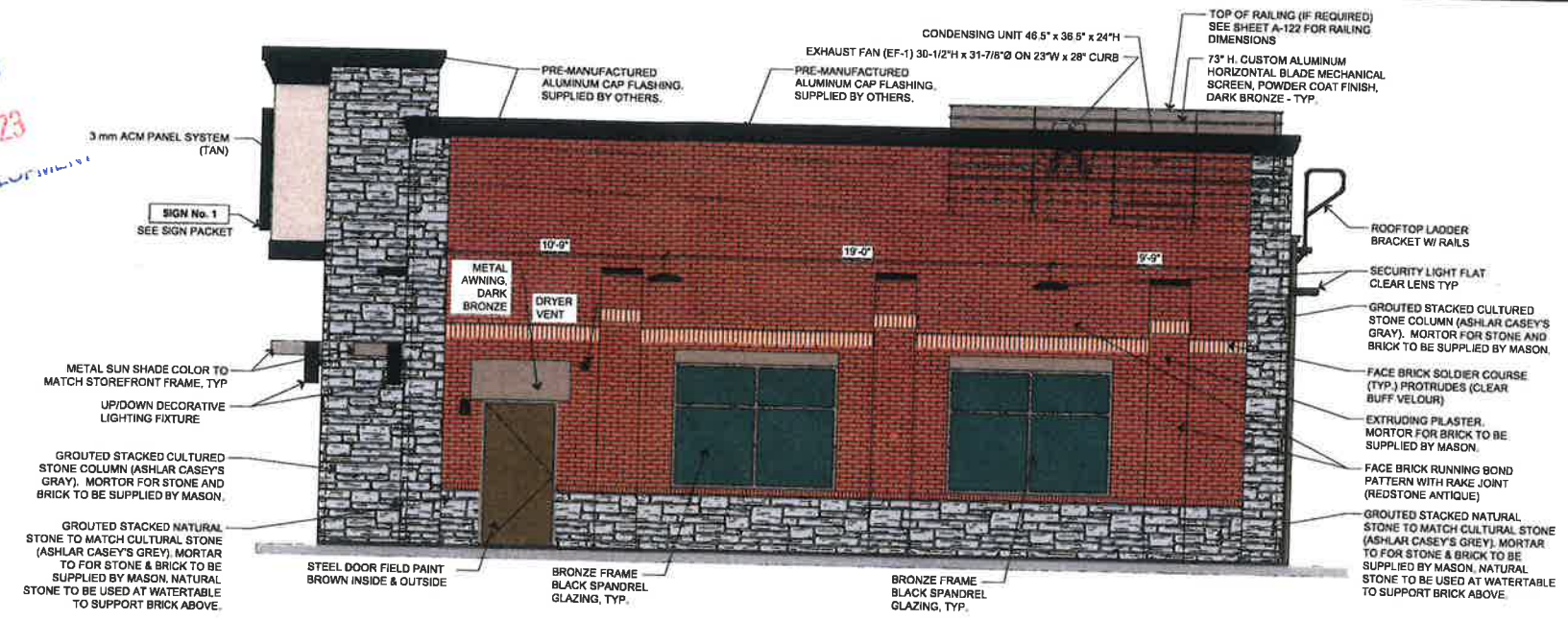
**EXHIBIT F-1**



<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
CAROL STREAM, IL #4261 NORTH GARY AVENUE & LIES ROAD CAROL STREAM, IL 60188	09/09/22 01/19/23
2021 1/4" STYLE STORE (LAT ROOF/ BRICK & STONE)	EXTERIOR ELEVATIONS
CESO PROJECT NO. 700270	A-201
CESO	CESO



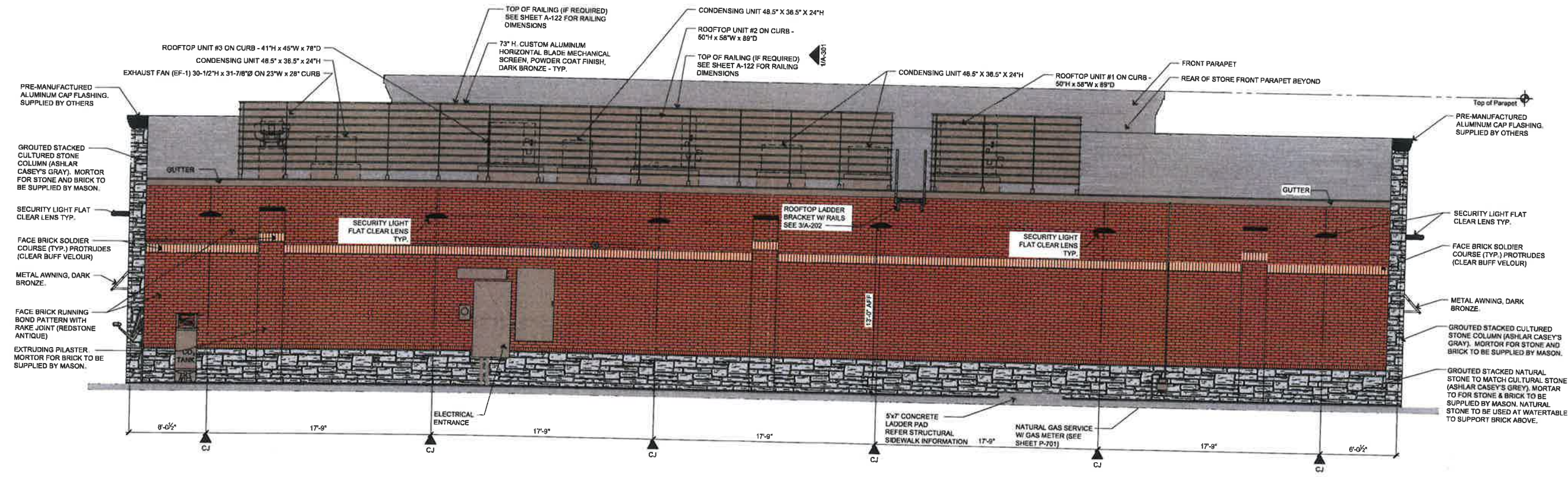
RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT



- ### General Notes
- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
  - RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:  
 G-011: FOR BUILDING LOCATION ON SITE  
 AL-601: FOR INFORMATION RELATING TO SIGNAGE  
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
  - WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
  - ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

NOTE: CULTURED STONE TO BE USED ON ALL COLUMNS. GROUDED STACKED NATURAL STONE TO MATCH CULTURAL STONE (ASHLAR CASEY'S GREY). MORTAR TO FOR STONE & BRICK TO BE SUPPLIED BY MASON. NATURAL STONE TO BE USED AT WATERTABLE TO SUPPORT BRICK ABOVE.

2 Exterior Elevation - Right Side of Building (Plan South)  
 1/4"=1'-0"



1 Exterior Elevation - Back of Building (Plan East)  
 1/4"=1'-0"

EXHIBIT F-2



<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 2001, Ankeny, Ia. 50021 515-965-6100	
CAROL STREAM, IL #4261 NORTH DARY AVENUE & LES ROAD CAROL STREAM, IL 60188	DATE: 09/09/22 REVISED: 01/19/23
2021 "M" - STYLE STORE (FLAT ROOF BRICK & STONE)	EXTERIOR ELEVATIONS
CESO PROJECT NO: 760270	A-202
DESIGNED BY: CESO	



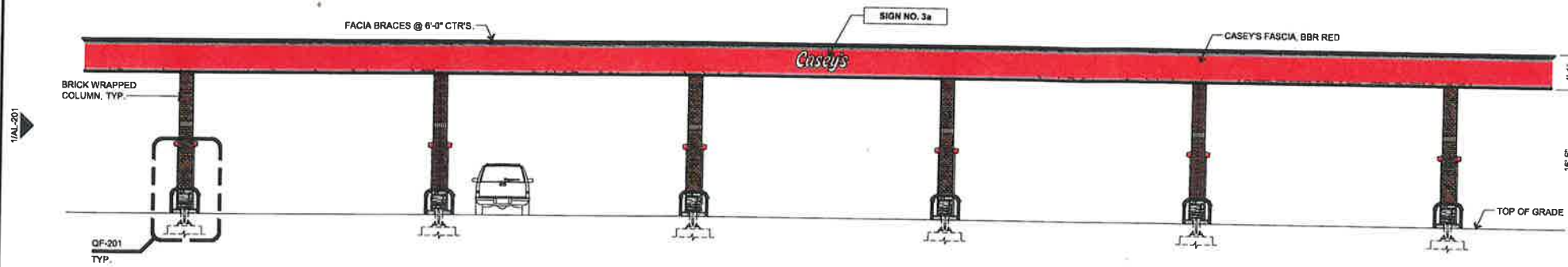
**\*\*VERIFY ALL SIGNAGE WITH SIGN PERMITS\*\***

**EXHIBIT F-3**

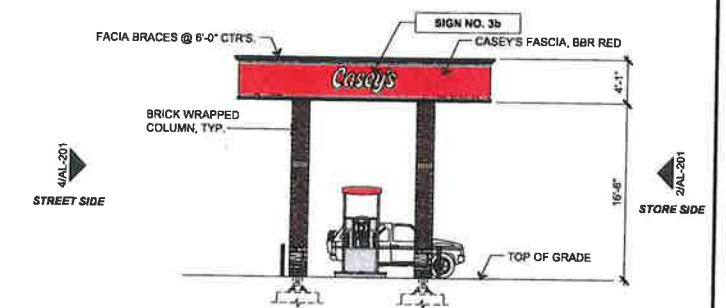
RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

**General Notes**

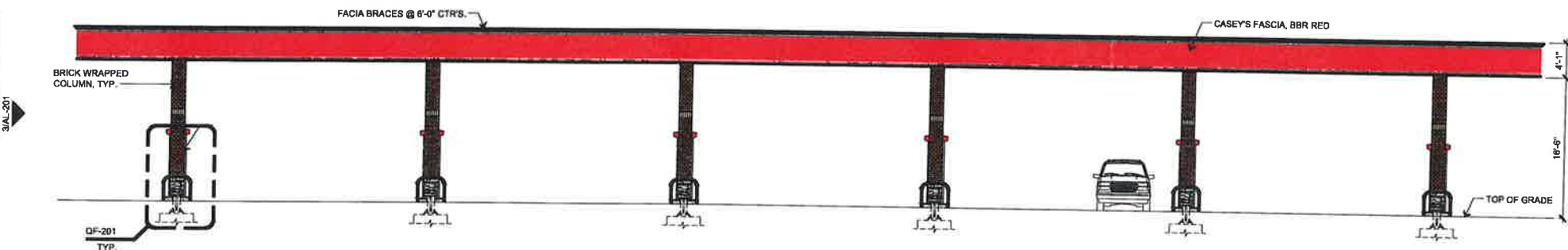
1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:  
 G-011 FOR GENERAL PROJECT NOTES  
 G-011 FOR GENERAL SITE PLAN  
 Sign Packet FOR SIGNAGE SCHEDULE AND NOTES  
 QF-Series FOR DESIGN AND DETAILS RELATED TO FUELING FACILITY
2. GASOLINE ISLAND CANOPY: REVIEW SHOP DRAWINGS PROVIDED BY CANOPY SUPPLIER AND ADVISE CASEY'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES
3. EMERGENCY GAS SHUT OFFS: REFER TO SHEETS A-201, AQ-101 & E-101 FOR EMERGENCY SHUT OFF LOCATIONS.



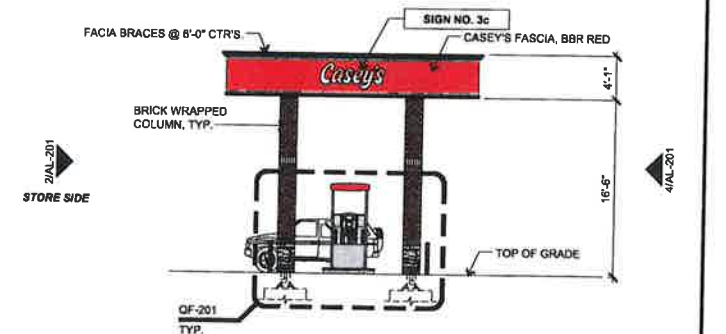
**4 Pump Island Canopy - (Street Side)**  
 1/8" = 1'-0"



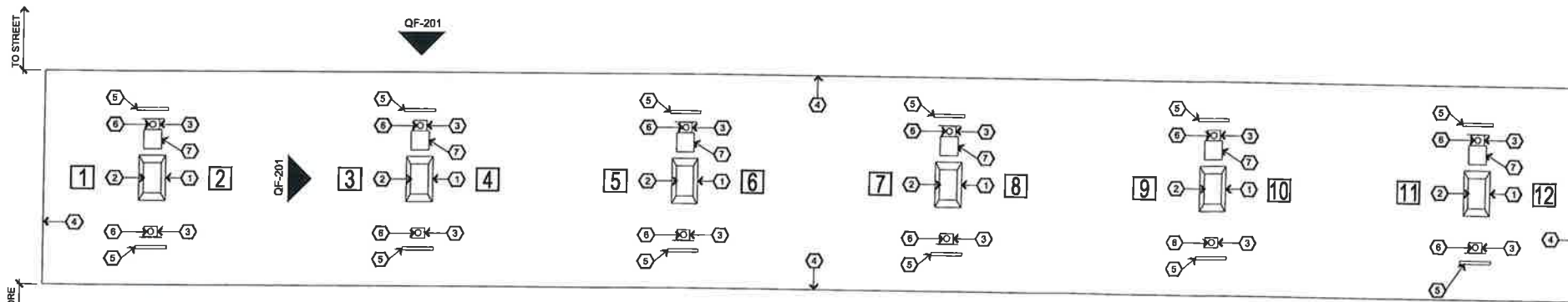
**3 Pump Island Canopy - Right Side Elevation**  
 1/8" = 1'-0"



**2 Pump Island Canopy - (Store Side)**  
 1/8" = 1'-0"



**1 Pump Island Canopy - Left Side Elevation**  
 1/8" = 1'-0"



**5 Canopy Layout Plan**  
 Not To Scale

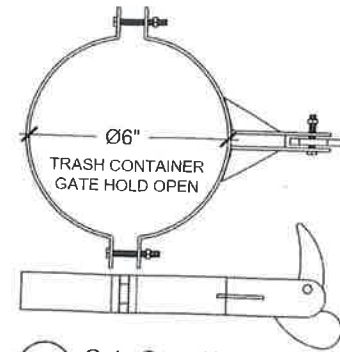
**Keyed Canopy Layout Plan Notes**

- 1 FUEL ISLANDS
- 2 FUEL DISPENSERS: SUPPLIED BY OWNER
- 3 CANOPY COLUMN: SUPPLIED BY CANOPY MFG.
- 4 EDGE OF CANOPY: ABOVE
- 5 STEEL GUARD PIPE: SET INTO CONC SLAB AS INDICATED IN DETAIL ELEVATIONS (2 PER ISLAND)
- 6 INTERNAL DOWNSPOUTS: ROUTE THROUGH COLUMNS AND UNDERGROUND TO STORM SEWER OR DETENTION IF APPLICABLE
- 7 TRASH CAN AND WASH BUCKETS
- 8 PUMP LABELS: MOUNTED ON CANOPY COLUMNS

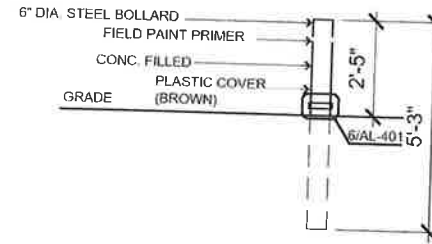
**6 DISPENSERS - IN-A-ROW - H.I.**

 <b>CESO</b> CONSTRUCTION SERVICES ORGANIZATION 3001 RUBY RD, SUITE 200, MARIETTA, OH 45752 PHONE: (614) 436-8844 FAX: (614) 436-2307	
 <b>CASEY'S CONSTRUCTION DIVISION</b> One Convent Avenue Blvd., P.O. Box 3001, Arkeny, Ia. 50021 515-965-6100	
PROJECT NO: <b>CAROL STREAM, IL #4261</b> NORTH GARY AVENUE & LIES ROAD CAROL STREAM, IL 60158	DATE: <b>09/09/22</b>
PROJECT TYPE: <b>2021 'LH' - STYLE STORE (FLAT ROOF BRICK &amp; STONE)</b>	PROJECT NAME: <b>GASOLINE ISLAND CANOPY ELEVATIONS</b>
PROJECT NO.: <b>CESO PROJECT NO. 760270</b>	SHEET NO.: <b>AL-201</b>

# EXHIBIT F-4



6 Gate Open Holder  
No Scale



7 Bollard Detail  
No Scale

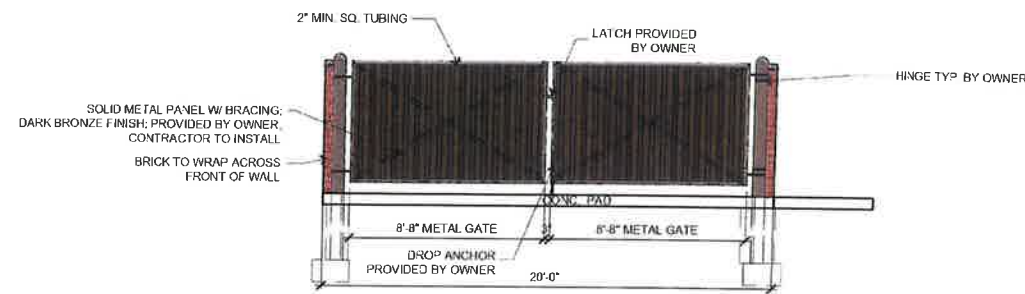
RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT

## General Notes

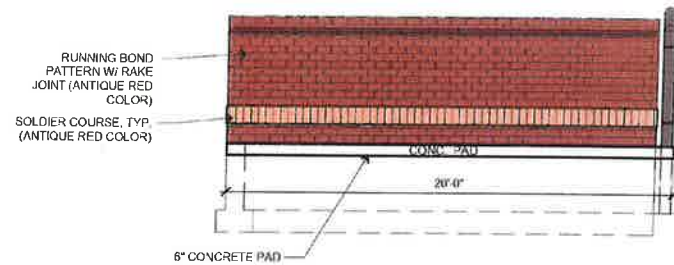
1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:  
G-001 FOR GENERAL PROJECT NOTES  
G-011 FOR GENERAL SITE PLAN

## Construction Notes

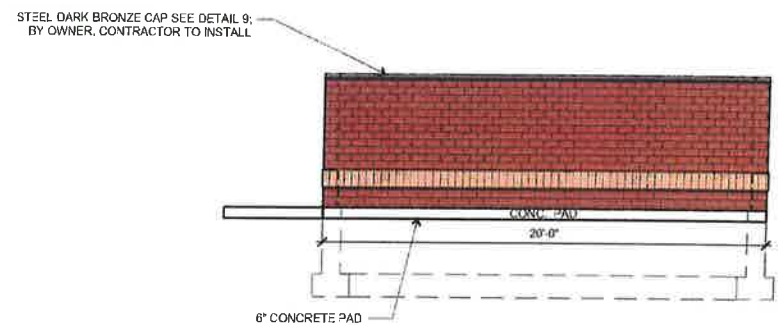
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6" BOLLARDS PRIOR TO FINISHED PAINT COAT.
- 4) DUMPSTER ENCLOSURE WALLS WILL BE 4" BLOCK PURCHASED BY CONTRACTOR.



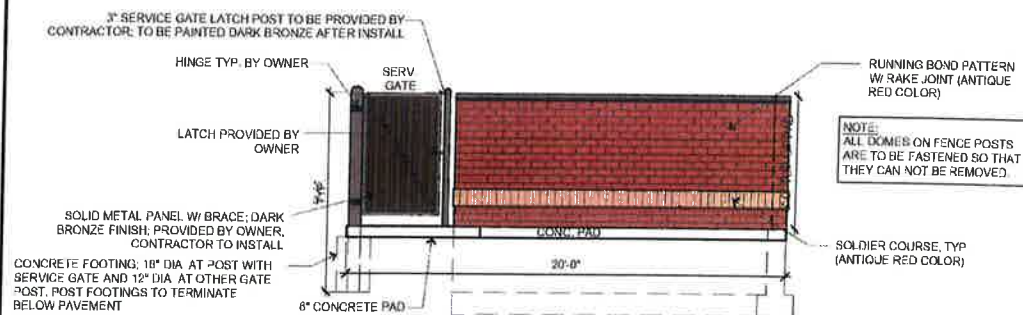
5 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



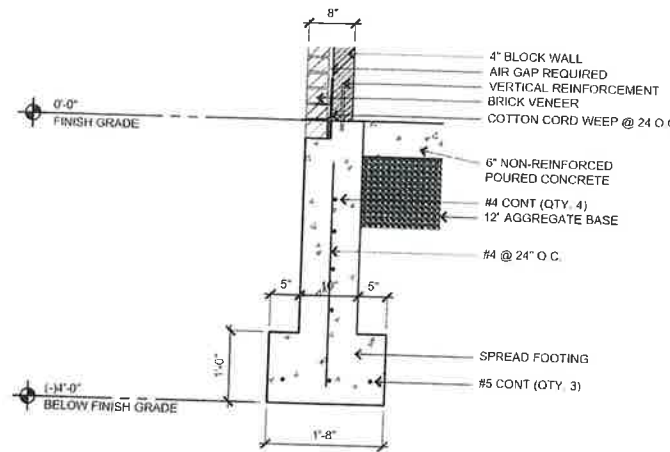
4 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



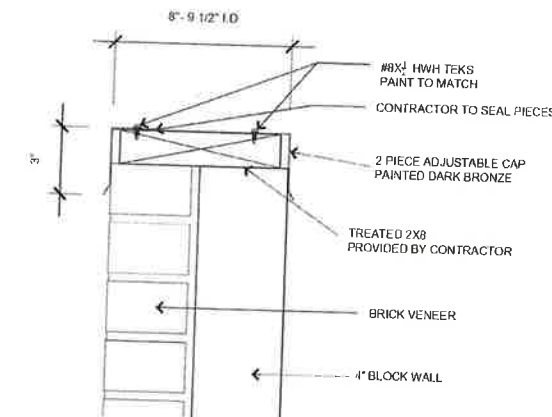
3 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



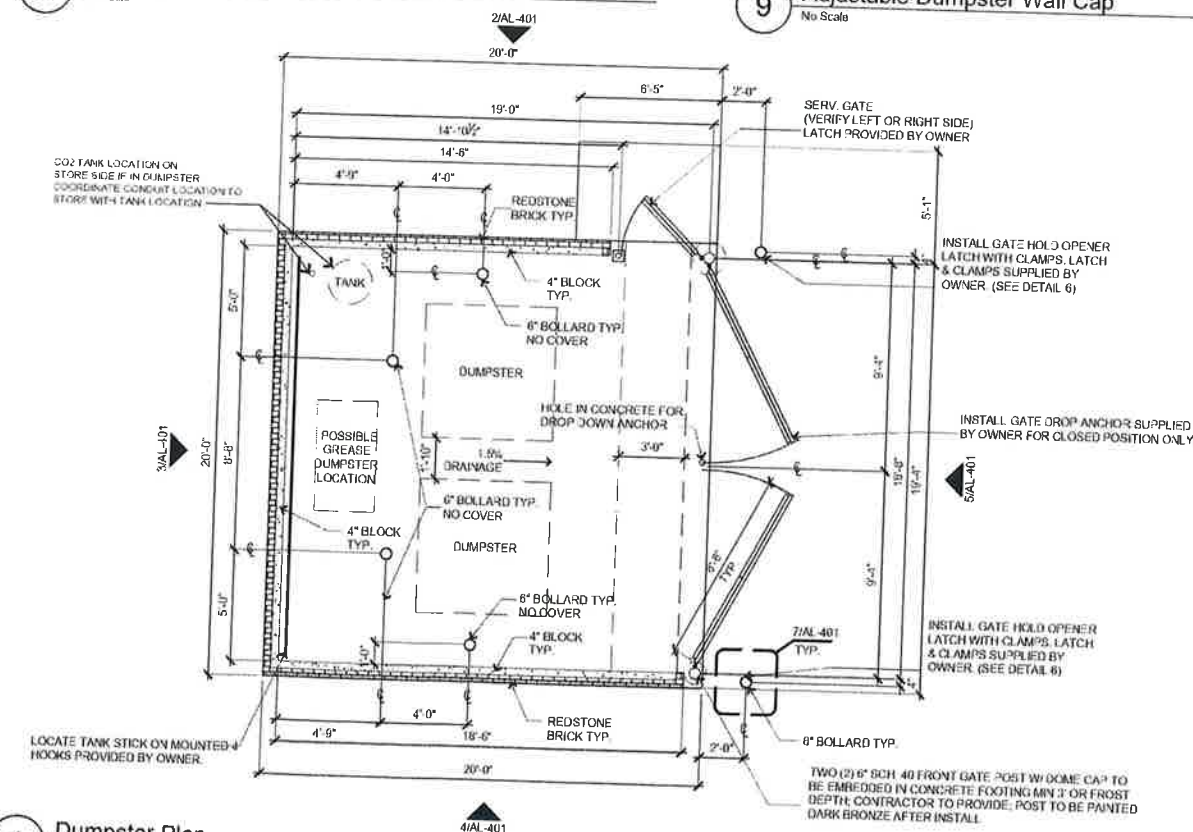
2 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



8 Spread Footing Detail  
No Scale



9 Adjustable Dumpster Wall Cap  
No Scale



1 Dumpster Plan  
1/4" = 1'-0"

## Brick Enclosure w/ Metal Gates



CESO  
WWW.CESOINC.COM

1500 NORTH WYOMING STREET, SUITE 100, CAROL STREAM, IL 60188  
TEL: 708.581.1100 FAX: 708.581.1101

Casey's  
CASEY'S CONSTRUCTION DIVISION  
One Convenience Blvd., P.O. Box 3001, Antkwy, Ia. 50021 515-985-6100

#4261 CAROL STREAM, IL 02/23/22  
NORTH GARY AVENUE & LIES ROAD  
CAROL STREAM, IL 60188

2022 1/4" - STYLE STORE V.05 FLAT ROOF

CESO PROJECT NO.: 700270

DATE: 02/23/22

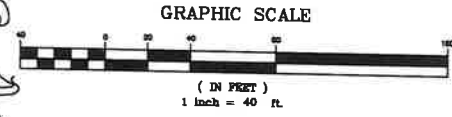
DUMPSTER ENCLOSURE

AL-401



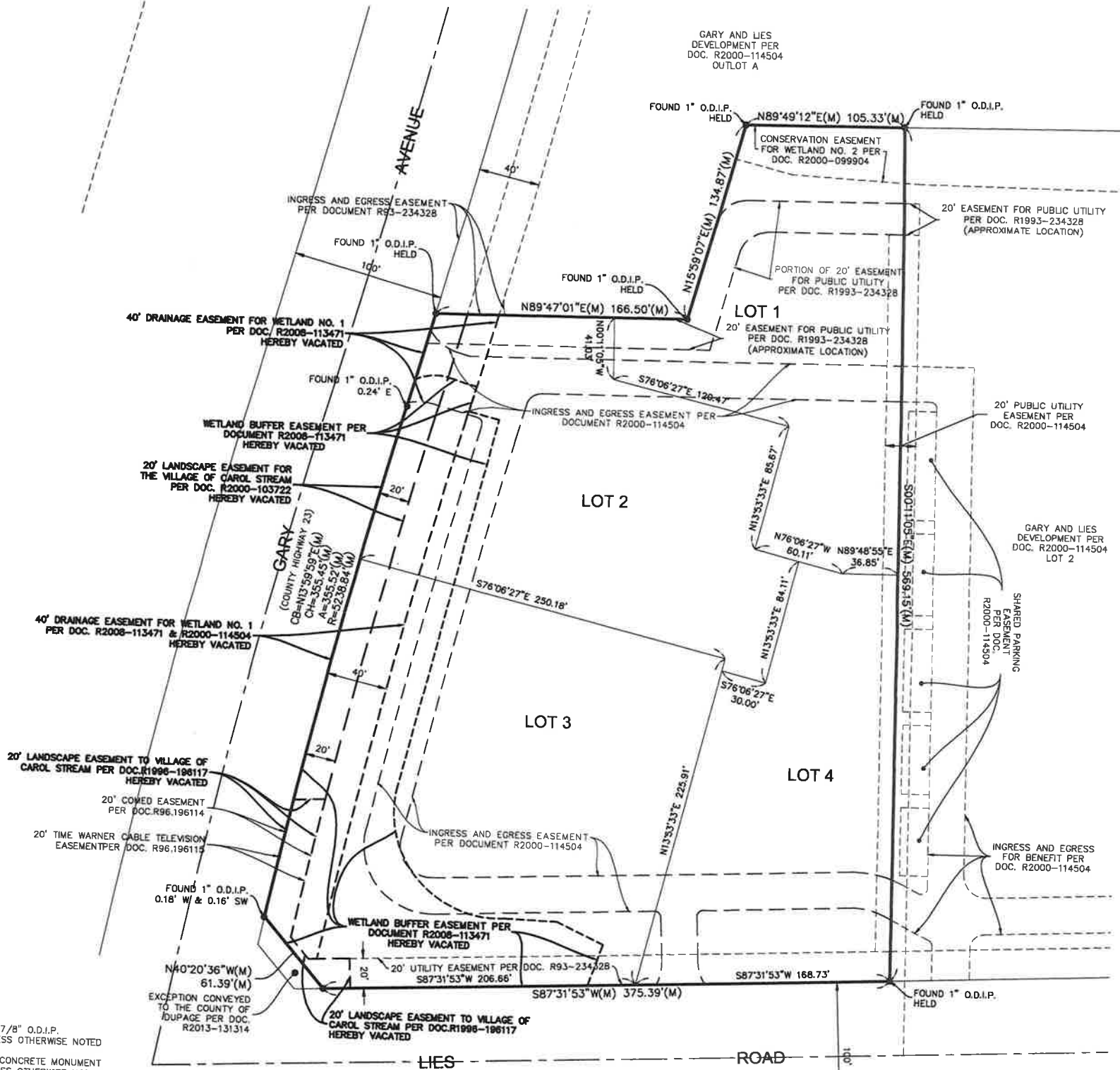
# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT

- LOT 1  
P.I.N. 02-20-404-012  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188
- LOT 2  
P.I.N. 02-20-404-013  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188
- LOT 3  
P.I.N. 02-20-404-016  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188
- LOT 4  
P.I.N. 02-20-404-015  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188



- LEGEND**
- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
  - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
  - + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTE

- ABBREVIATIONS**
- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
  - (R) = RECORD BEARING OR DISTANCE
  - (M) = MEASURED BEARING OR DISTANCE
  - (C) = CALCULATED BEARING OR DISTANCE
  - (D) = DEED BEARING OR DISTANCE
  - B.S.L. = BUILDING SETBACK LINE
  - U.E. = UTILITY EASEMENT
  - D.E. = DRAINAGE EASEMENT
  - P.U.E. = PUBLIC UTILITY EASEMENT
  - P.O.C. = POINT OF COMMENCEMENT
  - P.O.B. = POINT OF BEGINNING
  - P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
  - N = NORTH
  - S = SOUTH
  - E = EAST
  - W = WEST
  - A = ARC LENGTH
  - R = RADIUS
  - CH = CHORD
  - CB = CHORD BEARING

- LINE LEGEND**
- SUBDIVISION BOUNDARY LINE
  - ADJACENT LAND PARCEL LINE
  - LOT LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING SETBACK LINE
  - SECTION LINE
  - FLOOD MAP LINE

**NOTE**  
DOCUMENT R2008-113471 CREATES AN ACCESS EASEMENT AND A STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT. SEE DOCUMENT FOR PARTICULARS.

## SITE SURVEY & EASEMENT VACATION DETAIL

## EXHIBIT G-1

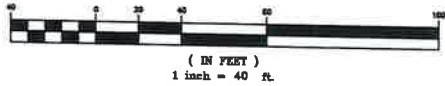
1 OF 3 SCALE: 1" = 40' <b>COMPASS SURVEYING LTD</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM	PROJECT <b>CASEY'S CAROL STREAM CONSOLIDATION</b> CAROL STREAM, IL.	<b>Kimley-Horn</b> © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WARFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM	DATE: 05-10-2022 PC AW DRAWN BY: CJC CHECKED BY: SK BOOK: PG:	REVISIONS NO. DATE BY 1. PER EMAIL DATED 05-12-22 CJC 2. PER CITY REVIEW LETTER DATED 06-03-22 MP 3. PER CITY REVIEW LETTER DATED 08-08-22 MP 4. PER CITY RESPONSE EMAIL DATED 08-22-22 MP 5. PER CLIENT EMAIL DATED 11-22-22 MP	4\SPDATA\2022 PROJECTS\22.0095\22.0095 SUBPLAT.DWG <p>Know what's Below. Call before you dig.</p>
--	---	--	---	--	--

P.I.N. 02-20-404-012  
P.I.N. 02-20-404-013  
P.I.N. 02-20-404-016  
P.I.N. 02-20-404-015

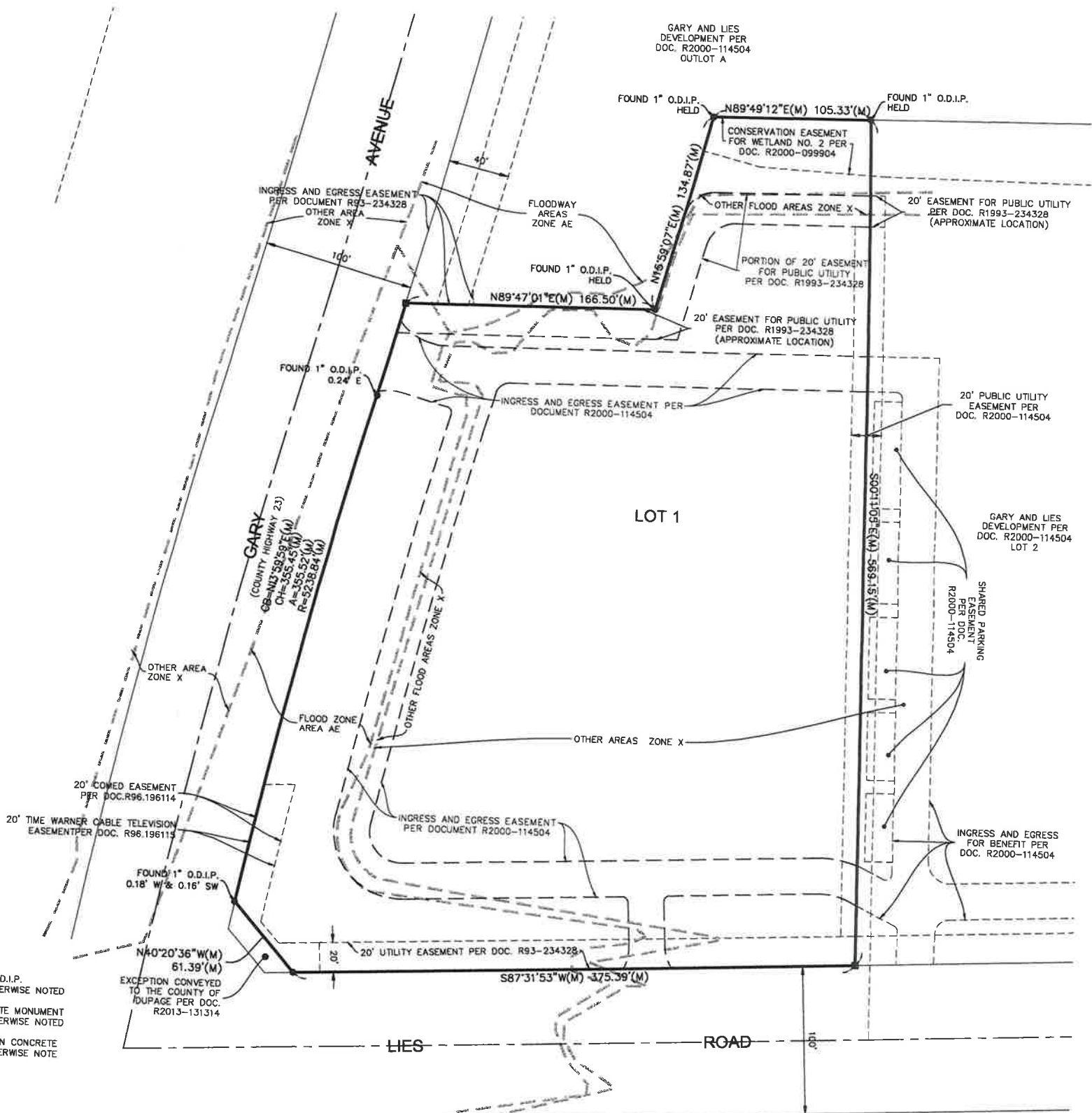
# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

GRAPHIC SCALE



RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT



- LEGEND**
- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
  - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
  - + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTE

- ABBREVIATIONS**
- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
  - (R) = RECORD BEARING OR DISTANCE
  - (M) = MEASURED BEARING OR DISTANCE
  - (C) = CALCULATED BEARING OR DISTANCE
  - (D) = DEED BEARING OR DISTANCE
  - B.S.L. = BUILDING SETBACK LINE
  - D.E. = DRAINAGE EASEMENT
  - D.E. = DRAINAGE EASEMENT
  - P.U.E. = PUBLIC UTILITY EASEMENT
  - P.O.C. = POINT OF COMMENCEMENT
  - P.O.B. = POINT OF BEGINNING
  - P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
  - N = NORTH
  - S = SOUTH
  - E = EAST
  - W = WEST
  - A = ARC LENGTH
  - R = RADIUS
  - CH = CHORD
  - CB = CHORD BEARING

**NOTE**  
DOCUMENT R2008-113471 CREATES AN ACCESS EASEMENT AND A STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT. SEE DOCUMENT FOR PARTICULARS.

- LINE LEGEND**
- SUBDIVISION BOUNDARY LINE
  - ADJACENT LAND PARCEL LINE
  - LOT LINE
  - EASEMENT LINE
  - CENTERLINE
  - BUILDING SETBACK LINE
  - SECTION LINE
  - FLOOD MAP LINE

AREA SUMMARY	
GROSS	180,481 SQUARE FEET OR 4.143 ACRES
R.O.W. DEDICATION	0 SQUARE FEET OR 0 ACRES
NET AREA (LOT 1)	180,481 SQUARE FEET OR 4.143 ACRES
(TO HEAVY LINES) (BASED ON MEASURED VALUES)	

EXHIBIT G-2

<b>COMPASS SURVEYING LTD</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM	<b>Kimley-Horn</b> © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 PHONE: 630-487-5000 WWW.KIMLEY-HORN.COM	DATE: 05-10-2022   PC: AW   DRAWN BY: CJC   CHECKED BY: SK   BOOK:   PG:																						
		<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>PER EMAIL DATED 05-12-22</td> <td>05-16-22</td> <td>CJC</td> </tr> <tr> <td>2.</td> <td>PER CITY REVIEW LETTER DATED 06-03-22</td> <td>07-08-22</td> <td>MP</td> </tr> <tr> <td>3.</td> <td>PER CITY REVIEW LETTER DATED 06-08-22</td> <td>06-18-22</td> <td>MP</td> </tr> <tr> <td>4.</td> <td>PER CITY RESPONSE EMAIL DATED 08-22-22</td> <td>08-25-22</td> <td>MP</td> </tr> <tr> <td>5.</td> <td>PER CLIENT EMAIL DATED 11-22-22</td> <td>11-22-22</td> <td>MP</td> </tr> </tbody> </table>		NO.	REVISIONS	DATE	BY	1.	PER EMAIL DATED 05-12-22	05-16-22	CJC	2.	PER CITY REVIEW LETTER DATED 06-03-22	07-08-22	MP	3.	PER CITY REVIEW LETTER DATED 06-08-22	06-18-22	MP	4.	PER CITY RESPONSE EMAIL DATED 08-22-22	08-25-22	MP	5.
NO.	REVISIONS	DATE	BY																					
1.	PER EMAIL DATED 05-12-22	05-16-22	CJC																					
2.	PER CITY REVIEW LETTER DATED 06-03-22	07-08-22	MP																					
3.	PER CITY REVIEW LETTER DATED 06-08-22	06-18-22	MP																					
4.	PER CITY RESPONSE EMAIL DATED 08-22-22	08-25-22	MP																					
5.	PER CLIENT EMAIL DATED 11-22-22	11-22-22	MP																					



PIN NO: 02-20-404-012  
 02-20-404-013  
 02-20-404-016  
 02-20-404-015

ADDRESS: GARY AVENUE, CAROL STREAM, 60188

TAXING DISTRICTS:  
 COUNTY OF DUPAGE  
 COUNTY OF DUPAGE HEALTH DEPARTMENT  
 COUNTY OF DUPAGE FOREST PRESERVE DISTRICT  
 DUPAGE AIRPORT AUTHORITY  
 DUPAGE WATER COMMISSION  
 BLOOMINGDALE TOWNSHIP  
 VILLAGE OF CAROL STREAM  
 VILLAGE OF CAROL STREAM LIBRARY  
 CAROL STREAM PARK DISTRICT  
 CAROL STREAM FIRE PROTECTION DISTRICT  
 GRADE SCHOOL DISTRICT 93  
 HIGH SCHOOL DISTRICT 87  
 COMMUNITY COLLEGE DISTRICT: COLLEGE OF DUPAGE 502

# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

### OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN HEREON AND AS SUCH OWNER, HAS CAUSED THE PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID LIMITED LIABILITY COMPANY DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT \_\_\_\_\_

DATED AT \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20 \_\_\_\_\_

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

BY: \_\_\_\_\_  
 SIGNATURE

TITLE: \_\_\_\_\_  
 PRINT TITLE

### NOTARY'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
 COUNTY OF \_\_\_\_\_ } SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE OF SAID LIMITED LIABILITY COMPANY, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH \_\_\_\_\_ APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID LIMITED LIABILITY COMPANY, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20 \_\_\_\_\_

NOTARY PUBLIC SIGNATURE \_\_\_\_\_

(PRINT NAME) \_\_\_\_\_

### CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY #23, GARY AVENUE PURSUANT TO 765 ILCS 205/2; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHTS-OF-WAY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

BY: \_\_\_\_\_  
 COUNTY ENGINEER

PLEASE TYPE/PRINT NAME

### DRAINAGE CERTIFICATION

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS.

THE UNDERSIGNED HEREBY CERTIFY THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH CONSOLIDATION OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL NOT BE CHANGED WITHOUT ADEQUATE PROVISION BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THEY HAVE A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE CONSOLIDATION. THE UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS THE FUTURE USE OF THE LAND HEREIN CONSOLIDATED IN THAT NO BUILDING PERMITS SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNTIL AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT BY SUCH CONSTRUCTION AND TOPOGRAPHICAL WATER RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_

OWNER OR ATTORNEY \_\_\_\_\_

### VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS.

THIS CONSOLIDATION PLAT WAS PRESENTED TO AND BY RESOLUTION \_\_\_\_\_ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_ 20 \_\_\_\_\_ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

MAYOR \_\_\_\_\_

VILLAGE CLERK \_\_\_\_\_

### VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS.

I, \_\_\_\_\_ VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THIS CONSOLIDATION PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS CONSOLIDATION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

VILLAGE ENGINEER \_\_\_\_\_

### FINANCE DIRECTOR CERTIFICATE

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS.

I, \_\_\_\_\_ FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

FINANCE DIRECTOR \_\_\_\_\_

### PLAN COMMISSION CERTIFICATION

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

VILLAGE OF CAROL STREAM PLAN COMMISSION

CHAIRPERSON \_\_\_\_\_

### RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS AFORESAID ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20 \_\_\_\_\_ O'CLOCK

BY: \_\_\_\_\_  
 RECORDER OF DEEDS

EXHIBIT G-3

### SURVEYOR'S AUTHORIZATION TO RECORD

I HEREBY DESIGNATE \_\_\_\_\_ AND/OR REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_ AT AURORA, KANE COUNTY, ILLINOIS.

COMPASS SURVEYING LTD  
 PROFESSIONAL DESIGN FIRM  
 LAND SURVEYOR CORPORATION NO. 184-002778  
 LICENSE EXPIRES 4/30/2023

BY: \_\_\_\_\_  
 SCOTT C. KREBS  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509  
 EXPIRES 11/30/2024

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
 COUNTY OF KANE ) SS

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED AND CONSOLIDATED THE FOLLOWING PROPERTY:

LOTS 1, 2, 4 AND LOT 3 (EXCEPT PART OF LOT 3 CONVEYED TO COUNTY OF DUPAGE BY DEED DOCUMENT R2013-131314) OF TALLGRASS TOWN SQUARE ACCORDING TO THE PLAT THEREOF RECORDED JULY 18, 2008 DOCUMENT R2008-113471, BEING A RESUBDIVISION OF LOT 3 IN GARY AND LIES DEVELOPMENT BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE PLAT WHICH IS A REPRESENTATION OF SAID SURVEY AND CONSOLIDATION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. THIS CONSOLIDATION IS WITHIN THE VILLAGE OF CAROL STREAM WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN THE FOLLOWING FLOOD ZONES:

- \* "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
- \* "OTHER FLOOD AREAS: ZONE X" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD)
- \* "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD CHANCE: ZONE AE" (BASE FLOOD ELEVATIONS DETERMINED).
- \* "FLOODWAY AREAS IN ZONE AE" (THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS)

AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 1710202 0061 J, MAP NUMBER 17089C0315J, HAVING AN EFFECTIVE REVISION DATE OF AUGUST 1, 2019.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

COMPASS SURVEYING LTD  
 PROFESSIONAL DESIGN FIRM  
 LAND SURVEYOR CORPORATION NO. 184-002778  
 LICENSE EXPIRES 4/30/2023

BY: \_\_\_\_\_  
 SCOTT C. KREBS  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509  
 LICENSE EXPIRES 11/30/2024

3 OF 3

**COMPASS SURVEYING LTD**  
 ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
 2631 GINGER WOODS PARKWAY, STE. 100  
 AURORA, IL 60502  
 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT  
 CASEY'S CAROL STREAM CONSOLIDATION

**Kimley-Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4201 WARFIELD ROAD, SUITE 600,  
 WARRENVILLE, IL 60555  
 PHONE: 630-487-6550  
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 05-12-22	05-18-22	CJC
2.	PER CITY REVIEW LETTER DATED 06-03-22	07-08-22	MP
3.	PER CITY REVIEW LETTER DATED 08-09-22	08-18-22	MP
4.	PER CITY RESPONSE EMAIL DATED 08-22-22	08-25-22	MP
5.	PER CLIENT EMAIL DATED 11-22-22	11-29-22	MP

VPDATA\2022 PROJECTS\22.0095\22.0095 SUBPLAT.DWG

**811**  
 Know what's below.  
 Call before you dig.



# Casey's

# SIGN PACKET

**JACOB CLARK**  
jacob.clark@caseys.com

RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT

# Carol Stream, IL #4261

Gary & Lies

EXHIBIT H-1

**New Store**

**10-31-22**

RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

Building									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
1	"Casey's"	Permanent	Building Front	Internal	6'-0"	15' 4-1/4"	12' 7"	18' 7"	92.1
<b>Total</b>									<b>92.1</b>

Canopy									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
2a	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
2b	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
2c	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
<b>Total</b>									<b>44.85</b>

Brick Monument Sign (10' OAH)									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
3a	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
<b>Total</b>									<b>46</b>

Brick Monument Sign (10' OAH)									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
3b	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
<b>Total</b>									<b>46</b>

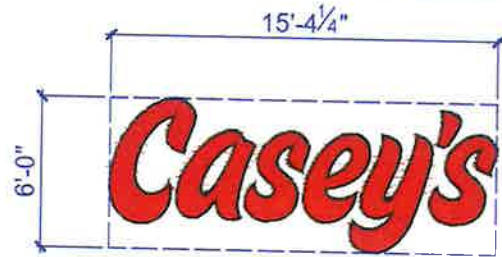
EXHIBIT H-2



RECEIVED

SIGN 1

# EXHIBIT H-3



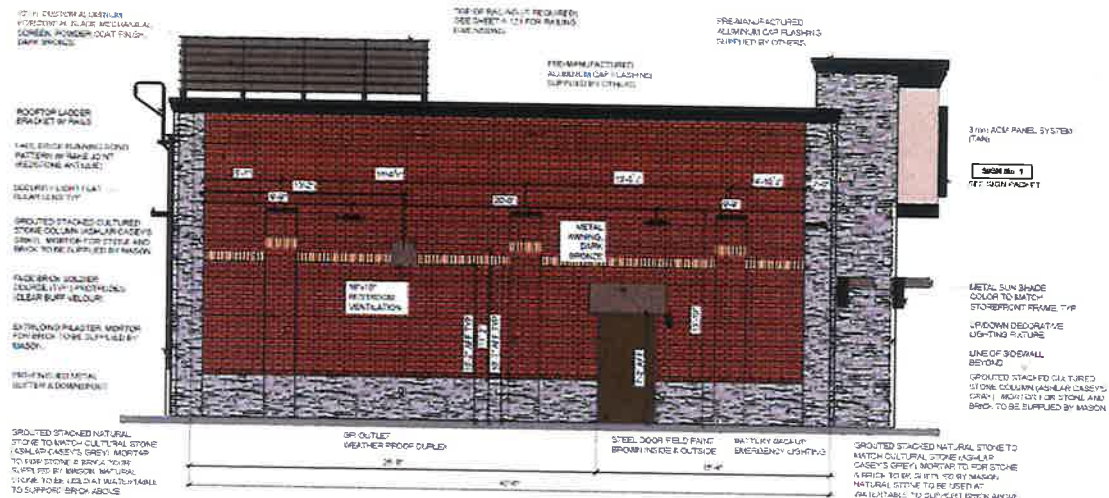
## WINDOW SIGNAGE RESTRICTED TO MAX 25% OF EACH WINDOW

1





RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT



NORTH

# EXHIBIT H-4

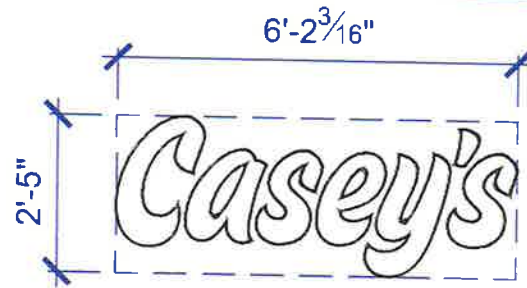


SOUTH

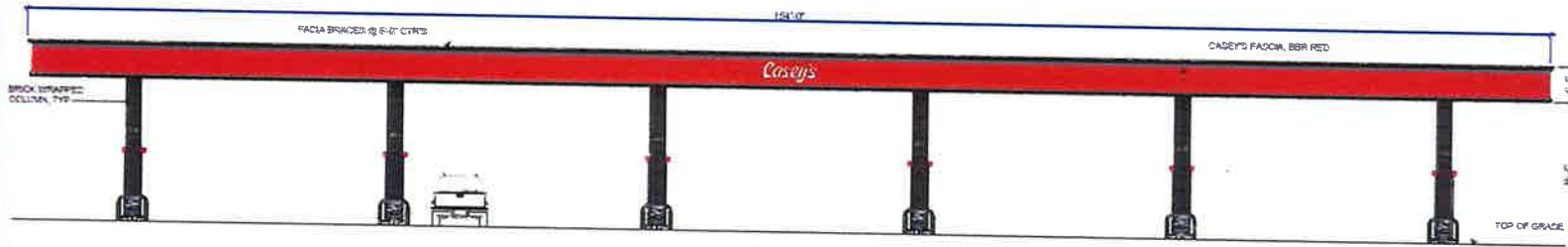


RECEIVED  
FEB 16 2023  
COMMUNITY DEVELOPMENT  
DEPT

**SIGN 2**



**2a**



**WEST**

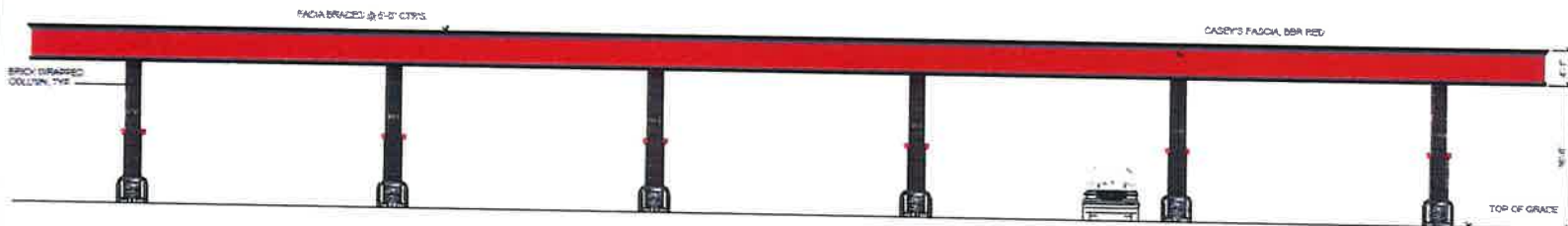
CANOPY FACADE = 628.8 FT<sup>2</sup>  
50% OF 628.8 = 314.4 FT<sup>2</sup>  
SIGN TOTAL = 14.95 FT<sup>2</sup>

**2b**



**SOUTH**

CANOPY FACADE = 98 FT<sup>2</sup>  
50% OF 98 = 49 FT<sup>2</sup>  
SIGN TOTAL = 14.95 FT<sup>2</sup>



**EAST**

**2c**



**NORTH**

CANOPY FACADE = 98 FT<sup>2</sup>  
50% OF 98 = 49 FT<sup>2</sup>  
SIGN TOTAL = 14.95 FT<sup>2</sup>

**EXHIBIT H-5**

# Brick Monument Sign (10' OAH)

**SIGN 3**

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
								<b>Total</b>	<b>46</b>

RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

## QTY. 2 FREESTANDING PRICE SIGNS

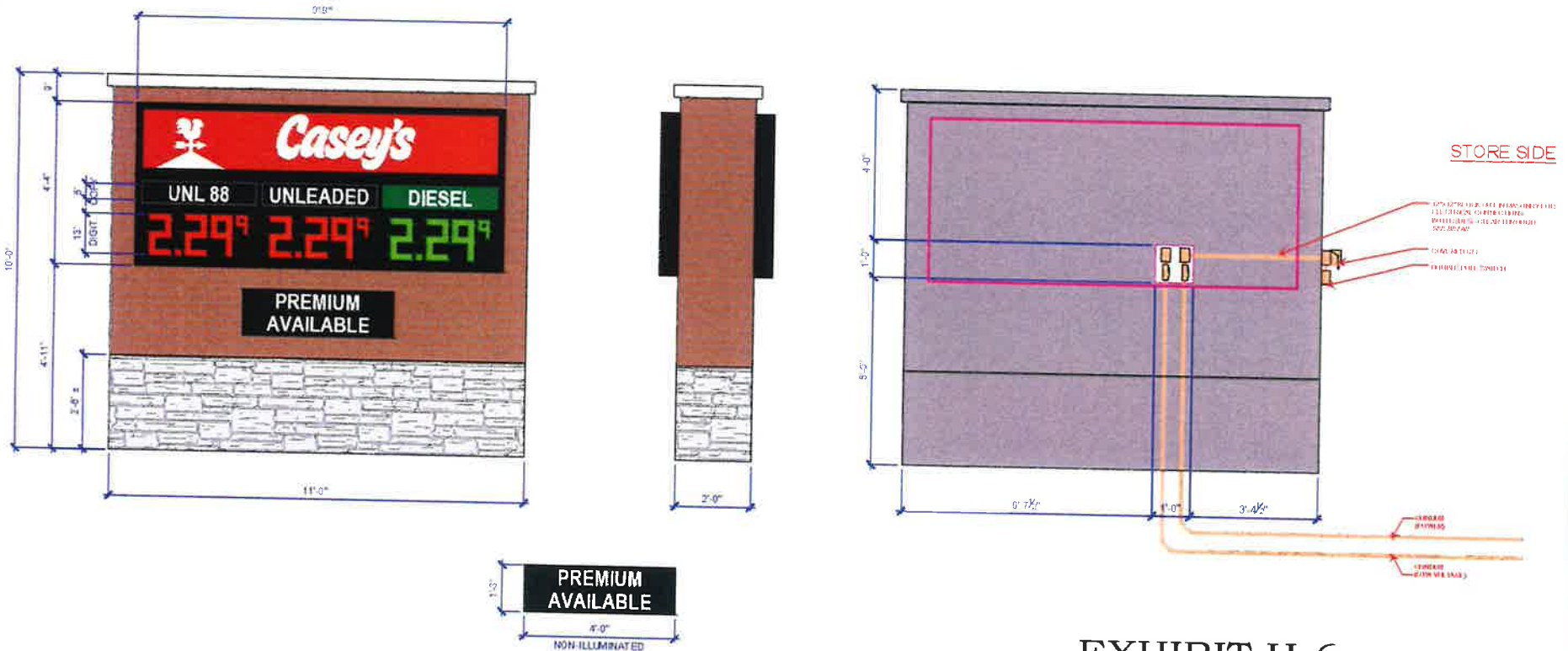


EXHIBIT H-6

**PRICER NOTES:**

- CASEY'S FACE MATERIAL: FLAT CLEAR SOLAR GRADE POLY
- GRAPHICS: SECOND SURFACE
- MASONRY BASE SAME SPEC AS BUILDING
- SUNSHINE BRAND LED DIGITS
- 13" RED AND GREEN LED
- AUTOMATICALLY ADJUSTS BRIGHTNESS FOR DAYTIME AND NIGHTTIME OPERATIONS



**CAROL STREAM, IL #4261**  
**GARY & LIES**

DRAWN BY:  
 J. CLARK

DATE:  
 10-31-22





# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

March 27, 2023

**TO:**  
Chair and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Height Variation for an Antenna Structure, in accordance with Section 16-4-15 (E) of the Unified Development Ordinance

**APPLICANT/ CONTACT:**

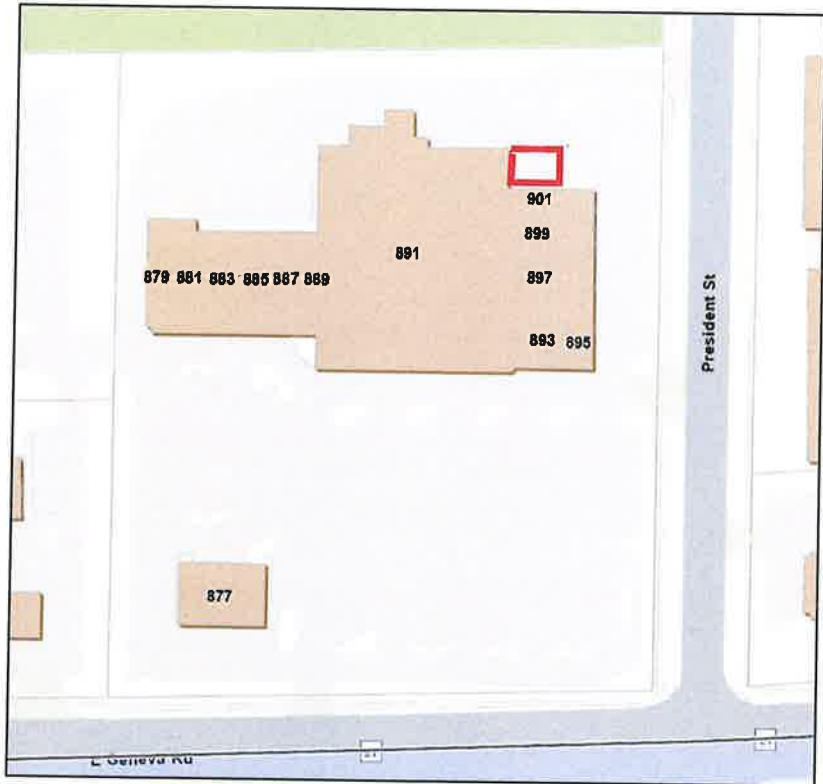
Mr. Mark Iacopetti  
SBA Monarch Towers III, LLC  
24317 W 143<sup>rd</sup> Street, Suite 11  
Plainfield, IL 60544



**CASE #:** 22-0056

**LOCATION:** 877-901 E. Geneva Road

**PROJECT NAME:** SBA Monarch Towers III, LLC / T-Mobile



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Geneva Plaza)	Corridor Commercial
North	R-1 Estate Residence & Community Facilities District	Open Space (Community Park)	Open Space
South	City Of Wheaton I Institutional District	Institutional (Islamic Center of Wheaton)	Institutional
East	R-4 Multiunit Residence District	Multifamily Residential (Timber Ridge Condos)	Multifamily Residential
West	B-3 General Business District	Commercial (General Office and Proposed Urgent Care)	Corridor Commercial

The subject area outlined above is located north of Geneva Road and west of President Street, in the rear of Geneva Plaza.

---

## Site Assessment

---

### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The modification to the existing stealth telecommunications tower is appropriate within the commercial land use classification.

### AERIAL PHOTOGRAPH:



---

## Project Summary

---

### ATTACHMENTS:

Attached for review is the General Application, Variation Application, Cover Letter dated November 28, 2022, Public Notice, Cover Page (Exhibit A), Overall Site Plan (Exhibit B), Equipment Plan (Exhibit C), Tower Elevation (Exhibit D), Antenna Plan (Exhibit E), Equipment and Cabinet





- In order to accommodate the larger-sized antenna panels, the top 40 feet of the tower will be replaced with a wider “canister” at the top of the tower. The 40 feet will include space for T-Mobile antennas and antennas for a potential additional carrier.
- The existing tower is currently 30 inches in diameter, and the top 40 feet of the tower will be widened to 60 inches in diameter to accommodate the larger/wider antenna panels.
- The stealth design will be maintained, with the proposed top canister to match the rest of the tower in terms of color, style, and materials. It should also be noted that the height of the tower will remain at 100 feet, and the only proposed change is the widening of the top 40-foot portion of the stealth tower.
- Equipment cabinets associated with the antennas will still be housed in the masonry equipment enclosure, located at the base of the tower.

Staff supports the applicant’s request. The tower will maintain its stealth design, so that antennas inside the tower are still not be visibly obtrusive to adjacent residential, commercial, and office uses. In addition, the enlarged canister at the top of the tower will blend with the rest of the tower with matching color, design, and materials.

#### VARIATION FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K) of the Carol Stream Unified Development Ordinance:

1. The requested variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action.

The unique circumstance is that the maximum height regulation specified by the UDO would not allow a functional tower to be built. The modification to the top of the tower will maintain its stealth design.

2. The variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

The essential character of the neighborhood is highly varied, with open space to the north, commercial/office uses to the south and west, and residential condominiums to the east. Specific efforts were taken in the design of the tower to minimize visual impacts on surrounding properties, and those efforts will be maintained with the wider canister at the top portion of the stealth tower.

3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

The tower will maintain a 100-foot height, which was approved with the initial height variation in 2010. Requiring the tower to be reduced to the maximum height of 55 feet allowed in the UDO would greatly limit the effectiveness of antenna coverage and usability in said tower.

4. The variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO.

The only change between the requested variation and the previously approved variation is to modify the diameter of the top 40 feet of the tower. The tower will maintain a height of 100 feet, which was previously approved in 2010.

5. The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan.

The proposed tower enhancement will provide enhanced wireless communication coverage to the public. If approved, the variation should not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood, as has been the case with the tower for over a decade since its initial construction.

---

### **Recommendation**

---

Staff has reviewed the request, and supports the variation for the tower modification. Therefore, staff recommends approval of a variation to increase the height of a telecommunications tower from 55 feet to 100 feet for SBA Monarch Towers III, LLC (T-Mobile) at 877-901 E. Geneva Road, Case No. 22-0056, subject to the following conditions:

1. That all terms and conditions of previously approved Ordinance No. 2010-11-52 not specifically revised herein shall remain in full force and effect, specifically including the following:
  - a. All equipment associated with the telecommunications tower must be located within the masonry equipment enclosure, and that all equipment other than the tower itself must be fully screened by and not taller than the enclosure.
  - b. The applicant must obtain building permits for all of the proposed work.
2. That the top 40 feet of the tower that will be widened in diameter shall match the rest of the existing tower in terms of color, design, and materials;
3. That should additional modifications to the tower be proposed, said modifications shall require review and approval of a height variation; and
4. That the development of the telecommunications tower and associated equipment and structures must comply with all state, county and village Codes and requirements.

T:\Planning New\Planning\Plan Commission\Staff Reports\2023 Staff Reports\22-0056 SBA Monarch T-Mobile VAR 877 Geneva 032723.docx





RECEIVED

MAR 01 2023 - updated applicant  
COMMUNITY DEVELOPMENT DEPT

Do Not Write in This Space  
Date Submitted: 11-30-22  
Fee Submitted: \$640.00  
File Number: 22-0056  
Meeting Date: 3/13/23  
Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188  
PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant SBA Monarch Towers III. LLC Phone 561-648-8309  
 Address 24317 W 143rd Street, Suite 111, Plainfield, IL 60544 Fax \_\_\_\_\_  
 E-Mail Address miacopetti@sbsite.com  
 (required)  
 Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect Tim Kuen Phone 224-293-6413  
 (if applicable)  
 Address 2675 Pratum Avenue, Hoffman Estates, IL 60192 Fax \_\_\_\_\_

2. \*Common Address/Location of Property 554 S. President Street, Carol Stream (aka 875-901 Geneva Rd)

3. Requested Action: (check all that apply)

- |  |  |
|--|--|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                         |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances               |
| <input type="checkbox"/> Development Staff Review          | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)              |
| <input type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)             |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C)              |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)                 |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)                 |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)                |

Describe requested action Requesting Stealth Tower Canister to be increased from 30" to 60" in diameter so the tower has the space required to house the Telecommunication Equipment needed to continue to provide essential coverage and capacity for the Residents and Businesses of the Village of Carol Stream, it services.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ **\$640.00**

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
X	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

**Mark Iacopetti**

Print Name

*Mark Iacopetti*

Signature

**02/28/23**

Date

Revised 11/22





FORM B-1

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) ■ website: [www.carolstream.org](http://www.carolstream.org)

## GENERAL VARIATIONS

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Variations.

In accordance with the applicable statutes of the State of Illinois, no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Unified Development Ordinance (UDO) and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following conditions: (Please respond to each of these standards in writing below as it relates to your request.)

1. The requested Variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional actions.

Consistent with surrounding Telecommunications Tower uses, SBA Monarch Towers 111, LLC,

the Tower Owner at 877-901 Geneva Road, is requesting the Existing Top 40 Feet of the Stealth

Tower at this location be widened with a Stealth Tower Canister Diameter of 60" which is

essential for the required Coverage and Capacity services provided to the Village of Carol Stream.

2. That the Variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

The Variation Request does not seek to increase the 100 Feet Stealth Tower's Height.

The Requested Variation only seeks to replace the Stealth Tower Canister from 30" to 60"

so the Stealth Tower can provide the needed space for the required equipment to

continue to service the area.

3. That the conditions of a Variation will constitute of an unnecessary physical hardship (not economic hardship), in which the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

The Canister enlargement is essential to proving the Required Coverage and Capacity needed  
\_\_\_\_\_ to service the Village of Carol Stream, Emergency Management, Residents and Businesses;  
\_\_\_\_\_ in which, it provides seven (7) days a week for 24 hours, for use of, I-Cloud File Storage,  
\_\_\_\_\_ Internet Usage, Cell Phone Usage, and Other Computer/Network Services that rely on its need.  
\_\_\_\_\_

4. The Variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO

What is sought under the Variation, is the need for Canister Space to accommodate the  
\_\_\_\_\_ Antennas and Other Equipment which have increased in size, for essential coverage. The  
\_\_\_\_\_ the current canister diameter is 30" and it no longer provides the space needed for the  
\_\_\_\_\_ required equipment necessary to service the area it is intended to service.  
\_\_\_\_\_

5. The Variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the Comprehensive Plan.

A Canister with a 60" Diameter should not adversely affect Public Health, Safety, the General Welfare,  
\_\_\_\_\_ Impair the Purpose, Intent of this UDO, or the Comprehensive Plan.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Other pertinent information or reason for the request.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



RECEIVED  
NOV 30 2022  
COMMUNITY DEVELOPMENT  
DEPT

SBA Communications Corporation  
590 Territorial Drive  
Suite A  
Bolingbrook, IL 60440

T + 815.524.5412  
F + 815.524.4589

[sbsite.com](http://sbsite.com)

11/28/2022

Village of Carol Stream  
Community Development Department  
C/o: Mr. Tom Farace  
500 N. Gary Avenue  
Carol Stream, Illinois 60188

RE: Sprint/T-Mobile Network Enhancement at 554 S. President Street, Carol Stream, Illinois  
T-Mobile Site ID: CH543491A / SBA Site: IL41100-T-01  
Canister Enlargement Request

Dear Mr. Farace:

It was a pleasure to speak with you regarding my request to enlarge the Stealth Cell Tower Canister located at 554 S. President Street, Carol Stream, Illinois. The canister enlargement is essential in providing the necessary Coverage and Capacity Services for the Residents and Businesses of the Village of Carol Stream.

SBA Monarch Towers III, LLC, a subsidiary of SBA Communications Corporation, is the owner of the 100' Stealth Cell Tower where no additional height will be required for the requested canister enlargement.

Currently, the existing canister is 30" in diameter and the Stealth Cell Tower requires a canister with a 60" diameter to accommodate the necessary equipment.

Enclosed please find:

- Seven (7) Copies of the Construction Drawings
- One (1) reduced size Construction Drawing
- A Zoning Application
- A Variation Application
- Ground Owner, Egaleo Realty, LLC Consent c/o Terrapin Real Estate, LLC
- Variation Fee of \$640.00

If you have any questions regarding to the request, I may be contacted at [VMaldonado@sbsite.com](mailto:VMaldonado@sbsite.com) or by phone at 561-560-1592

Once again, thank you for your consideration and assistance.

Sincerely,  
*Valerie Maldonado*  
Site Development Specialist II  
[VMaldonado@sbsite.com](mailto:VMaldonado@sbsite.com)  
Phone: 561-560-1592



# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on January 25, 2023 and the last publication of the notice was made in the newspaper dated and published on January 25, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on January 25, 2023.

Examiner Publications, Inc.

By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 25 day of January, A.D. 2023.

Notary Public



## LEGAL NOTICE PUBLIC NOTICE FILE #22-0058

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, February 13, 2023 at 6:00 p.m. to consider an application from SBA Monarch Towers III for the following actions:

A Height Variation for an Antenna Structure, in accordance with Section 16-4-15 (E) of the Carol Stream Code of Ordinances

For the property located at 877-901 E. Geneva Road (PIN 05-04-400-059)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/zoom/register/WN\\_n6v8xQVVR7GDFDE09UeGmA](https://us02web.zoom.us/join/zoom/register/WN_n6v8xQVVR7GDFDE09UeGmA)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 628 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 868 2338 0202

International numbers available: <https://zoom.us/j/adsnXEZQfK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing.

The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org). The public may provide written comments prior to the public hearing by submitting them to Tom Farace, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org) by 4:00 p.m. the day of the public hearing.

Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* January 25, 2023 0125

ANCHOR

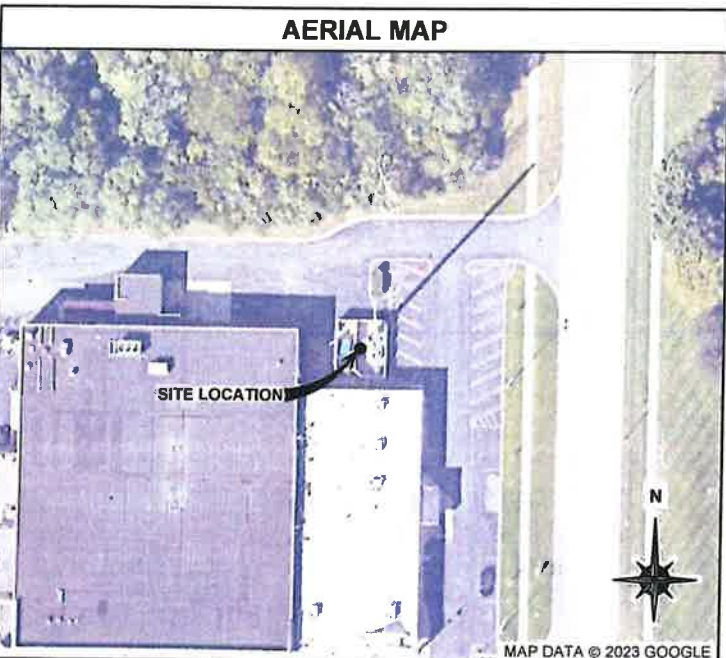
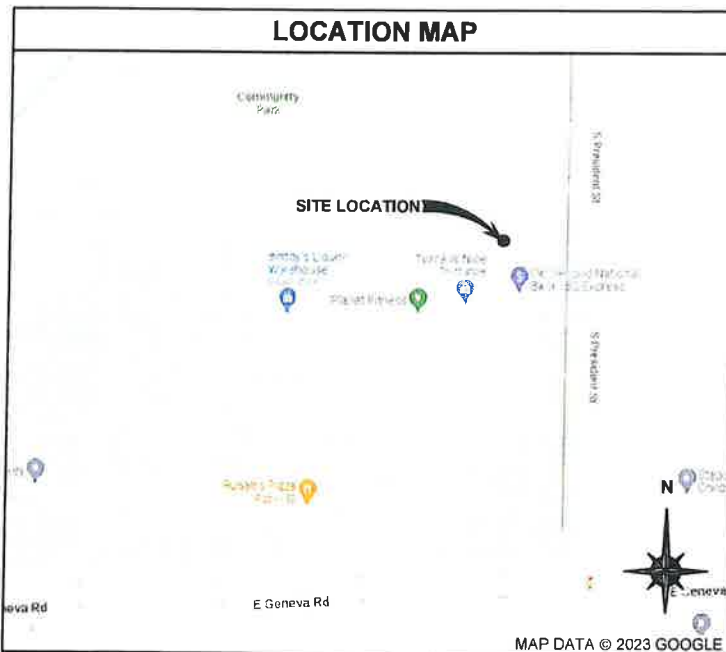


RECEIVED  
MAR 14 2023  
COMMUNITY DEVELOPMENT  
DEPT

SITE NUMBER:  
CH543491  
SITE NAME:  
GENEVA PLAZA

SBA SITE NUMBER:  
IL41100-T-01  
SBA SITE NAME:  
GENEVA PLAZA

JURISDICTION:  
VILLAGE OF CAROL STREAM  
SITE TYPE:  
STEALTH FLAG POLE  
SITE ADDRESS:  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188  
DUPAGE COUNTY



**PROJECT DESCRIPTION**

NO NEW WATER OR SEWER IS REQUIRED AS FACILITY IS UNMANNED.

**EXISTING T-MOBILE BUILD OUT:**  
(6) ANTENNAS, (9) TMA'S, (12) COAX, (1) SITE SUPPORT CABINET, (3) SYSTEM MODULES, (5) RF MODULES & (1) CUBE MOUNT

**FINAL T-MOBILE BUILD OUT:**  
(6) ANTENNAS, (6) RRU'S, (10) COAX, (2) HCS 2.0 TRUNKS, (2) BREAKOUT BOXES, (2) OVP'S, (1) SITE SUPPORT CABINET, (1) BBU CABINET, (1) SYSTEM MODULE & (2) AMIA'S IN SSC

**SCOPE OF WORK:**

- REMOVE & REPLACE (2) EXISTING STEALTH CANISTERS (BY OTHERS)
- REMOVE & REPLACE EXISTING ANTENNA MOUNTS
- REMOVE (6) EXISTING ANTENNAS
- REMOVE (9) EXISTING TMA'S
- REMOVE (2) EXISTING COAX (10 COAX TO REMAIN)
- REMOVE (1) EXISTING GSM-PCS ESMB
- REMOVE (1) EXISTING LTE-PCS/ASW FSMF
- REMOVE (2) EXISTING LTE-AWS FRIE'S
- REMOVE (2) EXISTING UMTS/LTE-PCS FXFC'S
- REMOVE (1) EXISTING GSM-PCS FXFB
- REMOVE (1) EXISTING FBBA & (1) FBBC SUBMODULES
- RE-PURPOSE (1) EXISTING UMTS-PCS FSMF FOR UMTS/GSM-PCS
- RELOCATE RE-PURPOSED FSMF TO NEW SSC
- REMOVE EXISTING CUBE MOUNT
- REMOVE EXISTING SITE SUPPORT CABINET
- RELOCATE EXISTING FSEB TO NEW SSC
- INSTALL (3) NEW ANTENNAS (1 PER SECTOR)
- INSTALL (3) NEW AHFIG'S (1 PER SECTOR)
- INSTALL (3) NEW AHLOA'S (1 PER SECTOR)
- INSTALL (2) NEW BREAKOUT BOXES
- INSTALL (2) NEW OVP'S & WIRE TROUGH
- INSTALL (2) NEW HCS 2.0 TRUNKS
- INSTALL (1) NEW SITE SUPPORT CABINET
- INSTALL (1) NEW BBU CABINET
- INSTALL (1) NEW AMIA W/ (1) ASIB CORE MODULE, (1) ASIK CORE MODULE, (3) ABIL CAPACITY MODULES AND (3) ABIC CAPACITY MODULES IN SSC
- INSTALL (1) NEW AMIA W/ (1) ASIB CORE MODULE, (1) ASIK CORE MODULE, (3) ABIA CAPACITY MODULES AND (3) ABIL CAPACITY MODULES IN SSC
- REMOVE EXISTING CSR 7705 SAR A
- INSTALL NEW CSR IXRe V2

**PROJECT TEAM**

**A&E:**  
WT GROUP, LLC.  
2675 PRATUM AVENUE  
HOFFMAN ESTATES, IL 60192  
CONTACT: TIM KUEN  
TEL: (224) 293-6333  
FAX: (224) 293-6444

**SITE ACQUISITION:**  
SBA COMMUNICATION CORPORATION  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487-1307  
TEL: (800) 487-SITE (7483)

**STRUCTURAL:**  
TOWER ENGINEERING SOLUTIONS  
1320 GREENWAY DRIVE, SUITE 600  
IRVING, TX 75038  
TEL: (972) 483-0607  
FAX: (972) 975-9615

**TOWER OWNER:**  
SBA COMMUNICATION CORPORATION  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487-1307  
TEL: (800) 487-SITE (7483)

**APPLICANT:**  
T-MOBILE  
1400 OPUS PLACE  
DOWNERS GROVE, IL 60515  
TEL: (773) 444-5400  
CONTACT: TBD

**SITE INFORMATION**

**SITE ADDRESS**  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

**TOWER INFORMATION**  
STRUCTURE HEIGHT: 100'-0" STEALTH FLAG POLE  
- HIGHEST TOWER APPURTENANCE: T.B.D.  
- T-MOBILE ANTENNA RAD CENTER: 88'-0", 96'-0"  
- T-MOBILE ANTENNA TIP HEIGHT: 89'-6", 100'-0"

**COORDINATES (NAD 1983)**  
LATITUDE: 41.88971389° N  
LONGITUDE: -88.09246670° W

**GROUND ELEVATION**  
748.00' (PER GOOGLE EARTH)

**SHEET INDEX**

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
GN-1	GENERAL NOTES
C-1	OVERALL SITE PLAN
C-2	EXISTING & NEW SITE PLANS
A-1	TOWER ELEVATION
A-2	ANTENNA PLANS
A-3	ANTENNA & CABLE SCHEDULE
A-4	RF PLUMBING DIAGRAM
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
A-8	EQUIPMENT DETAILS
E-1	UTILITY PLAN
GR-1	GROUNDING RISER
GR-2	GROUNDING DETAILS

**UTILITIES**

**EXHIBIT A**

**CODE COMPLIANCE**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE FOLLOWING CODES:

**BUILDING CODE:**  
2018 INTERNATIONAL BUILDING CODE (2018 IBC)

**ELECTRICAL CODE:**  
2017 NATIONAL ELECTRICAL CODE (2017 NEC)

**REFERENCED MATERIALS**

A SITE WALK WAS NOT PERFORMED FOR THIS SITE PER SCOPE OF WORK. COMPOUND, ELEVATION, EQUIPMENT LAYOUT AND ANTENNA PLANS SHOWN WITHIN THIS SET WERE TAKEN FROM AVAILABLE DOCUMENTS/DRAWINGS PROVIDED BY OTHERS.

**WT GROUP**  
Engineering with Precision, Pace and Passion.  
2675 Pratum Avenue / Hoffman Estates, IL 60192  
T: 224-293-6333 | F: 224-293-6444  
www.wtgroup.com

**WT Group**  
Engineering | Design | Construction

**SBA**

GENEVA PLAZA  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

**REVISIONS**

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

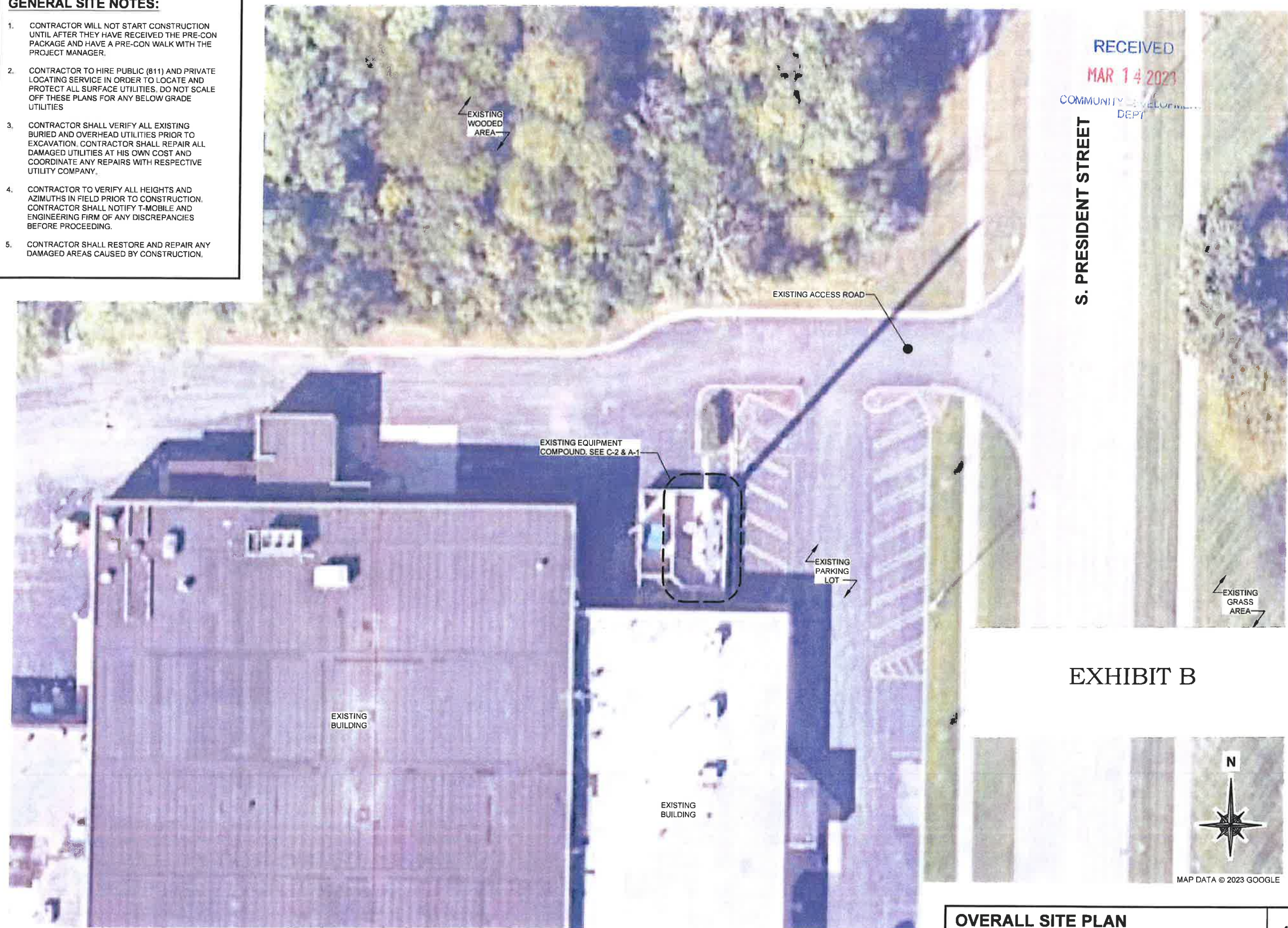
**T-1**  
TITLE SHEET

© COPYRIGHT 2023 THE WT GROUP, LLC



**GENERAL SITE NOTES:**

1. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
2. CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES
3. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION, CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
4. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY T-MOBILE AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
5. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.



RECEIVED  
MAR 14 2023  
COMMUNITY DEVELOPMENT  
DEPT

S. PRESIDENT STREET

**EXHIBIT B**

**OVERALL SITE PLAN**

SCALE: 1" = 30'-0"

1

EXPIRES: 11/30/23 SIGNED: XX/XX/23

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
 CIVIL \ TELECOMMUNICATION \ MECHANICAL  
 PLUMBING \ ELECTRICAL \ LAND SURVEYING  
 ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
 DRAWN: ATK  
 JOB: T2200508

**C-1**  
OVERALL SITE PLAN



GENEVA PLAZA  
 CH543491  
 554 S. PRESIDENT STREET  
 CAROL STREAM, IL 60188

**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 3925 Parkway Avenue | Mokena, Illinois, IL 60152  
 T: 224.262.6333 | F: 224.262.6444  
 wtgrouping.com

©COPYRIGHT 2023 THE WT GROUP, LLC



# EXHIBIT C

## LEGEND

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- RELOCATED EQUIPMENT
- REMOVED EQUIPMENT

RECEIVED

MAR 14 2023

COMMUNITY DEVELOPMENT  
DEPT

### IMPORTANT SITE NOTES:

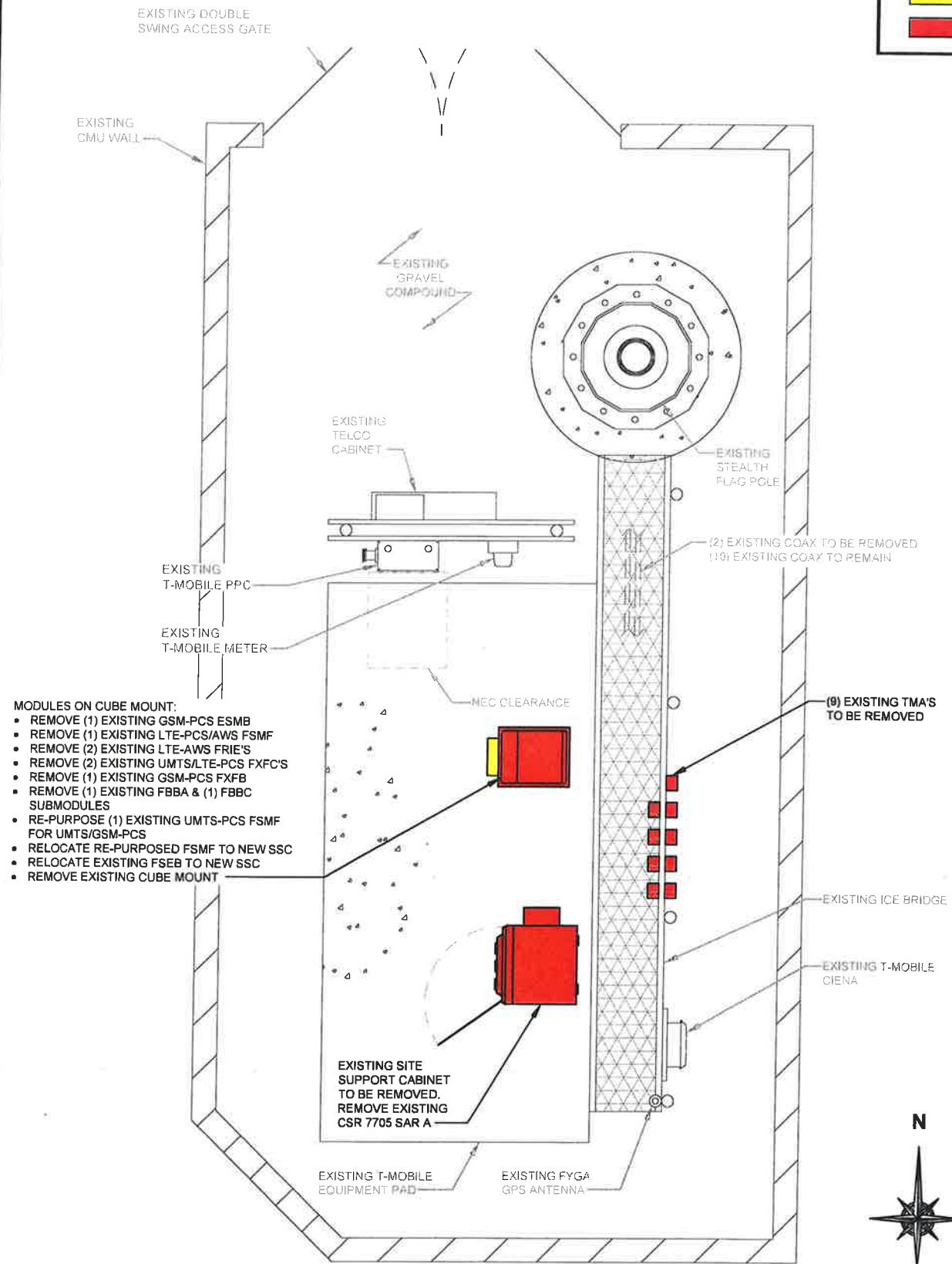
1. FLEXI MODULE FANS - SINCE AIRFLOW ON THESE CABINETS FLOWS FROM FRONT TO BACK, THE FLEXI FANS NEED TO BE FLIPPED, AND ALL FLEXI EQUIPMENT FULLY CLEANED TO PERMIT AIRFLOW DIRECTION WITHIN THE HPL3. (BY DEFAULT, FLEXI MODULE AIRFLOW IS FROM BACK TO FRONT) FLEXI SLEEVES NEED TO BE INSTALLED WITH ALL FLEXI MODULES. PHOTO PROOF OF FAN ROTATION AND CHASSIS CLEANED IS REQUIRED.
2. ORION CONTROLLERS ARE CABINET SPECIFIC! NEVER UPLOAD OR UPDATE SW TO THESE CONTROLLERS OR EVEN COPY CONFIGURATION FROM ANY OTHER ORION CONTROLLERS. THESE NEW CONTROLLERS COME WITH SPECIFIC SW THAT IS NOT BACKWARDS COMPATIBLE. DOING SO WILL DAMAGE THE CONTROLLER AND VOID THE WARRANTY.
3. NEVER USE TELCOFLEX WIRE TO RUN AC FEEDS (NOT APPROVED). ALWAYS USE THHN WIRE TO DELIVER AC POWER FROM THE PPC. PROPER AC/DC WIRE COLOR CODING NEEDS TO BE ADHERED TO.
4. A 3" MEYER HUB WITH REDUCER TO RIGID LL AT THE HPL3 IS USED TO RUN THE (3 EA) 3/0 & (1 EA) #4 TO THE PPC, TO WIRE THE 200A AC INPUT BREAKER. SITES EVENTUALLY WILL BE PREPPED FOR A SECOND POWER RUN FROM BACK OF CAB TO PPC. REFER TO CD'S FOR THIS UPDATE.
5. FOR HPL3 CABINETS, TEMPERATURE AND VOLTAGE COMPENSATION PROBS ARE SPECIFICALLY ADDRESSED IN DELTA'S HPL3 BATTERY ICM MANUAL (PAGES 14-18). IT IS STRONGLY ADVISED TO REVIEW/FOLLOW THESE INSTALLATION STEPS TO ENSURE OPTIMAL PERFORMANCE FROM THESE PROBS.
6. REMEMBER TO RUN THE ETHERNET ALARM CABLE FROM THE HPL3 TO BATTERY CABINET. REFER TO HPL3 DELTA USER MANUAL SECTION 3.1.0. FAILURE TO FOLLOW THIS INSTALLATION TASK WILL CAUSE THE CABINET TO OVERHEAT.
7. BE SURE TO INSTALL THE DC CABLE FROM THE HPL3 TO L83 FOR CLIMATE CONTROL - REFER TO L83 DELTA USER MANUAL SECTION 3.9. FAILURE TO DO SO WILL RESULT IN L83 OVERHEATING.
8. DO NOT FORGET TO RUN/INSTALL A CAT5 CABLE FROM THE ORION CONTROLLER TO CELL SITE ROUTER (XRe/SAS) AND INTEGRATE.
9. SUPPLY & INSTALL LOOP RELAY CONDUIT, CONNECTORS AND ALARM CABLE, FROM HPL3 TO PPC.

### NOTES:

1. CONTRACTOR TO INSTALL EXTRA AMPLIFIER FOR POWERPLUS VOLTAGE BOOSTER.
2. CONTRACTOR TO INSTALL VOLTAGE BOOSTER POWERPLUS W/ 2 AMPLIFIER RAYCAP.

### NOTE:

IF 200 AMP IS NOT PRESENT, SERVICE WILL NEED TO BE UPGRADED DURING ANTENNA INSTALL.



- MODULES ON CUBE MOUNT:**
- REMOVE (1) EXISTING GSM-PCS ESMB
  - REMOVE (1) EXISTING LTE-PCS/AWS FSMF
  - REMOVE (2) EXISTING LTE-AWS FRIE'S
  - REMOVE (2) EXISTING UMTS/LTE-PCS FXFC'S
  - REMOVE (1) EXISTING GSM-PCS FXFB
  - REMOVE (1) EXISTING FBBA & (1) FBBC SUBMODULES
  - RE-PURPOSE (1) EXISTING UMTS-PCS FSMF FOR UMTS/GSM-PCS
  - RELOCATE RE-PURPOSED FSMF TO NEW SSC
  - RELOCATE EXISTING FSEB TO NEW SSC
  - REMOVE EXISTING CUBE MOUNT

(9) EXISTING TMA'S TO BE REMOVED

EXISTING ICE BRIDGE

EXISTING T-MOBILE CIENA

EXISTING SITE SUPPORT CABINET TO BE REMOVED. REMOVE EXISTING CSR 7705 SAR A

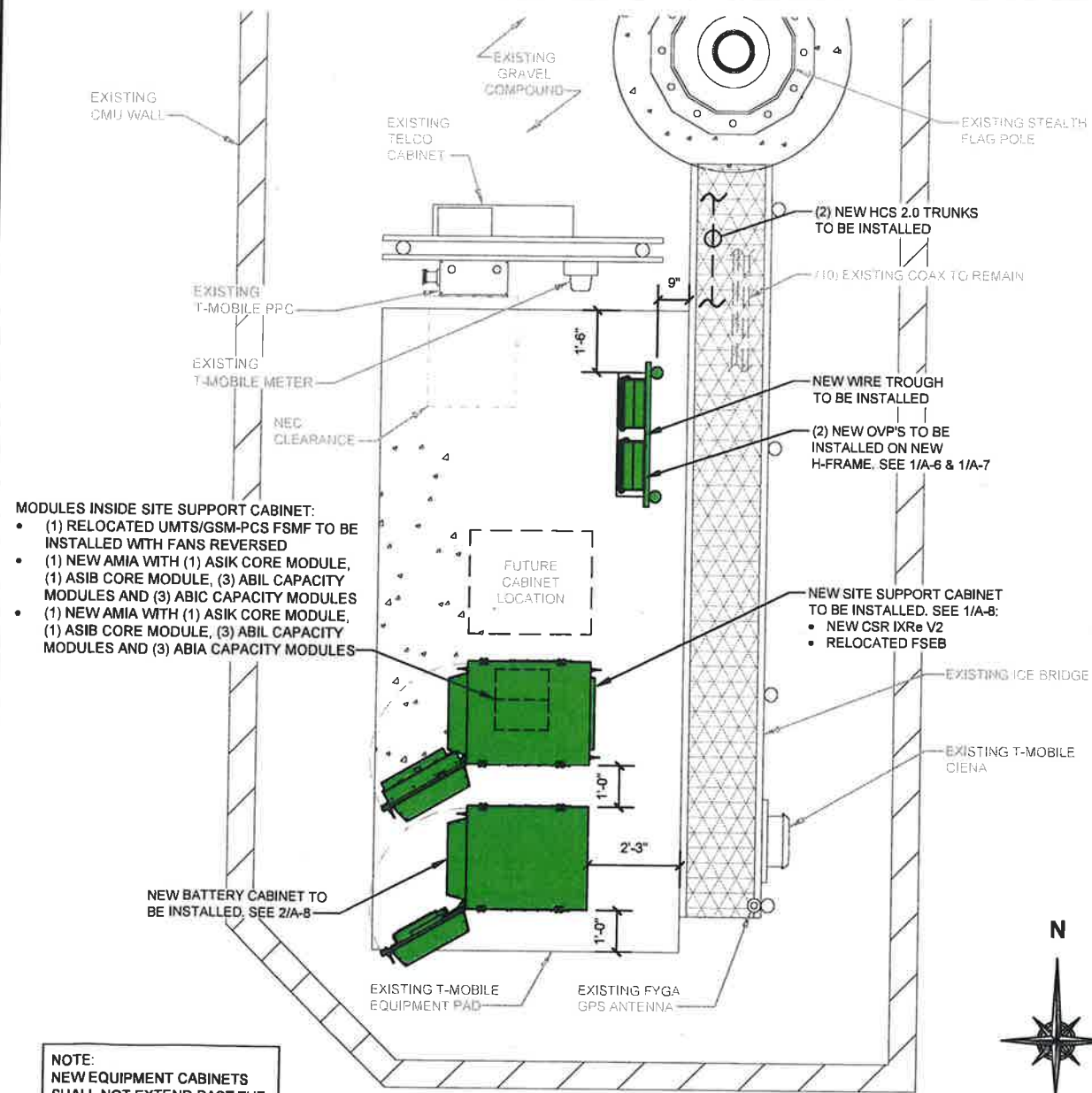
EXISTING T-MOBILE EQUIPMENT PAD

EXISTING FYGA GPS ANTENNA

## EXISTING EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

1



### MODULES INSIDE SITE SUPPORT CABINET:

- (1) RELOCATED UMTS/GSM-PCS FSMF TO BE INSTALLED WITH FANS REVERSED
- (1) NEW AMIA WITH (1) ASIK CORE MODULE, (1) ASIB CORE MODULE, (3) ABIL CAPACITY MODULES AND (3) ABIC CAPACITY MODULES
- (1) NEW AMIA WITH (1) ASIK CORE MODULE, (1) ASIB CORE MODULE, (3) ABIL CAPACITY MODULES AND (3) ABIA CAPACITY MODULES

NOTE:  
NEW EQUIPMENT CABINETS SHALL NOT EXTEND PAST THE TOP OF THE EXISTING ENCLOSURE WALL.

## NEW EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

2



WT GROUP

Engineering with Precision, Pace and Passion  
2075 Pulaski Avenue (Highway 84), Suite 101  
T: 224.265.6333 | F: 224.265.6444  
wtgroup.com

GENEVA PLAZA  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

### REVISIONS

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL



CHECK: JKR

DRAWN: ATK

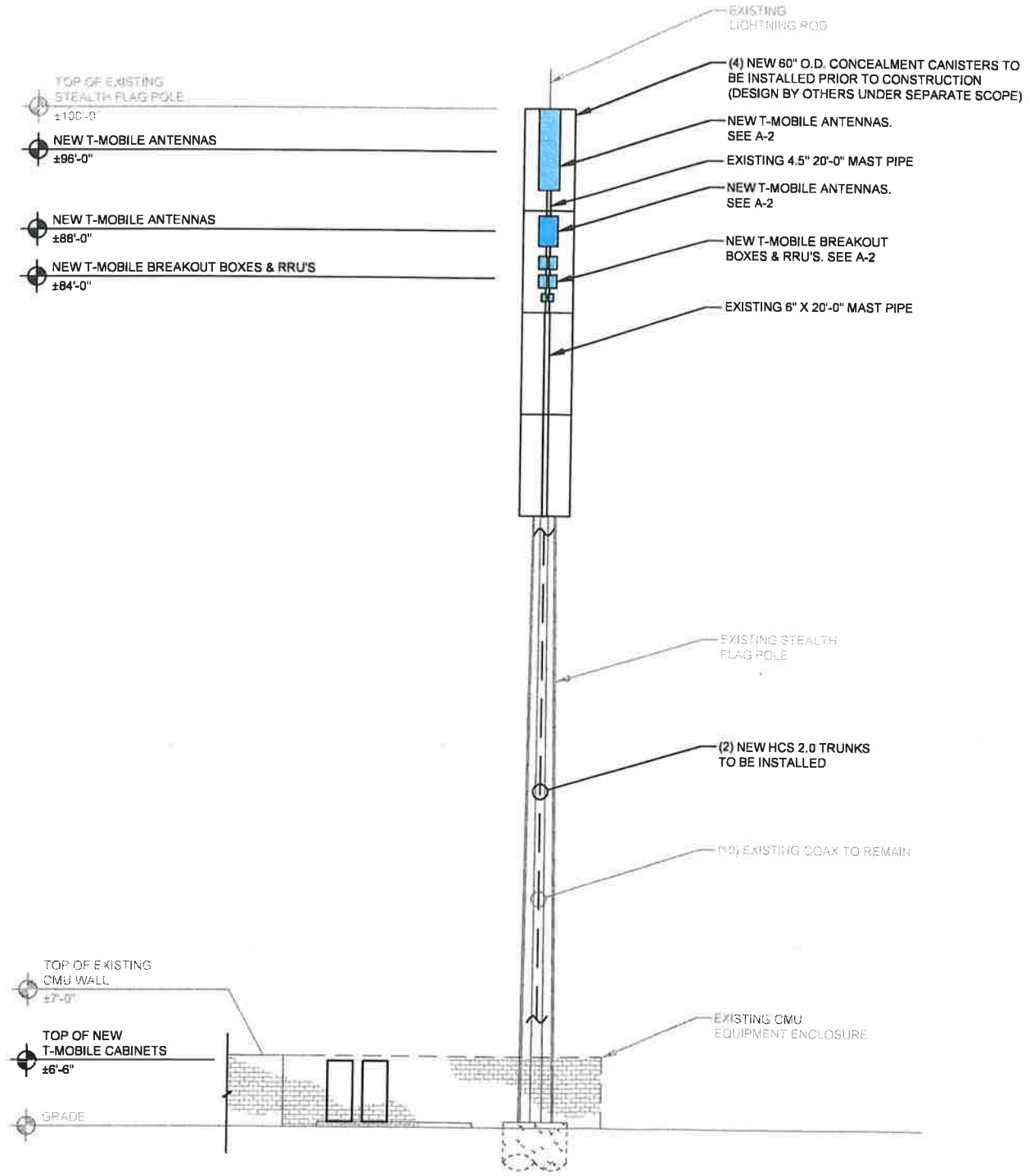
JOB: T2200508

C-2  
EXISTING &  
NEW SITE PLANS

**LEGEND**

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- REMOVED EQUIPMENT
- RELOCATED EQUIPMENT

RECEIVED  
MAR 14 2023  
COMMUNITY DEVELOPMENT  
DEPT



NOTE:  
A STRUCTURAL ANALYSIS OF THE ANTENNA MOUNT HAS BEEN COMPLETED BY WT GROUP STRUCTURAL ENGINEERING ON DATE PENDING. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

NOTE:  
A STRUCTURAL ANALYSIS OF THE TOWER OR STRUCTURE HAS BEEN COMPLETED BY TOWER ENGINEERING SOLUTIONS ON SEPTEMBER 23, 2022. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

NOTE:  
ANTENNA CENTERLINE'S VERTICAL OFFSET FROM PLATFORM DECK OR HORIZONTAL CENTER OF SECTOR FRAME SHALL NOT EXCEED 6".

NOTE:  
NEW CONCEALMENT CANISTER SHALL MATCH EXISTING STEALTH TOWER IN TERMS OF COLOR, MATERIALS AND DESIGN.



**WT GROUP**  
Engineering with Precision, Pace and Passion.  
2075 Padua Avenue | Hoffman Estates, IL 60192  
T: 224.293.6333 | F: 224.263.6444  
wtengineering.com

**GENEVA PLAZA**  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

**EXHIBIT D**

<b>TOWER ELEVATION</b>	<b>1</b>
SCALE: 1" = 15'-0"	

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

**A-1**  
TOWER ELEVATION



# EXHIBIT E

**LEGEND**

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- REMOVED EQUIPMENT
- RELOCATED EQUIPMENT

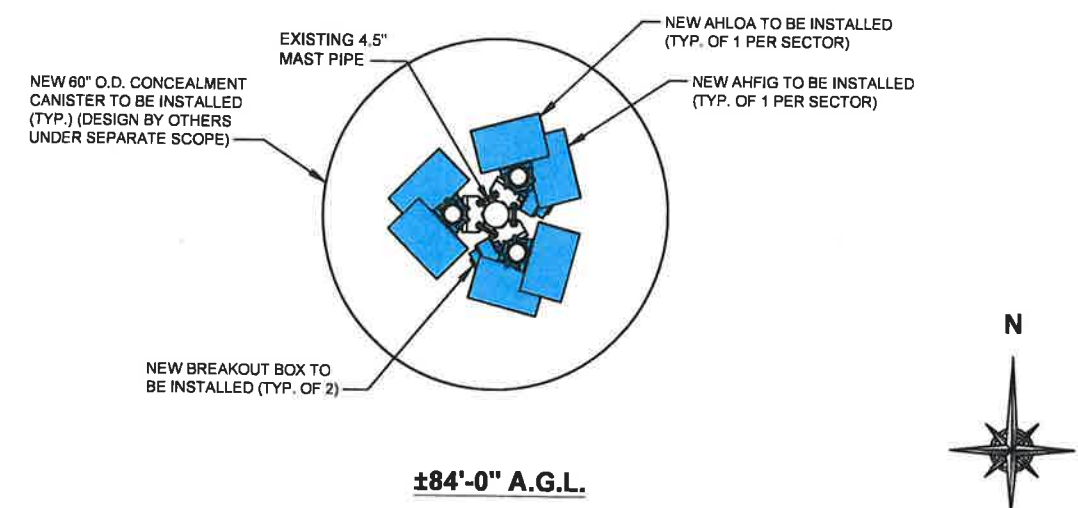
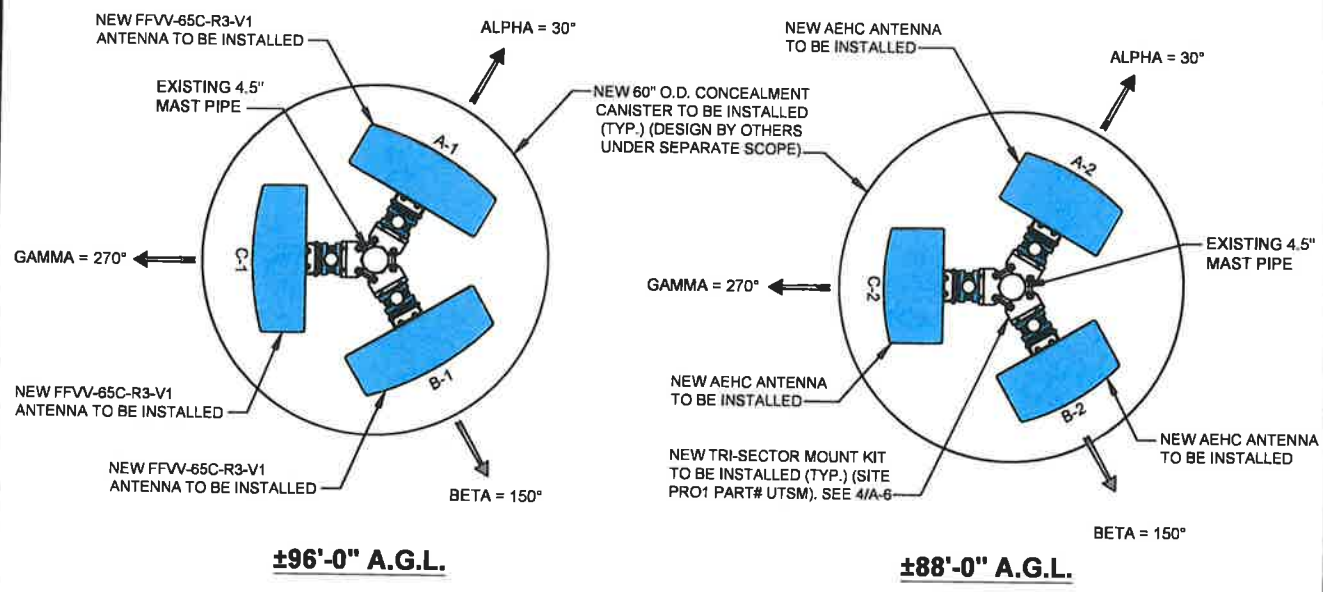
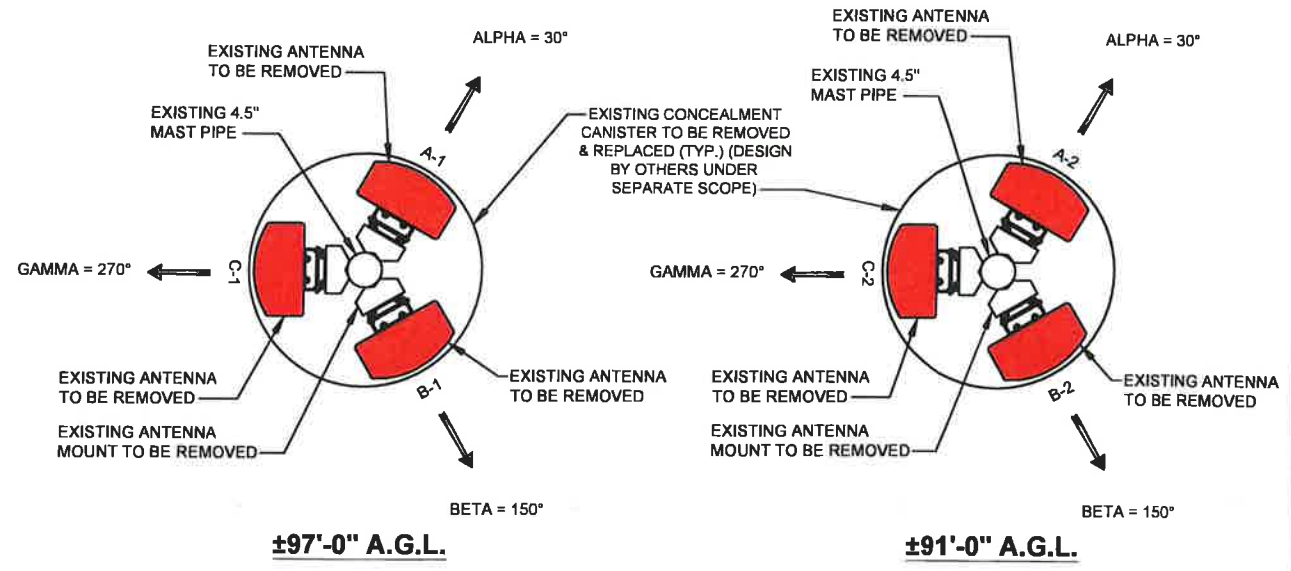
**RECEIVED**  
**MAR 14 2023**  
 COMMUNITY DEVELOPMENT  
 DEPT

**NOTE:**  
 A STRUCTURAL ANALYSIS OF THE ANTENNA MOUNT HAS BEEN COMPLETED BY WT GROUP STRUCTURAL ENGINEERING ON DATE PENDING. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

**NOTE:**  
 A STRUCTURAL ANALYSIS OF THE TOWER OR STRUCTURE HAS BEEN COMPLETED BY TOWER ENGINEERING SOLUTIONS ON SEPTEMBER 23, 2022. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

**NOTE:**  
 ANTENNA INFORMATION OBTAINED FROM T-MOBILE RF DATA CONFIGURATION SHEET DATED 09/23/22.

**NOTE:**  
 NEW CONCEALMENT CANISTER SHALL MATCH EXISTING STEALTH TOWER IN TERMS OF COLOR, MATERIALS AND DESIGN.



**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 2025 Prairie Avenue | Naperville, IL 60563  
 T: 224.293.6333 | F: 224.283.6444  
 wtgroupinc.com



**GENEVA PLAZA**  
**CH543491**  
 554 S. PRESIDENT STREET  
 CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

DESIGN & PROGRAM MANAGEMENT  
 CIVIL \ TELECOMMUNICATION \ MECHANICAL  
 PLUMBING \ ELECTRICAL \ LAND SURVEYING  
 ACCESSIBILITY CONSULTING \ STRUCTURAL

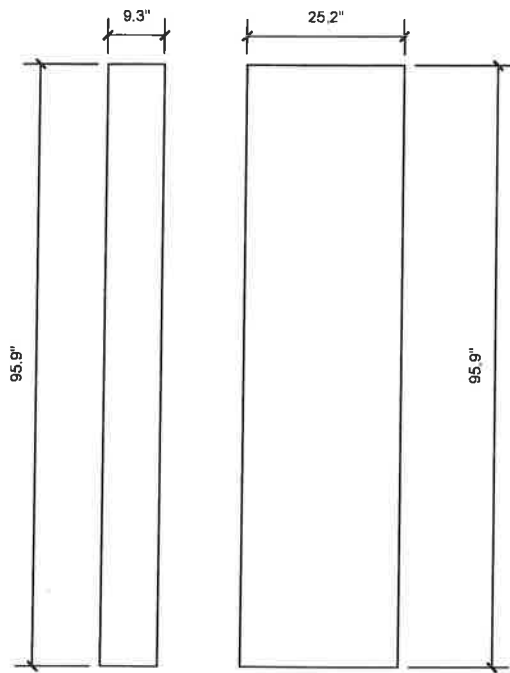
CHECK: JKR  
 DRAWN: ATK  
 JOB: T2200508

**A-2**  
 ANTENNA PLANS

**EXISTING ANTENNA PLAN**  
 SCALE: NONE 1

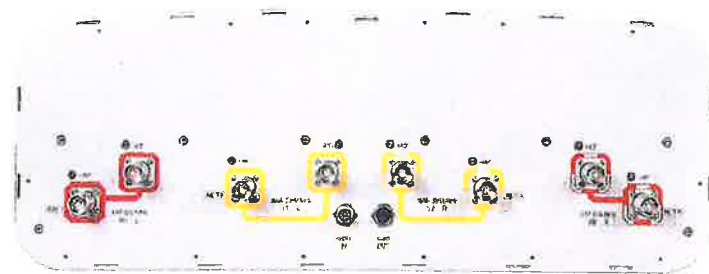
**NEW ANTENNA PLAN**  
 SCALE: NONE 2





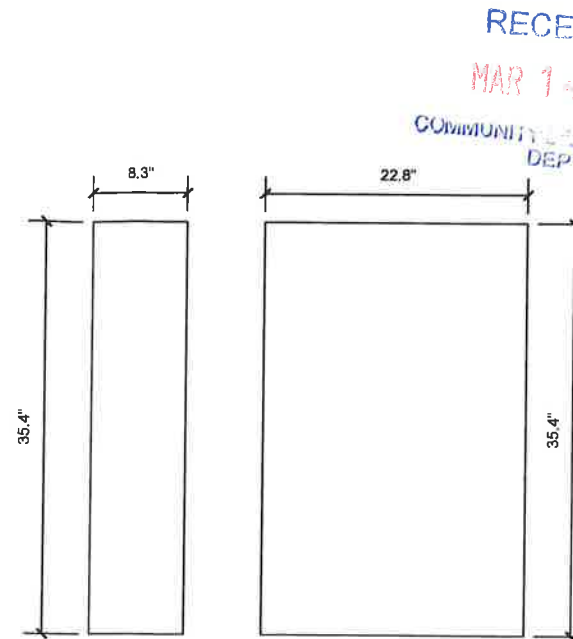
### COMMSCOPE ANTENNA FFVV-65C-R3-V1

DIMENSIONS, HxWxD: 95.9"x25.2"x9.3"  
ANTENNA WEIGHT: 124.6 lbs



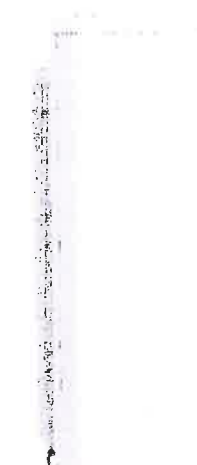
**SIDE VIEW**      **FRONT VIEW**

**ANTENNA DETAIL**      **1**  
SCALE: NONE



### NOKIA ANTENNA AEHC AIRSCALE

DIMENSIONS, HxWxD: 35.4"x22.8"x8.3"  
ANTENNA WEIGHT: 99.2 lbs



**SIDE VIEW**      **FRONT VIEW**

**ANTENNA DETAIL**      **2**  
SCALE: NONE

<b>Supported Frequency bands</b>	3GPP Band 12/71
<b>Frequencies</b>	Band 12 adjusted: UL 698 - 716 MHz, DL 728 - 746 MHz Band 71: UL 663 MHz - 698 MHz, DL 617 MHz - 652 MHz
<b>Number of TX/RX paths/pipes</b>	4 pipes; 2T2R, 2T4R, 4T4R for both bands
<b>Instantaneous Bandwidth IBW</b>	17 MHz for B12 and 35MHz for B71 1 MHz below B12 NB IoT future use
<b>Occupied Bandwidth OBW</b>	UL 53MHz contiguous DL B12 17MHz + 1 MHz NB IoT future use, B71 35MHz
<b>Output Power</b>	60W per TX shared between bands
<b>Supply Voltage / Range</b>	DC-48 V / -36 V to -60 V
<b>Typical Power Consumption</b>	640W [ETSI Busy Hour Load at 4TX@60W] 450W [ETSI Busy Hour Load at 4TX@20W]
<b>Antenna Ports</b>	4 ports, 4,3-10+
<b>Optical Ports</b>	2 x CPRI 9.8 Gbps
<b>ALD Control Interfaces</b>	AISG3.0 and RET (DC on ANT1 & ANT3)
<b>Other Interfaces</b>	External Alarm MDR-26 (4 inputs, 1 Output) DC Circular Power Connector
<b>Physical</b>	560 mm x 308 mm x 189 mm * Approximately 38kg with no covers or brackets **
<b>Operating Temperature Range</b>	-40°C to 55°C (with no solar load)
<b>Surge Protection</b>	Class II 5A
<b>Installation Options</b>	Pole, Wall, Book Mount



**NOKIA**

\* = 22.05" x 12.13" x 7.44"  
\*\* = 83.76 lbs

**AHLOA DETAIL**      **3**  
SCALE: NONE



Property	Value
Height	Core RRH: 695 mm (27.4 in.) With upper and lower mounting brackets: 730 mm (28.7 in.)
Width	Core RRH: 308 mm (12.1 in.) With mounting cover: 327 mm (12.9 in.)
Depth	Core RRH: 131 mm (5.2 in.) With mounting cover: 142 mm (5.6 in.)
Weight	Core RRH: 32 kg (70.5 lb)

### EXHIBIT F-1

Property	Value
Output Power	B25: 4x80 W B66: 4x40 W
OAM	256 QAM (DL) 64 QAM (UL) 4T4R
Number of TX/RX	
SW supported technologies	GSM, WCDMA, LTE
TX frequency range	B25: 1930 MHz - 1995 MHz B66: 2110 MHz - 2200 MHz
RX frequency range	B25: 1850 MHz - 1915 MHz B66: 1710 MHz - 1790 MHz
DL/UL instantaneous bandwidth	B25: 65 MHz B66: 80 MHz
Number of carriers per pipe	Up to 8
Supported bandwidths	1, 4, 3, 5, 10, 15, 20 MHz

Configuration	Output Power per carrier (W)	Power consumption (W), ETSI 202706 average load PRRH, static	Power consumption (W), ETSI 202706 busy hour load PRRH, static	Power consumption (W), 100% RF power load P100% RRH
Single band 1/1/1 4Tx	4x80	2113	2588	3831
Single band 1/1/1 4Tx	4x40	1720	1967	2553
Single band 1/1/1 2Tx	2x80	1386	1622	2208
Single band 1/1/1 2Tx	2x40	1195	1313	1597
Dual band 1+1/1+1/1+1 4Tx	4x80 + 4x40	2869	3626	5175
Dual band 1+1/1+1/1+1 4Tx	4x40	2474	2992	4235
Dual band 1+1/1+1/1+1 2Tx	2x80 + 2x40	1757	2123	2890
Dual band 1+1/1+1/1+1 2Tx	2x40	1572	1830	2432

**AHFIG DETAIL**      **4**  
SCALE: NONE

**SBA**      **T-Mobile**

**WT GROUP**  
Engineering with Precision, Pace and Passion  
8775 Pulaski Avenue (Hoffman Estates, IL 60192)  
T: 224.295.6333 | F: 224.295.6444  
wtgrouping.com

**WT Group**  
Engineering • Design • Consulting

GENEVA PLAZA  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

EXPIRES: 11/30/23      SIGNED: XX/XX/23

**REVISIONS**

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

**A-5**  
EQUIPMENT DETAILS

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL





## Specifications

**Model** HPL3 (HP-Large 3 Power Cabinet)

1. General	
Construction	Aluminum enclosure
Dimensions (W x H x D)	30 x 72 x 34.6 in. (762 x 1829x 879mm), Depth with Door/Hatch: 44.7 in. (1136mm)
Weight	~595 lbs (~270kg) (without customer equipment or batteries) Total Equipment space 30RU:
Internal rack dimension	Horizontal rack: 19" x 27RU Vertical rack: 19" x 3RU Power System space: 23" x 12RU
Mounting options	Pad-mount, plinth option
Finish	Polyester Power Paint (Tan)
Safety	UL Listed, IEC / EN 60950
2. Environment	
Operating temperature	-40°C to +50°C (-40°F to +122°F) with solar load. IP 55
Protection class	designed to GR-487
Acoustics	65dBA @5000W heat load, 70dBA @ 6000W
Humidity (relative)	95%, non-condensing (Max.)
3. Thermal Management	
Cooling Equipment:	Direct Air Cooling, 6000W capacity, 5°C delta T
Heating Equipment:	Forced air heating (2) 1000W AC heaters
4. Equipment	
Cable entry	Knock-out plate on each upper side wall / Additional knockouts on sides (1) 3" conduit hole with hole plug
Door latch	3 point latching, 5/16 nut driver tool, pad-locking capability
Primary ground	10 double-hole 1/2"-20 threaded holes on 5/8" center ground bar
Lifting Ears	4 Lifting Tabs
Plinth	Optional 6" plinth available AC Load Center: 240V split phase, dual feed / (1) 200A + (1)100A 208V 3-phase, single feed / (1) 200A AC Surge Protection for each breaker feed GFCI Receptacle 120V Temp Probes
Standard equipment	(6 form-C) Alarm Termination block 605A/ 54V (336kW) redundant Power System with DIN rail distribution: 12 rectifier positions (3x55A DPR3000 rectifiers included) 48 poles for load (2x10A, 3x50A, and 6x100A load breakers included) 16 poles for battery (2) SB350 / (2) SB175 Battery connections (3) SB350 Generator connections (6) DC powered centrifugal fans with (3) MERV-13 filters, (GORE option) Clogged Filter alarm pressure switch
Front Door:	Door Intrusion alarm (2) 1000W AC powered heaters LED interior cabinet light
Rear Hatch:	Exhaust vent with (3) MERV-13 filters, (GORE option)
5. Ordering information	
Cabinet	ESOA600-HCU01 HP-Large 3 600A Power / Equipment Cabinet
Rectifier	ESR-48/60A A-T 48V / 56A 3000W, 96.4%, CAN communication
Controller (Spare)	TPS1020028AU17 Orion TOUCH Controller
Plinth, 6"	37993318816900-S Plinth for V1/V2, HPL2, HPL3, LB2 and LB3

\*All specifications are subject to change without prior notice



### SITE SUPPORT CABINET

SCALE: NONE

1

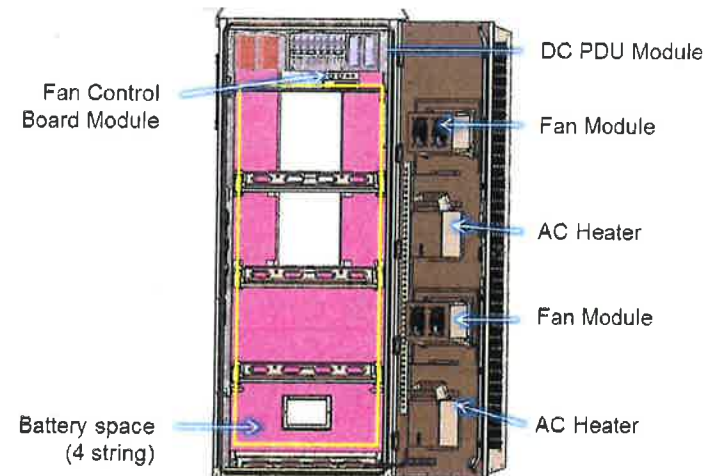


## Specifications

RECEIVED  
MAR 14 2021  
COMMUNITY RELATIONS

Model	
Large 3 Battery (LB3) Cabinet	
1. General	
Construction	Aluminum enclosure
Dimensions (W x H x D)	30 x 72 x 35 in. (762 x 1829x 889mm), Depth with door: 41 in. (1045mm)
Weight	~540lbs (245kg) (without batteries)
Internal rack dimension	4 battery trays to support up to 210Ah batteries
Mounting options	Pad-mount, plinth option
Finish	Polyester Powder Paint (Tan)
Safety	UL Listed, IEC / EN 60950
2. Environment	
Operating temperature	-40C to +50C (-40F to +122F) with solar load.
Protection class	IP55 designed to GR-487
Acoustics	65 dBA
Humidity (relative)	95%, non-condensing (Max.)
3. Thermal management	
Cooling	Direct Air Cooling; (4) Axial Fans, Filters: F6 front and rear
Heating	Forced air heating (2) 1000W AC heaters
4. Equipment	
Cable Entry	Knock-out plate on each upper side wall Additional knockouts each side
Door latch	3 point latching, 5/16 Nut driver tool, pad-locking capability
Lifting Ears	4 eye bolts
Standard equipment	AC Load Center with AC Surge protection and GFCI outlet Left or Right side AC entry options (2) 1000W AC powered heater  DC Load Center 600A bulk feed bus bar (4) 20050A DIN rail battery breakers (4) 2-hole lug landings (2) Anderson SB350 input connectors to daisy chain 2nd battery cabinet 2AWG battery cables from breakers to trays  Configurable trays for (4) strings of up to 210Ah batteries Door intrusion switch LED interior cabinet light Fan Control Board, factory wired alarms via RJ45 output (fan & breaker alarms)  Cabinet Connection kit (2) 4/0 cables with SB350 disconnects to connect to power cabinet
5. Ordering information	
Cabinet	ESOF015-ECV04 Large Battery 3 Cabinet
Plinth, 6"	37993318816900-S Plinth for V1/V2, HPL2, LB2 cabinets only

\*All specifications are subject to change without prior notice.



### BATTERY CABINET

SCALE: NONE

2

## EXHIBIT F-2

**SBA**

**WT Group**  
Engineering • Project Management

**WT GROUP**  
Engineering with Precision, Pace and Passion.  
2025 Graham Avenue (Hoffman Estates, IL 60112)  
T: 224.292.6333 | F: 224.292.6444  
wtengineering.com

**WT Group**  
Engineering • Project Management

GENEVA PLAZA  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

© COPYRIGHT 2020 THE WT GROUP, LLC

EXPIRES: 11/30/23 SIGNED: XX/XX/23

REVISIONS		
REV.	ISSUED FOR	DATE BY
A	FOR CLIENT REVIEW	10/12/22 ATK
B	VILLAGE COMMENTS	01/04/23 ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23 TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

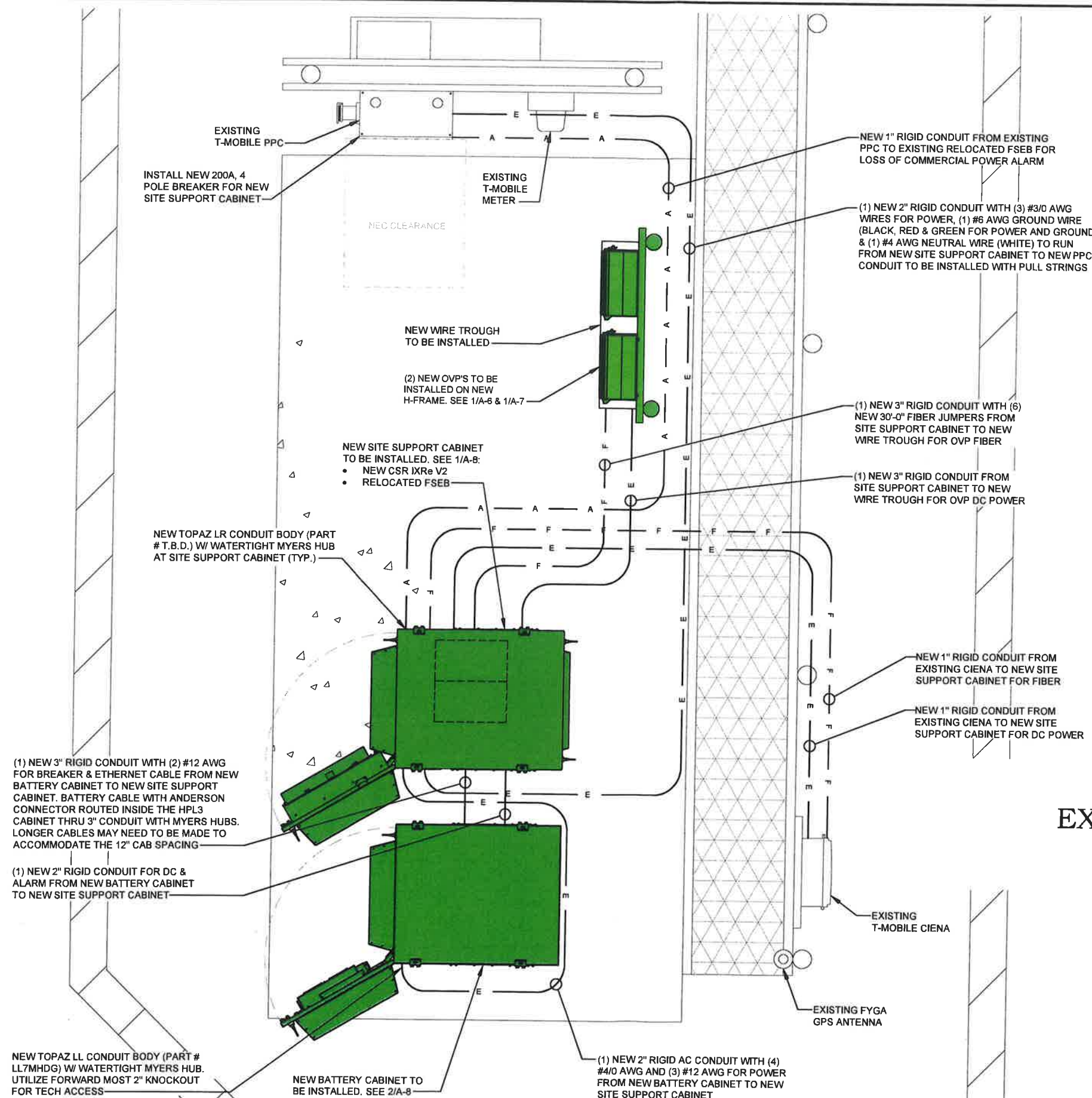
A-8

EQUIPMENT DETAILS



**LEGEND**

- F — FIBER LINE
- E — ELECTRIC LINE
- A — ALARM CABLE



**PPC NOTES:**

- LOW VOLTAGE CONDUIT FROM PPC TO SSC
- (2) RUNS OF BELDEN 27916A 18 AWG 2 CONDUCTOR TYPE TC CABLE, 600V WIRE
- WIRE TO NORMALLY CLOSED RELAY FOR LOCP

RECEIVED  
 MAR 14 2023  
 COMMUNITY DEVELOPMENT DEPT

EXISTING T-MOBILE PPC

INSTALL NEW 200A, 4 POLE BREAKER FOR NEW SITE SUPPORT CABINET

EXISTING T-MOBILE METER

NEW 1" RIGID CONDUIT FROM EXISTING PPC TO EXISTING RELOCATED FSEB FOR LOSS OF COMMERCIAL POWER ALARM

(1) NEW 2" RIGID CONDUIT WITH (3) #3/0 AWG WIRES FOR POWER, (1) #6 AWG GROUND WIRE (BLACK, RED & GREEN FOR POWER AND GROUND) & (1) #4 AWG NEUTRAL WIRE (WHITE) TO RUN FROM NEW SITE SUPPORT CABINET TO NEW PPC. CONDUIT TO BE INSTALLED WITH PULL STRINGS

NEW WIRE TROUGH TO BE INSTALLED

(2) NEW OVP'S TO BE INSTALLED ON NEW H-FRAME. SEE 1/A-6 & 1/A-7

NEW SITE SUPPORT CABINET TO BE INSTALLED. SEE 1/A-8:

- NEW CSR IXRe V2
- RELOCATED FSEB

NEW TOPAZ LR CONDUIT BODY (PART # T.B.D.) W/ WATERTIGHT MYERS HUB AT SITE SUPPORT CABINET (TYP.)

(1) NEW 3" RIGID CONDUIT WITH (6) NEW 30'-0" FIBER JUMPERS FROM SITE SUPPORT CABINET TO NEW WIRE TROUGH FOR OVP FIBER

(1) NEW 3" RIGID CONDUIT FROM SITE SUPPORT CABINET TO NEW WIRE TROUGH FOR OVP DC POWER

NEW TOPAZ LL CONDUIT BODY (PART # LL7MHDG) W/ WATERTIGHT MYERS HUB. UTILIZE FORWARD MOST 2" KNOCKOUT FOR TECH ACCESS

NEW BATTERY CABINET TO BE INSTALLED. SEE 2/A-8

(1) NEW 2" RIGID AC CONDUIT WITH (4) #4/0 AWG AND (3) #12 AWG FOR POWER FROM NEW BATTERY CABINET TO NEW SITE SUPPORT CABINET

NEW 1" RIGID CONDUIT FROM EXISTING CIENA TO NEW SITE SUPPORT CABINET FOR FIBER

NEW 1" RIGID CONDUIT FROM EXISTING CIENA TO NEW SITE SUPPORT CABINET FOR DC POWER

EXISTING T-MOBILE CIENA

EXISTING FYGA GPS ANTENNA

**EXHIBIT G**



**UTILITY PLAN**

SCALE: 1/2" = 1'-0"

1

**SBA**

**T-Mobile**

**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 2875 Prairie Avenue | Hoffman Estates, IL 60182  
 T: 224.283.8338 | F: 224.283.8444  
 www.wtgroup.com

**WT Group**  
 Engineering - Survey - Consulting

GENEVA PLAZA  
 CH543491  
 554 S. PRESIDENT STREET  
 CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

**REVISIONS**

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
 CIVIL \ TELECOMMUNICATION \ MECHANICAL  
 PLUMBING \ ELECTRICAL \ LAND SURVEYING  
 ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
 DRAWN: ATK  
 JOB: T2200608

**E-1**  
 UTILITY PLAN



# CH54349I - Geneva Plaza

554 S President St  
Carol Stream, IL 60188

RECEIVED

MAR 17 2023

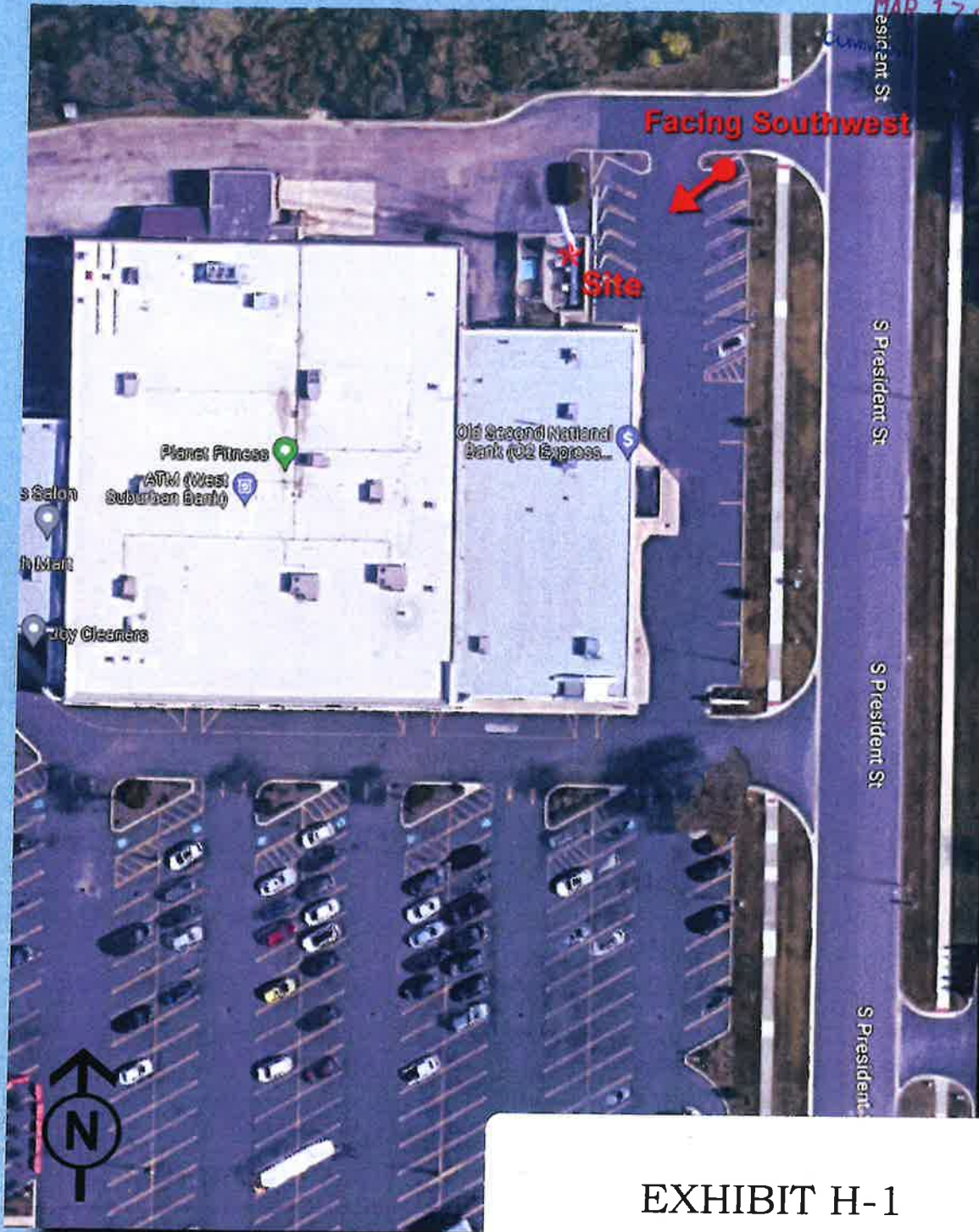


EXHIBIT H-1

T-Mobile



COPYRIGHT © 2023 THE W-T GROUP, LLC

**Disclaimer:** This photo simulation is an artist's depiction of a future installation. The actual construction may vary slightly in size, layout, color and texture from this simulation.



# CH54349I - Geneva Plaza

554 S President St  
Carol Stream, IL 60188

## Facing Southwest

RECEIVED  
MAR 17 2023  
COMMUNITY DEVELOPMENT  
DEPT

EXHIBIT H-2

**T-Mobile**

**EXISTING**

**WT Group**  
Engineering • Design • Consulting

**Disclaimer:** This photo simulation is an artist's depiction of a future installation. The actual construction may vary slightly in size, layout, color and texture from this simulation.

THE W-T GROUP, LLC

COPYRIGHT



CH54349I - Geneva Plaza

554 S President St  
Carol Stream, IL 60188

Facing Southwest

RECEIVED

MAR 17 2023

COMMUNITY DEVELOPMENT  
DEPT

EXHIBIT H-3

**T** Mobile

PROPOSED

**WT**  
Group  
Engineering • Design • Consulting

**Disclaimer:** This photo simulation is an artist's depiction of a future installation. The actual construction may vary slightly in size, layout, color and texture from this simulation.

THE W-T GROUP, LLC

COPYRIGHT



# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**  
March 27, 2023

**TO:**  
Chairman and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Bravo Berisha, Assistant Planner

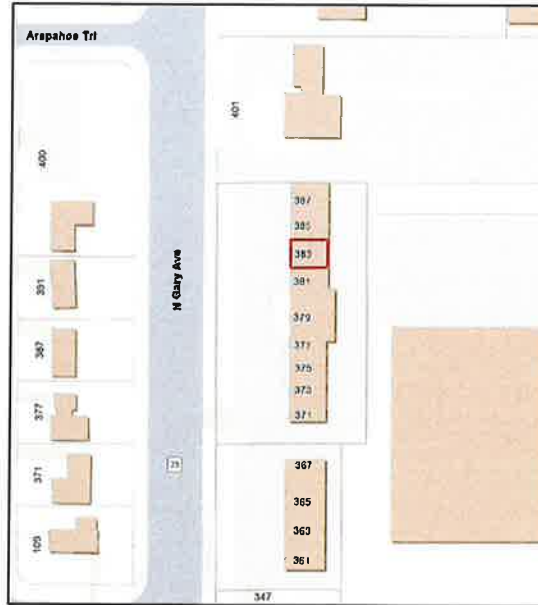
**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Special Use Permit for a  
Massage Establishment, in  
accordance with Section 16-  
3-11 of the UDO

**APPLICANT/ CONTACT:**  
Mr. Lionel Hu  
500 N Lakeshore Dr., 3410  
Chicago IL, 60611



**CASE #:** 23-0002  
**LOCATION:** 383 N. Gary Avenue  
**PROJECT NAME:** New Asian Spa



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Strip mall)	Corridor Commercial
North	B-3 General Business District	Commercial (Old Second National Bank)	Corridor Commercial
South	B-2 Neighborhood Business District	Commercial (Strip mall)	Corridor Commercial
East	I Industrial	Industrial (Valbruna Stainless)	Industrial
West	R-2 Traditional Residence District	Single Family Residential (Carol Stream Unit 2)	Residential

The property highlighted above is located in a strip mall on N. Gary Avenue.

---

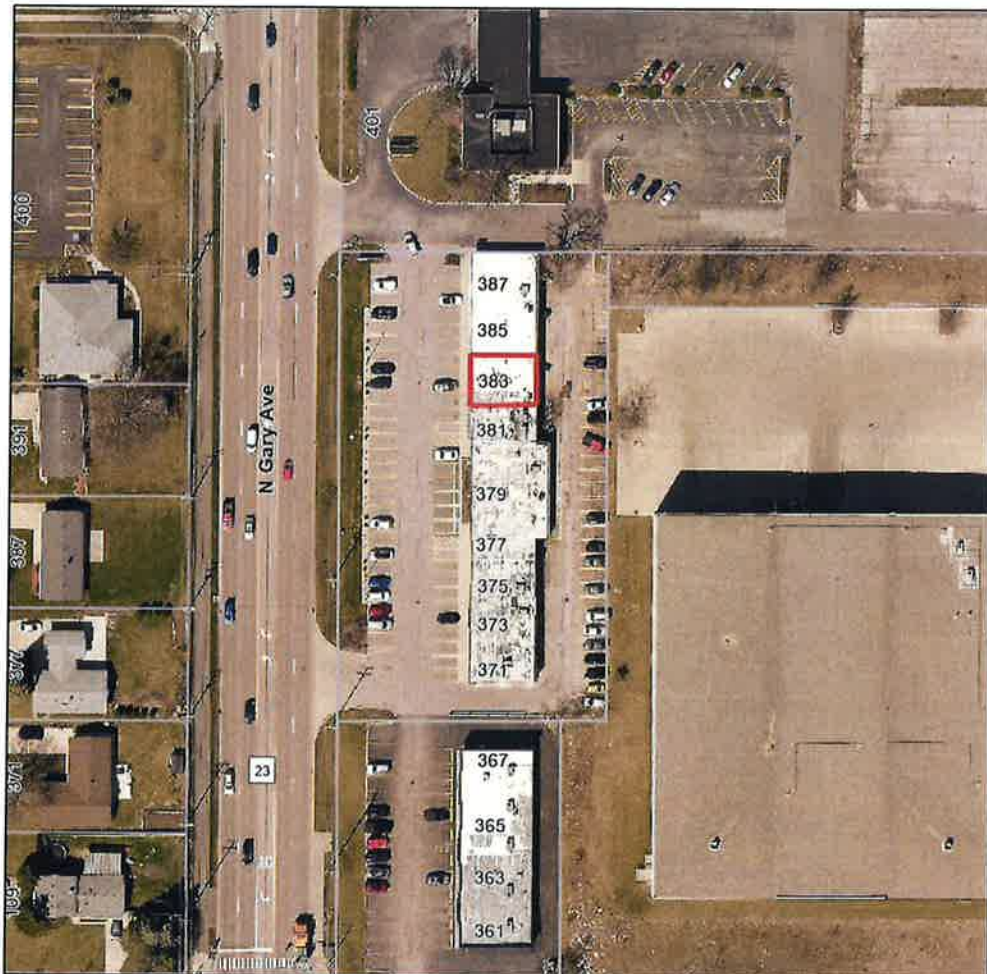
## Site Assessment

---

### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed massage establishment is compatible with this designation.

### AERIAL PHOTOGRAPH:



---

## Project Summary

---

### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter from Lionel Hu received January 17, 2023, Public Notice, and Floor Plan (Exhibit A).



**BACKGROUND:**

The applicant, Lionel Hu, seeks approval of a Special Use Permit for a massage establishment at 383 N. Gary Avenue in Carol Stream. At the PC/ZBA meeting on September 13, 2021 an amendment to the UDO requiring massage establishments to obtain special use approval was reviewed and subsequently approved by the Village Board on September 20, 2021. In 2018, the Village created a massage establishment licensing program to develop more effective regulations for massage businesses due to recurring issues with illegal activities. The program included the adoption of Section 10-13 (Massage Establishments) of the Code of Ordinances, which created licensing procedures and operational regulations for massage establishments. The Village has previously revoked massage establishment licenses, including the one for Luna Spa, which was located at 383 N. Gary Avenue, and in order to curb future revocations and encourage legitimate massage establishment owners to operate in town, Village Board approval of a special use permit is now required for any new massage business establishment.

---

**Staff Analysis**

---

**SPECIAL USE PERMIT**

As illustrated in the submitted cover letter and floor plan, the proposal consists of the following:

- The applicant proposes to use the same layout as the previous massage establishment and for the same purpose. The floor plan includes a waiting area and three massage rooms. No interior remodeling is proposed.
- The applicant detailed in their cover letter that there will be three employees working at the establishment, with one working the front desk and two working as therapists. The hours of operation will be 11 am to 9 pm, seven days a week.
- The applicant understands and acknowledges all of the conditions present in the Massage Business Establishment regulations (10-13-11).
- Parking requirements for the strip mall that New Asian Spa will be located in are as follows:

<b>Business</b>	<b>Area of Use</b>	<b>Code Requirement</b>	<b>Spaces Required</b>
Proposed New Asian Spa 1,200 S.F. GFA 1000 S.F. NFA	Massage Establishment	4 spaces / 1,000 S.F. NFA	4 spaces
Gary's Burritos 1,200 S.F. GFA 1,000 S.F. NFA	Sit-Down Restaurant	4 spaces / 250 S.F. NFA	16 spaces
Retail and Office Uses 6,000 S.F. GFA 5,200 S.F. NFA	Retail and Service	4 spaces / 1,000 S.F. NFA	21 spaces

Enterprise Rent-A-Car 2,400 S.F. GFA 2,200 S.F. NFA	Vehicle Sales and Rental	1 spaces / 500 S.F. NFA	5 spaces
<b>Parking Spaces Required:</b>			<b>46 spaces</b>
<b>Parking Spaces Provided:</b>			<b>85 spaces</b>
<b>Parking Surplus:</b>			<b>39 spaces</b>

There are currently 85 on-site parking spaces, and parking requirements were calculated for the restaurant, retail, and service uses using net floor area and removing spaces occupied by bathrooms, storage, hallway, equipment, and vestibule areas. There will be a surplus of 39 parking spaces with the inclusion of the parking requirements for the proposed massage establishment. Staff has visited the property on several occasions and has never observed a parking issue. Staff believes that the property can accommodate the parking demand for New Asian Spa.

For the Plan Commission's information, Community Development and Police have established a program through which all massage business establishments are inspected several times per year. These inspections are intended to ensure that such establishments are operating in accordance with all massage business establishment requirements. Establishment operators are provided written notification of any violations and re-inspections are performed. Establishments with unresolved violations are subject to ticketing and ultimately face revocation of their massage business establishment license if violations persist.

Staff has reviewed the applicant's cover letter and preliminary floor plan, and supports the proposed use.

#### SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use request must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (L) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed massage establishment will provide a therapeutic service to members of the community.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The applicant has affirmed that the massage establishment will be managed and maintained in an orderly fashion, and should not be detrimental or endanger the public health, safety, morals, comfort or general welfare of the community.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The massage establishment should operate in an orderly fashion, and not have negative effects on surrounding businesses and properties from a parking, sanitation, or operations perspective.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are in place.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The business is expected to conform to all applicable codes and requirements.

---

### **Recommendation**

---

Staff has reviewed the applicant's submittal and supports the Special Use request, therefore, staff recommends approval of a Special Use Permit for a Massage Establishment for New Asian Spa, at 383 N. Gary Avenue, Case No. 23-0002, subject to the following conditions:

1. Prices for all services shall be prominently posted in the reception area in a location available to all prospective customers on a placard of at least eight inches by ten inches;
2. All employees, including massage therapists, shall wear nontransparent outer garments.
3. The sexual or genital areas of patrons must be covered with nontransparent towels, cloths, or undergarments when in the presence of an employee or massage therapist.
4. No massage therapist, employee, or licensee shall perform, offer, or agree to perform any act, which shall require the touching of a patron's sexual or genital area.



5. Any reception or waiting area shall be open to the public and visible from outside of the immediate entrance of the establishment, e.g., storefront windows and any entrance door shall be transparent and unobstructed. Any exterior windows or doors with a view to the waiting area or reception area must be free of any posting or material that would obstruct the view of the waiting area or reception area from the outside of the establishment. The massage establishment shall not be equipped with tinted or one-way glass in any room or office. No doors to corridors or individual massage rooms shall be equipped with a lock or shall be obstructed.
6. Should the massage establishment be granted a license under the provisions of the Carol Stream Code of Ordinances it shall not place, publish or distribute or cause to be placed, published or distributed any advertisement, picture, or statement which is known or through the exercise of reasonable care should be known to be false, deceptive or misleading in order to induce any person to purchase or utilize any professional massage services.
7. Should the massage establishment be granted a license under the provisions of the Carol Stream Code of Ordinances it shall not depict, place, publish, distribute, or cause to be depicted, placed, published, or distributed any advertising matter that suggests to prospective patrons that any services are available other than those services permitted by the Carol Stream Code of Ordinances, or which would suggest that employees or massage therapists are dressed in any manner other than that permitted by the Carol Stream Code of Ordinances.
8. No advertising will suggest or describe the physical characteristics of employees or massage therapists.
9. No person shall be denied a massage or access to the massage establishment because of gender.
10. The massage establishment or employee of the massage establishment may not display or offer to others any novelties, instruments, devices, or paraphernalia that are designed primarily for use in connection with specified sexual activities or that give the appearance of or simulate any of the specified anatomical areas;
11. An owner or manager of the massage establishment must be present during all operating hours; and
12. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.



RECEIVED

JAN 17 2023

COMMUNITY DEVELOPMENT  
DEPT

Do Not Write in This Space	
Date Submitted:	<u>1-17-2023</u>
Fee Submitted:	<u>\$800.00</u>
File Number:	<u>23-002</u>
Meeting Date:	_____
Public Hearing Required:	_____

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

PHONE 630.871.6230 • FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

**FORM A**

**GENERAL APPLICATION  
PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Ronglan Luo / New Asian Spa Phone 812-29-5983  
 Address 383 N Gary Ave, Carol Stream Fax \_\_\_\_\_  
 E-Mail Address horelhu888@icloud.com  
 (required)  
 Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner Oscar Phone 6304394676  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect \_\_\_\_\_ Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 383 N. GARY AVENUE

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision – Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation – Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation – Sign (requires Form B-2)
<input type="checkbox"/> Planned Development – Final	<input checked="" type="checkbox"/> Variation – Fence (requires Form B-3)
<input type="checkbox"/> Planned Development – Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)



FORM C

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

Yes

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Yes

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Yes

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Yes



JAN 17 2023

## Business plan

### Project Background and Overview

Having a healthy body and a good state of mind has always been pursued by people. Massage is a method discovered and summarized in our practice that uses various techniques to act on human skin, muscles and related acupuncture points to relieve fatigue, relieve pain, the methods and means of treating diseases, after years of development and continuous improvement, have formed a set of effective method systems.

### Company plan

NEW ASIAN SPA LLC is committed to creating an elegant and comfortable massage environment, providing customers with foot massage, body massage and neck massage and other services. We will have first-rate Illinois licensed masseuses with professional skills that will give our clients the best possible service. Meanwhile, the company expects to open three stores in Cook county and Dupage county this year and next. The masseuse and staff will reach the scale of 20-30 people.

### Project service In Carol Stream store

Store will configure three foot massage chairs in the lobby for foot massage, and three rooms is equipped with a massage bed for body massage.

Contain 4 type of massage:

Swedish massage. Swedish massage is a gentle full-body massage that's great for people who are new to massage, want to release tension, and desire gentle touch

Hot stone massage is best for people who have muscle pain and tension or who simply want to relax. Hot stone massage may help: ease muscle tension, improve blood flow, alleviate pain, promote relaxation, relieve stress

Aromatherapy massages are best for people who enjoy scent and want to have an emotional healing component to their massage. This type of massage can help: boost your mood, reduce stress and anxiety, reduce symptoms of depression, relieve muscle tension, relieve pain

Deep tissue massage uses more pressure than a Swedish massage. It's a good option if you have muscle problems, such as: soreness, injury, imbalance, tightness, chronic muscle pain

### Promise

The company promises that all massage activities will be in compliance with local and state laws and regulations. Any illegal behavior will be NO tolerated.

### 383 N Gary Ave General Comments

- a. We will have 3 employee work in this location that include one front desk and two massage therapist. And we will open from 11am to 9pm every day.
- b. I have Illinois massage license over 7 years, I have my own business before in Chicago area, it closed due to covid-19. I currently do not operate business right now.
- c. I will maintain all the laws and orders to running the massage business in Carol Stream. And also I will following all the condition that village required from comments C.


# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on March 8, 2023 and the last publication of the notice was made in the newspaper dated and published on March 8, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on March 8, 2023.

Examiner Publications, Inc.

By: Publisher   
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 8 day of March, A.D. 2023.

Notary Public



## LEGAL NOTICE

PUBLIC NOTICE  
FILE #23-0002

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, March 27, 2023 at 6:00 p.m. to consider an application from New Asian Spa for the following actions:

A Special Use Permit for a Massage Establishment, in accordance with Section 16-3-11 (E) of the Carol Stream Unified Development Ordinance

For the property located at 383 N. Gary Avenue (PIN 02-23-200-018).

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:  
[https://us02web.zoom.us/join/register/WN\\_wWSDI2xrS5ITQ4adqxQy8g](https://us02web.zoom.us/join/register/WN_wWSDI2xrS5ITQ4adqxQy8g)

or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 871 7633 7475

International numbers available:  
<https://zoom.us/j/87176337475>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Bravo Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [bberisha@carolstream.org](mailto:bberisha@carolstream.org). Comments must be provided by 4:00 p.m. the day of

the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* March 8, 2023 0308



# EXHIBIT A

