

# Village of Carol Stream

## BOARD MEETING

### AGENDA

APRIL 3, 2023

6:00 P.M.

*All matters on the Agenda may be discussed, amended and acted upon*

#### **A. ROLL CALL AND PLEDGE OF ALLEGIANCE:**

#### **B. MINUTES:**

1. Approval of Minutes of the March 20, 2023 Village Board Meeting.
2. Approval of Minutes of the March 20, 2023 Special Workshop Meeting.

#### **C. LISTENING POST:**

1. Proclaiming April Sikh Awareness Month.
2. Addresses from Audience (3 Minutes).

#### **D. PUBLIC HEARINGS:**

#### **E. SELECTION OF CONSENT AGENDA:**

***If you are here for an item, which is added to the consent agenda and approved, the Village Board has acted favorably on your request.***

#### **F. BOARD AND COMMISSION REPORTS:**

1. Plan Commission/Zoning Board of Appeals.
  - a. 22-0032 – Casey’s Retail Company – 1025 N. Gary Avenue  
*Amendment to a Special Use Permit for a Planned Development  
Text Amendment to Allow Fuel Sales as a Special Use in the B-1 District  
Special Use Permit for Fuel Sales  
Plat of Consolidation*  
**Recommended Approval Subject to Conditions 5-0**  
*Gary Avenue Corridor Review*  
**Approved with Conditions 4-1**
  - b. 22-0056 – SBA Monarch Towers III, LLC/T-Mobile - 877-901 E. Geneva Road  
*Height Variation for a Stealth Antenna Tower (continued from the March 13, 2023 meeting)*  
**Recommended Approval Subject to Conditions 5-0**

# Village of Carol Stream

## BOARD MEETING

### AGENDA

APRIL 3, 2023

6:00 P.M.

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- c. 23-0002 – New Asian Spa – 383 N. Gary Avenue  
*Special Use Permit for a Massage Establishment*  
**Recommended Approval Subject to Conditions 5-0**

#### **G. OLD BUSINESS:**

#### **H. STAFF REPORTS AND RECOMMENDATIONS:**

1. Recommendation to approve a Contract Extension with H&H Electric for Emergency Street Light Repairs Services with a 7% price increase for the period May 1, 2023 through April 30, 2024, pursuant to the provisions of section 5-8-3(B) and subsection 5-8-14(N) of the Village Code of Ordinances.
2. Recommendation to approve a contract for Tree Purchase and Planting Services with The Fields on Caton Farm, Inc. in the amount of \$34,643.00.

#### **I. ORDINANCES:**

1. Ordinance No. 2023-04-\_\_\_\_, An Ordinance Authorizing the Amendment of the Annual Budget of the Village of Carol Stream for the Fiscal Year Ending April 30, 2023. *This ordinance amends the previously approved fiscal year 2022/23 budget to provide expenditure authority for items that were not previously anticipated or incorporated within the originally approved budget.*
2. Ordinance No. 2023-04-\_\_\_\_ Amending Chapter 16 – Unified Development Ordinance of the Code of Ordinances of the Village of Carol Stream (Fuel Sales as a Special Use in the B-1 District). *See F.1.a.*
3. Ordinance No. 2023-04-\_\_\_\_ Approving an Amendment to a Special Use Permit for a Planned Development, and a Special Use Permit for Fuel Sales (Casey's Retail Company, 1025 N. Gary Avenue). *See F.1.a.*
4. Ordinance No. 2023-04-\_\_\_\_ Approving a Variation to Increase the Height of an Antenna Structure (SBA Monarch Towers III, LLC/T-Mobile – 877-901 E. Geneva Road). *See F.1.b.*
5. Ordinance No. 2023-04-\_\_\_\_ Approving a Special Use Permit for a Massage Establishment (New Asian Spa – 383 N. Gary Avenue). *See F.1.c.*

# Village of Carol Stream

## BOARD MEETING

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#### **J. RESOLUTIONS:**

1. Resolution No. \_\_\_\_ Declaring Surplus Property owned by the Village of Carol Stream. *Staff recommends declaring Public Works street sweeper, trailers and various water reclamation center equipment surplus and be authorized to dispose of the property as proposed pursuant to the provisions of Section 5-8-15 of the Carol Stream Code of Ordinances.*
2. Resolution No. \_\_\_\_ Authorizing a Plat of Consolidation (Casey's Retail Company, Northeast Corner of Gary Avenue and Lies Road). PIN # 02-20-404-012, 02-20-404-013, 02-20-404-015, 02-20-404-016. *See F.1.a.*

#### **K. NEW BUSINESS:**

1. Sound Amplification Permit – VetBros Pet Education Charitable Fund. *Request for approval of a Sound Amplification Permit and waiver of the fee for their Charity Dog Show to be held at the Ross Ferraro Town Center on August 6, 2023.*

#### **L. PAYMENT OF BILLS:**

1. Regular Bills: March 21, 2023 through April 3, 2023.
2. Addendum Warrants: March 21, 2023 through April 3, 2023.

#### **M. REPORT OF OFFICERS:**

1. Mayor:
2. Trustees:
3. Clerk:

#### **N. EXECUTIVE SESSION:**

1. Deliberations concerning salary schedules for one or more classes of employees pursuant to 5/ILCS 120/2(c)(2).
2. The appointment, employment, compensation, discipline, performance or dismissal of a specific employee – 5/ILCS 120/2(c)(1).

*Village of Carol Stream*

**BOARD MEETING**

**AGENDA**

**APRIL 3, 2023**

**6:00 P.M.**

*All matters on the Agenda may be discussed, amended and acted upon*

**O. ADJOURNMENT:**

<b>LAST ORDINANCE</b>	<b>2023-03-09</b>	<b>LAST RESOLUTION</b>	<b>3299</b>
<b>NEXT ORDINANCE</b>	<b>2023-04-10</b>	<b>NEXT RESOLUTION</b>	<b>3300</b>



**REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES**  
**Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,**  
**Carol Stream, DuPage County, IL**

**March 20, 2023**

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 6:00 p.m. and requested that Village Clerk Julia Schwarze call the roll.

Present: Trustees Jeff Berger, Tom Garvey, John Zalak, Rick Gieser, Mary Frusolone and Matt McCarthy, Village Clerk Julia Schwarze and Mayor Frank Saverino, Sr.

Absent: None

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey, Assistant to the Village Manager Brianna Bacigalupo, Community Development Director Don Bastian, Director of Engineering Services Bill Cleveland, Finance Director Jon Batek, Public Works Director Phil Modaff, Assistant Director of Public Works Brad Fink, Chief of Police Bill Holmer, Human Resources Director Caryl Rebholz, Information Technology Director Marc Talavera and Village Attorney Jim Rhodes

**ROLL CALL AND PLEDGE OF ALLEGIANCE:** *All present.*

**MINUTES:**

*Trustee McCarthy moved and Trustee Frusolone made the second to approve the Minutes of the March 6, 2023 Village Board Meeting. The results of the roll call vote were as follows:*

*Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Abstain: 0*

*Absent: 0*

*The motion passed.*

*Trustee Gieser moved and Trustee Zalak made the second to approve the Minutes of the March 6, 2023 Special Workshop Meeting. The results of the roll call vote were as follows:*

*Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Abstain: 0*

*Absent: 0*

*The motion passed.*

**LISTENING POST:**

- 1. Introduction of Jim Lithas-Public Works, Water/Sewer Division. Jim Lithas introduced himself to the Mayor and Village Board.*
- 2. Introduction of Brianna Bacigalupo, Assistant to the Village Manager. Brianna Bacigalupo introduced herself to the Mayor and Village Board.*
- 3. Addresses from Audience (3 Minutes): None.*

**CONSENT AGENDA:**

*Trustee McCarthy moved and Trustee Frusolone made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:*

*Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Abstain: 0*

*Absent: 0*

*The motion passed.*

*Trustee Berger moved and Trustee McCarthy made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:*

*Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*

Nays: 0

Abstain: 0

Absent: 0

*The motion passed.*

*Trustee Gieser moved and Trustee Frusolone made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:*

Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

Absent: 0

*The motion passed.*

*The following items were approved on the Consent Agenda for this meeting:*

**23-0008 – Village of Carol Stream – 500 N. Gary Avenue**

*Zoning Text Amendment – Unified Development Ordinance (UDO) – Miscellaneous Modifications*

**Recommended Approval 6-0**

*The Village Board concurred with Plan Commission’s recommendation.*

**Personnel Policy Chapter 1M (Information Technology):**

*The Village Board approved updating the Technology Use Policy to include Endpoint Detection and Response as an alternative to traditional Antivirus applications and including the practice of using advanced authentication.*

**Awarding a Contract for Painting Fire Hydrants:**

*The Village Board approved a contract with Muscat Painting & Decorating for hydrant painting in the amount of \$50,000, pursuant to the provisions of Section 5-8-3(B) and subsection 5-8-14(K) of the Carol Stream Code of Ordinances.*

**Recommendation to Approve a Change Order with Prime Landscaping for Mowing of Rights-of-Way and Village Properties in the amount of \$59,716.76 for the period of May 1, 2023 through April 30, 2024:**

*The Village Board approved a Change Order in the amount of \$59,716.76 with Prime Landscaping for mowing of rights-of-way and Village properties for the period of May 1, 2023 through April 30, 2024.*

**Recommendation to Approve a Change Order with Prime Landscaping for Plant Bed Maintenance on Village Properties in the amount of \$28,972.68 for the period of May 1, 2023 through April 30, 2024:**

*The Village Board approved a Change Order in the amount of \$28,972.68 with Prime Landscaping for plant bed maintenance on Village properties for the period of May 1, 2023 through April 30, 2024.*

**Ordinance No. 2023-03-08 Amending Chapter 16 of the Carol Stream Code of Ordinances (Unified Development Ordinance – Miscellaneous Modifications):**

*The Village Board approved amendments to Chapter 16 regarding the Unified Development Ordinance and Miscellaneous Modifications.*

**Ordinance No. 2023-03-09 Amending Chapter 14, Article 5 of the Carol Stream Code of Ordinances (Adult Use Cannabis Business Establishments) and Chapter 15, Article 7 (Annexations):**

*The Village Board approved amendments to Chapters 14 and 15 of the Carol Stream Code of Ordinances to correspond with previous changes in Chapter 16, the Unified Development Ordinance.*

**Resolution No. 3299 for Maintenance Under the Illinois Highway Code (24-00000-00-GM) for the 2023 Flexible Pavement Project and 2023 Crackfill Project:**

*The Village Board approved Resolution 3299 for Maintenance under the Illinois Highway Code, which are funded with Motor Fuel Tax dollars, and therefore needs to be approved by the Illinois Department of Transportation prior to bidding and award of contract with a cost estimate for Flexible Pavement Project at \$3,400,000 and Crackfill Project at \$100,000.*

**Raffle License Application – Spring Trail Elementary School PTO:**

*The Village Board approved a Raffle License and waived the fee and manager's fidelity bond for Spring Trail Elementary School PTO's raffle on May 19, 2023.*

**Regular Bills and Addendum Warrant of Bills:**

*The Village Board approved processing of payment of Regular Bills dated March 20, 2023 in the amount of \$1,175,827.78. The Village Board approved processing of the payment of Addendum Warrant of Bills from March 7, 2023 thru March 20, 2023 in the amount of \$674,740.39.*

**Treasurer's Report:**

*The Village Board received the Revenue/Expenditure Statements and Balance Sheet for the Month ended February 28, 2023.*

**REPORT OF OFFICERS:**

*Trustee Berger lamented Purdue's March Madness loss; welcomed Jim Lithas and Brianna Bacigalupo to the Carol Stream team; congratulated everyone involved in the amazingly successful Bags for Life "One Team Carol Stream" Tournament this year; and welcomed 206 Brewing's business to our community.*

*Trustee Garvey welcomed Jim Lithas and Brianna Bacigalupo to our village; commended all our staff for their stellar work; and specifically thanked Information Technology Director Talavera and his team for keeping our village secure and protected.*

*Trustee Zalak welcomed Jim Lithas and Brianna Bacigalupo aboard; congratulated Fairleigh Dickinson on their big upset over Purdue; wished all Chicago baseball teams good luck in their opening day games; wished his mother a happy 90<sup>th</sup> birthday; and asked that we keep our military and first responders in our thoughts and prayers.*

*Trustee Gieser welcomed Jim Lithas and Brianna Bacigalupo and thanked them for choosing to join the Carol Stream team; lamented the disappointing lack of Big Ten teams remaining in the March Madness tournament; reported on his annual meeting with Ms. Rosignolo's 2<sup>nd</sup> grade class at Evergreen Elementary School; and shared some of the students' ideas submitted via letters and drawings.*

*Trustee Frusolone congratulated Fairleigh Dickinson on their big win over Purdue; welcomed Jim Lithas and Brianna Bacigalupo to the team and invited them to share their ideas for the village; congratulated 206 Brewery on their successful grand opening in Carol Stream; and thanked residents, businesses and the Carol Stream Women's Club for their generosity in helping the family who lost so much in their recent house fire.*

*Trustee McCarthy welcomed aboard Jim Lithas and Brianna Bacigalupo; welcomed 206 Brewing to the Carol Stream business community; reported final results for the overwhelmingly successful 2023 Bags for Life Tournament which finished by raising over \$67,000 this year; thanked all volunteers, sponsors, donors, staff and participants; and described all the charities who would benefit from the proceeds.*

*Assistant to the Village Manager Bacigalupo reported she is excited to join the Carol Stream team and get the ball rolling on her new position.*

*Village Clerk Schwarze welcomed Brianna Bacigalupo and Jim Lithas; congratulated Trustee McCarthy and team on their amazing Bags Tournament results; announced early voting starts today throughout DuPage County; reported the Rotary Club Community-wide Food Drive is collecting donations now through April 21<sup>st</sup>; welcomed 206 Brewing Company; and reminded everyone to shop and dine Carol Stream.*

*Village Attorney Rhodes welcomed and congratulated new staff members Brianna Bacigalupo and Jim Lithas; and reported on issues concerning proposed TIF and Food Truck legislation that the Illinois Municipal League opposes.*

*Village Manager Mellor stated that we are on record for opposing the proposed TIF legislation; wished Trustee Zalak’s mother a happy 90<sup>th</sup> birthday; described controlled burns happening over the next few weeks; and reported on seasonal roadwork starting this spring/summer.*

*Mayor Saverino welcomed Brianna Bacigalupo and Jim Lithas to the Carol Stream team; warned that the change orders approved tonight are a sign of inflated prices that will continue to impact our budgeting process; thanked everyone who worked together to make the Bags for Life Tournament a huge success; and noted that the best part of the tournament is the night the checks are given out to our local charity recipients.*

*At 6:55 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:*

- Ayes:           6       Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*
- Nays:           0*
- Abstain:       0*
- Absent:         0*

*The motion passed.*

FOR THE BOARD OF TRUSTEES

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Julia Schwarze, Village Clerk

**SPECIAL WORKSHOP MEETING OF THE MAYOR AND BOARD OF TRUSTEES**  
**Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,**  
**Carol Stream, DuPage County, IL**

**March 20, 2023**

Mayor Frank Saverino, Sr. called the Special Workshop Meeting of the Board of Trustees to order at 7:06pm and directed Clerk Julia Schwarze to call the roll.

Present: Mayor Frank Saverino, Sr., Trustees Jeff Berger, Tom Garvey, John Zalak, Rick Gieser, Mary Frusolone and Matt McCarthy, Village Clerk Julia Schwarze

Absent: None

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey, Assistant to the village Manager, Brianna Bacigalupo, Finance Director Jon Batek, Public Works Director Phil Modaff, Assistant Public Works Director Brad Fink, Community Development Director Don Bastian, Engineering Services Director Bill Cleveland, Chief of Police Bill Holmer, Human Resources Director Caryl Rebholz and Information Technology Director Marc Talavera

**FY 24-28 Budget Workshop #4 – Water & Sewer Fund and Other Funds**

Finance Director Jon Batek and Director of Public Works Phil Modaff led the Village Board in a discussion of the Water & Sewer Funds and Other Funds.

Village Board concurred to direct staff to transfer \$300,000 from the General Fund surplus to fund a projected water and sewer rate increase with the remainder of the General Fund surplus to fund the Police Pension Fund.

Attached is the PowerPoint presentation with corresponding details used to guide the meeting.

*At 8:15 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:*

*Ayes: 6 Trustees Berger, Garvey, Zalak, Gieser, Frusolone and McCarthy*

*Nays: 0*

*Absent: 0*

*The motion passed.*

FOR THE BOARD OF TRUSTEES

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Frank Saverino, Sr., Mayor

ATTEST:

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Julia Schwarze, Village Clerk





## *Village of Carol Stream*

### FY24 Budget Workshop #4 WATER & SEWER FUND AND SPECIAL FUNDS

March 20, 2023



## Water & Sewer Fund Background and Historical Metrics



## Agenda Water & Sewer Fund and Special Funds

- Water & Sewer Fund
  - Background and Historical Metrics
  - Proposed FY24 Budget
    - Expenses and significant areas of focus for FY24
    - Planning for the Future – The Long-Term Perspective
    - Water / Sewer Rate Recommendation
- Special Funds
  - Police Pension Fund
  - North Avenue / Schmale Road TIF Fund
  - Equipment Replacement Fund
  - State and Federal Asset Seizure Funds
  - American Rescue Plan Act (ARPA) Fund

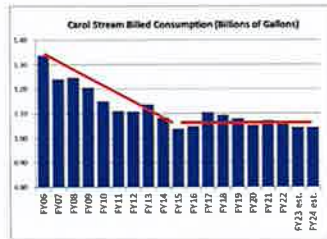


## Water & Sewer Fund Background

- The combined water and sewer fund is a public utility and is classified as an "enterprise fund". Accounting is similar to that of any private sector business.
- Enterprise funds are NOT supported by tax dollars, rather are funded by user fees and charges which are paid by users of the services provided.
- 95% of all fund revenues are generated directly from water and sewer rates charged to users of the system.
- Given generally static to slightly declining sales of water over time, regular rate adjustments are needed to keep pace with increases in operating costs and to plan for future capital investment.

### Water & Sewer Fund Review of Historical Metrics

- Billed water consumption in FY23 is estimated to drop 1.8% compared to FY22, from 1.06 to 1.04 billion gallons.
- Water sales generally within 1.04 to 1.10 billion gallons over the last 10 years +/- 3% from 1.07 billion/yr. average.
- Demand for water in Carol Stream follows the trend of all DuPage Water Commission members over the past 15-20 years.



### Water & Sewer Fund Review of Historical Metrics

- The Village continues to maintain an excellent water billed to water purchased ratio. Regular annual leak detection program of both public and private systems continues into FY24 and beyond.

Gallons Billed to Customers  
as a Percentage of Total Water Purchases



### Water & Sewer Fund Review of Historical Metrics

- The Village's cost of purchasing Lake Michigan water through the DuPage Water Commission (DWC) has stabilized since FY15 following many years of steep increases by the City of Chicago.
- Inflationary increases are beginning to creep back into the picture over the past 2 years.

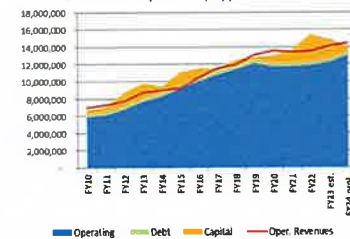
Historical Water Purchase Costs  
and DuPage Water Commission Member Rates



### Water & Sewer Fund Review of Historical Metrics

- Rate adjustments since FY16 have improved coverage of operating expenses. Future rate adjustments will be needed to address any increases in operating expenses and to ensure sufficient funding is provided to meet projected capital needs.

Water & Sewer Fund  
Historical Expenses by Type vs Revenues



## Proposed FY24 Budget

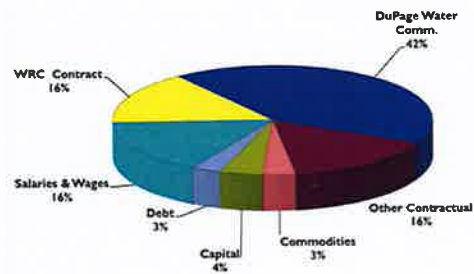
## Water & Sewer Fund – FY24

### OPERATING EXPENSES

- **Salaries & Wages** - increase of only 0.2% compared to FY23 budget due to some staff turnover and delays in recruitment of new positions.
- **Water Purchases** - the DuPage Water Commission (DWC) is proposing a \$0.21 May 1 rate increase to the current rate of \$.18 per 1,000 gal. (+4.1%). Combined with anticipated reduced water purchases, the year-over-year cost increase is 2.2%
- **WRC Contract** - projected 1.8% increase over FY23 budget amount.
- **Contractual Services, Other** - decrease of \$145,822 or 6.2% due to reduced consulting assistance with AMR replacement program and equipment replacement contributions.
- **Commodities** - increase of \$100,450 or 27.9% over FY23 budget mainly related to water system repair supplies (hydrants/valves/b-box parts).

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Village of Carol Stream  
Water & Sewer Fund  
Proposed Expenses by Category FY24



Total Expense Budget = \$14,070,500

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Village of Carol Stream  
Draft Water & Sewer Fund Budget Expenditures  
FY24 Proposed Compared to FY23 Budget

	Revised Budget FY23	Estimated FY23	Proposed Budget FY24	FY24 proposed to FY23 Budget
<b>REVENUES</b>				
Operating Revenues	\$ 13,748,000	\$ 14,140,801	\$ 14,469,500	\$ 721,500 5.2%
Grants	2,661,000	5,334,253	-	(2,661,000) -100.0%
<b>Total Revenues</b>	<b>\$ 16,409,000</b>	<b>\$ 19,475,054</b>	<b>\$ 14,469,500</b>	<b>\$(1,939,500) -11.8%</b>
<b>OPERATING COSTS</b>				
Salaries & Wages	2,272,569	2,056,634	2,275,989	3,420 0.2%
<b>Contractual Services</b>				
Water Commission	5,802,000	5,750,000	5,929,000	127,000 2.2%
WRC Contract	2,138,002	2,083,598	2,176,000	37,998 1.8%
All Other	2,342,972	1,957,169	2,197,150	(145,822) -6.2%
<b>Total Contractual</b>	<b>10,282,974</b>	<b>9,790,767</b>	<b>10,302,150</b>	<b>19,176 0.2%</b>
Commodities	359,490	414,817	459,940	100,450 27.9%
Debt	490,618	490,618	420,421	(70,197) -14.3%
<b>TOTAL OPERATING</b>	<b>13,405,651</b>	<b>12,752,836</b>	<b>13,458,500</b>	<b>52,849 0.4%</b>
<b>Net G/(L) Before Capital</b>	<b>3,003,349</b>	<b>6,722,218</b>	<b>1,011,000</b>	<b>(1,991,218) -29.6%</b>
<b>CAPITAL COSTS</b>				
<b>Total Expenses</b>	<b>\$ 15,954,351</b>	<b>\$ 14,856,836</b>	<b>\$ 14,070,500</b>	<b>(1,883,851) -11.8%</b>
<b>Fund Income/(Loss)</b>	<b>\$ 454,649</b>	<b>\$ 4,618,218</b>	<b>\$ 399,000</b>	<b>\$(1,219,189) -26.4%</b>

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## Water & Sewer Fund – FY24 NOTABLE OPERATING EXPENSES

Gerzevske Tower Painting & Repairs (\$507,620)  
(already under contract for May 1 start)

Includes painting (interior wet section only), repair welds, install cathodic protection, mixing system and ladder, replace roof hatch, interior lighting, pit piping and vent screening, upgrade and repair electrical and install IT improvements.



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## Water & Sewer Fund – FY24 NOTABLE OPERATING EXPENSES

- Water System Model – Consultant assistance to develop model to analyze distribution system capabilities and identify areas to improve water quality (\$55,000)
- Replace Kuhn Road Pump Station Generator – Replacement already under contract (\$220,000)
- Well #6 generator - Remove unrepairable generator and install Plug-in Connection for portable (\$45,000)
- Tower #2 Valve Replacements – In-house replacement of valves & hydrant at Gerzevske tower (\$31,200)

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## Water & Sewer Fund – FY24 NOTABLE OPERATING EXPENSES

- Hydrant Painting Program – 5-year program beginning in FY24 via joint-bid with other agencies (\$50,000 per year)
- Well #3 Building Repairs - replace flat roof, soffit, fascia and gutters at Fullerton pump station (\$25,000)
- Hydrant/Valve/Pipe Repairs – Significant price increase seen in repair and replacement parts (\$100,000)

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## Water & Sewer Fund – FY24 NOTABLE OPERATING EXPENSES

- Tall Oaks Lift Station Panel Replacement – Design & construct electrical and SCADA control cabinet (will reduce footprint of existing cabinet)
- Sewer Easement Machine – Replacement of aging unit used for side and rear-yard sewer line cleaning (\$85,000)
- Standby Wells: Budget does not include any funding for abandoning wells. Costs to maintain in FY24 include:
  - Generator plug-in and building repairs: \$70,000
  - Monthly operation and required sampling: \$28,000
  - Source Water Protection Plan \$ 9,000

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## Water & Sewer Fund – FY24 CAPITAL PROGRAM EXPENSES

- WRC Facility Assessment – An updated capital plan for the WRC facility (completed in 2021), calls for investment of \$19.53 million over the next 10 years. Programmed expenses for the next 5 years are shown below:

Wastewater Reclamation Center Capital Improvements					
Project	FY24	FY25	FY26	FY27	FY28
Clarifier Repairs	162,000				
Headworks Design/Construction	50,000	225,000	4,500,000		
Non-potable Water System Repl.			285,000		
Sandfilter Replacement – Design			50,000		
Sandfilter Replacement – Constr.				1,250,000	1,250,000
Clarifier/digester Painting				881,000	
Phosphorous Removal					3,761,000
<b>TOTAL:</b>	<b>212,000</b>	<b>225,000</b>	<b>4,835,000</b>	<b>2,131,000</b>	<b>5,011,000</b>

**Total investment FY24 to FY28 = \$12,414,000**

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## Water & Sewer Fund – FY24 The Long-Term Perspective

- A 10 year future cost model was developed drawing data from the last 8 fiscal years (FY15-FY22) along major operating cost categories.

Operating Cost Center	Actual		Notes
	Average Annual Incr.	% Used in Model	
Payroll Costs	6.9%	5.0%	assumes steady staffing levels
WRC Contract	2.5%	2.5%	
Water Costs (DWC)	2.5%	2.5%	assumes steady consumption
Contractual Services	12.3%	not used*	modified projection used
Commodities	15.0%	not used*	modified projection used

\* actual experience is skewed by AMR program, tower maintenance projects, etc.

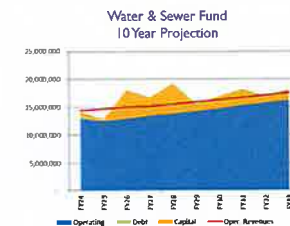
- Also includes 100% of all programmed WRC facility capital improvements and allowance for water system capital improvements.
- Assumed annual rate increases of 2.5% per year.

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## Planning for the Future The Long-Term Perspective

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## Water & Sewer Fund – FY24 The Long-Term Perspective



- Gradual rate adjustments of 2.5% annually fully fund operations and projected capital improvements over the next decade without the need for borrowing.
- Without regular rate adjustments, under this model, the fund's position deteriorates rapidly. Will not meet minimum 25% operating reserve by year 5 and fund insolvency by year 7.

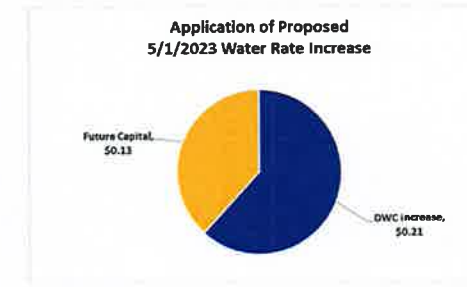
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## Water & Sewer Fund – FY24 The Long-Term Perspective

- The 10 year model generates an average of \$1.53 million per year for capital improvements after operating expenses are paid. This \$15.3 million over 10 years compares to \$23.1 million in programmed capital projects.
- Fund balances decline by \$7.8 million during this period, from \$13.5 million to \$5.7 million.
- Required rate adjustments are lower than otherwise would be needed due to two events:
  1. Receipt of \$5.3 million in ARPA funds that have been assigned for use in the Water/Sewer Fund.
  2. FY24 is the final year of debt payments on our 2002 \$6.5 million IEPA WRC Loan so we now save an additional \$428,650 into reserves each year. Even with this below market loan (2.57%), a total of \$1.7 million in interest costs were paid by rate payers during the life of the loan.

21

## Water & Sewer Fund – FY24 RATE RECOMMENDATION



23

## Water & Sewer Fund – FY24 RATE RECOMMENDATION

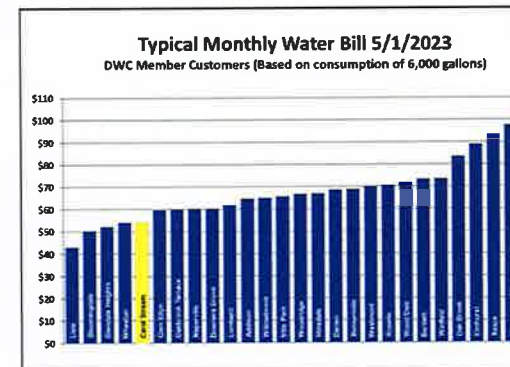
	5/1/23			
	Current	Proposed	Incr.	%
Water	\$ 8.69	\$ 9.03	\$ 0.34	3.9%
Sewer	4.90	4.90	-	0.0%
<b>Total</b>	<b>\$ 13.59</b>	<b>\$ 13.93</b>	<b>\$ 0.34</b>	<b>2.5%</b>

Monthly impact to a customer using 6,000 gallons of water:

**\$2.04**

22

## Water & Sewer Fund Proposed FY24

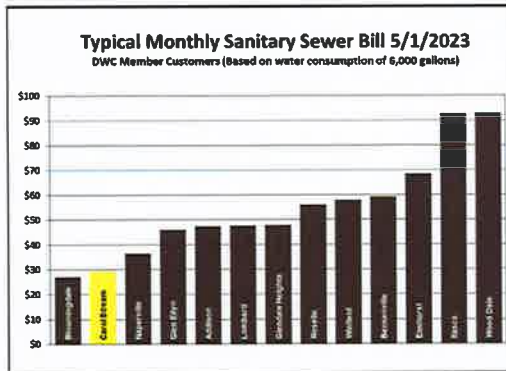


Source: Municipal Websites - 3/1/2023

24



## Water & Sewer Fund Proposed FY24



Source: Municipal Websites - 3/1/2023  
Includes those municipal members that bill for sewage treatment or operate sewage treatment facilities.

25

## Police Pension Fund

- Pension Fund consolidation of all investment assets to the Illinois Police Officers' Pension Investment Fund (IPOPPIF) per P.A. 101-0610.
  - Original asset transfer date was April 1, 2022.
  - Due to delays/extensions, actual asset transfer date was August 1, 2022. All assets transferred successfully.
- Fund Net Position in FY22 declined by \$3.1M or 4.7% from \$64.8M to \$61.7M (68% funded at 4-30-2022).
- Current assets as of 1-31-2023 = \$62.6M only about 1.5% return YTD.

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## SPECIAL FUNDS

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## Other Special Funds

### North Avenue / Schmale Road TIF

- FY24 represents year 9 of 13 for sales tax sharing and 9 of 15 for property tax increment under the current redevelopment agreement.
- As of 4-30-2023 a total of \$768,658 in principal has been paid on the \$3.5 million developer note. Total P&I paid = \$1,849,790.

### Equipment Replacement Fund

### State and Federal Asset Seizure Funds

### American Rescue Plan Act (ARPA) Fund

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## Next Steps

- **Friday, March 31, 2023**
  - Distribution of draft FY24 Budget and FY24-FY26 Financial Plan to the Village Board and availability for public review.
- **Monday, April 17, 2023**
  - 6:00 pm Regular Village Board Meeting
    - **Budget Public Hearing**
    - **Budget Adoption**



**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
March 27, 2023.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Absent: 2 Commissioners Christopher and Petella

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Patty Battaglia, Planning and Permitting Assistant

**MINUTES:**

Commissioner Tucek moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on March 13, 2023.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by a unanimous vote.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Meneghini moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

**Case #22-0056– SBA Monarch Towers III, LLC/T-Mobile-877-901 E. Geneva Rd.**

*Height Variation for a Stealth Antenna Tower (continued from the February 13 and March 13, 2023 meetings)*

Chairman Parisi swore in Mr. Mark Iacopetti, from SBA Monarch Towers III, LLC.

Mr. Iacopetti stated we would like to upgrade the equipment to 5G connectivity in order to enhance the data structures for the Carol Stream residents. The 5G antennas and equipment run a little bit larger but since it is a stealth tower, the antennas are concealed within the canister. In order to facilitate this installation we need to expand the canister somewhat.

Chairman Parisi asked for questions or comments from the audience and there were none so he asked Mr. Farace to provide a Staff Report.

Mr. Farace stated Monarch Towers, on behalf of T-Mobile, are seeking approval of a new height variation for the stealth antenna. The antenna was installed about 10-12 years ago, and at that time, a variation was granted to increase the height of the tower itself from the allowable height of 55 feet to 100 feet. New antennas are proposed in the top 40 feet of the structure, increasing the diameter from 30 inches to 60 inches. Staff believes it is meeting the intent of a stealth design with the antennas located internally and staff is recommending approval with the stipulation that if other modifications are proposed to this tower, it would have to come back before Plan Commission and Village Board for review.

Chairman Parisi asked for questions or comments from the Commission.

Commissioners Meneghini, Tucek and Chairman Parisi had no questions. Commissioner Morris asked Mr. Farace asked what if you need another 20 or 30 feet needed going down. Will they have to come back.

Mr. Farace stated it is his understanding that once you get to a certain height, maybe it is not prudent to have the panel antennas in a location like this.

Mr. Iacopetti stated that is correct.

Mr. Battisto asked Mr. Iacopetti to confirm for the record that the height of the actual antenna is not changing at all. It's just the total diameter.

Mr. Iacopetti stated that is correct. We are not increasing the total height.

Commissioner Morris moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

**23-0002 – New Asian Spa – 383 N. Gary Avenue**

*Special Use Permit for a Massage Establishment*

Chairman Parisi swore in Mr. Lionel Hu.

Mr. Hu stated his mom would like to open a foot and body massage business. She would have three licensed employees with four types of massages.

Chairman Parisi asked if there were any questions from the audience and there were none so he asked Mr. Berisha to provide a Staff Report.

Mr. Berisha stated in 2018 the Village created a massage establishment licensing program developed to regulate massage businesses due to recurring issues with illegal activities which prompted the Village to revoke their licenses including the previous massage business, Luna Spa, located at 383 N. Gary Avenue. In order to curb future revocations and encourage legitimate massage establishments, Village Board approval of a Special Use Permit is now required. The owners will use the existing interior floor plan with three massage therapist employees and one other employee working the front desk. The hours of operation will be 11 a.m. – 9 p.m., seven days a week. The applicant has been presented with the massage establishment regulations and has acknowledged them. The parking study revealed there will be a surplus of 39 parking spaces which meets code requirements. Staff has reviewed the applicant's submittal and supports this Special Use request.

Chairman Parisi asked for questions or comments from the Commission.

Commissioner Battisto asked if they have any relationship at all with the prior ownership and asked if he was aware as to why that location lost their ability to operate in Carol Stream.

Mr. Hu stated no and they don't know anything about it. We passed by, looked at the empty space and called the landlord.

Commissioner Battisto stated they engaged in activities that were not allowed in Carol Stream and stated since you are not changing the location or look at all, are you concerned at all about some prior customers showing up and creating other issues for the Village.

Mr. Hu stated we are going to follow the law and the regulations. We are not going to do anything illegal here. No matter which customer walks in, we will provide them our services.

Commissioners Morris, Tucek and Chairman Parisi had no questions.

Commissioner Meneghini asked if they have any other massage establishments and how long they have been in business.

Mr. Hu stated yes, and my mom has another spa, not in this area, and she closed it because of COVID. She has been in business over six years. She would like to open maybe two more in Cook County and DuPage County.

Commissioner Battisto asked if they were aware of the stipulations or certain requirements if the Commission approves.

Mr. Hu stated yeah, we are going to follow all the requirements.

Commissioner Meneghini moved and Commissioner Morris seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

**22-0032– Casey’s Retail Company – 1025 N. Gary Avenue**

*Amendment of a Special Use Permit for a Planned Development; Text Amendment to Allow Fuel Sales as a Special Use in the B-1 District; Special Use Permit for Fuel Sales; Gary Avenue Corridor Review; Plat of Consolidation*

Chairman Parisi swore in Mr. Tom Szafranski, Civil Engineer with Kimley Horn.

Mr. Szafranski stated Casey’s Retail is proposing to develop a modern, 4,319 square foot convenience store with fuel sales. The building will have a full kitchen, freshly made pizza, sandwiches and other related items as well as a large variety of coffees, fountain items and packaged goods. We believe this facility will have a positive impact and look forward to being part of the community. Casey’s was founded in 1958 in Iowa. They have distribution centers in Iowa, Indiana and Missouri and have more than 2,200 stores. They are corporately owned and operated to ensure consistency and quality throughout all their sites. Casey’s is known for their pizza and other fresh prepared items and are the fifth largest pizza chain in the United States and in the top ten of largest bakeries in the U.S. as well. There is a Casey’s rewards program, cash fuel discounts and donations to local schools. So far in March, they’ve donated \$50,000 across communities. They are reducing their CO2 gas emissions by over 54,000 pounds annually by converting to LED lighting throughout their sites and have contributed 4.5 million to communities and charitable organizations and events throughout the sixteen states. Casey’s, and their customers, also support several national organizations such as Special Olympics, MBA, Hope for the Warriors and Children’s Miracle Network. The investment for this location will be between 3 and 5 million which will generate great tax revenues and will create 25-35 full and part-time positions including 401K and insurance options.

Chairman Parisi asked for questions from the audience and there were none so he asked Mr. Farace to provide a Staff Report.

Mr. Farace stated Casey’s is seeking multiple approvals for the northeast corner of Gary Avenue and Lies Road. About 15 or so years ago, a planned development was approved for this property which is a little over 4 acres. There was going to be several multi-tenant like commercial buildings and a bank, but this project did not move forward. The property was rezoned B-1 in conjunction with the Unified Development Project. Currently, the B-1 District does not allow fuel sales or gas stations so a Text Amendment is requested. Staff looked at the intent and purpose of the B-1 District pertaining to current retail and commercial activity that is taking place in and around Carol Stream and across the country,

and determined that we could support the request to allow the fuel sales as a Special Use in the B-1 District. We are supportive of the Text Amendment request.

The Development is going to consist of about 4,300 square foot convenience store with a 12 pump, fuel station under the canopy in the central portion of the property. There will be two driveway locations or two curb cuts, and a full access curb cut off Lies Road which is under the Village's jurisdiction. There will also be a porkchop intersection, or right in, right out, on Gary Avenue which is under the jurisdiction of DuPage County who have indicated they reviewed the geometry of this driveway location and dimensions and are supportive of the layout.

Parking is proposed to the west of the building with some notched out areas along the front of the building façade for the sale of some products like firewood and a packaged ice cabinet. We support the location of these products only in front of the building and not located near the pumps as stated as a condition of approval.

They are proposing a sidewalk connection along Lies Road, and this year, the Village has received some funds to construct a multi-use path along the north side of Lies going all the way to Schmale Road.

There will be a corner site amenity that will have some benches and a stone seating wall with some landscaping proposed to soften the appearance of it, and there is a bike rack on the north side of the building. There is a flood plain area along the Gary Avenue frontage which limits what can and cannot be done, and a detention area on the north side of the property and that will allow for storm water drainage to occur efficiently on the property as well.

There are a few exemptions, or allowances, being requested which are allowed since it is a Planned Development. A foundation landscaping allowance. The UDO states that landscaping, at least 5 feet in width, needs to be provided along the foundation of the building where it has roadway frontage. This would be on the west side of the building facing Gary Avenue and on the south side facing Lies Road. The majority of the south side does have that foundation landscaping, but a smaller percentage has it along the west side. Staff is supportive of the allowance in this instance because there is a little bit of landscaping at the northwest and southwest corners of the building which anchors the building overall. There is also some additional landscaping to the east of the flood plain area that will provide a combination of screening and softening of the front of the property. There was an allowance requested for the east side of the property, but it was short based on the UDO standards are for a transition area between a property for commercial use and the property to the east which is an industrial use. This would require a ten-foot wide landscaped area with trees, shrubs and native grasses or plantings based on the linear frontage of that area. The plan did not meet the numbers listed in the UDO so Staff will be working with Casey's to modify the landscaping as it goes through the permit process. There is also a right-of-way landscaping allowance request in regards to parkway trees along Lies Road requesting some smaller shrub groupings, including trees, instead of all trees. Staff is comfortable supporting this allowance. Since the flood plain area along Gary Avenue restricts landscaping, Staff is also comfortable supporting the allowance for the location of the landscaping along the west side. Also, there is a building setback allowance being requested of about 195 feet (normal setback range is 60-100 feet). Keep in mind you have the flood plain area and the location of the pumps. Staff is comfortable granting this allowance which was also granted to the Wood Spring Suites Hotel which is about 150 feet setback from Gary Avenue for similar restrictions on their site as well. The exterior building will be constructed of masonry with the stone material at the base of the building on all four sides along with some stone material column features as well as decorative cornices proposed on top of the building. Staff commented that the ACM or Aluminum Composite Material, proposed for a good portion of the front façade facing Gary Avenue should be just around the signage for Casey's for aesthetic purposes would look a little more appropriate. Casey's is okay with modifying that section. The canopy will have a reddish color and the columns supporting the canopy will be covered with masonry material as well. Two ground signs, one proposed close to the corner of Gary and Lies, and one further east near the full access driveway on Lies, will have landscaping around the base of both. The Plat of Consolidation is requested because the parcel was previously divided into four different lots. In total, Staff is supportive of their requests and are recommending approval.

Chairman Parisi stated he would first like to discuss the actual Special Use to the B-1 District which requires modification to the text amendment and the approval of the Special Use. So, before I proceed to the Gary Avenue Corridor Review, any discussion with regards to those first two requests and the Plat of Consolidation.

Commissioner Meneghini had no questions.

Commissioner Morris asked if there would be alcohol sales and if it is beer and wine.

Chairman Parisi swore in Mr. Richard McMahon from Casey's.

Mr. McMahon replied Casey's will be selling wine and beer.

Commissioner Morris asked if the signs will follow the new text amendments recently established in the UDO.

Mr. Farace stated the signs will meet those requirements.

Commissioner Meneghini asked if Casey's is familiar with the ten conditions by our Staff and if they will be able to comply.

Mr. Szafranski stated yes.

Commissioner Tucek had no questions.

Commissioner Battisto stated his primary concern is adding fuel storage tanks on a marshy, wetland area as well as a portion of it being part of a flood plain. I believe the ground water connects across the west side of the street, but also can feed into the lake in our Village center. So, has an environmental study been done. I'm concerned with the ground water contaminating our Town Center. Or is there a special study that needs to be done when dealing with a marshy area like that.

Mr. Farace stated that there has been a thorough discussion with our Engineering Department on detention, drainage, and storm water run off which will also be reviewed during the permit process.

Commissioner Battisto asked if someone were to overflow gas, would that go to the retention pond.

Mr. McMahon replied the storm water that washes on the driveway is collected and goes into a device before that storm water continues down stream. What drips from a car or if someone were to spill gas, we have barrels with absorbent materials on site if that happens. The tanks used now are called double walled tanks that have either a liquid or nothing in between the walls. These walls have sensors. When those sensors go off, it will shut the whole system down. Per the manufacturer, there has never been an incident of these double wall tanks failing. And the pipes going from the tanks to the pumps are double walled with sensors as well as lining under them. In the back room, they're checking the tanks every couple minutes.

Chairman Parisi asked Mr. Szafranski if a Wetland Delineation was done on the site and is the remainder of the site in a wetland and only the portion along Gary Avenue is in the flood plain.

Mr. Szafranski stated yes they conducted a Wetland Delineation and there actually are no wetlands on site.

Chairman Parisi asked if the remainder of the site is in a flood plain, or just the area along Gary Avenue in a flood plain.

Mr. Szafranski replied just the area along Gary Avenue with maybe part of the northern portion, but none of which would be developed like the store.

Chairman Parisi stated based on DuPage Counties record, you're actually building the entire development out of the flood plain.

Mr. Szafranski stated that was correct.

Chairman Parisi asked him to explain where is your BMP (Best Management Practices) according to DuPage County or where is that being assigned.

Mr. Szafranski stated it is the northern basin that will be planted completely with native plantings. Per the DuPage County ordinance there are multiple ways which you can satisfy the water quality measures that they uphold. One of the ways of doing that is creating a wetland style basin which utilizes native plants to suck up and treat the water that is tributary to that basin.

Chairman Parisi asked how does it flow on the site.

Mr. Szafranski stated it flows from storm water in the parking lot and then collected throughout the site in inlets and directed to the storm sewer to that northern basin.

Chairman Parisi asked where it goes after that.

Mr. Szafranski stated then it goes out to Klein Creek under Gary Avenue.

Chairman Parisi stated then it goes into the water shed which basically goes from the northern portion of Carol Stream through Armstrong Park and then feeds all the way through. So the BMP is actually a sustainable approach to removing the solids that are off pavement which is a requirement by DuPage County. In the flood plain itself, are you actually planting natives.

Mr. Szafranski replied yes, we have a wetlands mix that we are planting there.

Chairman Parisi stated the reason for asking all those questions for the Commission is I want to ask Mr. Farace to reiterate. So when we did the comprehensive master plan for Carol Stream, it went round and round and round. Now we are asking for a Special Use to the B-1. Originally in the B-1, the reason you're asking for the text amendment is because the fueling station is not part of that.

Mr. Farace stated as of now, a fuel or gas station or fuel sales facility is just allowed as a Special Use in the B-3 District.

Chairman Parisi asked if this would be the B-1 District.

Mr. Farace stated correct.

Chairman Parisi asked what was originally in the Comprehensive Plan. Like what would be an example of what would be in a B-1.

Mr. Farace stated it is geared more towards commercial and service type uses. The permitted uses in B-1 District were retail uses, commercial service uses, restaurants, grocery stores, office uses. Currently, allowable special uses in the B-1 District are hotels, shopping centers, micro breweries and drive through uses.

Chairman Parisi asked the Commission if there were any other questions with regards to the Amendment to the Special Use, Text Amendment for the Fuel Sales or Special Use Permit for Fuel Sales.

There were no further questions or comments from the Commission.

Chairman Parisi stated the next two items to discuss would be the Gary Avenue Corridor Review and the Plat of Consolidation. He then asked the Commission if it was okay to assume that everyone is all okay with the Plat of Consolidation and it was agreed.

Chairman Parisi stated on the Gary Avenue Corridor Review in regards to the landscaping, the aesthetics of the building as well as the allowances, asked if there any questions or comments from the Commission.

Commissioners Meneghini and Morris had no questions.

Commissioner Tucek commented that putting the bike rack on the far corner of the building is probably not the wisest location because they have to cross every scenario of vehicle traffic to get to it. Also, the ACM that you said was modified, is that backlit.

Mr. Szafranski stated that portion is not.

Commissioner Tucek asked about the photo metrics of the lights and a concern about the residents to the west. While your photo metrics shows the light vertically, it doesn't show it horizontally. Are there any light blocking capabilities even when the trees are in full bloom. These residents are actually closer to your location than some other residents at a prior gas station. If you can control the light in a horizontal plain better than what you're doing, and/or, is there technology available to lower the lumens of the light.

Mr. Szafranski stated he is not a lighting engineer, but I do know there are some ways to achieve what you are looking for and I believe they are being implemented here just based on the plans which show shields to project it where we don't want it.

Mr. Farace said the Unified Development Ordinance has lighting or photo metric requirements such as cut off shielding elements or other lighting standards that are required.

Commissioner Battisto stated he lives behind the high school football field with the big lights on every Friday night. I'm closer to the field than those houses are to the Casey's. It dissipates quickly. I can see the lights, but they are not beaming into my house.

Commissioner Tucek asked if the red stripe on the header of the canopy is backlit.

Mr. McMahon stated no, it is not. Only the Casey's on the storefront is lit.

Commissioner Battisto commented on the landscaping on the east of the property should be sufficient as proposed because I don't think the employees of the factory will say anything about there not being enough. And I do appreciate Casey's understanding of what we are trying to do with our fountain in the Fountain View area and them putting in a park bench and seating wall will look cohesive to the rest of the area.

Mr. Farace stated Staff was looking at it as since this is a new development, technically there is room or space for the plant materials which do not all have to be placed on the east side, but maybe in other green space areas. Also, a fence is normally required between a commercial and an industrial property.



A fence is not being proposed for this location and Staff thought it was most appropriate within our corridor to have that landscaping requirement.

Chairman Parisi stated he agrees with Mr. Farace and Commissioner Battisto that Staff will appropriately handle the landscaping. I agree with the setback because it is defining a more aesthetically pleasing corner. Although the berm to the east would be nice, I would like to see some of it moved to the north side where the detention pond is and possibly along the flood plain.

Mr. Farace stated there is a provision where they can either plant shrubs or native grasses. Maybe the folks from Kimley Horn can work with our Storm Water Administrator, Greg Ulreich, to see what plant material can also be around the detention areas.

Chairman Parisi then asked what the hours of operation will be because the lighting will help from a safety perspective. He said you are far enough back so you might be okay but it will definitely change the aesthetics of that corner when you pull up to it.

Mr. Szafranski stated 24/7 which is similar to the one on County Farm and Army Trail.

Chairman Parisi asked what the alternate material would be on the ACM.

Mr. Szafranski stated they would be willing to do brick like the rest of the building.

Chairman Parisi stated because it does stick out, aesthetically it will look a little odd that you have brick up where the Casey's sign is and it will look very heavy. From an architectural perspective, I would be okay with the ACM and it balancing the elevation much better. It also ties into a little bit of the aesthetics at the Town Center across the way with the fascia and the bands around the top.

Chairman Parisi asked for any further discussion from the Commission and there was none.

Chairman Parisi asked for a motion for the Gary Avenue Corridor Review. Commissioner Meneghini moved and Commissioner Morris seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Battisto, Meneghini, Morris, Tucek

Nays: 1 Chairman Parisi

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by majority vote.

Chairman Parisi asked for a motion for the Amendment for Special Use, Text Amendment to allow Fuel Sales as a Special Use in the B-1 District and Special Use Permit for Fuel Sales and Plat of Consolidation.

Commissioner Morris moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0  
Abstain: 0  
Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Battisto moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi  
Nays: 0  
Abstain: 0  
Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

**NEW BUSINESS:**

**OLD BUSINESS:**

**OTHER BUSINESS:**

**ADJOURNMENT:**

At 7:10 p.m. Commissioner Meneghini moved and Commissioner Tuvcek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi  
Nays: 0  
Abstain: 0  
Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Patty Battaglia  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

## **Proclaiming April Sikh Awareness Month**

**WHEREAS** Sikhs have been living in the United States for more than 120 years, and during the early 20th century, thousands of Sikh Americans worked on farms, in lumber mills and mines, and on the Oregon, Pacific & Eastern Railroad; and

**WHEREAS** Sikhism is the fifth largest religion in the world and today, there are more than 25 million Sikhs worldwide and an estimated 500,000 Sikh Americans and 25,000 Sikh Illinoisans; and

**WHEREAS** Sikh Americans make rich contributions to the social, cultural, and economic vibrancy of the United States, including service as members of the United States Armed Forces and significant contributions to our great nation in agriculture, information technology, small businesses, the hotel industry, trucking, medicine, and technology; and

**WHEREAS** Sikh Americans distinguished themselves by fostering respect among all people through faith and service; and

**WHEREAS** the Village of Carol Stream seeks to further the diversity of its community and afford all residents the opportunity to better understand, recognize, and appreciate the rich history and shared experiences of Sikh Americans.

**NOW THEREFORE BE IT RESOLVED** that, I, **Mayor Frank Saverino, Sr. and the Carol Stream Board of Trustees**, DuPage County, Illinois, in the exercise of its home rule powers does hereby proclaim

### **April Sikh Awareness Month**

in Carol Stream and encourages all residents to take time to appreciate the many contributions Sikh Americans have made to the success of our nation.

---

Frank Saverino, Sr., Mayor

ATTEST:

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Julia Schwarze, Village Clerk

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager *TF*

**THROUGH:** Donald T. Bastian, Community Development Director *DB*

**DATE:** March 28, 2023

**RE:** **Agenda Item for the Village Board Meeting of April 3, 2023**  
**PC/ZBA Case 22-0032, Casey's Retail Company – 1025 N. Gary Avenue, Text Amendment to allow fuel sales as a Special Use in the B-1 District, Amendment of a Special Use Permit for a Planned Development, Special Use Permit for Fuel Sales, Gary Avenue Corridor (GAC) Review, and Plat of Consolidation**

Mr. Richard McMahon with Casey's Retail Company, requests approvals associated with a Casey's fuel sales station and convenience store proposed at the northeast corner of Gary Avenue and Lies Road. The first request is to amend the UDO to add fuel sales as a special use in the B-1 Town Center District. In review of this request, staff considered the purpose and intent of the B-1 District, the characteristics of B-1 District properties in the Village, and directives within the Village Comprehensive Plan pertaining to the Town Center Node. As such, the proposed fuel sales station and convenience store will align with retail and service uses recommended in the Comprehensive Plan, and will serve residents, businesses, and travelers along both Gary Avenue and Lies Road.

In addition, the applicant requests approval to amend the Planned Development (PD) Plan for the northeast corner of Gary Avenue and Lies Road, a Special Use Permit for fuel sales, GAC Review, and a plat of consolidation. The development will contain a 4,319 square foot convenience store and 12 fuel pumps, with vehicular access provided from curb cuts along both Gary Avenue and Lies Road. Landscaping is proposed throughout the site to meet UDO requirements, and the PC/ZBA recommended that the applicant work with staff to include additional landscaping on-site to meet plant material quantities required per the UDO. The proposed convenience store will be constructed of brick and stone materials, and the fuel canopy will have brick wrapped columns to match the building and a metal fascia branded with the Casey's red color scheme. Other amenities including an outdoor seating area north of the convenience store, sidewalks to allow pedestrian connectivity into the site, and an attractive design element near the corner of Gary Avenue and Lies Road featuring a masonry wall, benches, and landscape materials. The applicant also proposes to consolidate the four existing lots into a single lot for the development. Overall, staff believes the proposed building and canopy design, site layout, landscaping, and amenities will provide for an attractive development along the GAC and within the Town Center Node.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on March 24, 2023. At its meeting on March 27, 2023, by a vote of 5-0, the PC/ZBA recommended approval of the Text Amendment, Special Uses, and Plat of Consolidation, subject to the conditions in the March 27, 2023 staff report.


If the Village Board concurs with the PC/ZBA recommendation, they should approve the Text Amendment, Special Use Permits, and Plat of Consolidation for Casey's Retail Company, subject to the conditions contained within the Ordinances and Resolution, and adopt the necessary Ordinances and Resolution. No Village Board action is necessary regarding GAC Review, which was approved by the PC/ZBA by a vote of 4-1.

ec: Richard McMahon, Casey's Retail Company

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Tom Farace, Planning & Economic Development Manager

**THROUGH:** Donald T. Bastian, Community Development Director 

**DATE:** March 28, 2023

**RE:** **Agenda Item for the Village Board Meeting of April 3, 2023**  
**PC/ZBA Case 22-0056, SBA Monarch Towers III, LLC / T-Mobile – 877-901 E. Geneva Road, Height Variation for an Antenna Structure**

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Mr. Mark Iacopetti, with SBA Monarch Towers III, LLC, requests approval of a variation to increase the height of an antenna structure from 55 feet to 100 feet. In November 2010, the Village Board approved a variation to increase the height of a telecommunications tower in the rear of Geneva Plaza, from the allowable height of 55 feet to 100 feet. The tower is considered a “stealth” design, where antenna panels are located inside the tower and are not visible. T-Mobile, the carrier with antenna panels within the tower, proposes to replace existing antenna panels with new panels, and requests a modification to the top portion of the tower in order to install the replacements. The existing tower is currently 30 inches in diameter, and the top 40 feet of the tower will be widened to 60 inches in diameter to accommodate the larger/wider antenna panels. The stealth design will be maintained, with the proposed top canister to match the rest of the tower in terms of color, style, and materials. It should also be noted that the height of the tower will remain at 100 feet, and the only proposed change is the widening of the top 40-feet of the stealth tower. Finally, equipment cabinets associated with the antennas will still be housed in the existing masonry equipment enclosure, located at the base of the tower.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on March 24, 2023. At its meeting on March 27, 2023, by a vote of 5-0, the PC/ZBA recommended approval of the Height Variation, subject to the conditions in the March 27, 2023 staff report.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Height Variation for an Antenna Structure for SBA Monarch Towers III, LLC, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

ec: Mark Iacopetti, SBA Monarch Towers III, LLC

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Robert Mellor, Village Manager

**FROM:** Bravo Berisha, Assistant Planner *BB*

**THROUGH:** Donald T. Bastian, Community Development Director *DB*

**DATE:** March 29, 2023

**RE:** **Agenda Item for the Village Board Meeting of April 3, 2023  
PC/ZBA Case 23-0002, New Asian Spa – 383 N. Gary Avenue, Special Use Permit for  
a Massage Establishment**

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Mr. Lionel Hu, on behalf of New Asian Spa, requests approval of a Special Use Permit for a Massage Establishment at 383 N. Gary Avenue.

As the Board is aware, in 2018 the Village created a massage establishment licensing program to develop more effective regulations for massage businesses due to recurring issues with illegal activities. The program included the adoption of Section 10-13 (Massage Establishments) of the Code of Ordinances, which created licensing procedures and operational regulations for massage establishments. At the PC/ZBA meeting on September 13, 2021 an amendment to the UDO requiring massage establishments to obtain special use approval was reviewed and subsequently approved by the Village Board on September 20, 2021. The tenant space at 383 N. Gary Avenue was previously occupied by Luna Spa, a massage establishment that closed in December 2021 after the Village revoked its license for failure to operate in accordance with the Massage Business Establishment regulations. New Asian Spa proposes to use the location for legitimate therapeutic massage purposes. No interior remodeling is proposed. The floor plan includes a waiting area and three massage rooms. The hours of operation will be 11 am to 9 pm, seven days a week.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on March 24, 2023. At its meeting on March 27, 2023, by a vote of 5-0, the PC/ZBA recommended approval of the Special Use Permit for a Massage Establishment, subject to the conditions in the March 27, 2023 staff report.


If the Village Board concurs with the PC/ZBA recommendation, they should approve the Special Use Permit for a Massage Establishment for New Asian Spa, subject to the conditions contained within the Ordinance, and adopt the necessary Ordinance.

ec: Lionel Hu, New Asian Spa (Via Email)



*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Philip J. Modaff, Director of Public Works 

DATE: March 23, 2023

RE: Recommendation to Approve a Contract Extension – H&H Electric – Emergency Street Light Repair Services

In May 2020, the Village Board awarded a publicly bid contract to H&H Electric for Emergency Street Light Repair services. Typically, the contractor is utilized to install a new pole following a traffic accident that damaged or knocked down a pole<sup>1</sup>. The original contract included an option for three, one-year extensions at the Village's discretion.

Over the past year, H&H Electric has met contract performance requirements in a satisfactory manner. The bid submitted by H&H Electric in 2020 (copy attached) indicated that pricing extension for the period May 1, 2023, through April 30, 2024, would not increase more than seven percent (7%). The staff has contacted H&H Electric and they will accept the extension with the 7% increase included in their original bid. This would be the last of the three optional extensions included in the bid.

Therefore, staff recommends awarding an extension of the contract with H&H Electric for Emergency Street Light Repairs Services with a 7% price increase for the period May 1, 2023, through April 30, 2024, pursuant to the provisions of section 5-8-3(B) and subsection 5-8-14(N) of the Village Code of Ordinances.

Attachments

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<sup>1</sup> When an offender is identified, the Village is typically successful in recovering costs through insurance or the court process.



**REVISED BID FORM (page 1 of 2)**

The bidder in submitting this bid hereby agrees to comply with all provisions and requirements of the specifications and contract documents attached hereto. The undersigned ("Contractor") agrees to furnish to the Village of Carol Stream, an Illinois Municipal Corporation hereinafter referred to as the "Village", **Emergency Streetlight Repair Services** for the period June 1, 2020 through April 30, 2021, at the rates as proposed below:

**Item #1: LUMP SUM COST for Replacement of Concrete Poles:**

\$ 1,450.80

Includes removal and disposal of existing pole footings and/or foundations (if required as determined by the Director of Public Works or his designee) and installation of the following materials to be provided by the Village of Carol Stream: new Helix base or footings/foundations a minimum of 2.5-feet below established grade, new aluminum pole and light fixture. All other required materials (for example wiring and fuses) will be incidental to the replacement cost).

**Item #2: LUMP SUM COST for Replacement of Aluminum Poles:**

\$ 1,994.90

Includes reset the existing Helix foundation (if required as determined by the Director of Public Works or his designee) and installation of the following materials to be provided by the Village of Carol Stream: new aluminum pole and new light fixture. All other required materials (for example wiring and fuses) will be incidental to the replacement cost).

**GRAND TOTAL (total of Items 1 and 2):**

\$ 3,445.70

SEE NEXT PAGE FOR PAGE 2 OF 2 OF REVISED BID FORM

**REVISED BID FORM (page 2 of 2)**

Lump sum cost for services listed for 2020/2021-contract period will not increase more than 7 % for the 2020/2021-contract period. At its sole discretion, the Village of Carol Stream may extend the contract for a one-year term beginning on May 1, 2021 and concluding April 30, 2022.

Lump sum cost for services listed for 2021/2022-contract period will not increase more than 7 % for the 2021/2022-contract period. At its sole discretion, the Village of Carol Stream may extend the contract for a one-year term from May 1, 2022 and concluding April 30, 2023.

Lump sum for services listed for 2022/2023-contract period will not increase more than 7 % for the 2022/2023-contract period. At its sole discretion, the Village of Carol Stream may extend the contract for a one-year term from May 1, 2023 and concluding April 30, 2024.

Name of Contractor: H&H Electric Co

Address: 2830 Commerce Street

Franklin Park, Illinois 80131

Telephone No: 708-453-2222

Date: 05/11/2020

Contact Person: Louie Veneziano

Date: 05/11/2020

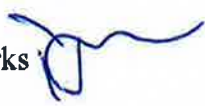
Authorized Signature: 

Title: President

**BIDS MUST BE RECEIVED IN THE PUBLIC WORKS  
DEPARTMENT – 124 Gerzevske Lane, Carol Stream, IL –  
NO LATER THAN 9:00 AM, on Thursday, May 14, 2020**

*Village of Carol Stream*  
Interdepartmental Memo

TO: Robert Mellor, Village Manager

FROM: Philip J. Modaff, Director of Public Works 

DATE: March 23, 2023

RE: Recommendation to Award a Contract for Tree Purchase and Planting Services –  
The Fields on Caton Farm, Inc.

The FY23 budget includes \$50,000 to plant parkway trees before the end of the current fiscal year. Public Works solicited bids and received six responses, which were publicly opened and read aloud on Tuesday, March 21, 2023:

<u>COMPANY NAME</u>	<u>TOTAL BID</u>
The Fields on Caton Farm, Inc.	\$34,643
St. Aubin Nursery	\$35,610 <sup>1</sup>
Yellowstone Landscape	\$38,978
Apex Landscaping	\$66,789.60
Elevations Landscaping	\$74,942
Prime Landscaping	\$94,032

The low bidder was The Fields on Caton Farm Road, located in Crest Hill, IL, with a unit price (tree and planting) of \$343 per tree, for a total contract cost of \$34,643. The Fields on Caton Farm will be providing trees grown in their own nursery. We have no recent experience working with this firm, but they have provided parkway tree-planting services for other municipalities including Naperville, Schaumburg and Joliet. Reference checks of other municipal customers were outstanding.

Staff recommends that the Village Board approve a Motion awarding a contract to The Fields on Caton Farm, Inc., in the amount of \$34,643.00 for tree purchase and planting services.

#### Attachments

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<sup>1</sup> The bid form from this bidder was filled out incorrectly, but the contractor later provided clarification confirming this total amount.

**VILLAGE OF CAROL STREAM**  
**BID FORM**  
**TREE PLANTING SERVICES SPECIFICATIONS**

The Contractor in submitting this bid hereby agrees to comply with all provisions and requirements of the specifications and contract documents attached hereto. The undersigned ("Contractor") agrees to furnish to the Village of Carol Stream, an Illinois Municipal Corporation hereinafter referred to as the "Village", **Tree Planting Services** for the 2023 Tree Planting Program

Price for Planting Services (per tree) \$ 343.00

Total for Tree Planting (101 trees) \$ 34,643.00

**ADDITIONAL WORK (Village Option)**

Prior to award of the bid the Village may determine That additional trees are required. Please provide a price for trees exceeding 101 \$ 343.00

Company: The Fields on Caton Farm, Inc.

Address: Mailing Address - 2412 Hacker Drive Crest Hill, IL 60403

Physical Address - 1850 Caton Farm Road Crest Hill, IL 60403

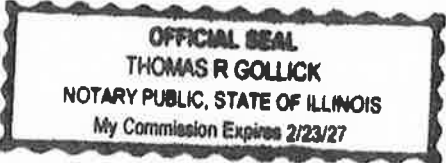
Telephone No. 815-744-7841 Fax No. N/A

Signature: *R. L.*

Name and Title: (Please Print) Brian Neumann - President Date: 03/20/2023

Subscribed and sworn before me this 21 day of MARCH, 2023

MY COMMISSION EXPIRES: 2/23/27



*Thomas R Gollick*

NOTARY PUBLIC

**SEALED BID IS DUE**  
**Tuesday, March 21, 2023**  
**10:00 am**

**REFERENCES**  
**MUST BE COMPLETED AND RETURNED WITH BID FORM**

The Bidder must list three (3) municipal references for which the Bidder has supplied services in the last twenty-four (24) months that are similar to the specifications contained herein. References may only be provided for work performed by the firm submitting the bid. Failure to use the form supplied, or failure to supply all of the information requested, may be grounds for rejecting the bid.

Municipality Name City of Naperville

Municipality Address 180 Fort Hill Drive Naperville, IL - Dept. of Public Works

Contact Name and Phone Patti Girard - Project Manager 630-548-2982

Work Performed Suppy and Installation of Parkway Trees 1500 per Year

Work Period Previous 2017-2021 Current 2022-2025

Municipality Name Village of Schaumburg

Company Address 714 S. Plum Grove Road, Schaumburg, IL 60193 Dept. of Public Works

Contact Name and Phone Justin Briski 847-923-6608

Work Performed Supply and Installation of 6000 Parkway Trees

Work Period Previous 2017-2022 Current 2023-2026

Municipality Name City of Joliet

Company Address 1203 Cedarwood Drive Joliet, IL 60435 Dept.of Public Works

Contact Name and Phone Jim Teiber -City Forester 815-724-3650

Work Performed Supply and Installation of Parkway Trees 1000 per year

Work Period Current 2014-2024

**CONTRACTOR QUESTIONNAIRE**  
**MUST BE COMPLETED AND RETURNED WITH BID FORM**

**FIRM NAME:** The Fields on Caton Farm, Inc.

**Corporation**     **Partnership**     **Sole Proprietor**     **LLC**

**OWNER'S NAME:** Brian Neumann    **PHONE #** 630-742-9401

**OWNER'S NAME:** \_\_\_\_\_ **PHONE#** \_\_\_\_\_

**BUSINESS ADDRESS:** 2412 Hacker Drive Crest Hill, IL 60403

**YEARS IN BUSINESS** (under this company name)    30

**BANK NAME:** PeopleFirst Bank

**BANK ADDRESS:** 1226 W. Jefferson Street Shorewood, IL

**BONDING COMPANY NAME:** Selective Insurance Company of America


**COMPANY ADDRESS:** 40 Wantage Ave., New Jersey 07890

**BONDING POWER:** \$650,000.00 per Project

**CERTIFICATE OF ELIGIBILITY TO CONTRACT**  
**MUST BE COMPLETED AND RETURNED WITH BID FORM**

The Fields on Caton Farm, Inc. (Contractor), pursuant to Section 33E-11 of the Illinois Criminal Code of 1961 as amended, hereby certifies that neither (he, she, it) nor any of (his, her, its) partners, officers, or owners of (his, her, its) business has been convicted in the past five (5) years of the offense of bid-rigging under section 33E-3 of the Illinois Criminal Code of 1961 as amended; that neither (he, she, it) nor any of (his, her, its) partners, officers or owners has ever been convicted of the offense of bid-rotating under section 33E-4 of the Illinois Criminal Code of 1961 as amended; and that neither (he, she, it) nor any of (his, her, its) partners, officers or owners has ever been convicted of bribing or attempting to bribe an officer or an employee of the State of Illinois, or has made an admission of guilt of such conduct which is a matter of record.

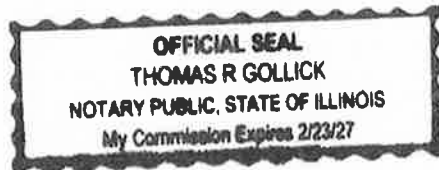
Date: 3/21/2023

  
\_\_\_\_\_  
Contractor

SUBSCRIBED and SWORN TO before me  
this 21 day of MARCH, 2023.



NOTARY PUBLIC



**VILLAGE OF CAROL STREAM  
GOVERNMENTAL COMPLIANCE CERTIFICATIONS  
MUST BE COMPLETED AND RETURNED WITH BID FORM**

I, Brian Neumann (name), certify that I am employed as the President (title) of The Fields on Caton Farm, Inc. (company), a contractor/subcontractor for the work described in the Agreement to which this certificate is attached, and I hereby certify that I am authorized to make this certificate and that I have personal knowledge of the matters certified to herein, and that following certifications are true and correct:

1. Certification under 720 ILCS 5/33E-11

The Company is not barred from contracting with any unit of state or local government as a result of a violation of either Section 33E-3 or 33E-4 of Article 33E of the Illinois Criminal Code of 1961 or any similar offense of any State of the United States which contains the same elements as the Illinois offenses of bid-rigging or bid rotating.

2. Payments to Illinois Department of Revenue

The Company is not delinquent in payment of any taxes to Illinois Department of Revenue – 65 ILCS 5/11-42.1

3. Substance Abuse Prevention on Public Works

The Company has in place a written program which meets or exceeds the program requirements of the Substance Abuse Prevention on Public Works Projects Act (Public Act 95-0635), and will provide a copy thereof to the Village of Carol Stream prior to commencement of the work on the Project.

4. Illinois Public Works Employment Discrimination Act

The Contract shall be performed in compliance with all requirements of the Illinois Public Works Employment Discrimination Act, 775 ILCS 10/0.01

5. Certified Payroll – Prevailing Wage Act - 820 ILCS 130/5

The Company shall pay not less than the prevailing hourly rate of wages, and the generally prevailing rate of hourly wages for legal holiday and overtime work, as determined by the Illinois Department of Labor and the Village of Carol Stream to all laborers, workers, and mechanics performing work under this Contract. All bonds provided by the Company under the terms of this contract shall include such provisions as will guarantee the faithful performance of the Company's obligations under this clause and under the Prevailing Wage Act, 820 ILCS 130/1 et. seq. Should the Department of Labor revise any prevailing rate of hourly wages, such revised rate shall be applicable to this Contract; however, in no event shall the increase in any prevailing rate of hourly wages be a basis for a change order or other claim for an increase in the Contract Sum. The Company and each of its subcontractors participating on the Project shall make and keep those records required under Section 5 of the Prevailing Wage Act. The Company and any of its subcontractors shall submit a monthly certified payroll statement to verify the payment of prevailing wages as required under the Prevailing Wage Act.



6. Non-Discrimination: EEOC

The Company is an "equal opportunity employer" as defined by Section 2002(e) of Chapter 21, Title 42, U.S. Code Annotated and Executive Orders #11246 and #11375 (42 U.S.C., Section 2002(e)); Executive Order No. 11246, 30 F.R. 12319 (1965); Executive Order No. 11375, 32 F.R. 14303 (1967) which are incorporated herein by reference. The Equal Opportunity Clause, Section 6.1 of the Rules and Regulations of the Department of Human Rights of the State of Illinois is a material part of any contract awarded on the basis of this proposal. The Company shall not discriminate on the basis of race, color, sex, national origin, religion, ancestry, age, marital status, physical or mental handicap or unfavorable discharge for military service.

7. Human Rights Act

The Company shall perform the Contract in compliance with all requirements of the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq., and that the Company and its subcontractors shall not engage in any prohibited form of discrimination in employment as defined in the Act. The Company shall maintain, and require that its subcontractors maintain, policies of equal employment opportunity which shall prohibit discrimination against any employee or applicant for employment on the basis of race, religion, color, sex, national origin, ancestry, citizenship status, age, marital status, physical or mental disability unrelated to the individual's ability to perform the essential functions of the job, association with a person with a disability, or unfavorable discharge from military service. The Company and all subcontractors shall place appropriate statements identifying their companies as equal opportunity employers in all advertisements for workers to be employed in work to be performed under this contract.

8. Sexual Harassment Policy

Pursuant to Section 2-105 (A)(4) of the Illinois Human Rights Act, the Company and each subcontractor has adopted and maintains written sexual harassment policies that shall include, at a minimum, the following information:

- (1) the illegality of sexual harassment;
- (2) the definition of sexual harassment under State law;
- (3) a description of sexual harassment, utilizing examples;
- (4) the Company's/subcontractor's internal complaint process, including penalties;
- (5) the legal recourse, investigative and complaint process available through the Department and Commission;
- (6) directions on how to contact the Department and the Commission; and
- (7) protection against retaliation as provided by Section 6-101 of the Illinois Human Rights Act.

A copy of these policies shall be provided to the Owner or Consultant on request.

9. Drug Free Workplace Act [Only applicable to projects with State Funding]

The Company shall comply with all provisions of the Drug Free Workplace Act, 30 ILCS 850/1 et seq.

10. Compliance with Governmental Regulations

The Company and any subcontractors shall comply with and perform all Work required under the Bid Documents and Specifications in conformance with all applicable federal, state and local laws, regulations and/or ordinances.

The Fields on Caton Farm, Inc.

Firm Name

Brian Neumann - President

By:

Name/Title

*B. Neumann*

Signature

SUBSCRIBED AND SWORN to before

me this 21 day MARCH, 2023.

*Thomas R Gollick*

Notary Public



*Village of Carol Stream*  
Interdepartmental Memorandum

**DATE:** March 28, 2023  
**TO:** Robert Mellor, Village Manager  
**FROM:** Jon Batek, Finance Director  
**SUBJECT:** **Budget Amendment Ordinance – FY23**

Attached for Village Board consideration is a budget amendment ordinance for our current year FY23 that will conclude on April 30, 2023.

During the year there were a few instances where total expenditures have exceeded the previously approved FY23 budget that give rise to the proposed amendments.

**Equipment Replacement Fund**

Due to the extended period of shortages in locating scheduled replacement vehicles as well as prolonged delays in receiving orders authorized and budgeted in the prior fiscal year 2021/22, a number of budget amendments are needed to allocate funding for these purchases which were previously authorized and approved by the Village Board.

**Federal and State Seizure Funds**

The Police Department periodically makes purchases from Federal and State seizure funds, which are required to be kept separate from general Police operating expenditures which are programmed in the General Fund. These are intended to supplement general operating funds and must be spent on specified law enforcement purposes as directed by the particular Federal or State agency from which the seized funds originate.

If you find these proposed amendments to be in order, I would recommend this item be placed on the April 3<sup>rd</sup> Village Board agenda for consideration.

Ordinance No. \_\_\_\_\_

**An Ordinance Authorizing the Amendment of  
the Annual Budget of the Village of Carol Stream  
for the Fiscal Year Ending April 30, 2023**

**Whereas**, the Board of Trustees of the Village of Carol Stream on April 18, 2022 adopted the annual budget for the Village of Carol Stream for Fiscal Year 2022/23, beginning May 1, 2022 and ending April 30, 2023; and

**Whereas**, certain expenses have been incurred which were not previously identified or included within the adopted FY22/23 annual budget; and

**Whereas**, cash reserve balances or budgeted but unspent amounts in other accounts are available to cover certain expenses which were incurred and not previously budgeted; and

**Whereas**, the Village Board is authorized to modify the adopted budget through amendment or transfer between accounts as deemed necessary;

**Now, Therefore, be it Ordained** by the Mayor and the Board of Trustees of the Village of Carol Stream, DuPage County, Illinois, in the exercise of its home rule powers, as follows:

**Section 1:** The budget for the fiscal year ending April 30, 2023, is hereby amended to provide funds for unanticipated and unbudgeted expenses in the manner identified in Attachment A to this ordinance.

**Section 2:** This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

**Passed** by the Mayor and Board of Trustees of the Village of Carol Stream, Illinois, this

\_\_\_\_\_ day of \_\_\_\_\_, 2023.

**Ayes:**

**Nays**

**Absent**

**Approved** by the Mayor of the Village of Carol Stream, Illinois, this \_\_\_\_\_ day  
of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Mayor of the Village of  
Carol Stream, Illinois

**Attest:**

\_\_\_\_\_  
Village Clerk of the Village of  
Carol Stream, Illinois

(Published in pamphlet form and posted on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.)

**Attachment A**

Village of Carol Stream  
Fiscal Year 2022/23 Annual Budget  
May 1, 2022 to April 30, 2023

<u>Account</u>	<u>Description</u>	<u>Amount</u>	<u>Reason</u>
<b><u>Budget Amendments</u></b>			
<b>EQUIPMENT REPLACEMENT FUND</b>			
10200000-54415	Vehicles	\$100,000	Advance purchase of planned replacement vehicles during national supply shortage.
10670000-54415	Vehicles	425,000	
<b>FEDERAL ASSET SEIZURE FUND</b>			
03395000-52223	Training	\$500	Various supplemental law enforcement expenditures from Department of Justice seized funds.
03395000-52255	Software Maintenance	6,000	
03395000-52315	Canine Services	3,000	
03395000-53317	Operating Supplies	5,000	
03395000-53325	Community Relations	5,000	
03395000-53350	Small Equipment	7,500	
<b>STATE ASSET SEIZURE FUND</b>			
02385200-52230	Telephone	\$500	Various supplemental law enforcement expenditures from State of Illinois seized funds.
02385200-52255	Software	3,000	
02385200-53317	Operating Supplies	8,000	
02385200-53325	Community Relations	2,500	
02385200-53350	Small Equipment	22,000	
02385200-54415	Vehicles	52,000	
02385300-53317	Operating Supplies	1,000	
02385400-53350	Small Equipment	3,000	

ORDINANCE NO. 2023-\_\_\_\_-\_\_\_\_

**AN ORDINANCE AMENDING CHAPTER 16 – UNIFIED DEVELOPMENT ORDINANCE OF THE CODE OF ORDINANCES OF THE VILLAGE OF CAROL STREAM (FUEL SALES AS A SPECIAL USE IN THE B-1 DISTRICT)**

**BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, as follows:**

**SECTION 1:** That Chapter 16, Article 3, Section 11, Table 16-3-11 (E) – Auto Oriented Businesses, of the Carol Stream Unified Development Ordinance, is hereby amended as follows:

**Table 16-3-11(E): Permitted and Special Uses**

Table 16-3-11(E): Permitted and Special Uses										
Proposed Use	Additional Regulations	R-1	R-2	R-3	R-4	B-1	B-2	B-3	O-S	I
<i>Auto Oriented Businesses</i>										
<i>Autobody Repair, all vehicles</i>								S		S
<i>Fuel Sales</i>						S		S		
<i>Repair and Service</i>								S		S
<i>Car Wash</i>								S		S
<i>Automobile and Commercial Vehicle Fueling Plaza</i>								S		
<i>Vehicle Sales and Rental</i>	§ 16-4-13							P		S
<i>Outdoor Vehicle Storage</i>	§ 16-4-18							S		S

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023.

AYES:

NAYS:

ABSENT:

---

Frank Saverino, Sr. Mayor

ATTEST:

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Julia Schwarze, Village Clerk



**AN ORDINANCE APPROVING AN AMENDMENT TO A SPECIAL USE PERMIT FOR A PLANNED DEVELOPMENT, AND A SPECIAL USE PERMIT FOR FUEL SALES (CASEY'S RETAIL COMPANY, 1025 N. GARY AVENUE)**

**WHEREAS**, Richard McMahon, with Casey's Retail Company, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for an Amendment to a Special Use Permit for a Planned Development, as provided in Section 16-7-6 of the Unified Development Ordinance; and a Special Use Permit for Fuel Sales, as provided in Section 16-3-11 of the Unified Development Ordinance, on the property legally described in Section 2 herein and commonly known as 1025 N. Gary Avenue, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-8-4 (L) of the Unified Development Ordinance, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on March 27, 2023, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Amendment and Special Use Permit be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Amendment and Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Amendment and Special Use Permit, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Amendment and Special Use Permit:

1. Is deemed necessary for the public convenience at the location. *The fuel station and convenience store will provide services to the community, and will be considered a public convenience at the subject location.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *Overall, the proposed development will enhance storm water and drainage management facilities and has been designed to allow for safe traffic patterns in and out of the site.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The proposed development will not have negative impacts on surrounding properties, as it has been designed with safe and*

*efficient traffic flow. In addition, a new commercial development should enhance values for surrounding properties.*

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *It is not believed that the proposed facility should have an impact on the normal and orderly development and improvement of surrounding properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are either in place or will be designed and constructed in accordance with State and Village regulations.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The project is expected to conform to all applicable codes and requirements.*

**SECTION 2:**

The Special Use Amendment and Special Use Permit, as set forth in the above recitals, are hereby approved and granted to Casey's Retail Company, subject to the conditions set forth in Section 3, upon the real estate commonly known as 1025 N. Gary Avenue, Carol Stream, Illinois, and legally described as follows:

LOTS 1, 2, 4, AND 3 (EXCEPT PART OF LOT 3 CONVEYED TO COUNTY OF DUPAGE BY DEED DOCUMENT R2013-131314) OF TALLGRASS TOWN SQUARE ACCORDING TO THE PLAT THEREOF RECORDED JULY 18, 2008 DOCUMENT R2008-113471, BEING A SUBDIVISION OF PART OF THE SOUTHEAST ¼ SECTION OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Amendment and Special Use Permit granted in Section 1 and are subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;

3. That the applicant shall work with the Community Development Department to provide an updated landscape plan which incorporates all required plant material within the east transition area of the property, either within the transition area or within other parts of the site, prior to the issuance of a building permit;
4. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c) of the UDO;
5. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
6. That parking lot lighting which meets requirements of the UDO shall be required;
7. That the applicant must obtain the required sign permit prior to the installation of any new signage;
8. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO;
9. That the fuel tank vent piping shall be routed through the roof of the fuel pump canopy, as depicted on the submitted drawings;
10. That no additional products other than the proposed packaged ice cabinet, firewood racks, and propane tank cabinet shall be displayed outside, and may only be displayed at the locations shown on the PD Plan; and
11. That the site must be maintained and operated in accordance with all State, County and Village codes and regulations.

**SECTION 4:**

The Special Use Amendment and Special Use Permit are hereby approved and granted as set forth in the following plans and exhibits:

1. Planned Development Plans (Exhibits A-1 and A-2, received by the Community Development Department February 16, 2023), prepared by Kimley-Horn, 4201 Winfield Road, Suite 600, Warrenville, IL 60555.

2. Grading Plan (Exhibit B, received by the Community Development Department February 16, 2023), prepared by Kimley-Horn, 4201 Winfield Road, Suite 600, Warrenville, IL 60555.
3. Utility Plan (Exhibit C, received by the Community Development Department February 16, 2023), prepared by Kimley-Horn, 4201 Winfield Road, Suite 600, Warrenville, IL 60555.
4. Landscape Plans (Exhibit D-1, D-2 and D-3, received by the Community Development Department February 16, 2023), prepared by Kimley-Horn, 4201 Winfield Road, Suite 600, Warrenville, IL 60555.
5. Truck Turn Exhibits (Exhibit E-1 and E-2, received by the Community Development Department February 16, 2023), prepared by Kimley-Horn, 4201 Winfield Road, Suite 600, Warrenville, IL 60555.
6. Building Elevations (Exhibit F-1, F-2, F-3 and F-4, received by the Community Development Department February 16, 2023), prepared by CESO, 3601 Rigby Road, Suite 300, Miamisburg, OH 45342.
7. Sign Packet (Exhibits G-1 through G-7, received by the Community Development Department February 16, 2023), prepared by Casey's, 3305 SE Delaware Avenue, Ankeny, IA 50021.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023.

AYES:

NAYS:

ABSENT:

---

Frank Saverino, Sr. Mayor

ATTEST:

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Julia Schwarze, Village Clerk

I, Richard McMahon, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permit. Prestige Donuts, Inc. further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

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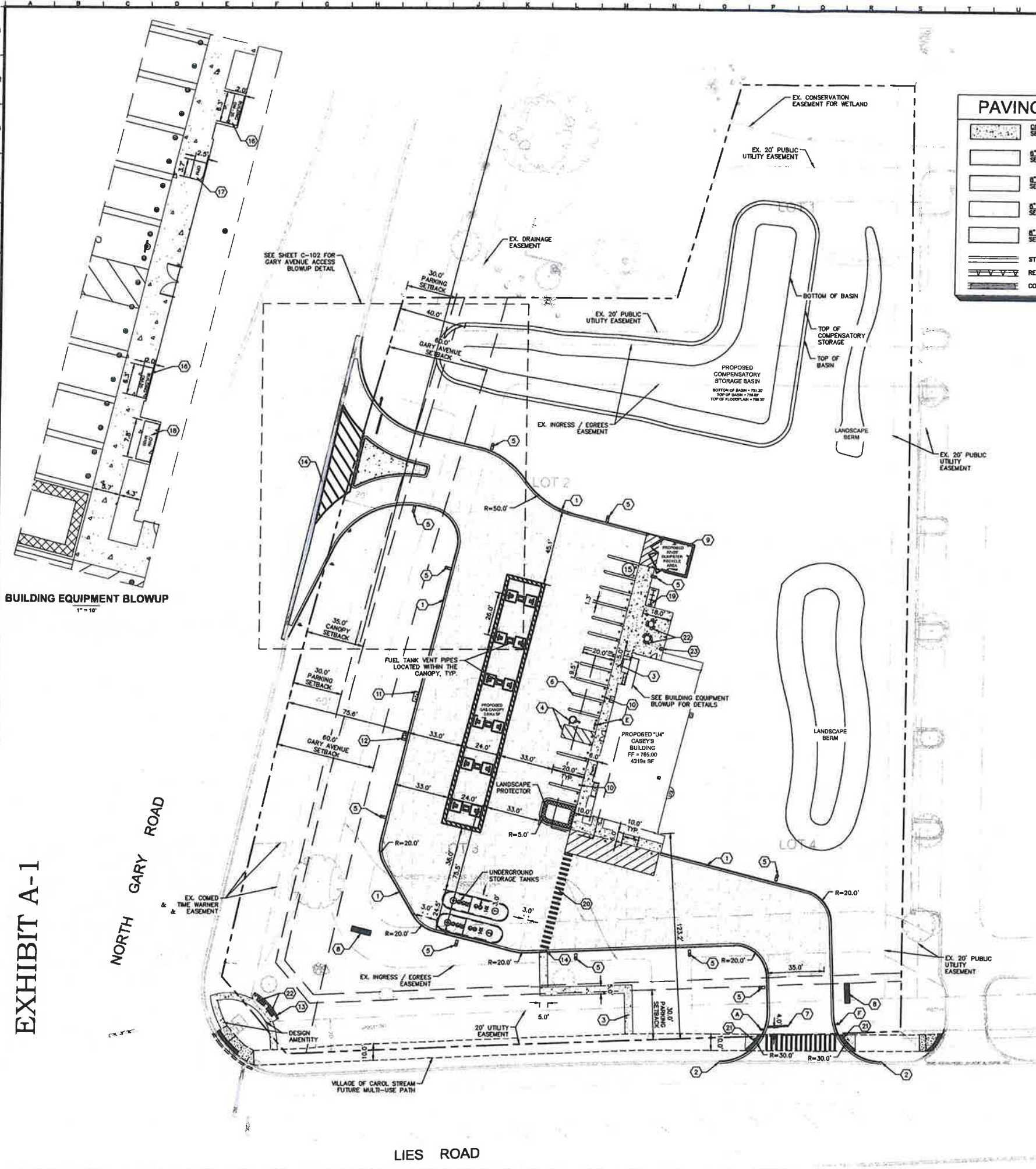
Date

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Owner/Party In Interest

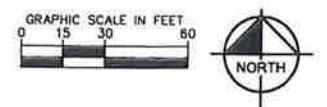


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 By: J. Spence  
 This sheet is a final plan for which it was prepared. Revisions of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**BUILDING EQUIPMENT BLOWUP**  
1" = 16'

**EXHIBIT A-1**



**PAVING AND CURB LEGEND**

	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	6" CONCRETE PAVEMENT (STANDARD) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	8" CONCRETE PAVEMENT W/6"x6" MESH (APPROACH) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	8" CONCRETE PAVEMENT (HEAVY-DUTY) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	8" REINFORCED CONCRETE PAVEMENT FOR UNDERGROUND TANKS SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD PITCH CONCRETE CURB AND GUTTER
	REVERSE PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

**KEY NOTES**

- 1 66.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 3 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 4 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 5 LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
- 6 PAINTED PARKING SOLID LINE, TYP. (SEE VILLAGE OF CAROL STREAM DETAIL)
- 7 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- 8 MONUMENT OR PYLON SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 9 TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 10 BOLLARD, TYP. (SEE DETAILS)
- 11 EMERGENCY SHUT-OFF SWITCH
- 12 AIR COMPRESSOR BOX
- 13 SITE RETAINING WALL (SEE DETAILS)
- 14 DEPRESSED CURB
- 15 ADA RAMP
- 16 FIREWOOD RACK (SEE AQ-101 FOR DETAILS)
- 17 PROPANE TANK CABINET (SEE AQ-101 FOR DETAILS)
- 18 PACKAGED ICE CABINET (SEE AQ-101 FOR DETAILS)
- 19 BIKE RACK (TO BE PROCURED AND INSTALLED BY CONTRACTOR, EQUIVALENT TO MODEL 543-1002 HEAVY DUTY STANDARD WAVE STYLE, BLACK IN COLOR, AND SURFACE MOUNTED)
- 20 CROSSWALK STRIPING (SEE DETAILS)
- 21 DETECTABLE WARNINGS
- 22 AMENITY BENCHES / SEATING
- 23 TRASH RECEPTACLES

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FEB 18 2023  
COMMUNITY DEVELOPMENT  
DEPT

**SIGNAGE LEGEND**

A R1-1 30" X 30"	B R3-SR 24" X 30"	C R5-1 30" X 30"	D R3-2 36" X 36"	E R7-B 9" X 18"	F R7-102 12" X 12"

**PARKING SUMMARY**

<b>PARKING SPACES REQUIRED:</b>	
FUEL SALES (1 / EMPLOYEE & 1 / ACCESSORY USE)	= 4
CONVENIENCE STORE (1 / 250 NFA)	= 18
TOTAL PARKING SPACES REQUIRED	= 22
<b>PARKING SPACES PROVIDED:</b>	
STANDARD PARKING SPACES PROVIDED	= 14 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 1 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 1 SPACES
FUEL PUMP PARKING SPACES PROVIDED	= 12 SPACES
TOTAL PARKING SPACES PROVIDED	= 27 SPACES

**SITE DATA SUMMARY**

<b>PROPOSED USE:</b>	CONVENIENCE STORE WITH FUEL SALES (SERVICE STATION)
<b>EXISTING ZONING:</b>	B-1
<b>REQUIRED ZONING:</b>	B-1
<b>PROPERTY AREA:</b>	4.14 ACRES
<b>BUILDING AREA:</b>	4,319± SF
<b>FLOOR AREA RATIO:</b>	0.04 (REQUIRED MAX = 0.80)
<b>BUILDING HEIGHT:</b>	C-STORE: 24.4'

**VILLAGE OF CAROL STREAM NOTES**

1. LANDSCAPE SCREENING SHALL BE ADDED AROUND ANY FUTURE GROUND MOUNTED MECHANICAL EQUIPMENT, SUBJECT TO REVIEW & APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR. SEE SHEET L-100 FOR PROPOSED LANDSCAPE SCREENING AT SOUTHEAST CORNER OF BUILDING.

**SETBACKS SUMMARY TABLE**

	FRONT YARD (GARY AVENUE)	FRONT YARD (LIES ROAD)
BUILDING SETBACK - REQUIRED	60 MIN / 100 MAX	60 MIN / 100 MAX
BUILDING SETBACK - PROVIDED	180	121
PARKING SETBACK - REQUIRED	30 MIN	30 MIN
PARKING SETBACK - PROVIDED	154	141

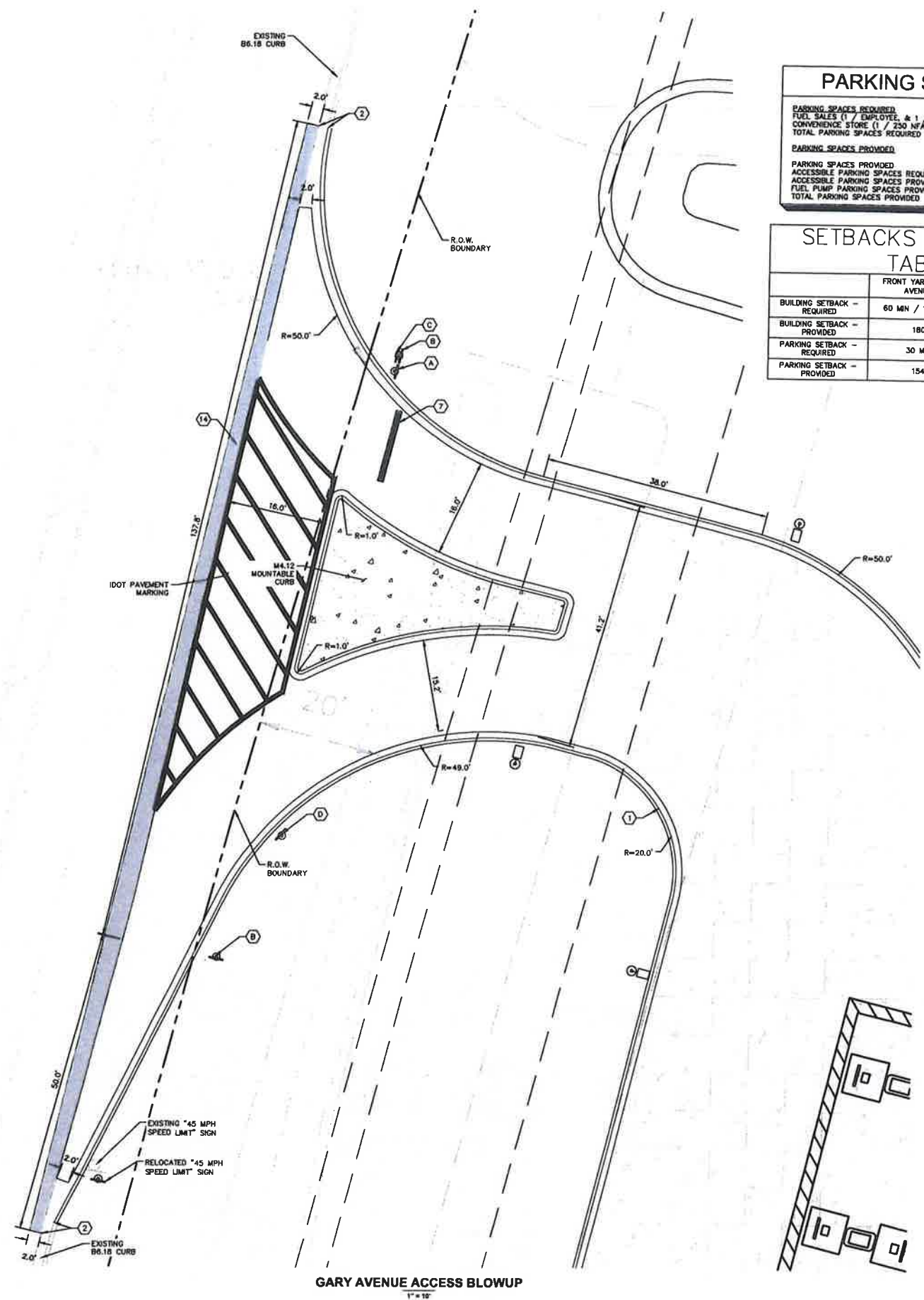
**LANDSCAPE ALLOWANCES TABLE**

	REQUIRED	PROPOSED
18-5-8 (B)(3): FOUNDATION LANDSCAPING	SEE SHEET L-102	SEE SHEET L-102
18-5-8 (B)(4)(b): TRANSITION AREA	SEE SHEET L-102	SEE SHEET L-102
18-9-8 (C)(1): REQUIRED R.O.W. LANDSCAPE AREAS	SEE SHEET L-102	SEE SHEET L-102
18-5-18 (D)(5): OAC AND NAC OVERLAY DISTRICTS	SEE SHEET L-102	SEE SHEET L-102

NO.	REVISIONS	DATE	BY				
<b>PLANNED DEVELOPMENT PLAN</b>				<b>CASEY'S CAROL STREAM</b>			
DESIGNED BY: INS DRAWN BY: INS CHECKED BY: EJT				NEC LIES ROAD & GARY AVENUE CAROL STREAM, IL 60188			
ORIGINAL ISSUE: 5/12/2022				KHA PROJECT NO. 168865026			
SHEET NUMBER <b>C-101</b>				REVISIONS 02/13/23 INS 12/13/22 INS			



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GARY AVENUE ACCESS BLOWUP  
1" = 10'

### PARKING SUMMARY

PARKING SPACES REQUIRED:	
FUEL SALES (1 / EMPLOYEE, & 1 / ACCESSORY USE)	= 4
CONVENIENCE STORE (1 / 250 NFA)	= 18
TOTAL PARKING SPACES REQUIRED	= 22
PARKING SPACES PROVIDED:	
	= 18 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 1 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 1 SPACES
FUEL PUMP PARKING SPACES PROVIDED	= 12 SPACES
TOTAL PARKING SPACES PROVIDED	= 31 SPACES

### SETBACKS SUMMARY TABLE

	FRONT YARD (GARY AVENUE)	FRONT YARD (LIES ROAD)
BUILDING SETBACK - REQUIRED	60 MIN / 100 MAX	60 MIN / 100 MAX
BUILDING SETBACK - PROVIDED	180	121
PARKING SETBACK - REQUIRED	30 MIN	30 MIN
PARKING SETBACK - PROVIDED	154	141

### PAVING AND CURB LEGEND

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	7" CONCRETE PAVEMENT (APPROACH) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	6" CONCRETE PAVEMENT (HEAVY-DUTY) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	6" REINFORCED CONCRETE PAVEMENT FOR UNDERGROUND TANKS SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD PITCH CONCRETE CURB AND GUTTER
	REVERSE PITCH CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER

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- ### KEY NOTES
- 1 B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
  - 2 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
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  - 5 LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
  - 6 PAINTED PARKING SOLID LINE, TYP. (SEE VILLAGE OF CAROL STREAM DETAIL)
  - 7 24" WIDE STOP BAR, TYP. (SEE DETAILS)
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  - 10 BOLLARD, TYP. (SEE DETAILS)
  - 11 EMERGENCY SHUT-OFF SWITCH
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  - 16 FIREWOOD RACK (SEE AQ-101 FOR DETAILS)
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  - 18 PACKAGED ICE CABINET (SEE AQ-101 FOR DETAILS)
  - 19 BIKE RACK (TO BE PROCURED AND INSTALLED BY CONTRACTOR, EQUIVALENT TO MODEL 543-1002 HEAVY DUTY STANDARD WAVE STYLE, BLACK IN COLOR, AND SURFACE MOUNTED)
  - 20 CROSSWALK STRIPING (SEE DETAILS)
  - 21 DETECTABLE WARNINGS
  - 22 AMENITY BENCHES / SEATING
  - 23 TRASH RECEPTACLES

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COMMUNITY DEVELOPMENT DEPT

### SIGNAGE LEGEND

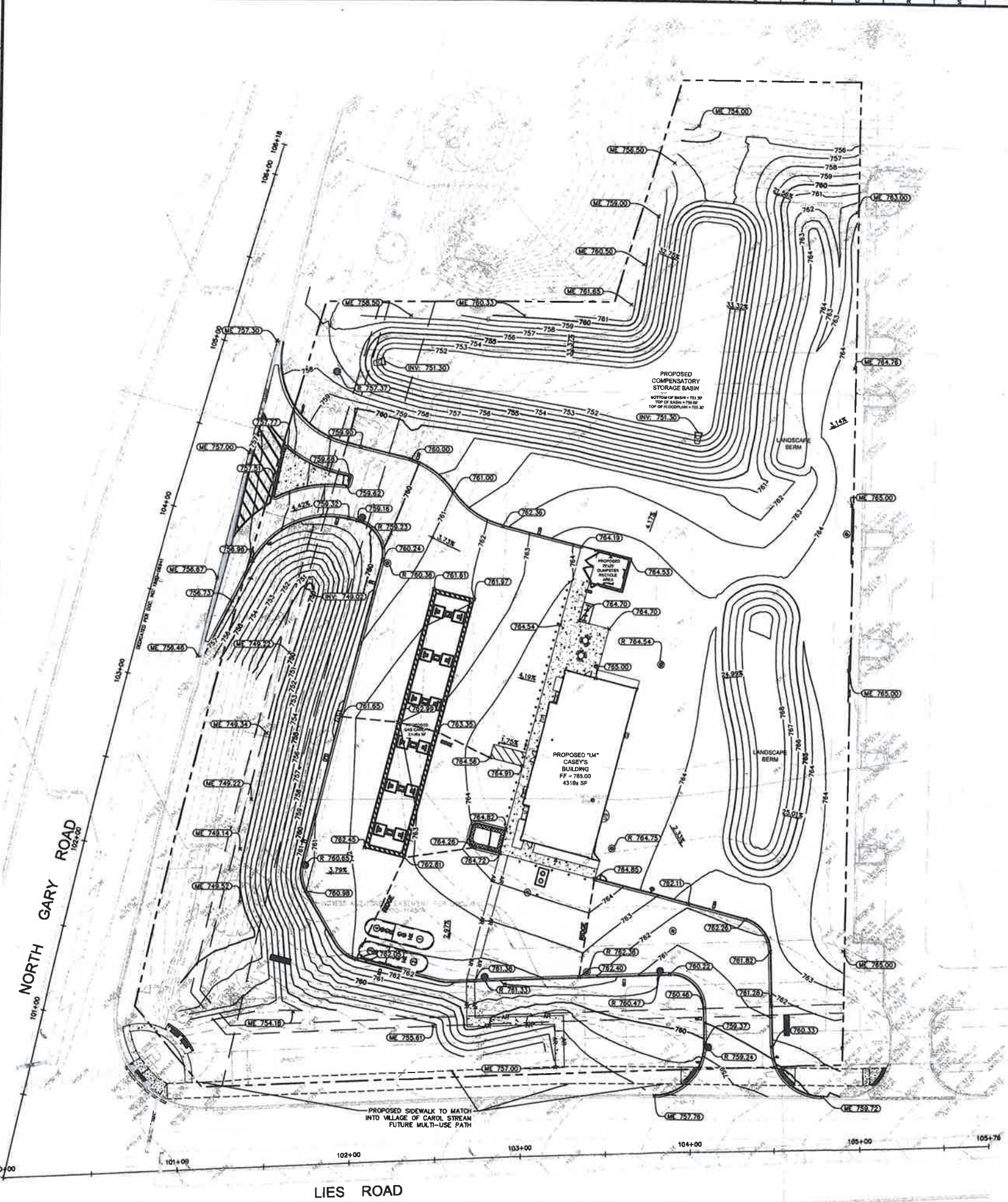
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EXHIBIT A-2

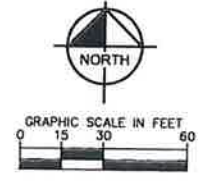
 <small>© 2022 KIMLEY-HORN AND ASSOCIATES, INC.        1100 N. WASHINGTON STREET, SUITE 600        MADISONVILLE, MISSISSIPPI 39323        PHONE: 601-487-5000        WWW.KIMLEY-HORN.COM</small>		<b>PLANNED DEVELOPMENT PLAN</b>	<b>CASEY'S CAROL STREAM</b> <small>NEC LIES ROAD &amp; GARY AVENUE        CAROL STREAM, IL 60188</small>
SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: EJT	REVISED PER VILLAGE COMMENTS & CLIENT 02/13/23 INS REVISED PER VILLAGE COMMENTS & CLIENT 12/13/22 INS REVISIONS:	ORIGINAL ISSUE: 5/12/2022 KHA PROJECT NO. 168865026 SHEET NUMBER	C-102



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 This drawing is a computer-generated drawing. It was prepared under the supervision of a Professional Engineer.   
 This document, together with the contract and design preliminary forms, is intended to be an instrument of service, in the event of a dispute,   
 its interpretation shall be governed by the laws of the State of Illinois.



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- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
  - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE APPROPRIATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
  - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
  - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
  - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
  - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.























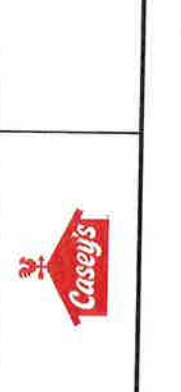
- ### GRADING LEGEND
- |   |  |
|---|--|
|    | TP = TOP OF PAVEMENT                                       |
|    | EP = EDGE OF PAVEMENT                                      |
|    | FL = FLOW LINE   |
|    | TC = TOP OF CURB   |
|    | ME = MATCH ELEVATION                                       |
|    | TF = TOP OF FOUNDATION                                     |
|    | R = RIM ELEVATION  |
|    | TW = TOP OF WALL   |
|    | FG = FINISHED GRADE  |
|    | TS = TOP OF STAIRS   |
|    | BS = BOTTOM OF STAIRS                                      |
|    | PROPOSED CONTOUR   |
|    | EXISTING CONTOUR   |
|    | RIDGE LINE   |
|  | SLOPE AND FLOW DIRECTION                                   |
|  | 100-YEAR OVERLAND OVERFLOW ROUTE                           |
|  | DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE |
|  | PROPOSED SWALE   |
|  | PROPOSED RETAINING WALL                                    |
|  | REVERSED PITCH CURB AND GUTTER                             |
|  | ACCESSIBLE ROUTE   |
|  | RIP RAP (SEE DETAILS)                                      |

EXHIBIT B

REVISED PER VILLAGE COMMENTS & CLIENT	DATE	BY

**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 4301 WHEELER ROAD, SUITE 400  
 HUNTSVILLE, AL 35894  
 PHONE: 256-883-2000  
 WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	INS
DRAWN BY:	INS
CHECKED BY:	EJT



## GRADING PLAN

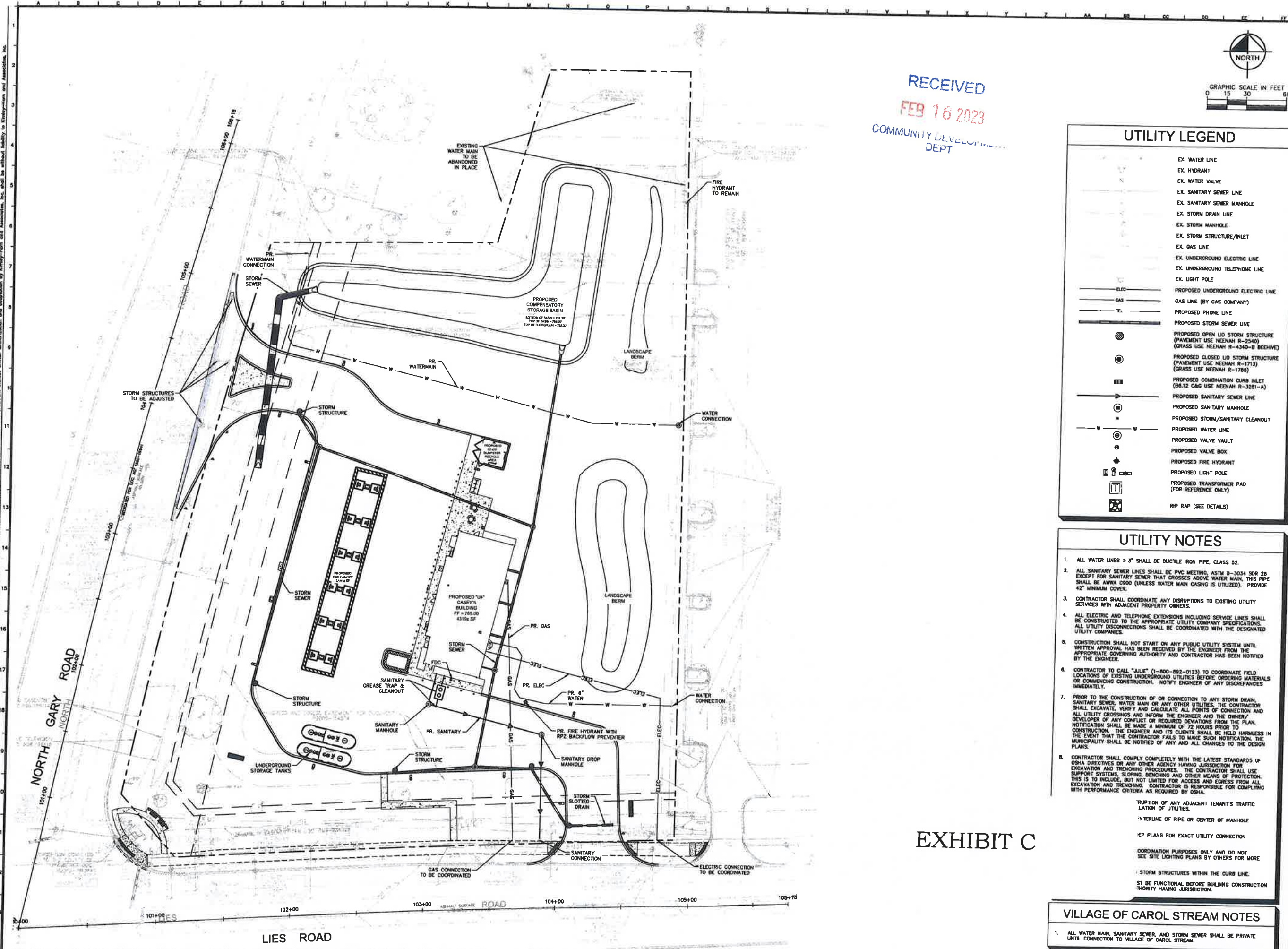
**CASEY'S**  
**CAROL STREAM**  
 NEC LIES ROAD & GARY AVENUE  
 CAROL STREAM, IL 60188

ORIGINAL ISSUE:  
 5/12/2022  
 KHA PROJECT NO.  
 168865026  
 SHEET NUMBER

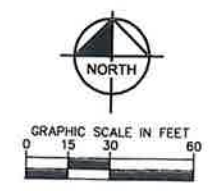
C-201



Drawing name: K:\CAROL\168865026\_Casey's\_Carol\_Stream\_113\_Design\CD\Utility\Utility\_Plan.dwg C-301 Feb 13, 2023 10:35am by: [unclear]  
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UTILITY LEGEND	
	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. STORM DRAIN LINE
	EX. STORM MANHOLE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. LIGHT POLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEEDHAM R-2540) (GRASS USE NEEDHAM R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEEDHAM R-1713) (GRASS USE NEEDHAM R-1768)
	PROPOSED COMBINATION CURB INLET (86.12 C&G USE NEEDHAM R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	RIP RAP (SEE DETAILS)

- ### UTILITY NOTES
- ALL WATER LINES = 3" SHALL BE DUCTILE IRON PIPE, CLASS 52.
  - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE ANNA ODDO (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTR. WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - CONTRACTOR TO CALL "ALUE" (1-800-882-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
    - DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC LATION OF UTILITIES.
    - INTERLINE OF PIPE OR CENTER OF MANHOLE
    - RIP PLANS FOR EXACT UTILITY CONNECTION
    - COORDINATION PURPOSES ONLY AND DO NOT SEE SITE LIGHTING PLANS BY OTHERS FOR MORE
    - STORM STRUCTURES WITHIN THE CURB LINE.
    - ST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION THORITY HAVING JURISDICTION.

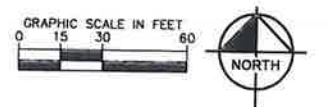
EXHIBIT C

**VILLAGE OF CAROL STREAM NOTES**  
 1. ALL WATER MAIN, SANITARY SEWER, AND STORM SEWER SHALL BE PRIVATE UNTIL CONNECTION TO VILLAGE OF CAROL STREAM.

 KIMLEY-HORN AND ASSOCIATES, INC. 2022 WHEATON AND ASSOCIATES, INC. 1000 WHEATON AVENUE, SUITE 600 WHEELING, ILLINOIS 60090 WWW.KIMLEY-HORN.COM													
SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: LIT	REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> <tr> <td>1</td> <td>02/13/23</td> <td>INS</td> <td>REVISED PER VILLAGE COMMENTS &amp; CLIENT</td> </tr> <tr> <td>2</td> <td>12/13/22</td> <td>INS</td> <td>REVISED PER VILLAGE COMMENTS &amp; CLIENT</td> </tr> </table>	NO.	DATE	BY	REVISIONS	1	02/13/23	INS	REVISED PER VILLAGE COMMENTS & CLIENT	2	12/13/22	INS	REVISED PER VILLAGE COMMENTS & CLIENT
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1	02/13/23	INS	REVISED PER VILLAGE COMMENTS & CLIENT										
2	12/13/22	INS	REVISED PER VILLAGE COMMENTS & CLIENT										
 <b>UTILITY PLAN</b>													
<b>CASEY'S CAROL STREAM</b> 168865026 168865026 SHEET NUMBER													
<b>C-301</b>													



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CONSERVATION  
EASEMENT FOR  
WETLAND NO.2  
PER DOC.  
R2000-099904

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

ERNST SEED MIX, ERNMX-131, TYP. OBL WETLAND MIX

ERNST SEED MIX, ERNMX-125, TYP. MESIC TO DRY NATIVE POLLINATOR MIX

TURF SOD, TYP.

CHILDS (SAR) AVENUE

JUNCUS EFFUSUS, COMMON RUSH

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

ERNST SEED MIX, ERNMX-125, TYP. MESIC TO DRY NATIVE POLLINATOR MIX

ERNST SEED MIX, ERNMX-131, TYP. OBL WETLAND MIX

BIKE RACK SEE, DETAIL ON SHEET L-101

ADA ACCESSIBLE PICNIC TABLE T403-G-4R BY RJ MNFR. OR APPROVED EQUAL

LITTER RECEPTACLE CBTR-32 | BLACK BY BELSON OUTDOORS OR APPROVED EQUAL

PROPERTY LINE, TYP.

LANDSCAPE BED EDGE, TYP.

MONUMENT SIGN, BY OTHERS

EXISTING TREES TO BE REMOVED, SEE SHEET C-100

FUEL TANK VENT PIPES; LOCATED WITHIN THE CANOPY, TYP.

MONUMENT SIGN, BY OTHERS

EXISTING TREES TO BE REMOVED, SEE SHEET C-100

TURF SOD, TYP.

BED EDGE, TYP.

CONTRACTOR TO CLEAR, GRUB, ERADICATE AND REMOVE ALL EXISTING VEGETATION INCLUDING BUT NOT LIMITED TO PHRAGMITES, TYP.

AMENITY ENLARGEMENT, SEE SHEET L-2.0

LIES ROAD

NORTH GARY AVENUE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	AX	4	ACER X FREEMANII / FREEMAN MAPLE	B & B	2.5" CAL. MIN	
	GP	4	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	B & B	2.5" CAL. MIN	
	GT	4	GLEDITSIA TRIACANTHOS F. INERMIS / THORNLESS HONEY LOCUST	B & B	2.5" CAL. MIN	
	TM	3	TILIA AMERICANA 'MCKSENTRY' TM / AMERICAN SENTRY LINDEN	B & B	2.5" CAL. MIN	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	PO	6	PICEA OMORIKA / SERBIAN SPRUCE	B & B	6' HT MIN	
	PS	3	PINUS STROBUS / WHITE PINE	B & B	6' HT MIN	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	OTHER
	CC	5	CERCIS CANADENSIS / EASTERN REDBUD	B & B	2.5" CAL. MIN	SINGLE STEM
	CI	9	CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN	B & B	1.5" CAL. MIN	SINGLE STEM
	MR	7	MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE	B & B	1.5" CAL. MIN	SINGLE STEM
	SI	6	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	1.5" CAL. MIN	SINGLE STEM
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	AS	28	ARONIA MELANOCARPA 'L'CONNAM165' / LOW SCAPE MOUND CHOKEBERRY	-	SEE PLAN	12" HT. MIN
	CH	22	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	-	SEE PLAN	24" HT. MIN.
	HQ	13	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA	-	SEE PLAN	18" HT. MIN.
	PD2	30	PHYSOCARPUS OPULEFOLIUS 'DONNA MAY' TM / LITTLE DEVIL DWARF NINEBARK	-	SEE PLAN	18" HT. MIN.
	ST	25	SPIRAEA BETULIFOLIA 'TOR' / TOR BIRCHLEAF SPIREA	-	SEE PLAN	18" HT. MIN.
	VA	5	VIBURNUM DENTATUM 'CHRISTOM' TM / BLUE MUFFIN ARROWWOOD VIBURNUM	-	SEE PLAN	24" HT. MIN.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	JF2	38	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER	-	SEE PLAN	24" HT. MIN.
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CK	21	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	-	SEE PLAN	18" HT. MIN.
GRASSES AND PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
	CM	46	COREOPSIS X 'MOONBEAM' / MOONBEAM TICKSEED	1 GAL	18" OC	
	HC	59	HEMEROCALLIS X 'CHERRY CHEEKS' / CHERRY CHEEKS DAYLILY	1 GAL	18" OC	
	HH	26	HEMEROCALLIS X 'HAPPY RETURNS' / HAPPY RETURNS DAYLILY	1 GAL	24" OC	
	ST2	28	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSEED	1 GAL	24" OC	
GROUND COVERS	BOTANICAL / COMMON NAME					
	JUNCUS EFFUSUS / COMMON RUSH 2' PLUGS SPACED AT 18" ON CENTER					
	TURF SOD					
	ERNST SEED MIX - ERNMX-125 / MESIC TO DRY NATIVE POLLINATOR MIX					
	ERNST SEED MIX - ERNMX-131 / OBL WETLAND MIX					

NOTE: CONTRACTOR TO PROVIDE DESIGN-BUILD IRRIGATION FOR THE ENTIRE SITE.

NOTE: SEED IS TO BE INSTALLED ONLY WITHIN AREAS THAT ARE NOT INUNDATED WITH WATER AT THE TIME OF PLANTING. PLUGGING TO BE USED IN LIEU OF SEEDING IN AREAS WHERE SEEDING IS IMPOSSIBLE DUE TO HIGH WATER LEVELS AND PLUGS ARE TO SUPPLEMENT SEED AREAS AS NEEDED TO IMPROVE VEGETATIVE COVER.

**Kimley-Horn**  
8000 N. STATE ROAD, SUITE 200  
MADISONVILLE, KY 40349  
WWW.KIMLEY-HORN.COM



LANDSCAPE PLAN

CASEY'S  
CAROL STREAM  
NEC LIES ROAD & GARY AVENUE  
CAROL STREAM, IL 60188

ORIGINAL ISSUE:  
5/12/2022  
KHA PROJECT NO.  
168865026  
SHEET NUMBER

L-100

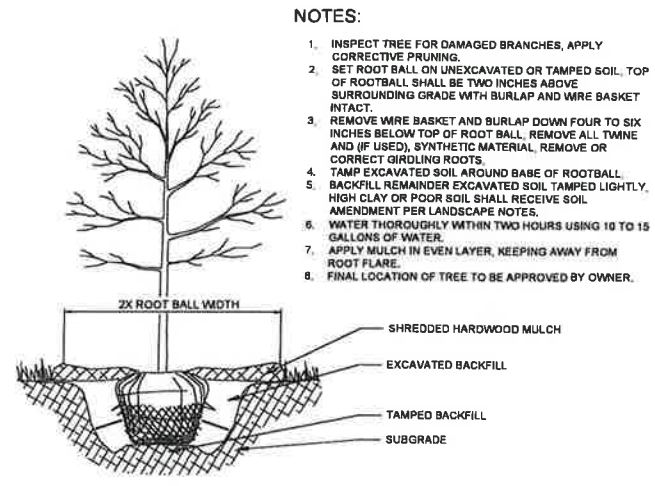
NO.	REVISIONS	DATE	BY
1	LANDSCAPING REVISED PER VILLAGE COMMENTS & CLIENT	03/14/23	INS
2	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23	INS
3	REVISED PER VILLAGE COMMENTS & CLIENT	12/13/22	INS

Drawing name: L:\06\1200\168865026\_Casey's\_Carol\_Stream\_L100\_Landscape\_Plan\_Mar\_14\_2023.dwg Date: 3/14/2023 8:28am by: Ian Spence  
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EXHIBIT D-1

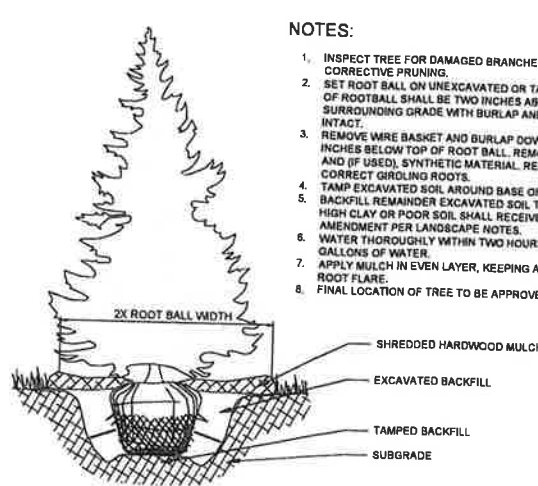


Drawing name: L:\01 LANDSCAPE NOTES AND DETAILS Mar 14, 2023 8:20am by M.S. [unclear]  
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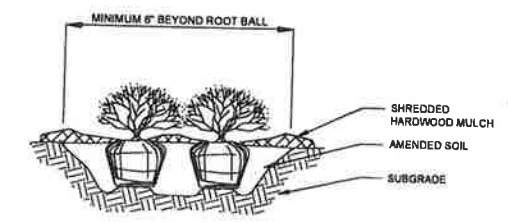
- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
  3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
  4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
  5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
  6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
  7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
  8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

**1 TREE PLANTING** NTS



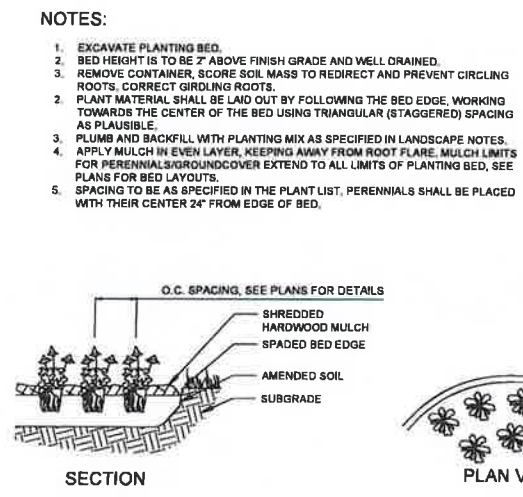
- NOTES:**
1. INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
  3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
  4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
  5. BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
  6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
  7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
  8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

**2 EVERGREEN TREE PLANTING** NTS



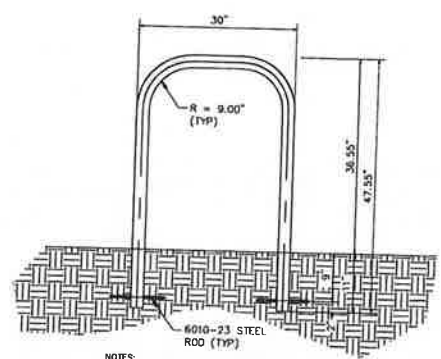
- NOTES:**
1. APPLY CORRECTIVE PRUNING.
  2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
  3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSE ROOTS PRIOR TO INSTALLATION.
  4. REMOVE OR CORRECT GIRDLING ROOTS.
  5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
  6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

**3 SHRUB PLANTING** NTS



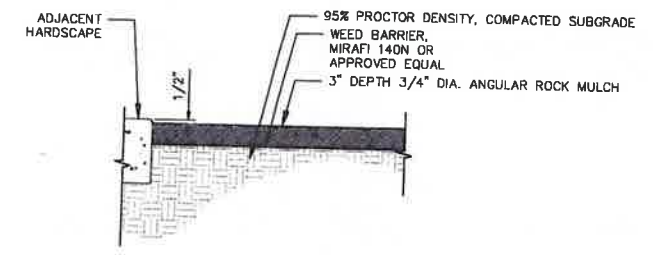
- NOTES:**
1. EXCAVATE PLANTING BED.
  2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
  3. REMOVE CONTAINER, SCORE SOIL MASS TO REDIRECT AND PREVENT CIRCLING ROOTS. CORRECT GIRDLING ROOTS.
  2. PLANT MATERIAL SHALL BE LAID OUT BY FOLL OWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLAUSIBLE.
  3. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
  4. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/GROUNDCOVER EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.
  5. SPACING TO BE AS SPECIFIED IN THE PLANT LIST, PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.

**4 PERENNIAL PLANTING** NTS



- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. FINISH IS ELECTROPLATED IN CHROMATE.
  3. COLOR TO BE STANDARD BLACK.

**5 BIKE RACK** NTS



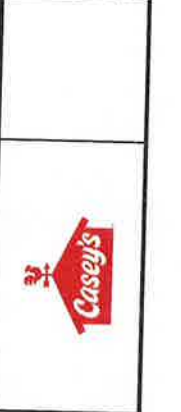
**6 ROCK MULCH** NTS

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No.	REVISIONS	DATE	BY
1	LANDSCAPING REVISED PER VILLAGE COMMENTS & CLIENT	03/14/23	INS
2	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23	INS
3	REVISED PER VILLAGE COMMENTS & CLIENT	12/13/22	INS

**Kimley-Horn**  
 & ASSOCIATES, INC.  
 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 1000 W. MARKET AVENUE, SUITE 200  
 WASHINGTON, MO 64785  
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
 DESIGNED BY: INS  
 DRAWN BY: INS  
 CHECKED BY: EJT



**LANDSCAPE NOTES AND DETAILS**

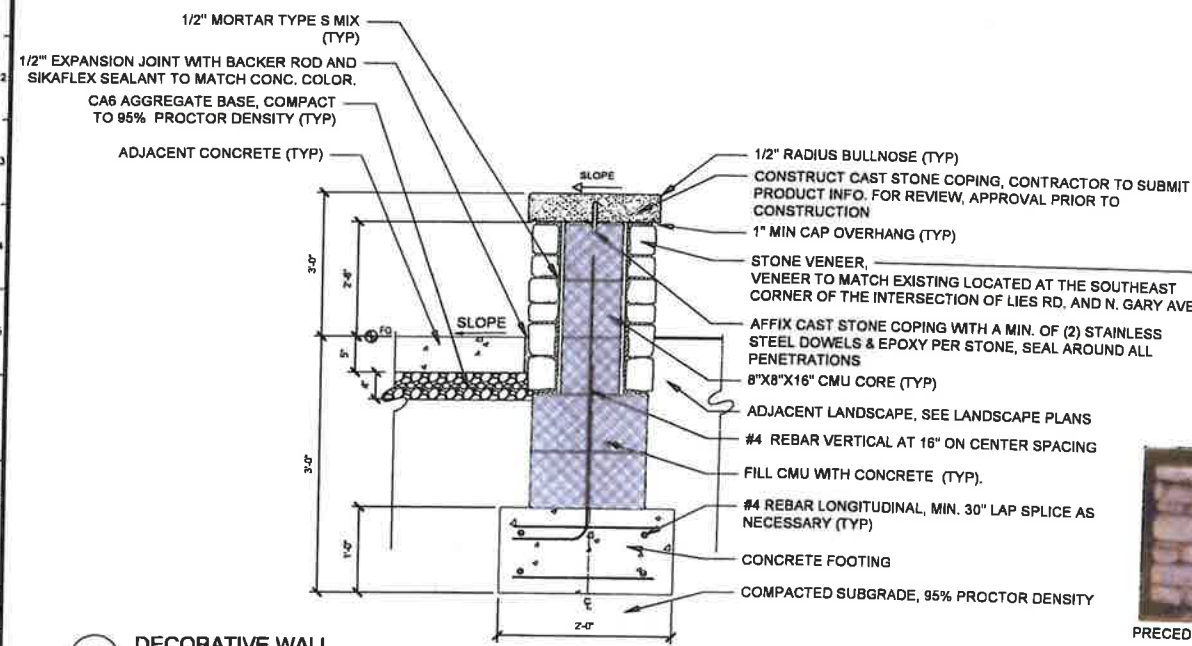
**CASEY'S CAROL STREAM**  
 NEC LIES ROAD & GARY AVENUE  
 CAROL STREAM, IL 60188

ORIGINAL ISSUE: 5/12/2022  
 KHA PROJECT NO. 18885026  
 SHEET NUMBER  
**L-101**

EXHIBIT D-2



Drawing Name: K:\02\_LANDSCAPE NOTES AND DETAILS Mar 14, 2023 8:30am By: J.S. Speck  
 This document, together with the concepts and designs presented herein, is an instrument of service, in accordance with the contract between the undersigned and the client for which it was prepared.



8 DECORATIVE WALL

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ZONING ORDINANCE	CAROL STREAM, IL - LANDSCAPE CODE REQUIREMENTS	REQUIRED	PROPOSED
SECTION 16-5-6: LANDSCAPE			
PARKING LOT INTERIOR AREA: FOR PARKING LOTS CONTAINING FEWER THAN 15 SPACES, ALL ROWS OF PARKING SHALL BE TERMINATED BY A PARKING LOT ISLAND OR LANDSCAPE AREA. A MINIMUM OF 1 CANOPY TREE SHALL BE PROVIDED FOR EVERY PARKING LOT ISLAND OR LANDSCAPED AREA.		CANOPY TREES REQUIRED IN ALL PARKING LOT ISLANDS	2 CANOPY TREES PROVIDED IN PARKING LOT TERMINATED LANDSCAPE AREAS
BUILDING FOUNDATION AREA: FOUNDATION PLANTINGS SHALL BE INSTALLED ACROSS 80% OF THE LENGTH OF THE FACADE OF THE BUILDING. A MINIMUM 4 FOOT WIDE HEDGE ROW SHALL BE PLANTED WITH 1 SHRUB OR NATIVE GRASS EVERY 3 FEET ON CENTER, SPACED UNEQUALLY.		BUILDING FACADE LENGTH = 155.67 LF 155.67 LF x 0.80 = 124.54 125 LF OF FOUNDATION REQUIRED ALONG THE BUILDING	PER VILLAGE COMMENTS RECEIVED ON 8/12/2022, FOUNDATION LANDSCAPE HAS BEEN PROVIDED ALONG THE FRONT OF THE BUILDING AT THE NORTHWEST AND SOUTHWEST CORNERS. ADDITIONAL FOUNDATION LANDSCAPE HAS BEEN PROVIDED ON THE NORTH SIDE OF THE BUILDING. VARIANCE REQUESTED
TRANSITION AREA: TRANSITION AREA LANDSCAPE SHALL BE REQUIRED ALONG INTERIOR PROPERTY LINES OF ALL MULTIFAMILY RESIDENTIAL, NON-RESIDENTIAL OR MIXED USE DEVELOPMENT.		LENGTH ALONG EAST PROPERTY LINE = 569.15 LF 569.15 LF / 100 LF = 5.69	11 ORNAMENTAL TREES, 9 CANOPY TREES, 6 EVERGREEN TREES AND 29 SHRUBS ARE PROVIDED ALONG THE BERM AND BASIN ON THE EAST PROPERTY LINE. VARIANCE REQUESTED
TYPE C BUFFER REQUIRED - 10 FOOT WIDTH, 6 FOOT FENCE, 4 ORNAMENTAL TREES, 4 CANOPY/EVERGREEN TREES AND 20 SHRUBS OR NATIVE GRASSES PER 100 LINEAR FEET.		5.69 x 4 ORNAMENTAL TREES = 22.76 = 23 ORNAMENTAL TREES REQUIRED 5.69 x 4 CANOPY/EVERGREEN TREES = 22.76 = 23 CANOPY/EVERGREEN TREES REQUIRED 5.69 x 20 SHRUBS = 113.8 = 114 SHRUBS REQUIRED	
REQUIRED RIGHT-OF-WAY LANDSCAPE AREA: A DEVELOPER SHALL BE REQUIRED TO PLANT A MINIMUM OF 1 CANOPY TREE PER EVERY 40 FEET OF LINEAL LOT FRONTAGE WITHIN THE VILLAGE PARKWAY ADJACENT TO THE SUBJECT LOT.		LENGTH ALONG LIES ROAD (EXCLUDING DRIVEWAYS) = 336.08 LF 336.08 LF / 40 LF = 8.4 8 PARKWAY TREES REQUIRED ALONG LIES ROAD	NO PARKWAY TREES PROVIDED ALONG LIES ROAD DUE TO UNDERGROUND UTILITY CONFLICTS. VARIANCE REQUESTED
MONUMENT SIGN: A LANDSCAPE AREA SHALL BE PLANTED AND MAINTAINED AROUND THE BASE OF A MONUMENT SIGN. THE MINIMUM AREA OF WHICH SHALL BE EQUAL TO THE AREA OF THE SIGN.		SEE SECTION 16-5-16: GAS AND NAC OVERLAY DISTRICTS BELOW IN THIS TABLE FOR LANDSCAPE REQUIREMENTS ALONG THE GARY AVE. OVERLAY DISTRICT.	110 SF OF LANDSCAPE PROVIDED AT EACH MONUMENT SIGN
SECTION 16-5-16: GAS AND NAC OVERLAY DISTRICTS			
REQUIRED SETBACKS: FOR BOTH THE GARY AVENUE CORRIDOR AND THE NORTH AVENUE CORRIDOR, REQUIRED FRONT SETBACK SHALL BE IMPROVED AS TRANSITION AREA TYPE D.		LENGTH ALONG WEST PROPERTY LINE (NORTH GARY ROAD) = 353.13 LF 353.13 LF / 100 LF = 3.53	DUE TO THE SITE RESTRAINTS OF THE DRAINAGE EASEMENT FOR THE WETLAND ALONG GARY AVENUE, THE PROVIDED LANDSCAPE DOES NOT MEET THE REQUIREMENTS PER VILLAGE COMMENTS RECEIVED ON 6/12/2022, 5 CANOPY TREES AND 43 SHRUBS ARE PROVIDED JUST WEST OF THE PROPOSED PARKING LOT CURB LINE WITH THE INTENT OF ATTEMPTING TO MEET THE UDO OVERLAY REQUIREMENTS. HOWEVER, PER VILLAGE COMMENTS RECEIVED ON 8/8/2022, 4 ADDITIONAL TREES ARE PROVIDED ON EITHER SIDE OF THE SIDEWALK THAT LEADS OUT TO THE US ROAD BIKE PATH TO COMPENSATE FOR THE REDUCTION IN LANDSCAPE ALONG GARY AVE. UDO OVERLAY REQUIREMENTS. VARIANCE REQUESTED
TYPE D BUFFER REQUIRED - 15 FOOT WIDTH, 6 FOOT FENCE, 5 ORNAMENTAL TREES, 5 CANOPY/EVERGREEN TREES AND 30 SHRUBS OR NATIVE GRASSES PER 100 LINEAR FEET.		3.53 x 5 ORNAMENTAL TREES = 17.65 = 18 ORNAMENTAL TREES REQUIRED 3.53 x 5 CANOPY/EVERGREEN TREES = 17.65 = 18 CANOPY/EVERGREEN TREES REQUIRED 3.53 x 30 SHRUBS = 105.9 = 106 SHRUBS REQUIRED	

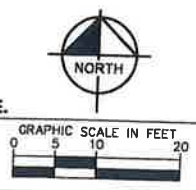
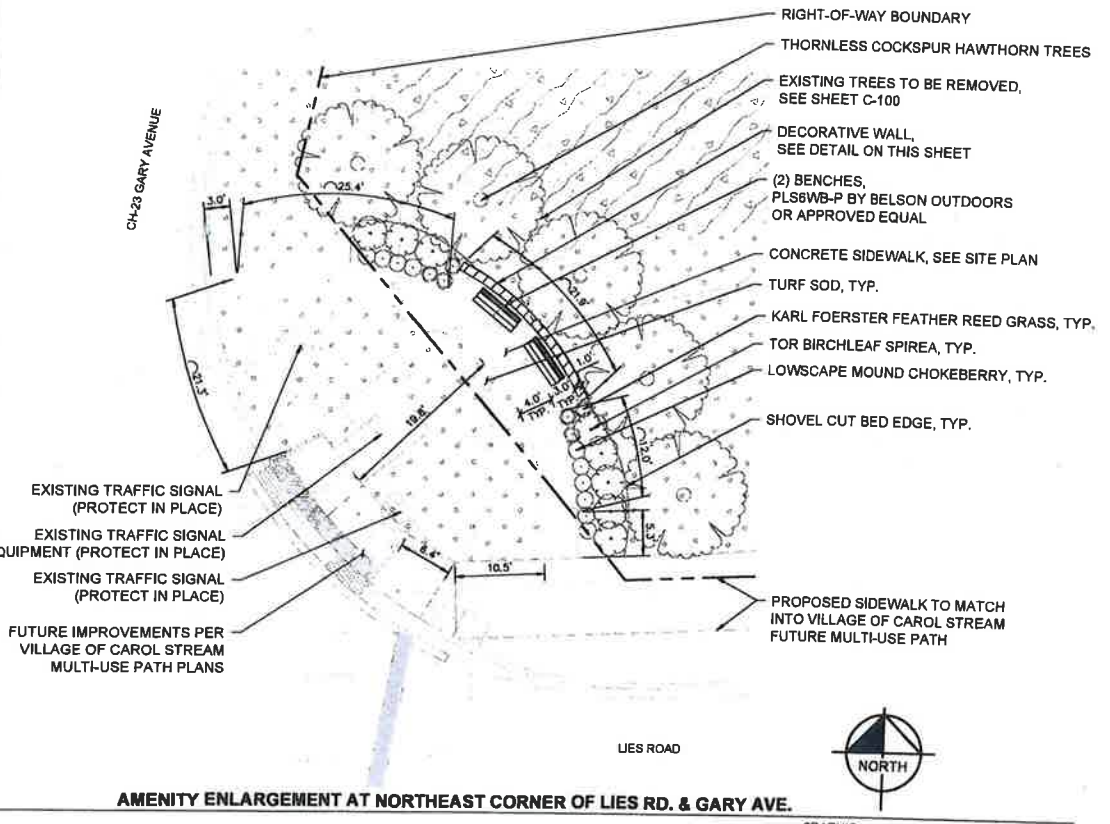
## EXHIBIT D-3

### VEGETATION MANAGEMENT NOTES

- IN AREAS WHERE VEGETATION REMOVAL IS SPECIFIED, SOIL IS RECOMMENDED TO BE CLEARED, GRUBBED, MECHANICALLY REMOVED BY HAND, DISKED, CULTIVATED, AND/OR ROLLED IN AS NEEDED. THE INTENT IS TO COMPLETELY ELIMINATE EXISTING VEGETATION, PREPARE THE SOIL FOR NEW PLANT MATERIAL ACCEPTANCE OF OBNOXIOUS WEEDS, AND TO ACHIEVE GOOD SOIL-TO-SEED CONTACT.
- SITE MANAGER TO OBSERVE SITE IN THE SPRING, TWICE IN THE SUMMER, AND ONCE IN THE FALL TO IDENTIFY GROWTH RATES, NOXIOUS WEEDS AND ESTABLISHMENT PROBLEMS.
- MOWING, WEEDING, HAND PULLING OF WEEDS, AND SPOT APPLYING HERBICIDE MAY NEED TO OCCUR AT EACH OBSERVATION (MOWING HEIGHT TO NOT BE LESS THAN 8" FROM GRADE). IF PROBLEMS ARE NOT IDENTIFIED WITH EITHER HEIGHT OF VEGETATION OR QUANTITY OF WEEDS, NO ACTION SHOULD BE TAKEN.
- THE INITIAL THREE YEARS WILL REQUIRE MORE FREQUENT MAINTENANCE AND MONITORING TO PROVIDE NATIVE PLANT ESTABLISHMENT INSTEAD OF INVASIVE WEEDS.
- WITHIN FIRST TWO YEARS OF COMPLETION, LANDSCAPE CONTRACTOR TO VISIT THE SITE ONCE PER MONTH THROUGHOUT THE GROWING SEASON TO CONTROL INVASIVE WEEDS. ALSO DURING THIS TIME, MOWING SHOULD OCCUR AT LEAST TWICE PER YEAR TO ELIMINATE SHADING FROM AGRONOMIC, ANNUAL WEEDS.
- SITE MANAGER SHOULD PERFORM YEARLY INSPECTIONS WITH A LANDSCAPE MAINTENANCE PROFESSIONAL TO IDENTIFY WEED PROBLEMS AND TO DISCUSS A STRATEGY FOR MAINTENANCE FOR THE YEAR.
- ANNUALLY, AT THE START OF SPRING, SITE SHOULD BE MOWED WITH A ROTARY MOWER TO (NO LESS THAN 8" IN HEIGHT TO NOT BE LESS THAN 8" FROM GRADE) KNOCKDOWN STANDING VEGETATION FROM THE PREVIOUS SEASONS.
- IF SITE MANAGER DETERMINES THE NEED TO REMOVE INVASIVE WEEDS WITH A HERBICIDE, THE MOST EFFECTIVE METHOD IS DURING THE FALL WITH A DIRECT APPLICATION. SITE MANAGER SHOULD CONDUCT A THOROUGH WALK-THROUGH OF THE SITE TO FIND WEEDS AND APPLY HERBICIDE. THE USE OF HERBICIDES SHALL FOLLOW AND ABIDE BY ALL LOCAL AND FEDERAL LAWS.

### LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED. BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL BRICK CHIP MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH ROCK MULCH.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE WASHED RIVER ROCK, 1-1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE PLASTIC, 6 MIL. MINIMUM, WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).



AMENITY ENLARGEMENT AT NORTHEAST CORNER OF LIES RD. & GARY AVE.

**Kimley-Horn**  
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1000 W. WASHINGTON ST., SUITE 100  
MADISONVILLE, KY 40350  
PH: 502-367-0000  
WWW.KIMLEY-HORN.COM



LANDSCAPE NOTES AND DETAILS

CASEY'S  
CAROL STREAM  
NEC LIES ROAD & GARY AVENUE  
CAROL STREAM, IL 60188

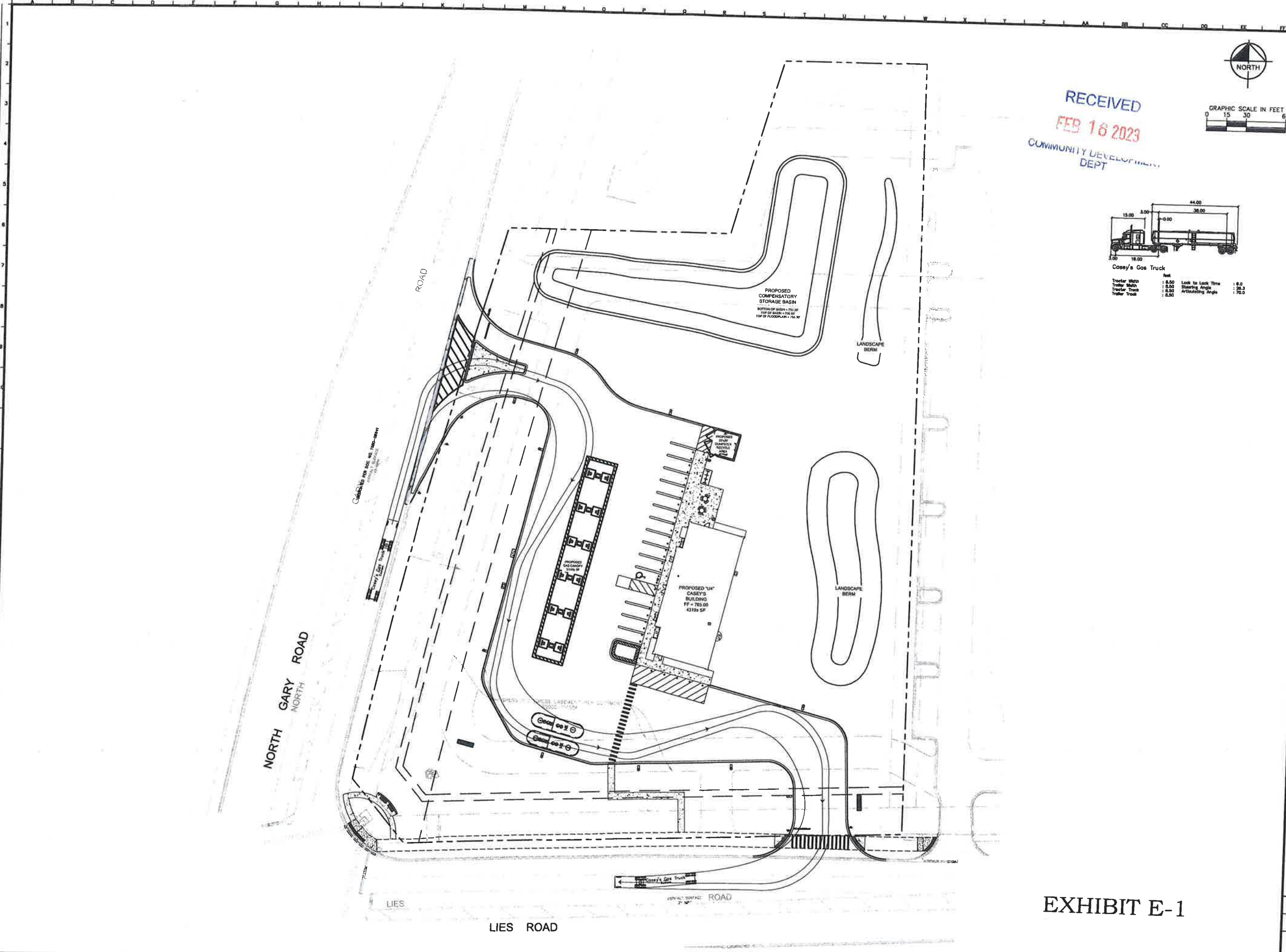
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5/13/2022  
KHA PROJECT NO.  
168865026  
SHEET NUMBER

NO.	REVISIONS	DATE
1	LANDSCAPING REVISED PER VILLAGE COMMENTS & CLIENT	03/14/23
2	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23
3		
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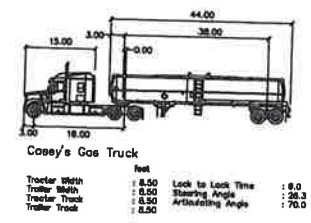
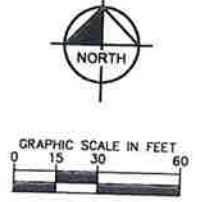
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DESIGNED BY: INS  
DRAWN BY: INS  
CHECKED BY: EJT



Drawing name: K:\05\18865026\_Casey's\_Carol Stream\_IL\Design\CAD\Vanish\TRUCK TURN EXHIBIT.dwg PLOT: Feb 14, 2023 12:24pm By: Jm-Spencer  
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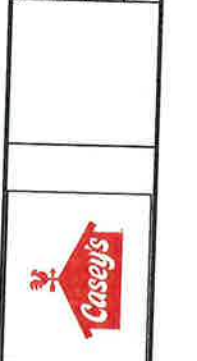


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No.	REVISIONS	DATE	BY
1	REVISED PER VILLAGE COMMENTS & CLIENT	02/13/23	INS
2	REVISED PER VILLAGE COMMENTS & CLIENT	12/13/22	INS

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 DRAWN BY: INS  
 CHECKED BY: EJT

**CASEY'S**  
**CAROL STREAM**  
 NE LIES ROAD & GARY AVENUE  
 CAROL STREAM, IL 60188

ORIGINAL ISSUE:  
 5/12/2022  
 KHA PROJECT NO.  
 188865026  
 SHEET NUMBER

EXH.

EXHIBIT E-1

EXHIBIT E-2

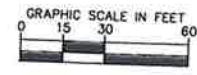
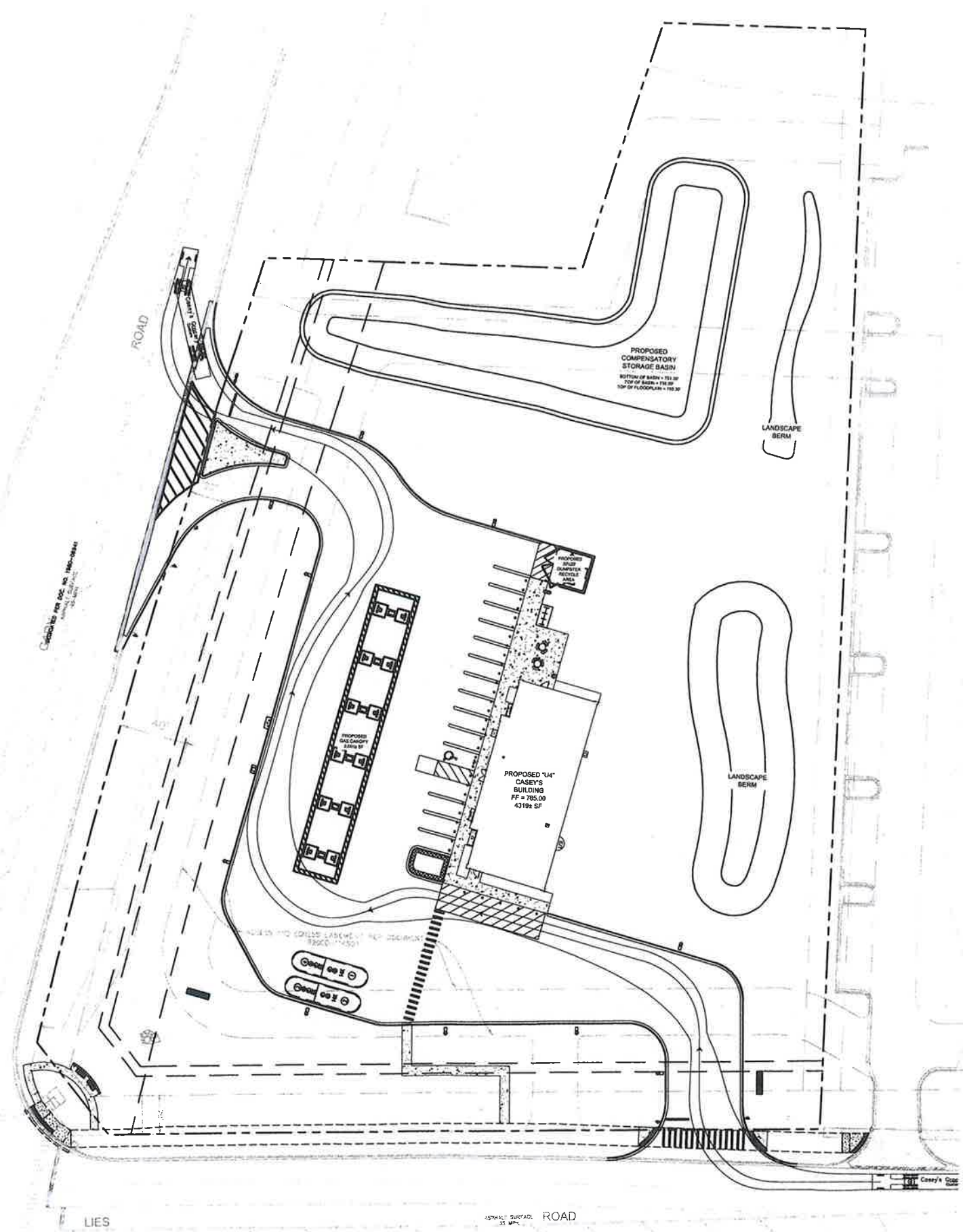
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NORTH

ROAD

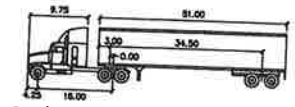
LIES

LIES ROAD

ASPHALT SURF ROAD  
35 MPH



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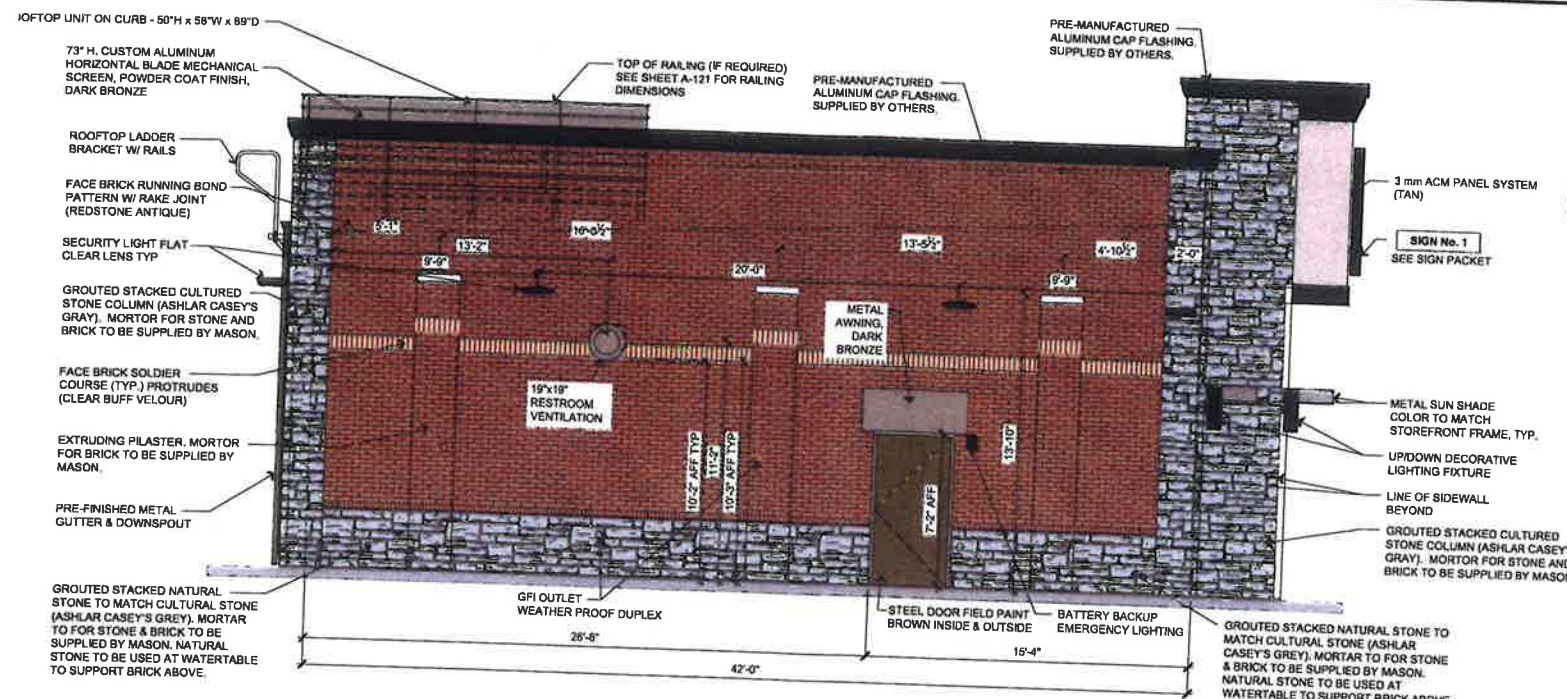
Casey's Grocery Truck

feet	
Trailer Width	: 8.00
Trailer Width	: 8.00
Trailer Track	: 8.00
Trailer Track	: 8.00
Look to Lock Time	: 6.0
Steering Angle	: 20.0
Articulating Angle	: 70.0

Drawing name: K:\GIS\DATA\MapSeries\Casey's Case Stream\13 Design\CAD\Casey's TRUCK TURN EXHIBIT.dwg DATE: Feb 14, 2023, 12:24:46 PM  
 The document, together with the accompanying drawings, is intended only for the specific purpose and client for which it was prepared. Please refer to the drawing for any and all conditions, limitations, and restrictions. It is not to be used for any other purpose without the written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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SCALE: AS NOTED DESIGNED BY: INS DRAWN BY: INS CHECKED BY: EJT	REVISED PER VILLAGE COMMENTS & CLIENT 02/13/23 INS REVISED PER VILLAGE COMMENTS & CLIENT 12/13/22 INS REVISIONS DATE BY
TRUCK TURN EXHIBIT - DELIVERY	
CASEY'S CAROL STREAM NEC LIES ROAD & GARY AVENUE CAROL STREAM, IL 60188	
ORIGINAL ISSUE: 5/12/2022 KHA PROJECT NO. 168865028 SHEET NUMBER	
EXH.	





2 Exterior Elevation - Left Side of Building (Plan North)  
1/4"=1'-0"



1 Exterior Elevation - Front of Building (Plan West)  
1/4"=1'-0"

**General Notes**

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:  
AL-101: FOR BUILDING LOCATION ON SITE  
AL-601: FOR INFORMATION RELATING TO SIGNAGE  
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
A-501: DOOR & WINDOW SCHEDULES AND NOTES  
S-101: FOOTINGS AND FOUNDATIONS  
S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

NOTE: CULTURED STONE TO BE USED ON ALL COLUMNS. GROUTED STACKED NATURAL STONE TO MATCH CULTURAL STONE (ASHLAR CASEY'S GRAY). MORTAR FOR STONE & BRICK TO BE SUPPLIED BY MASON. NATURAL STONE TO BE USED AT WATERTABLE TO SUPPORT BRICK ABOVE.

NOTE: AREA COVERED BY ACM ON THE FRONT FACADE IS LESS THAN 25%  
ACM: 419 SQ. FT.  
FACADE: 2336 SQ. FT.  
PERCENTAGE = 18%

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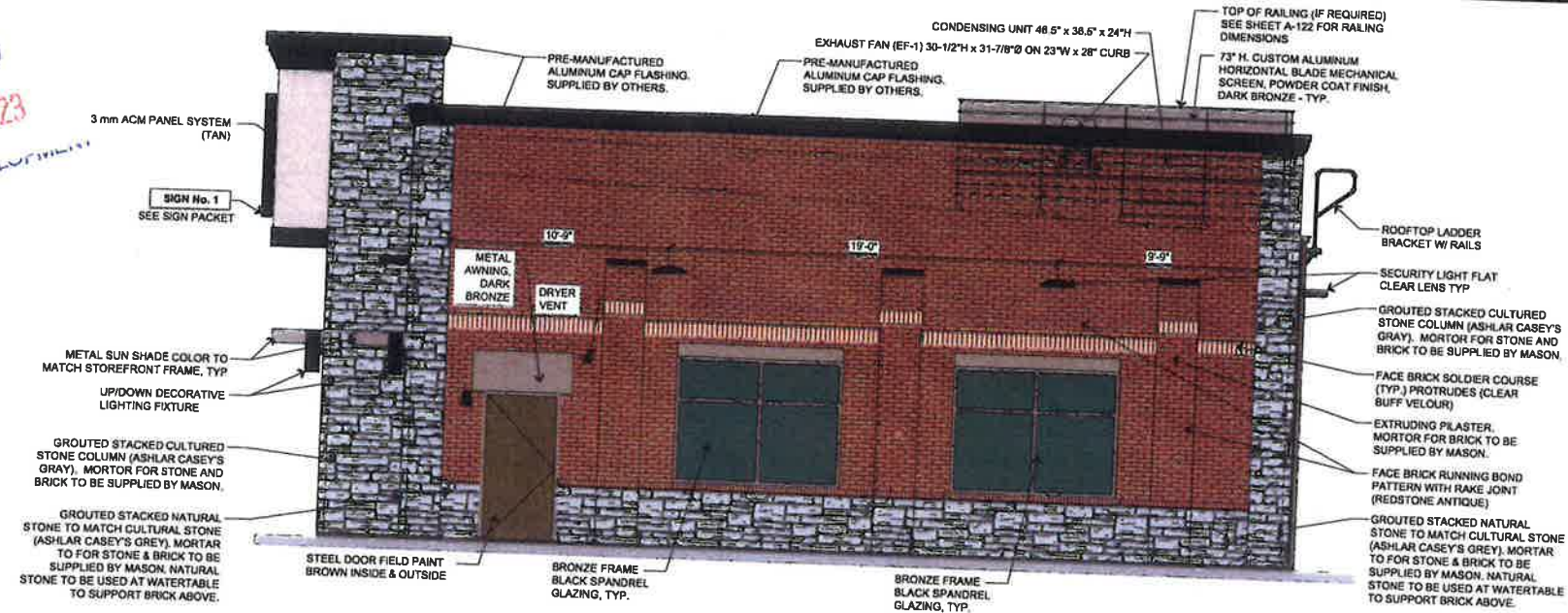
**EXHIBIT F-1**



<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Commerce Blvd., P.O. Box 3001, Arkahty, Ia. 50021 515-965-6100	
CAROL STREAM, IL #4261 NORTH GARY AVENUE & LIES ROAD CAROL STREAM, IL 60188	09/09/22 01/19/23
2021 1/4" - STILE STONE (FLAT ROOF BRICK & STONE)	EXTERIOR ELEVATIONS
CESO PROJECT NO.: 760270	A-201
CESO	CESO



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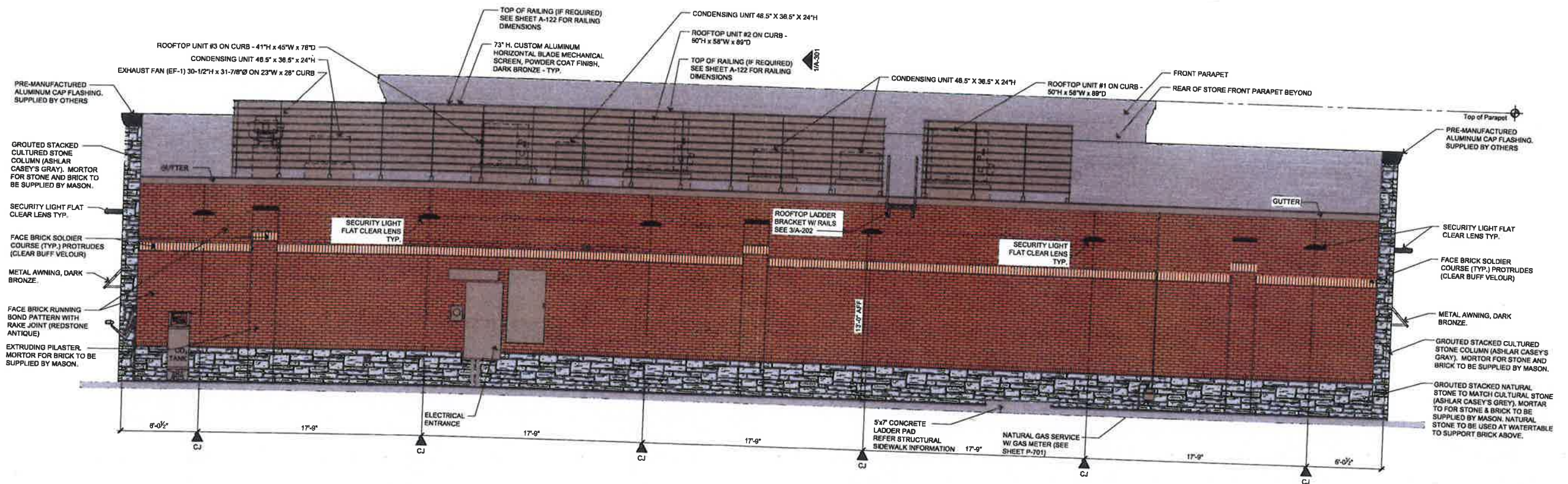


**General Notes**

1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. RELATED DRAWING SHEETS: REFER TO THE FOLLOWING:  
 G-011: FOR BUILDING LOCATION ON SITE  
 AL-601: FOR INFORMATION RELATING TO SIGNAGE  
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
3. WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

NOTE: CULTURED STONE TO BE USED ON ALL COLUMNS. GROUDED STACKED NATURAL STONE TO MATCH CULTURAL STONE (ASHLAR CASEY'S GREY), MORTAR FOR STONE & BRICK TO BE SUPPLIED BY MASON. NATURAL STONE TO BE USED AT WATERTABLE TO SUPPORT BRICK ABOVE.

**2** Exterior Elevation - Right Side of Building (Plan South)  
 1/4"=1'-0"



**1** Exterior Elevation - Back of Building (Plan East)  
 1/4"=1'-0"

**EXHIBIT F-2**



<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-985-6100	
PROJECT CAROL STREAM, IL #4261 NORTH GARY AVENUE & LEE ROAD CAROL STREAM, IL 60188	DATE 09/09/22 REVISED 01/19/23
2021 "M" STYLE STORE (FLAT ROOF BRICK & STONE)	EXTERIOR ELEVATIONS
CESO PROJECT NO.: 760270	A-202
DESIGNED BY CESO	DRAWN BY CESO



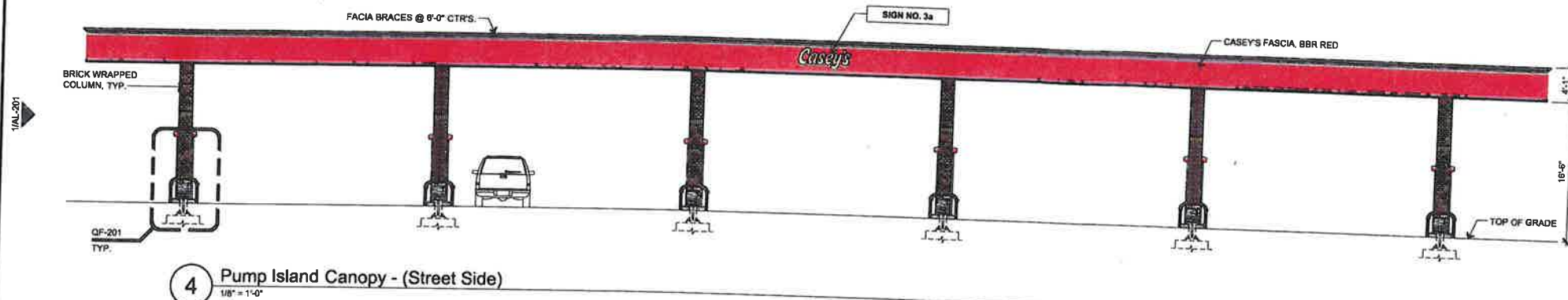
**\*\*VERIFY ALL SIGNAGE WITH SIGN PERMITS\*\***

**EXHIBIT F-3**

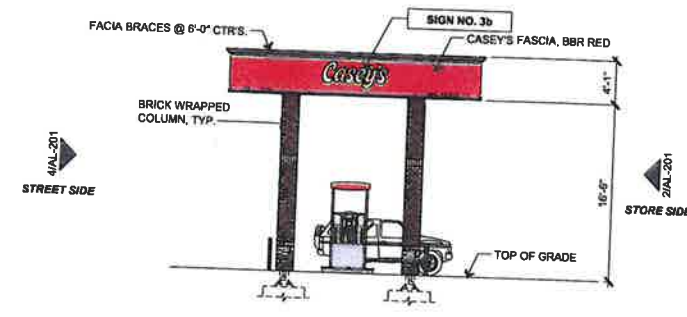
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**General Notes**

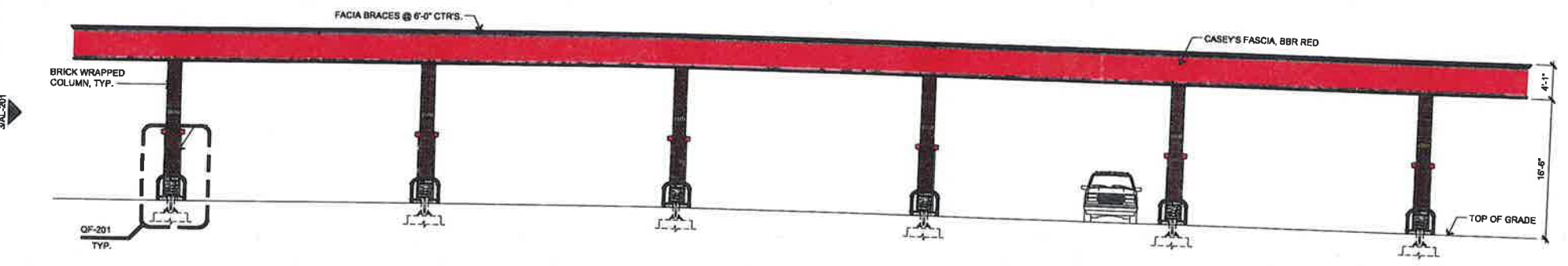
1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:  
 G-011 FOR GENERAL PROJECT NOTES  
 G-011 FOR GENERAL SITE PLAN  
 Sign Packet FOR SIGNAGE SCHEDULE AND NOTES  
 QF-Series FOR DESIGN AND DETAILS RELATED TO FUELING FACILITY
2. GASOLINE ISLAND CANOPY: REVIEW SHOP DRAWINGS PROVIDED BY CANOPY SUPPLIER AND ADVISE CASEY'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES
3. EMERGENCY GAS SHUT OFFS: REFER TO SHEETS A-201, AQ-101 & E-101 FOR EMERGENCY SHUT OFF LOCATIONS.



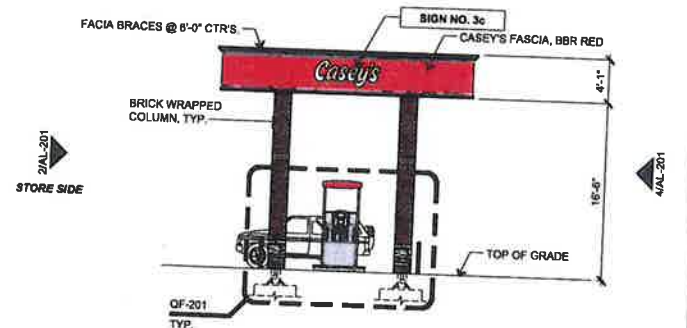
**4 Pump Island Canopy - (Street Side)**  
 1/8" = 1'-0"



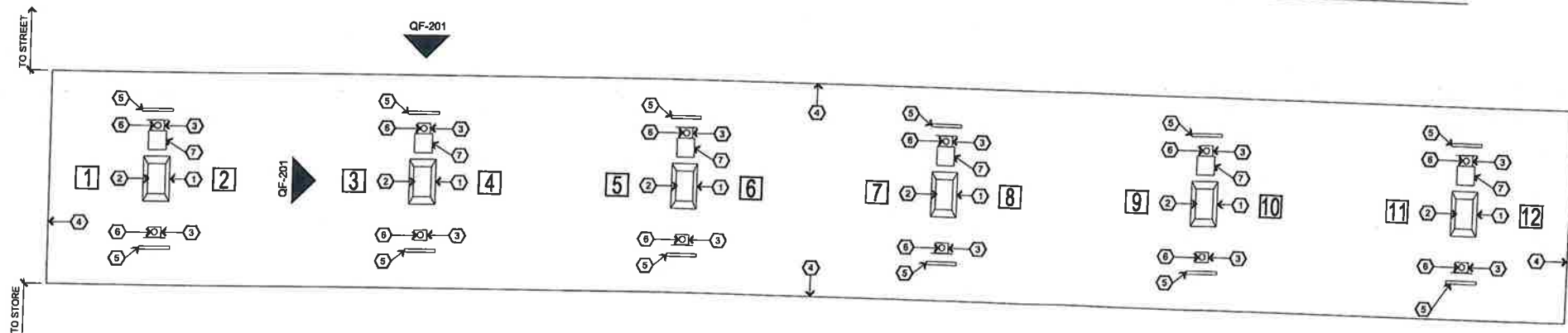
**3 Pump Island Canopy - Right Side Elevation**  
 1/8" = 1'-0"



**2 Pump Island Canopy - (Store Side)**  
 1/8" = 1'-0"



**1 Pump Island Canopy - Left Side Elevation**  
 1/8" = 1'-0"



**5 Canopy Layout Plan**  
 Not To Scale

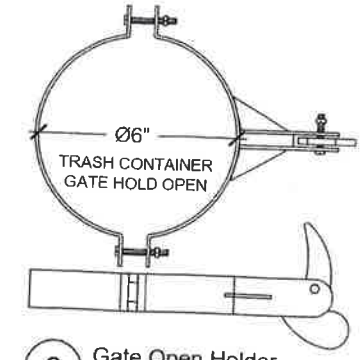
**Keyed Canopy Layout Plan Notes**

- 1 FUEL ISLANDS
- 2 FUEL DISPENSERS: SUPPLIED BY OWNER
- 3 CANOPY COLUMN: SUPPLIED BY CANOPY MFG.
- 4 EDGE OF CANOPY: ABOVE
- 5 STEEL GUARD PIPE: SET INTO CONC SLAB AS INDICATED IN DETAIL ELEVATIONS (2 PER ISLAND)
- 6 INTERNAL DOWNSPOUTS: ROUTE THROUGH COLUMNS AND UNDERGROUND TO STORM SEWER OR DETENTION IF APPLICABLE
- 7 TRASH CAN AND WASH BUCKETS
- 8 PUMP LABELS: MOUNTED ON CANOPY COLUMNS

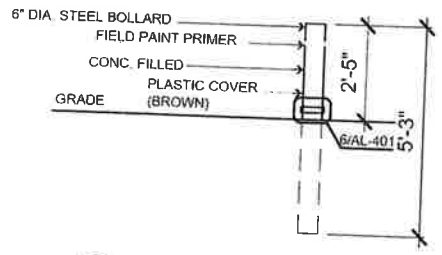
**6 DISPENSERS - IN-A-ROW - H.I.**

 CESO 8 P.O. BOX 1518 800 WEST 10TH STREET, SUITE 100 CAROL STREAM, IL 60154 PHONE: (708) 484-4644 FAX: (708) 484-2327	
 <b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Arkeny, Ia. 50021 515-965-6100	
CAROL STREAM, IL #4261 NORTH GARY AVENUE & LES ROAD CAROL STREAM, IL 60154 3021 34th - STYLE STORE (FLAT ROOF BRICK & STONE)	DATE: 09/09/22 PROJECT NO.: 760270 DRAWN BY: CESO
<b>GASOLINE ISLAND CANOPY ELEVATIONS</b> <b>AL-201</b>	

# EXHIBIT F-4



6 Gate Open Holder  
No Scale



7 Bollard Detail  
No Scale

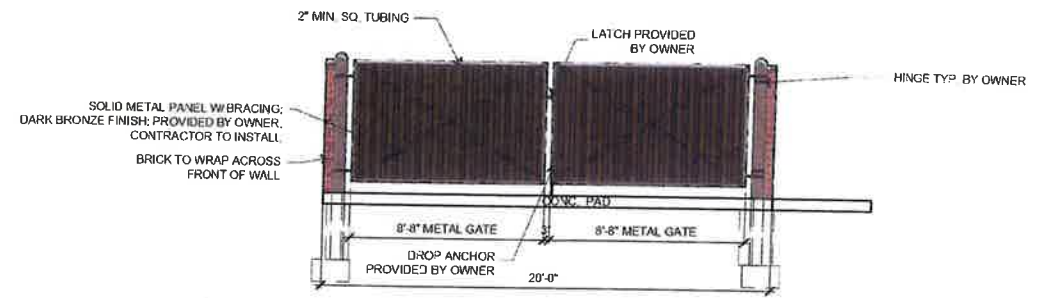
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## General Notes

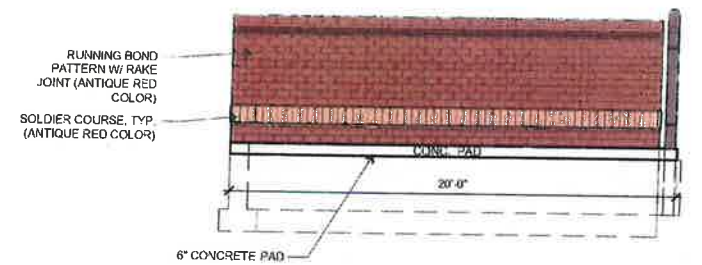
1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:  
G-001 FOR GENERAL PROJECT NOTES  
G-011 FOR GENERAL SITE PLAN

## Construction Notes

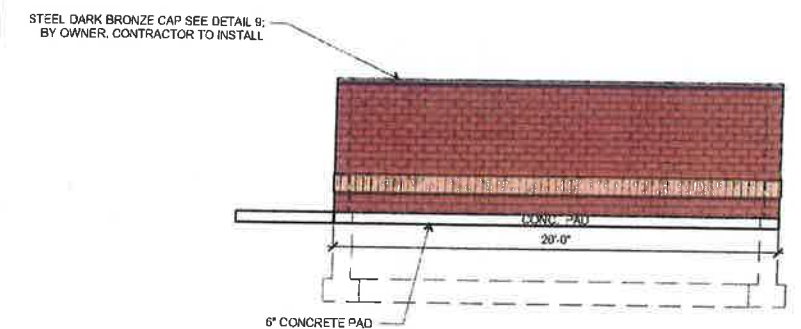
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6\"/>



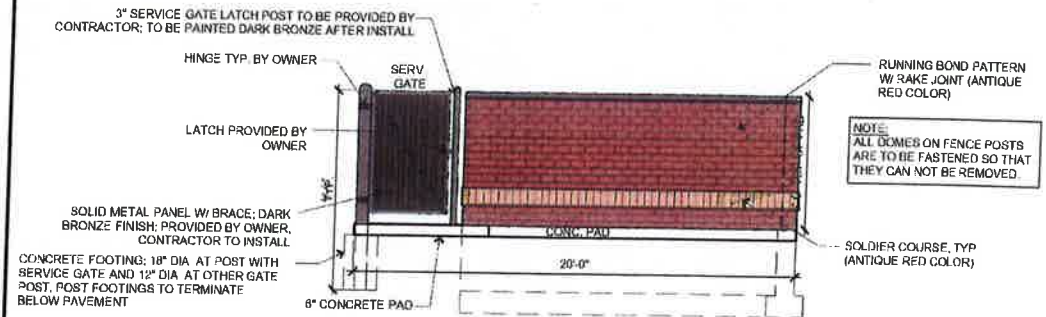
5 Dumpster Enclosure - Elevation  
1/4\"/>



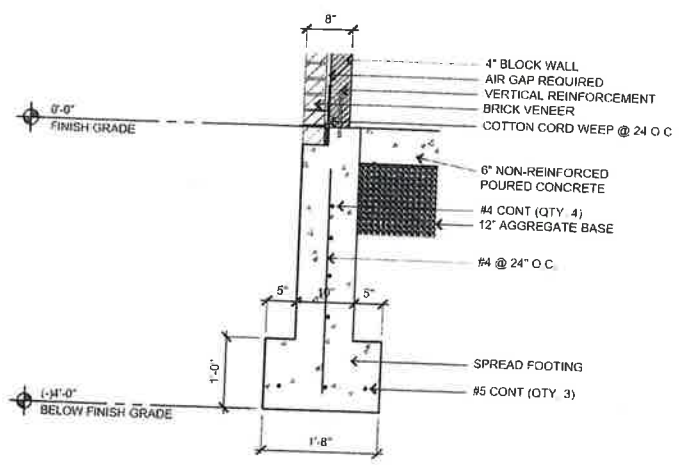
4 Dumpster Enclosure - Elevation  
1/4\"/>



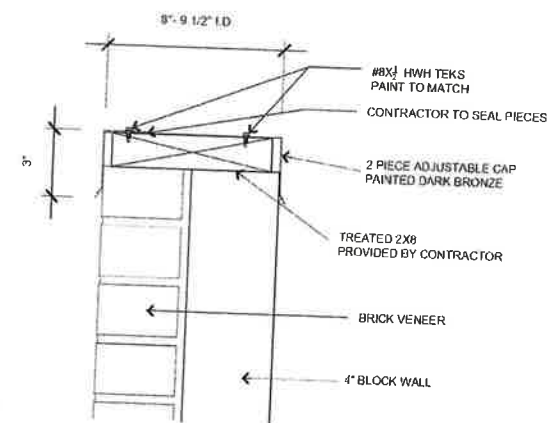
3 Dumpster Enclosure - Elevation  
1/4\"/>



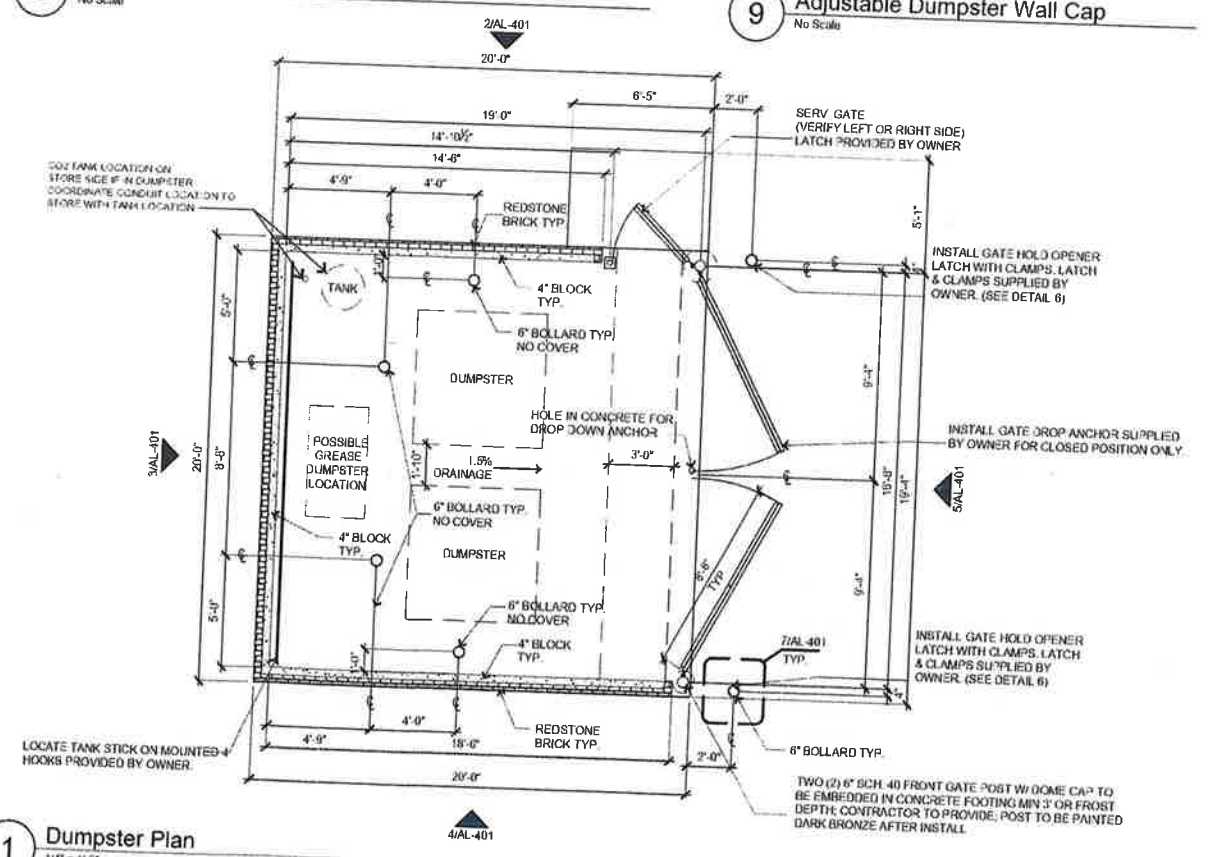
2 Dumpster Enclosure - Elevation  
1/4\"/>



8 Spread Footing Detail  
No Scale



9 Adjustable Dumpster Wall Cap  
No Scale



1 Dumpster Plan  
1/4\"/>

Brick Enclosure w/ Metal Gates

CESO  
WWW.CESODIAG.COM

Casey's  
CASEY'S CONSTRUCTION DIVISION  
One Convergence Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6160

#4261 CAROL STREAM, IL 02/23/22  
NORTH GARY AVENUE & UES ROAD  
CAROL STREAM, IL 60826

DUMPSTER ENCLOSURE

CESO PROJECT NO.: 760270





# Casey's

# SIGN PACKET

**JACOB CLARK**  
jacob.clark@caseys.com

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DEPT

## Carol Stream, IL #4261

Gary & Lies

EXHIBIT G-1

New Store

10-31-22

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Building									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
1	"Casey's"	Permanent	Building Front	Internal	6'-0"	15' 4-1/4"	12' 7"	18' 7"	92.1
<b>Total</b>									<b>92.1</b>

Canopy									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
2a	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
2b	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
2c	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	14.95
<b>Total</b>									<b>44.85</b>

Brick Monument Sign (10' OAH)									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
3a	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
<b>Total</b>									<b>46</b>

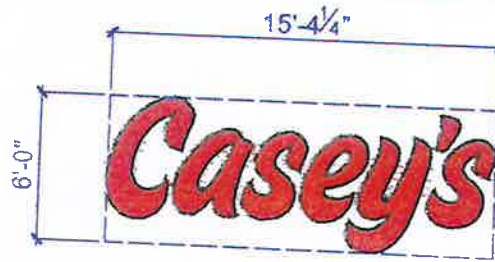
Brick Monument Sign (10' OAH)									
Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
3b	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
<b>Total</b>									<b>46</b>

EXHIBIT G-2



EXHIBIT G-3

FIXED



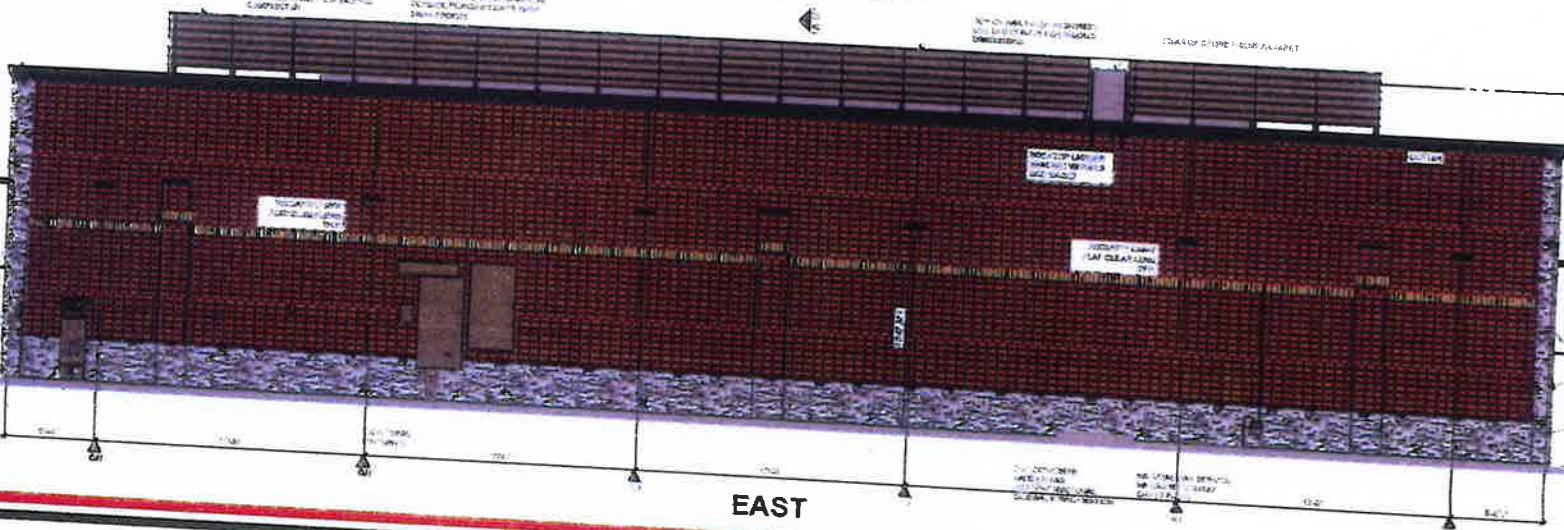
SIGN 1

**WINDOW SIGNAGE  
RESTRICTED TO MAX 25%  
OF EACH WINDOW**

1



**WEST**  
 BUILDING FACADE = 2030 FT<sup>2</sup>  
 10% OF 2030 = 203 FT<sup>2</sup> SIGN  
 TOTAL = 124.66 FT<sup>2</sup>

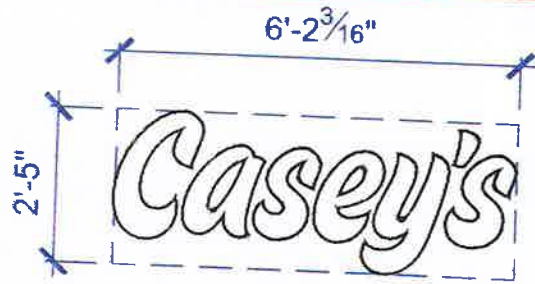


**EAST**





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FEB 16 2023  
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**SIGN 2**

**2a**



**WEST**

CANOPY FACADE = 628.8 FT'  
50% OF 628.8 = 314.4 FT'  
SIGN TOTAL = 14.95 FT'

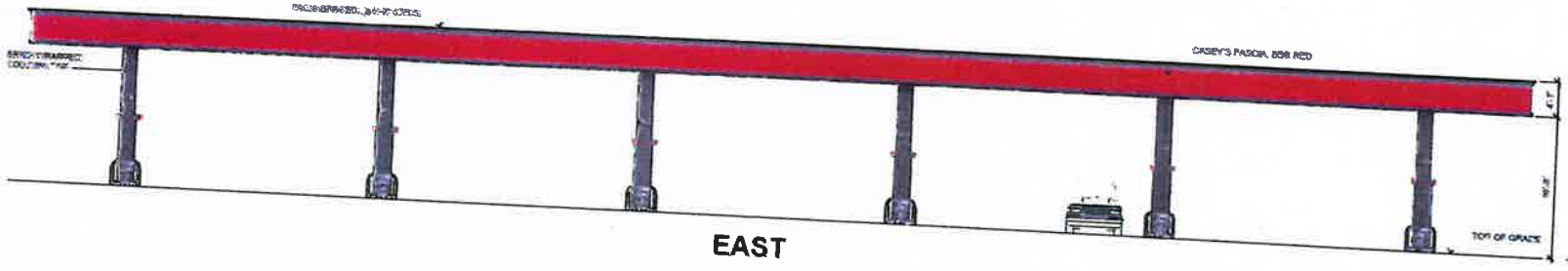
**2b**



**SOUTH**

CANOPY FACADE = 98 FT'  
50% OF 98 = 49 FT'  
SIGN TOTAL = 14.95 FT'

**2c**



**EAST**



**NORTH**

CANOPY FACADE = 98 FT'  
50% OF 98 = 49 FT'  
SIGN TOTAL = 14.95 FT'

**EXHIBIT G-5**



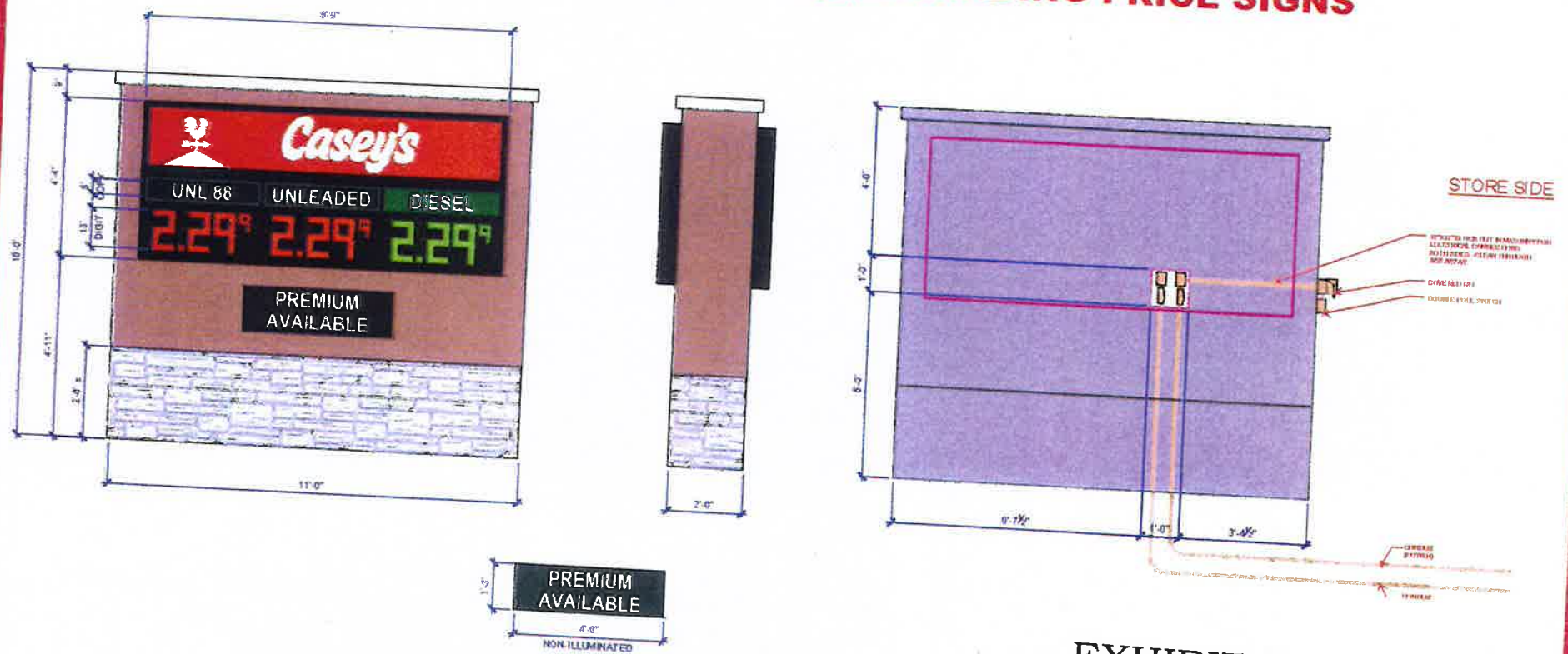
# Brick Monument Sign (10' OAH)

Sign #	Sign	Type	Location	Illumination	Dimensions				Boxed Area Ft <sup>2</sup>
					Height	Width	Bottom	Top	
	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	0' 11"	5' 3"	42.25
	Product Flag	Freestanding	Street	N/A	1' 6"	2' 6"	3' 0"	4' 6"	3.75
<b>Total</b>								<b>46</b>	

**SIGN 3**

RECEIVED  
 FEB 16 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

## QTY. 2 FREESTANDING PRICE SIGNS



**PRICER NOTES:**

- CASEY'S FACE MATERIAL: FLAT CLEAR SOLAR GRADE POLY
- GRAPHICS: SECOND SURFACE
- MASONRY BASE SAME SPEC AS BUILDING
- SUNSHINE BRAND LED DIGITS
- 13" RED AND GREEN LED
- AUTOMATICALLY ADJUSTS BRIGHTNESS FOR DAYTIME AND NIGHTTIME OPERATIONS

EXHIBIT G-6



**CAROL STREAM, IL #4261**  
**GARY & LIES**

DRAWN BY:  
 J. CLARK

DATE:  
 10-31-22





ORDINANCE NO. 2023-\_\_ - \_\_

**AN ORDINANCE APPROVING A VARIATION TO INCREASE THE HEIGHT OF AN ANTENNA STRUCTURE (SBA MONARCH TOWERS III, LLC / T-MOBILE - 877-901 E. GENEVA ROAD)**

**WHEREAS**, Mark Iacopetti, with SBA Monarch Towers III, LLC, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Variation to increase the height of an antenna structure from 55 feet to 100 feet, in accordance with Section 16-4-15 (E) of the Unified Development Ordinance, on the property legally described in Section 2 herein and commonly known as 877-901 E. Geneva Road, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-8-4 (K) of the Unified Development Ordinance, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on February 13, 2023, March 13, 2023, and March 27, 2023, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Height Variation be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Height Variation with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Height Variation, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that:

1. The requested variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action. *The unique circumstance is that the maximum height regulation specified by the UDO would not allow a functional tower to be built. The modification to the top of the tower will maintain its stealth design.*
2. The variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property. *The essential character of the neighborhood is highly varied, with open space to the north, commercial/office uses to the south and west, and residential condominiums to the east. Specific efforts were taken in the design of the tower to minimize visual impacts on surrounding properties, and those efforts will be maintained with the wider canister at the top portion of the stealth tower.*

3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards. *The tower will maintain a 100-foot height, which was approved with the initial height variation in 2010. Requiring the tower to be reduced to the maximum height of 55 feet allowed in the UDO would greatly limit the effectiveness of antenna coverage and usability in said tower.*
4. The variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO. *The only change between the requested variation and the previously approved variation is to modify the diameter of the top 40 feet of the tower. The tower will maintain a height of 100 feet, which was previously approved in 2010.*
5. The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan. *The proposed tower enhancement will provide enhanced wireless communication coverage to the public. If approved, the variation should not be detrimental to the public welfare or injurious to the other property or improvements in the neighborhood, as has been the case with the tower for over a decade since its initial construction.*

**SECTION 2:**

The Height Variation, as set forth in the above recitals, is hereby approved and granted to SBA Monarch Towers III, LLC/T-Mobile, subject to the conditions set forth in Section 3, upon the real estate commonly known as 877-901 E. Geneva Road, Carol Stream, Illinois, and legally described as follows:

LOTS 1 AND 2 AND OUTLOT 1 IN GENEVA PLAZA SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 1978 AS DOCUMENT R78-95209, IN DUPAGE COUNTY, ILLINOIS.

Hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Height Variation granted herein is subject to the following conditions:

1. That all terms and conditions of previously approved Ordinance No. 2010-11-52 not specifically revised herein shall remain in full force and effect, specifically including the following:
  - a. All equipment associated with the antenna structure must be located within the masonry equipment enclosure, and that all equipment other than the antenna structure itself must be fully screened by and not taller than the enclosure.

- b. The applicant must obtain building permits for all of the proposed work;
2. That the top 40 feet of the antenna structure that will be widened in diameter shall match the rest of the existing structure in terms of color, design, and materials;
3. That should additional modifications to the antenna structure be proposed, said modifications shall require review and approval of a height variation; and
4. That the development of the antenna structure and associated equipment and structures must comply with all state, county and village Codes and requirements.

**SECTION 4:**

The Height Variation is hereby approved and granted as set forth in the following plans and exhibits:

1. Title Sheet (Exhibit A, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
2. Overall Site Plan (Exhibit B, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
3. Equipment Plan (Exhibit C, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
4. Tower Elevation (Exhibit D, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
5. New and Existing Antenna Plan (Exhibit E, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
6. Cabinet Plans (Exhibits F-1 and F-2), received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
7. Utility Plan (Exhibit G, received by the Community Development Department March 14, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.
8. Photo Simulations (Exhibits H-1, H-2, and H-3, received by the Community Development Department March 17, 2023), prepared by WT Group, 2675 Pratum Avenue, Hoffman Estates, IL, 60192.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the variation request after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023.

AYES:

NAYS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Frank Saverino, Sr. Mayor

\_\_\_\_\_  
Julia Schwarze, Village Clerk

I, Mark Iacopetti, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the variation request. SBA Monarch Towers III, LLC further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

---

Date

---

Owner/Party In Interest



ANCHOR

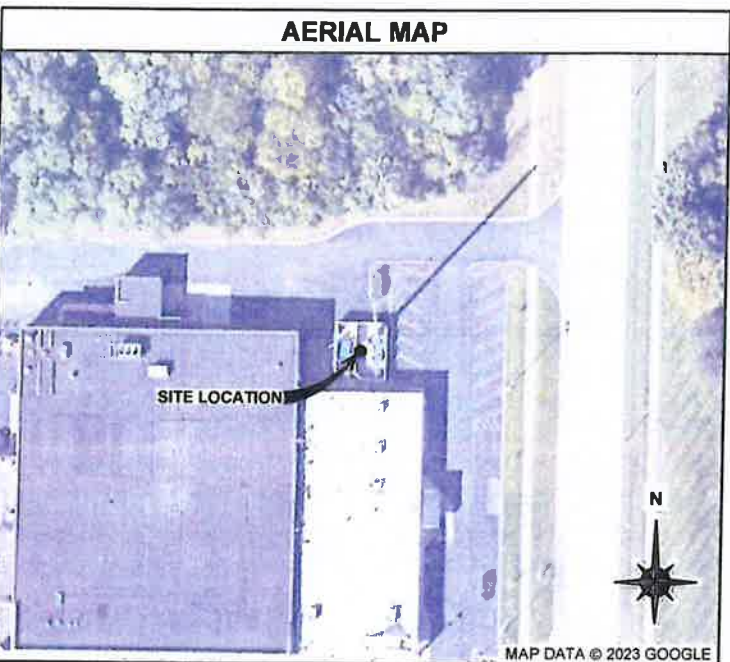


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MAR 14 2023  
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DEPT

SITE NUMBER:  
CH543491  
SITE NAME:  
GENEVA PLAZA

SBA SITE NUMBER:  
IL41100-T-01  
SBA SITE NAME:  
GENEVA PLAZA

JURISDICTION:  
VILLAGE OF CAROL STREAM  
SITE TYPE:  
STEALTH FLAG POLE  
SITE ADDRESS:  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188  
DUPAGE COUNTY



**PROJECT DESCRIPTION**

NO NEW WATER OR SEWER IS REQUIRED AS FACILITY IS UNMANNED.

**EXISTING T-MOBILE BUILD OUT:**  
(6) ANTENNAS, (9) TMA'S, (12) COAX, (1) SITE SUPPORT CABINET, (3) SYSTEM MODULES, (5) RF MODULES & (1) CUBE MOUNT

**FINAL T-MOBILE BUILD OUT:**  
(6) ANTENNAS, (6) RRU'S, (10) COAX, (2) HCS 2.0 TRUNK'S, (2) BREAKOUT BOXES, (2) OVP'S, (1) SITE SUPPORT CABINET, (1) BBU CABINET, (1) SYSTEM MODULE & (2) AMIA'S IN SSC

**SCOPE OF WORK:**

- REMOVE & REPLACE (2) EXISTING STEALTH CANISTERS (BY OTHERS)
- REMOVE & REPLACE EXISTING ANTENNA MOUNTS
- REMOVE (6) EXISTING ANTENNAS
- REMOVE (9) EXISTING TMA'S
- REMOVE (2) EXISTING COAX (10 COAX TO REMAIN)
- REMOVE (1) EXISTING GSM-PCS ESMB
- REMOVE (1) EXISTING LTE-PCS/AWS FSMF
- REMOVE (2) EXISTING LTE-AWS FRIE'S
- REMOVE (2) EXISTING UMTS/LTE-PCS FXFC'S
- REMOVE (1) EXISTING GSM-PCS FXFB
- REMOVE (1) EXISTING FBBA & (1) FBBC SUBMODULES
- RE-PURPOSE (1) EXISTING UMTS-PCS FSMF FOR UMTS/GSM-PCS
- RELOCATE RE-PURPOSED FSMF TO NEW SSC
- REMOVE EXISTING CUBE MOUNT
- REMOVE EXISTING SITE SUPPORT CABINET
- RELOCATE EXISTING FSEB TO NEW SSC
- INSTALL (3) NEW ANTENNAS (1 PER SECTOR)
- INSTALL (3) NEW AHFIG'S (1 PER SECTOR)
- INSTALL (3) NEW AHLOA'S (1 PER SECTOR)
- INSTALL (2) NEW BREAKOUT BOXES
- INSTALL (2) NEW OVP'S & WIRE TROUGH
- INSTALL (2) NEW HCS 2.0 TRUNKS
- INSTALL (1) NEW SITE SUPPORT CABINET
- INSTALL (1) NEW BBU CABINET
- INSTALL (1) NEW AMIA W/ (1) ASIB CORE MODULE, (1) ASIK CORE MODULE, (3) ABIL CAPACITY MODULES AND (3) ABIC CAPACITY MODULES IN SSC
- INSTALL (1) NEW AMIA W/ (1) ASIB CORE MODULE, (1) ASIK CORE MODULE, (3) ABIA CAPACITY MODULES AND (3) ABIL CAPACITY MODULES IN SSC
- REMOVE EXISTING CSR 7705 SAR A
- INSTALL NEW CSR IXRe V2

**PROJECT TEAM**

**A&E:**  
WT GROUP, LLC.  
2875 PRATUM AVENUE  
HOFFMAN ESTATES, IL 60192  
CONTACT: TIM KUEN  
TEL: (224) 293-6333  
FAX: (224) 293-6444

**SITE ACQUISITION:**  
SBA COMMUNICATION CORPORATION  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487-1307  
TEL: (800) 487-SITE (7483)

**STRUCTURAL:**  
TOWER ENGINEERING SOLUTIONS  
1320 GREENWAY DRIVE, SUITE 600  
IRVING, TX 75038  
TEL: (972) 483-0607  
FAX: (972) 975-9615

**TOWER OWNER:**  
SBA COMMUNICATION CORPORATION  
8051 CONGRESS AVENUE  
BOCA RATON, FL 33487-1307  
TEL: (800) 487-SITE (7483)

**APPLICANT:**  
T-MOBILE  
1400 OPIUS PLACE  
DOWNERS GROVE, IL 60515  
TEL: (773) 444-5400  
CONTACT: TBD

**SITE INFORMATION**

**SITE ADDRESS**  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

**TOWER INFORMATION**  
STRUCTURE HEIGHT: 100'-0" STEALTH FLAG POLE  
- HIGHEST TOWER APPURTENANCE: T.B.D.  
- T-MOBILE ANTENNA RAD CENTER: 88'-0", 96'-0"  
- T-MOBILE ANTENNA TIP HEIGHT: 89'-6", 100'-0"

**COORDINATES (NAD 1983)**  
LATITUDE: 41.88971389° N  
LONGITUDE: -88.09246670° W

**GROUND ELEVATION**  
748.00' (PER GOOGLE EARTH)

**SHEET INDEX**

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
GN-1	GENERAL NOTES
C-1	OVERALL SITE PLAN
C-2	EXISTING & NEW SITE PLANS
A-1	TOWER ELEVATION
A-2	ANTENNA PLANS
A-3	ANTENNA & CABLE SCHEDULE
A-4	RF PLUMBING DIAGRAM
A-5	EQUIPMENT DETAILS
A-6	EQUIPMENT DETAILS
A-7	EQUIPMENT DETAILS
A-8	EQUIPMENT DETAILS
E-1	UTILITY PLAN
GR-1	GROUNDING RISER
GR-2	GROUNDING DETAILS

**UTILITIES**

**CODE COMPLIANCE**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE FOLLOWING CODES:

**BUILDING CODE:**  
2018 INTERNATIONAL BUILDING CODE (2018 IBC)

**ELECTRICAL CODE:**  
2017 NATIONAL ELECTRICAL CODE (2017 NEC)

**REFERENCED MATERIALS**

A SITE WALK WAS NOT PERFORMED FOR THIS SITE PER SCOPE OF WORK. COMPOUND, ELEVATION, EQUIPMENT LAYOUT AND ANTENNA PLANS SHOWN WITHIN THIS SET WERE TAKEN FROM AVAILABLE DOCUMENTS/DRAWINGS PROVIDED BY OTHERS.

WT Group  
Engineering • Design • Consulting  
2875 Pratum Avenue | Hoffman Estates, IL 60192  
Tel: (224) 293-6333 | Fax: (224) 293-6444  
www.wtgroup.com

WT GROUP  
Engineering with Precision, Pace and Passion

WT Group  
Engineering • Design • Consulting

GENEVA PLAZA  
CH543491  
554 S. PRESIDENT STREET  
CAROL STREAM, IL 60188

EXPIRES: 11/30/23 SIGNED: XX/XX/23

**REVISIONS**

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
CIVIL \ TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

T-1  
TITLE SHEET



**GENERAL SITE NOTES:**

1. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED THE PRE-CON PACKAGE AND HAVE A PRE-CON WALK WITH THE PROJECT MANAGER.
2. CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE LOCATING SERVICE IN ORDER TO LOCATE AND PROTECT ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES
3. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL DAMAGED UTILITIES AT HIS OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
4. CONTRACTOR TO VERIFY ALL HEIGHTS AND AZIMUTHS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY T-MOBILE AND ENGINEERING FIRM OF ANY DISCREPANCIES BEFORE PROCEEDING.
5. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.



**EXHIBIT B**



MAP DATA © 2023 GOOGLE

**OVERALL SITE PLAN**

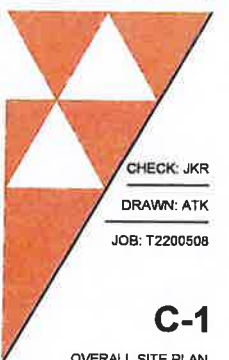
SCALE: 1" = 30'-0"

1

EXPIRES: 11/30/23 SIGNED: XX/XX/23

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

AQUATIC \ DESIGN & PROGRAM MANAGEMENT  
 CIVIL \ TELECOMMUNICATION \ MECHANICAL  
 PLUMBING \ ELECTRICAL \ LAND SURVEYING  
 ACCESSIBILITY CONSULTING \ STRUCTURAL



CHECK: JKR  
 DRAWN: ATK  
 JOB: T2200508

**C-1**

OVERALL SITE PLAN



**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
 2675 Pinjun Avenue | Hoffman Estates, IL 60182  
 T: 224.203.6333 | F: 224.203.6444  
 wtgroup.com

**GENEVA PLAZA**  
 CH543491  
 554 S. PRESIDENT STREET  
 CAROL STREAM, IL 60188

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# EXHIBIT C

## LEGEND

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- RELOCATED EQUIPMENT
- REMOVED EQUIPMENT

RECEIVED

MAR 14 2023

COMMUNITY DEVELOPMENT DEPT

### IMPORTANT SITE NOTES:

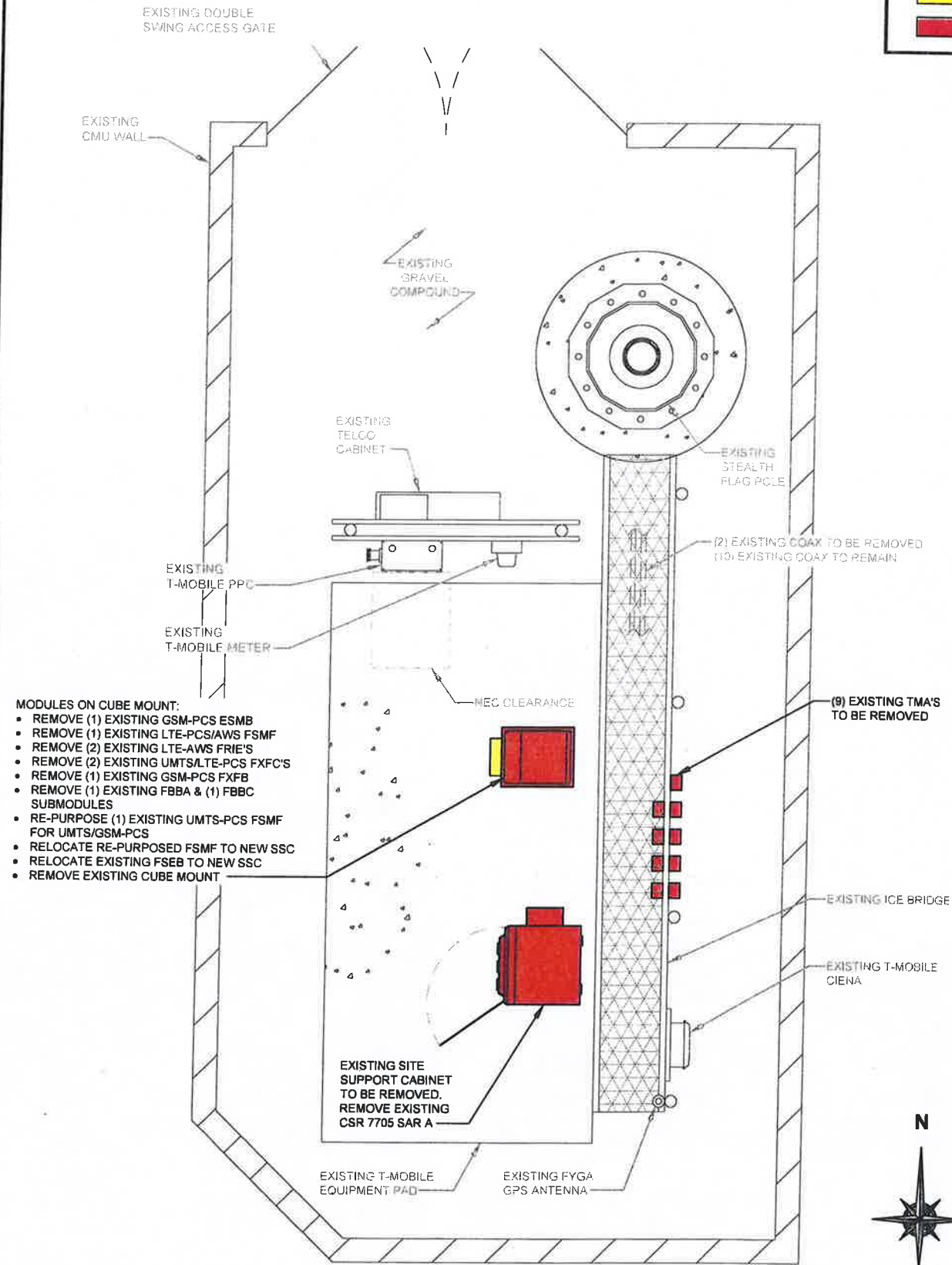
1. FLEXI MODULE FANS - SINCE AIRFLOW ON THESE CABINETS FLOWS FROM FRONT TO BACK, THE FLEXI FANS NEED TO BE FLIPPED, AND ALL FLEXI EQUIPMENT FULLY CLEANED TO PERMIT AIRFLOW DIRECTION WITHIN THE HPL3. (BY DEFAULT, FLEXI MODULE AIRFLOW IS FROM BACK TO FRONT) FLEXI SLEEVES NEED TO BE INSTALLED WITH ALL FLEXI MODULES. PHOTO PROOF OF FAN ROTATION AND CHASSIS CLEANED IS REQUIRED.
2. ORION CONTROLLERS ARE CABINET SPECIFIC! NEVER UPLOAD OR UPDATE SW TO THESE CONTROLLERS OR EVEN COPY CONFIGURATION FROM ANY OTHER ORION CONTROLLERS. THESE NEW CONTROLLERS COME WITH SPECIFIC SW THAT IS NOT BACKWARDS COMPATIBLE. DOING SO WILL DAMAGE THE CONTROLLER AND VOID THE WARRANTY.
3. NEVER USE TELCOFLEX WIRE TO RUN AC FEEDS (NOT APPROVED). ALWAYS USE THHN WIRE TO DELIVER AC POWER FROM THE PPC. PROPER AC/DC WIRE COLOR CODING NEEDS TO BE ADHERED TO.
4. A 3" MEYER HUB WITH REDUCER TO RIGID LL AT THE HPL3 IS USED TO RUN THE (3 EA) 3/0 & (1 EA) #4 TO THE PPC. TO WIRE THE 200A AC INPUT BREAKER. SITES EVENTUALLY WILL BE PREPPED FOR A SECOND POWER RUN FROM BACK OF CAB TO PPC. REFER TO CD'S FOR THIS UPDATE.
5. FOR HPL3 CABINETS, TEMPERATURE AND VOLTAGE COMPENSATION PROBS ARE SPECIFICALLY ADDRESSED IN DELTA'S HPL3 BATTERY ICM MANUAL (PAGES 14-18). IT IS STRONGLY ADVISED TO REVIEW/FOLLOW THESE INSTALLATION STEPS TO ENSURE OPTIMAL PERFORMANCE FROM THESE PROBS.
6. REMEMBER TO RUN THE ETHERNET ALARM CABLE FROM THE HPL3 TO BATTERY CABINET. REFER TO HPL3 DELTA USER MANUAL SECTION 3.1.0. FAILURE TO FOLLOW THIS INSTALLATION TASK WILL CAUSE THE CABINET TO OVERHEAT.
7. BE SURE TO INSTALL THE DC CABLE FROM THE HPL3 TO LB3 FOR CLIMATE CONTROL - REFER TO LB3 DELTA USER MANUAL SECTION 3.9. FAILURE TO DO SO WILL RESULT IN LB3 OVERHEATING.
8. DO NOT FORGET TO RUN/INSTALL A CAT5 CABLE FROM THE ORION CONTROLLER TO CELL SITE ROUTER (XRRe/SAS) AND INTEGRATE.
9. SUPPLY & INSTALL LOOP RELAY CONDUIT, CONNECTORS AND ALARM CABLE, FROM HPL3 TO PPC.

### NOTES:

1. CONTRACTOR TO INSTALL EXTRA AMPLIFIER FOR POWERPLUS VOLTAGE BOOSTER.
2. CONTRACTOR TO INSTALL VOLTAGE BOOSTER POWERPLUS W/ 2 AMPLIFIER RAYCAP.

### NOTE:

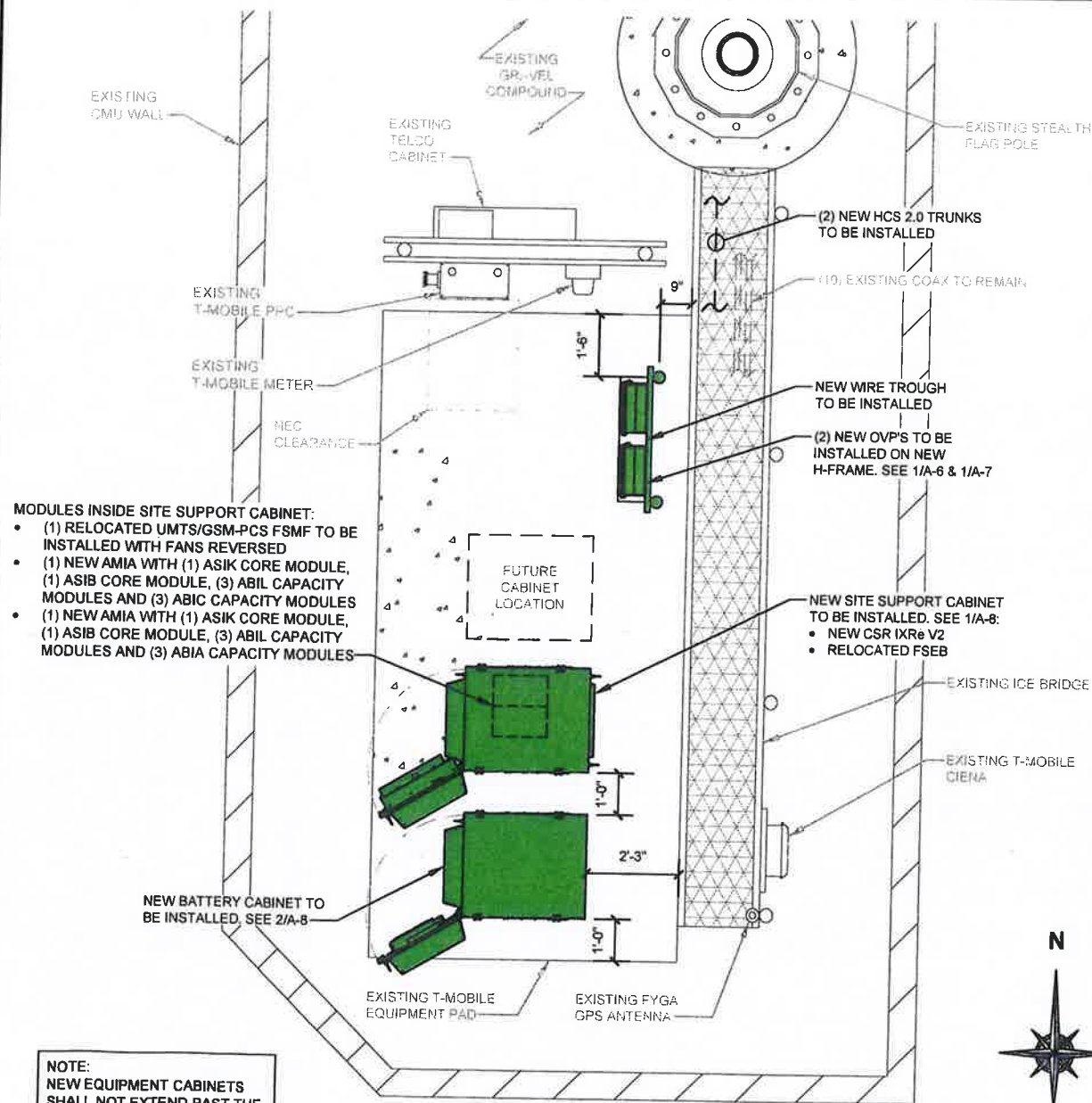
IF 200 AMP IS NOT PRESENT, SERVICE WILL NEED TO BE UPGRADED DURING ANTENNA INSTALL.



**EXISTING EQUIPMENT PLAN**

SCALE: 1/4" = 1'-0"

1



**NEW EQUIPMENT PLAN**

SCALE: 1/4" = 1'-0"

2

NOTE: NEW EQUIPMENT CABINETS SHALL NOT EXTEND PAST THE TOP OF THE EXISTING ENCLOSURE WALL.



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CAROL STREAM, IL 60188

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REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	10/12/22	ATK
B	VILLAGE COMMENTS	01/04/23	ATK
C	REVISED TOWER ELEVATION (A-1)	03/14/23	TRK

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CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

C-2  
EXISTING & NEW SITE PLANS



**LEGEND**

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- REMOVED EQUIPMENT
- RELOCATED EQUIPMENT

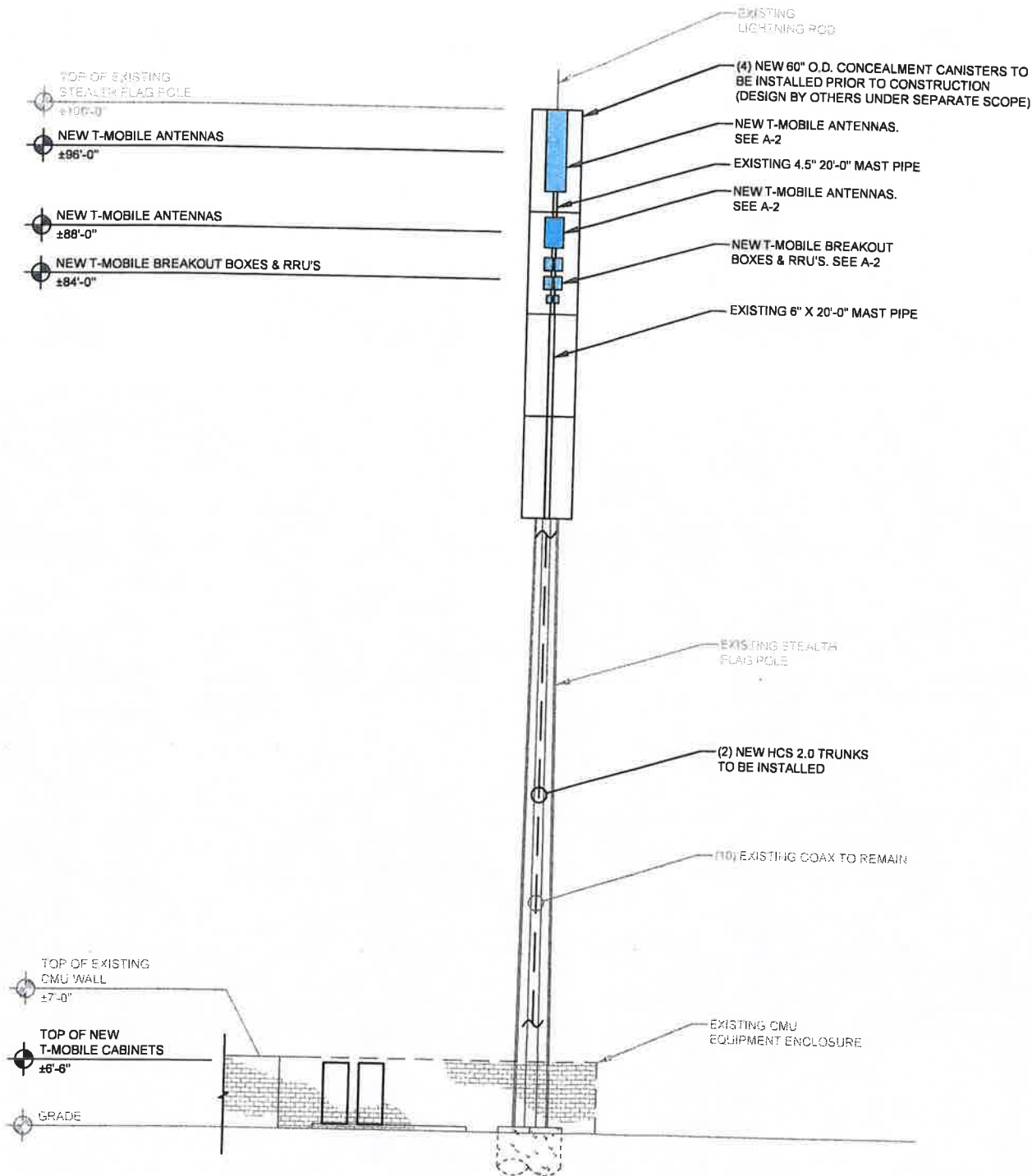
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**NOTE:**  
A STRUCTURAL ANALYSIS OF THE ANTENNA MOUNT HAS BEEN COMPLETED BY WT GROUP STRUCTURAL ENGINEERING ON **DATE PENDING**. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

**NOTE:**  
A STRUCTURAL ANALYSIS OF THE TOWER OR STRUCTURE HAS BEEN COMPLETED BY TOWER ENGINEERING SOLUTIONS ON SEPTEMBER 23, 2022. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

**NOTE:**  
ANTENNA CENTERLINE'S VERTICAL OFFSET FROM PLATFORM DECK OR HORIZONTAL CENTER OF SECTOR FRAME SHALL NOT EXCEED 6".

**NOTE:**  
NEW CONCEALMENT CANISTER SHALL MATCH EXISTING STEALTH TOWER IN TERMS OF COLOR, MATERIALS AND DESIGN.



**EXHIBIT D**

**TOWER ELEVATION**

SCALE: 1" = 15'-0"

1

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# EXHIBIT E

## LEGEND

- EXISTING EQUIPMENT
- NEW EQUIPMENT
- REMOVED EQUIPMENT
- RELOCATED EQUIPMENT

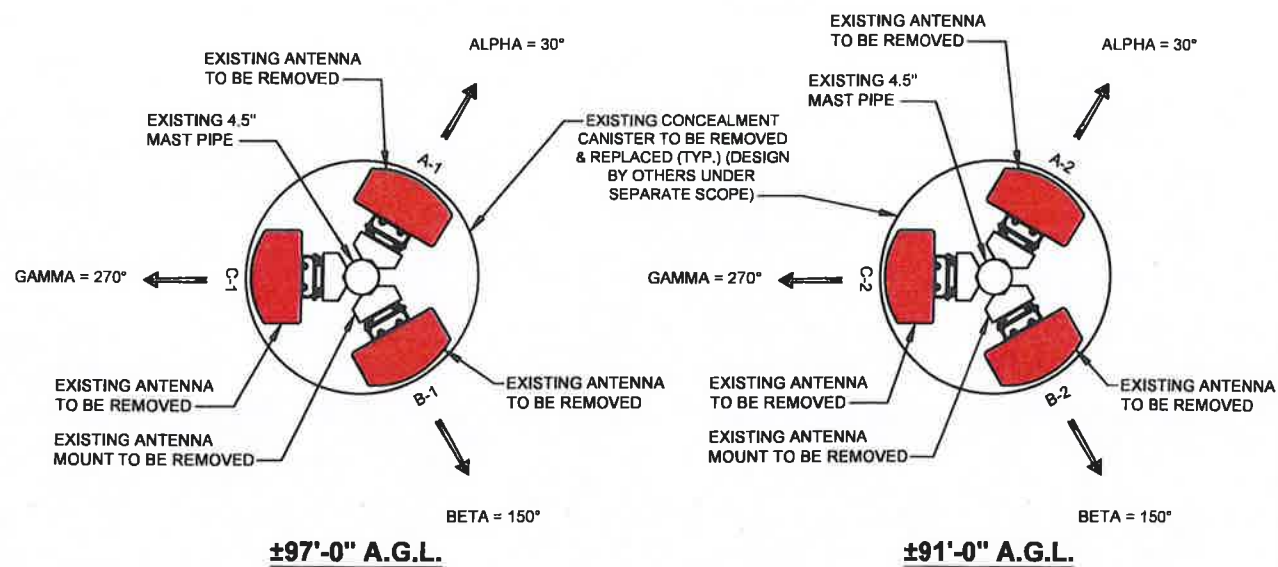
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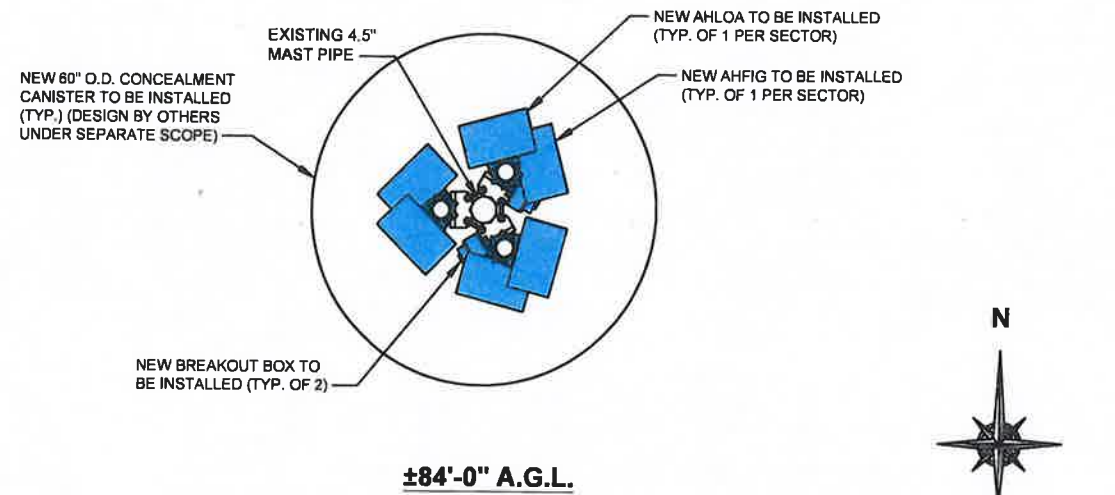
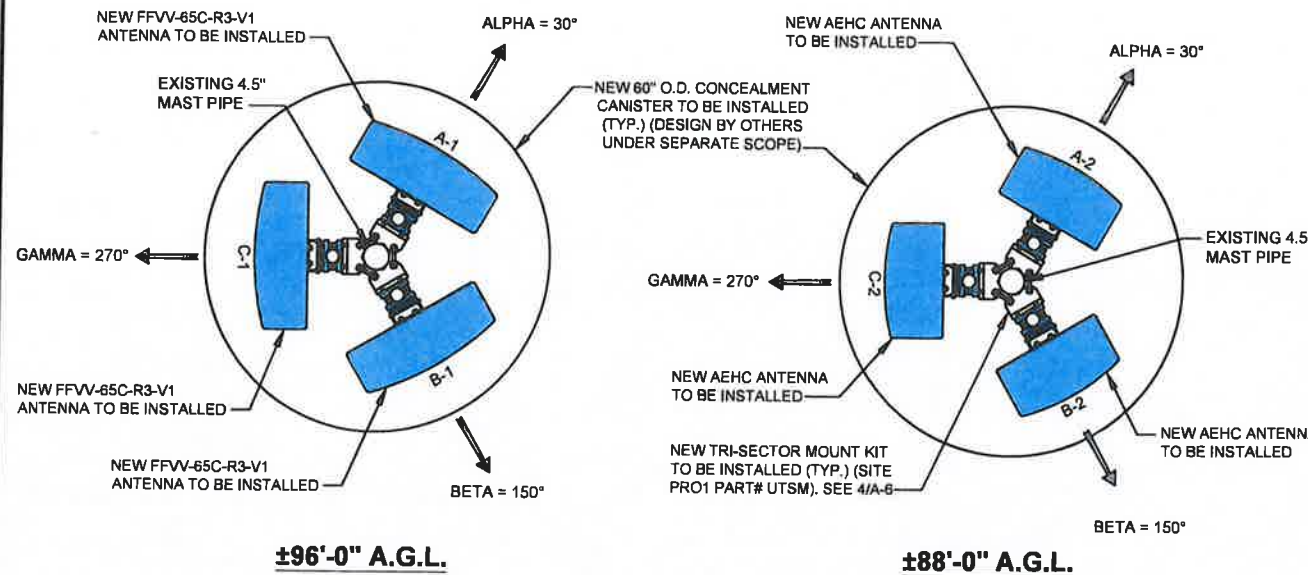
NOTE:  
A STRUCTURAL ANALYSIS OF THE TOWER OR STRUCTURE HAS BEEN COMPLETED BY TOWER ENGINEERING SOLUTIONS ON SEPTEMBER 23, 2022. THE LOCATION AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHALL SUPERSEDE THESE DRAWINGS.

NOTE:  
ANTENNA INFORMATION OBTAINED FROM T-MOBILE RF DATA CONFIGURATION SHEET DATED 06/23/22.

NOTE:  
NEW CONCEALMENT CANISTER SHALL MATCH EXISTING STEALTH TOWER IN TERMS OF COLOR, MATERIALS AND DESIGN.



**EXISTING ANTENNA PLAN**  
SCALE: NONE 1



**NEW ANTENNA PLAN**  
SCALE: NONE 2



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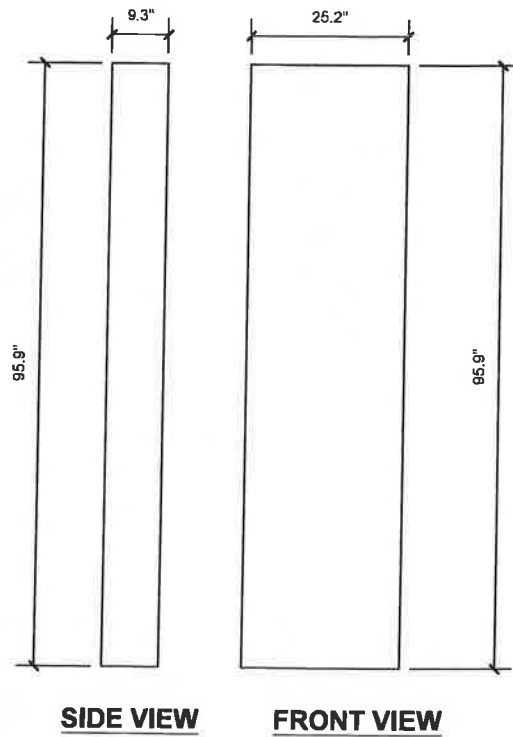
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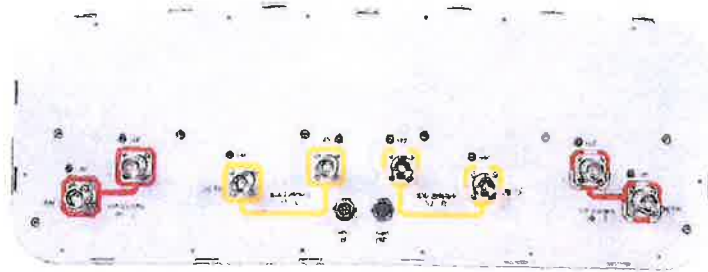






### COMMSCOPE ANTENNA FFVV-65C-R3-V1

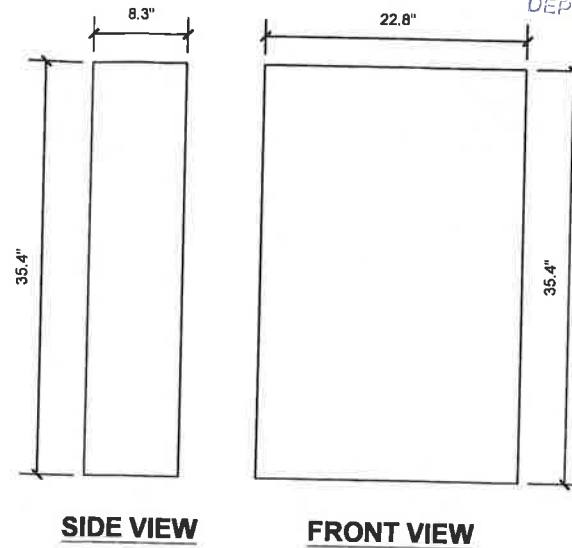
DIMENSIONS, HxWxD: 95.9"x25.2"x9.3"  
ANTENNA WEIGHT: 124.6 lbs



#### ANTENNA DETAIL

SCALE: NONE

1



### NOKIA ANTENNA AEHC AIRSCALE

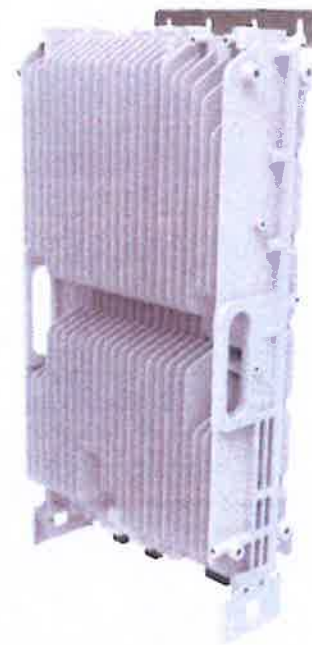
DIMENSIONS, HxWxD: 35.4"x22.8"x8.3"  
ANTENNA WEIGHT: 89.2 lbs

#### ANTENNA DETAIL

SCALE: NONE

2

Supported Frequency bands	3GPP Band 12/71
Frequencies	Band 12 adjusted: UL 698 - 716 MHz, DL 728 - 746 MHz Band 71: UL 663 MHz - 698 MHz, DL 617 MHz - 652 MHz
Number of TX/RX paths/pipes	4 pipes; 2T2R, 2T4R, 4T4R for both bands
Instantaneous Bandwidth IBW	17 MHz for B12 and 35MHz for B71 1 MHz below B12 NB IoT future use
Occupied Bandwidth OBW	UL 53MHz contiguous DL B12 17MHz + 1 MHz NB IoT future use, B71 35MHz
Output Power	60W per TX shared between bands
Supply Voltage / Range	DC -48 V / -36 V to -60 V
Typical Power Consumption	640W [ETSI Busy Hour Load at 4TX@60W] 450W [ETSI Busy Hour Load at 4TX@20W]
Antenna Ports	4 ports, 4, 3-10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control interfaces	AISG3.0 and RET (DC on ANT1 & ANT3)
Other interfaces	External Alarm MDR-26 (4 inputs, 1 Output) DC Circular Power Connector
Physical	560 mm x 308 mm x 189 mm * Approximately 38kg with no covers or brackets **
Operating Temperature Range	-40°C to 55°C (with no solar load)
Surge Protection	Class II 5A
Installation Options	Pole, Wall, Book Mount



#### AHLOA DETAIL

SCALE: NONE

3

\* = 22.05" x 12.13" x 7.44"  
\*\* = 83.76 lbs



Property	Value
Height	Core RRH: 895 mm (27.4 in.) With upper and lower mounting brackets: 730 mm (28.7 in.)
Width	Core RRH: 308 mm (12.1 in.) With mounting cover: 327 mm (12.9 in.)
Depth	Core RRH: 131 mm (5.2 in.) With mounting cover: 142 mm (5.6 in.)
Weight	Core RRH: 32 kg (70.5 lb)

#### AHFIG DETAIL

SCALE: NONE

4

### EXHIBIT F-1

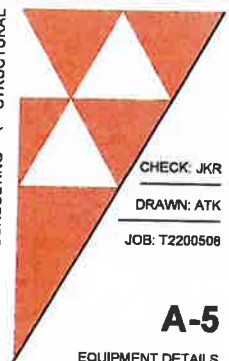
Property	Value
Output Power	B25: 4x80 W B66: 4x40 W
QAM	256 QAM (DL) 64 QAM (UL)
Number of TX/RX	4T4R
SW supported technologies	GSM, WCDMA, LTE
TX frequency range	B25: 1930 MHz - 1995 MHz B66: 2110 MHz - 2200 MHz
RX frequency range	B25: 1850 MHz - 1915 MHz B66: 1710 MHz - 1780 MHz
DL/UL instantaneous bandwidth	B25: 65 MHz B66: 80 MHz
Number of carriers per pipe	Up to 8
Supported bandwidths	1.4, 3, 5, 10, 15, 20 MHz

Configuration	Output Power per carrier (W)	Power consumption (W), ETSI 202706 average load PRRH, static	Power consumption (W), ETSI 202706 busy hour load PBH RRH, static	Power consumption (W), 100% RF power load P100% RRH
Single band 1/1/1 4Tx	4x80	2113	2586	3831
Single band 1/1/1 4Tx	4x40	1720	1987	2853
Single band 1/1/1 2Tx	2x80	1388	1622	2208
Single band 1/1/1 2Tx	2x40	1195	1313	1997
Dual band 1+1 / 1+1 / 1+1 4Tx	4x80 + 4x40	2669	3626	5175
Dual band 1+1 / 1+1 / 1+1 4Tx	4x40	2474	2992	4235
Dual band 1+1 / 1+1 / 1+1 2Tx	2x80 + 2x40	1757	2123	2890
Dual band 1+1 / 1+1 / 1+1 2Tx	2x40	1572	1830	2432

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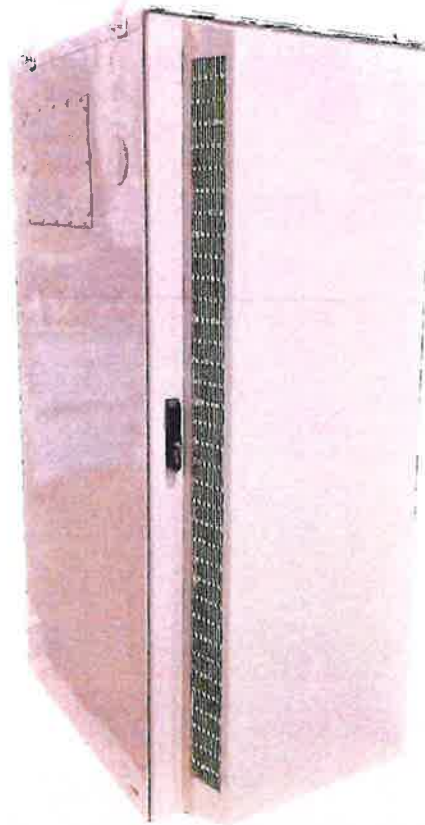
## Specifications

**Model** HPL3 (HP-Large 3 Power Cabinet)

1. General	
Construction	Aluminum enclosure
Dimensions (W x H x D)	30 x 72 x 34.6 in. (762 x 1829 x 879mm)
Depth with Door/Hatch: 44.7 in. (1136mm)	
Weight	~595 lbs (~270kg) (without customer equipment or batteries)
Total Equipment space 30RU:	
Internal rack dimension	Horizontal rack: 19" x 27RU Vertical rack: 19" x 3RU
Power System space: 23" x 12RU	
Mounting options	Pad-mount, plinth option
Finish	Polyester Powder Paint (Tan)
Safety	UL Listed, IEC / EN 60950
2. Environment	
Operating temperature	-40°C to +50°C (-40°F to +122°F) with solar load, IP 55
Protection class	designed to GR-487
Acoustics	65dBA @5000W heat load, 70dBA @ 6000W
Humidity (relative)	95%, non-condensing (Max.)
3. Thermal Management	
Cooling Equipment:	Direct Air Cooling, 6000W capacity, 5°C delta T
Heating Equipment:	Forced air heating (2) 1000W AC heaters
4. Equipment	
Cable entry	Knock-out plate on each upper side wall / Additional knockouts on sides (1) 3" conduit hole with hole plug
Door latch	3 point latching, 5/16 nut driver tool, pad-locking capability
Primary ground	10 double-hole 1/4"-20 threaded holes on 5/8" center ground bar
Lifting Ears	4 Lifting Tabs
Plinth	Optional 6" plinth available
AC Load Center:	
240V split phase, dual feed / (1) 200A + (1)100A	
208V 3-phase, single feed / (1) 200A	
AC Surge Protection for each breaker feed	
GFCI Receptacle 120V	
Temp Probes	
(6 form-C) Alarm Termination block	
605A/ 54V (336kW) redundant Power System with DIN rail distribution:	
12 rectifier positions (3x55A DPR3000 rectifiers included)	
48 poles for load (2x10A, 3x50A, and 6x100A load breakers included)	
16 poles for battery	
(2) SB350 / (2) SB175 Battery connections	
(3) SB350 Generator connections	
(6) DC powered centrifugal fans with (3) MERV-13 filters, (GORE option)	
Clogged Filter alarm pressure switch	
Door intrusion alarm	
(2) 1000W AC powered heaters	
LED interior cabinet light	
Exhaust vent with (3) MERV-13 filters, (GORE option)	
Front Door:	
Rear Hatch:	

5. Ordering information	
Cabinet	ESOA600-HCU01 HP-Large 3 600A Power / Equipment Cabinet
Rectifier	ESR-48/60A A-T 48V / 56A 3000W, 96.4%, CAN communication
Controller (Spare)	TPS1020028AU17 Orion TOUCH Controller
Plinth, 6"	37993318816900-S Plinth for V1/V2, HPL2, HPL3, LB2 and LB3

\*All specifications are subject to change without prior notice



**SITE SUPPORT CABINET**

SCALE: NONE

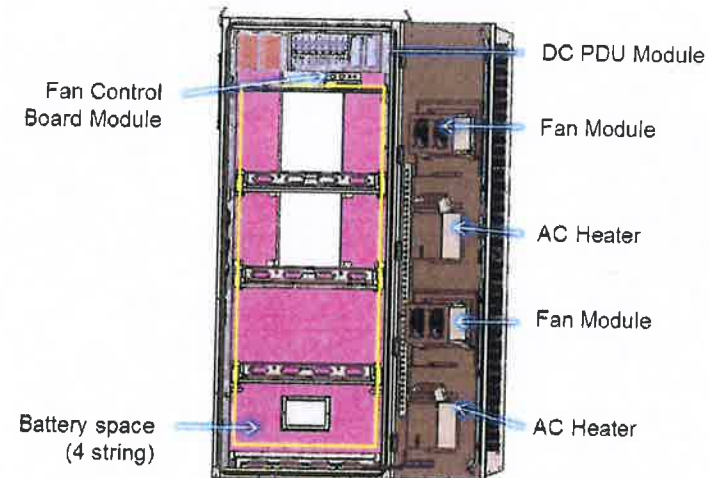
1



## Specifications

Model		Large 3 Battery (LB3) Cabinet
1. General		
Construction	Aluminum enclosure	
Dimensions (W x H x D)	30 x 72 x 35 in. (762 x 1829 x 889mm), Depth with door: 41 in. (1045mm)	
Weight	~540lbs (245kg) (without batteries)	
Internal rack dimension	4 battery trays to support up to 210Ah batteries	
Mounting options	Pad-mount, plinth option	
Finish	Polyester Powder Paint (Tan)	
Safety	UL Listed, IEC / EN 60950	
2. Environment		
Operating temperature	-40C to +60C (-40F to +122F) with solar load,	
Protection class	IP55 designed to GR-487	
Acoustics	65 dBA	
Humidity (relative)	95%, non-condensing (Max.)	
3. Thermal management		
Cooling	Direct Air Cooling, (4) Axial Fans, Filters, F8 front and rear	
Heating	Forced air heating (2) 1000W AC heaters	
4. Equipment		
Cable Entry	Knock-out plate on each upper side wall Additional knockouts each side	
Door latch	3 point latching, 5/16 Nut driver tool, pad-locking capability	
Lifting Ears	4 eye bolts	
Standard equipment	AC Load Center with AC Surge protection and GFCI outlet Left or Right side AC entry options (2) 1000W AC powered heater  DC Load Center 600A bulk feed bus bar (4) 20050A DIN rail battery breakers (4) 2-hole lug landings (2) Anderson SB350 input connectors to daisy chain 2nd battery cabinet 2AWG battery cables from breakers to trays  Configurable trays for (4) strings of up to 210Ah batteries Door intrusion switch LED interior cabinet light Fan Control Board, factory wired alarms via RJ45 output (fan & breaker alarms)  Cabinet Connection kit (2) 4/0 cables with SB350 disconnects to connect to power cabinet	
5. Ordering information		
Cabinet	ESOF015-ECV04	Large Battery 3 Cabinet
Plinth, 6"	37993318816900-S	Plinth for V1/V2, HPL2, LB2 cabinets only

\*All specifications are subject to change without prior notice.



**BATTERY CABINET**

SCALE: NONE

2

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EXHIBIT F-2

REVISIONS	
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A	FOR CLIENT REVIEW
B	VILLAGE COMMENTS
C	REVISED TOWER ELEVATION (A-1)

EXPIRES: 11/30/23 SIGNED: XX/XX/23

CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

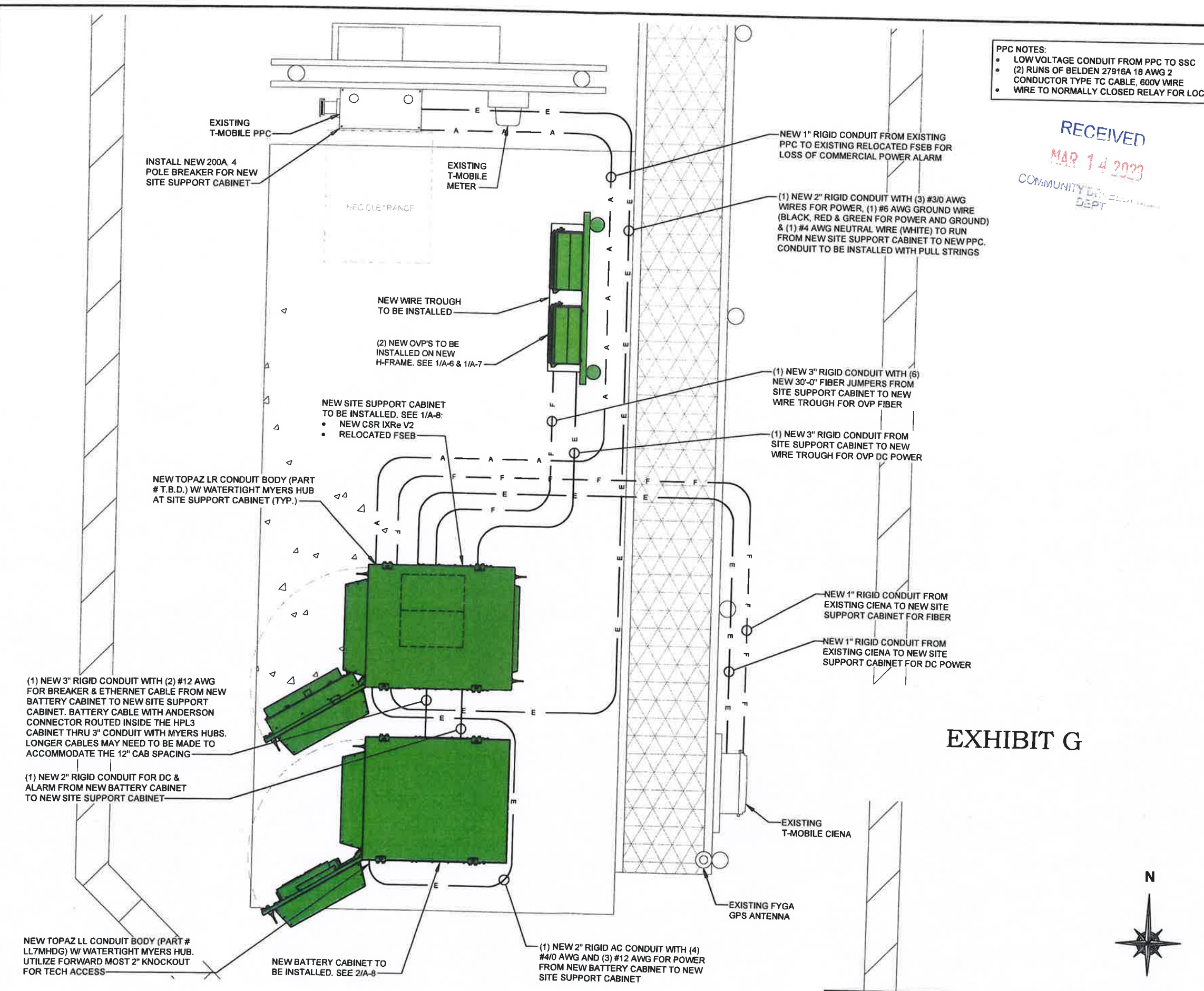
A-8  
EQUIPMENT DETAILS

DESIGN & PROGRAM MANAGEMENT  
TELECOMMUNICATION \ MECHANICAL  
PLUMBING \ ELECTRICAL \ LAND SURVEYING  
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**LEGEND**

- F — FIBER LINE
- E — ELECTRIC LINE
- A — ALARM CABLE



**PPC NOTES:**

- LOW VOLTAGE CONDUIT FROM PPC TO SSC
- (2) RUNS OF BELDEN 27916A 18 AWG 2 CONDUCTOR TYPE TC CABLE, 600V WIRE
- WIRE TO NORMALLY CLOSED RELAY FOR LOCP

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**EXHIBIT G**

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CHECK: JKR  
DRAWN: ATK  
JOB: T2200508

**E-1**  
UTILITY PLAN

**UTILITY PLAN**

SCALE: 1/2" = 1'-0"

1

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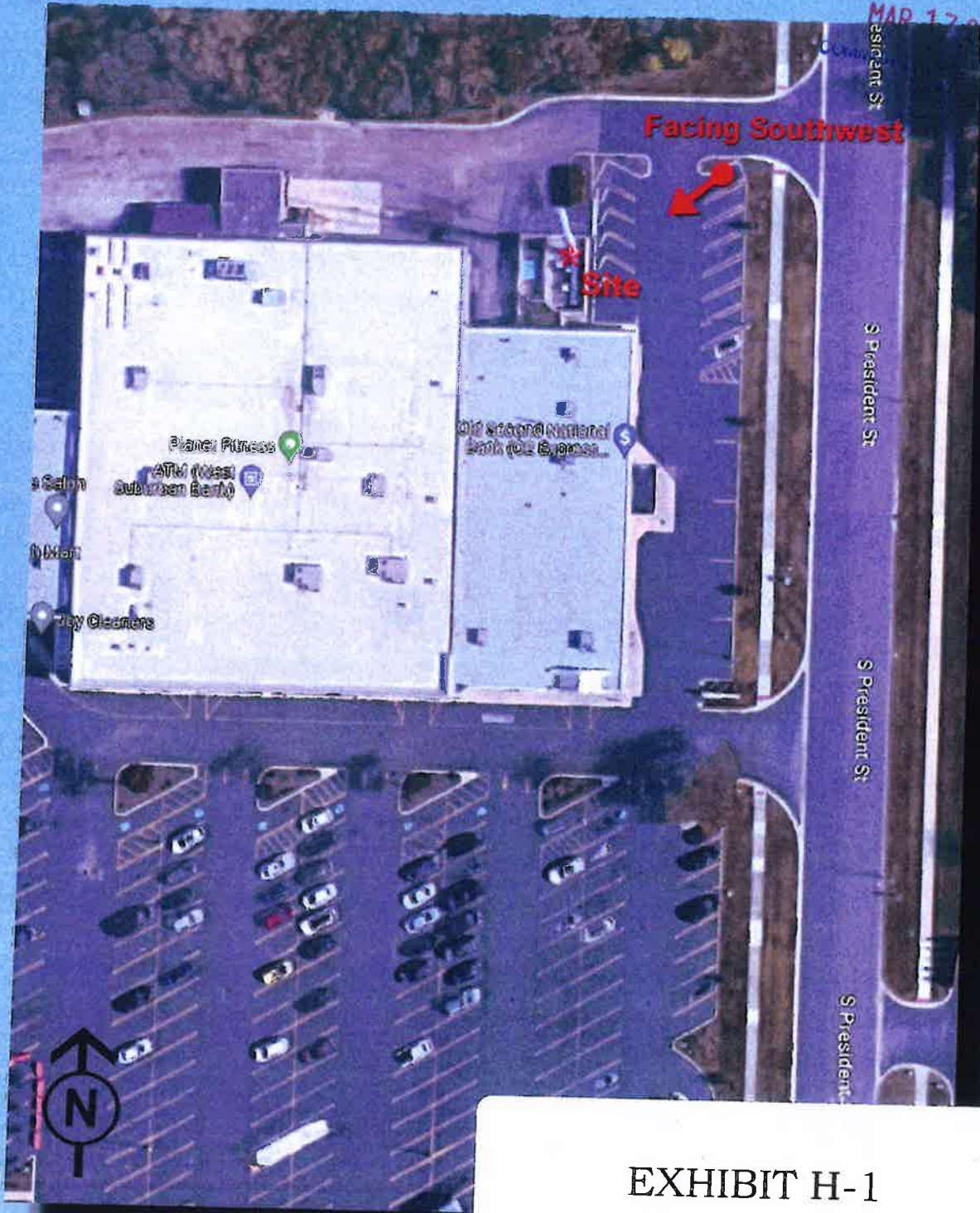


EXHIBIT H-1



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Facing Southwest

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EXHIBIT H-2

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T-Mobile

EXISTING

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## Facing Southwest

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EXHIBIT H-3

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**PROPOSED**

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**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A MASSAGE ESTABLISHMENT (NEW ASIAN SPA – 383 N. GARY AVENUE)**

**WHEREAS**, Lionel Hu, on behalf of New Asian Spa, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for a Massage Establishment, in accordance with Section 16-3-11 of the UDO, on the property legally described in Section 2 herein and commonly known as 383 N. Gary Avenue, Carol Stream, Illinois; and

**WHEREAS**, pursuant to Section 16-8-4 (L) of the Unified Development Ordinance, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on March 27, 2023, following proper legal notice of said public hearing, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permit be approved; and

**WHEREAS**, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permit with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:**

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permit, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permit:

1. Is deemed necessary for the public convenience at this location. *The proposed massage establishment will provide a therapeutic service to members of the community.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The applicant has affirmed that the massage establishment will be managed and maintained in an orderly fashion, and should not be detrimental or endanger the public health, safety, morals, comfort or general welfare of the community.*
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The massage establishment should operate in an orderly fashion, and not have negative effects on surrounding businesses and properties from a parking, sanitation, or operations perspective.*
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding properties are*

*already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.*

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Adequate utilities, access roads, drainage and other public improvements are in place.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The business is expected to conform to all applicable codes and requirements.*

**SECTION 2:**

The Specials Use Permit, as set forth in the above recitals, is hereby approved and granted to New Asian Spa, subject to the conditions set forth in Section 3, upon the real estate commonly known as 383 N. Gary Avenue, Carol Stream, Illinois, and legally described as follows:

NARCO FIFTH INDUSTRIAL SUBDIVISION, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 21, 1976 AS DOCUMENT R76-23358 IN DUPAGE COUNTY, ILLINOIS.

Hereinafter referred to as the Subject Property.

**SECTION 3:**

The approval of the Special Use Permit granted herein is subject to the following conditions:

1. Prices for all services shall be prominently posted in the reception area in a location available to all prospective customers on a placard of at least eight inches by ten inches;
2. All employees, including massage therapists, shall wear nontransparent outer garments.
3. The sexual or genital areas of patrons must be covered with nontransparent towels, cloths, or undergarments when in the presence of an employee or massage therapist.
4. No massage therapist, employee, or licensee shall perform, offer, or agree to perform any act, which shall require the touching of a patron's sexual or genital area.
5. Any reception or waiting area shall be open to the public and visible from outside of the immediate entrance of the establishment, e.g., storefront windows and any entrance door shall be transparent and unobstructed. Any exterior windows or



doors with a view to the waiting area or reception area must be free of any posting or material that would obstruct the view of the waiting area or reception area from the outside of the establishment. The massage establishment shall not be equipped with tinted or one-way glass in any room or office. No doors to corridors or individual massage rooms shall be equipped with a lock or shall be obstructed.

6. Should the massage establishment be granted a license under the provisions of the Carol Stream Code of Ordinances it shall not place, publish or distribute or cause to be placed, published or distributed any advertisement, picture, or statement which is known or through the exercise of reasonable care should be known to be false, deceptive or misleading in order to induce any person to purchase or utilize any professional massage services.
7. Should the massage establishment be granted a license under the provisions of the Carol Stream Code of Ordinances it shall not depict, place, publish, distribute, or cause to be depicted, placed, published, or distributed any advertising matter that suggests to prospective patrons that any services are available other than those services permitted by the Carol Stream Code of Ordinances, or which would suggest that employees or massage therapists are dressed in any manner other than that permitted by the Carol Stream Code of Ordinances.
8. No advertising will suggest or describe the physical characteristics of employees or massage therapists.
9. No person shall be denied a massage or access to the massage establishment because of gender.
10. The massage establishment or employee of the massage establishment may not display or offer to others any novelties, instruments, devices, or paraphernalia that are designed primarily for use in connection with specified sexual activities or that give the appearance of or simulate any of the specified anatomical areas;
11. An owner or manager of the massage establishment must be present during all operating hours; and
12. That the project shall otherwise comply with all state, county and Village codes and requirements.

**SECTION 4:**

The Special Use Permit is hereby approved and granted as set forth in the following plans and exhibits:

1. Floor Plan (Exhibit A, received by the Community Development Department February 27, 2023), prepared by Lionel Hu, 500 N Lakeshore Dr., 3410, Chicago IL, 60611.

**SECTION 5:**

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

**SECTION 6:**

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permit after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023.

AYES:

NAYS:

ABSENT:

ATTEST:

\_\_\_\_\_  
Frank Saverino, Sr. Mayor

\_\_\_\_\_  
Julia Schwarze, Village Clerk

I, Lionel Hu, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permit. New Asian Spa further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

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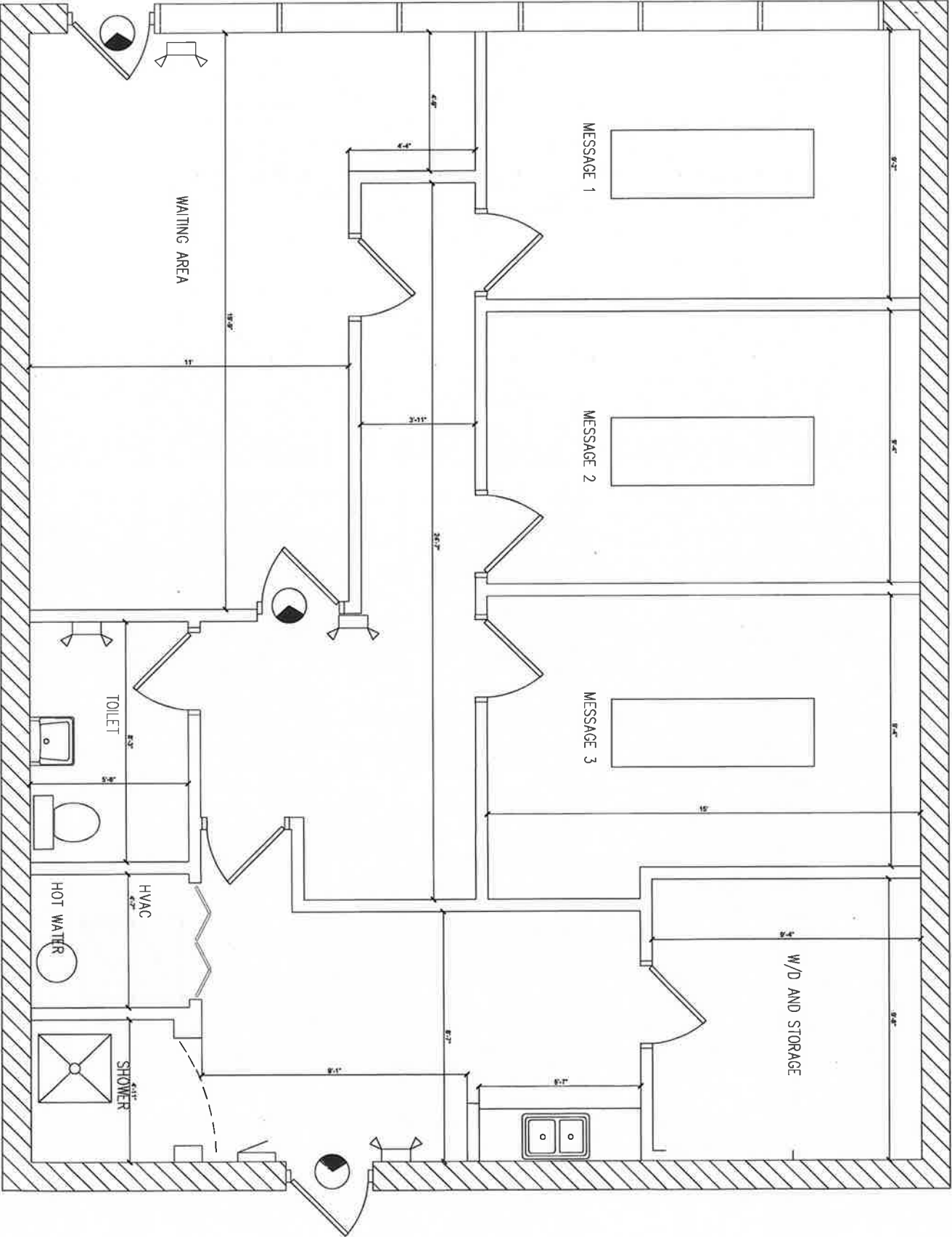
Date

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Owner/Party In Interest



# EXHIBIT A



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION DECLARING SURPLUS PROPERTY  
OWNED BY THE VILLAGE OF CAROL STREAM**

WHEREAS, in the opinion of the corporate authorities of the Village of Carol Stream, Illinois, it is no longer necessary or useful, or for the best interests of the Village of Carol Stream to retain ownership of the personal property described in "Exhibit A"; and

WHEREAS, the described personal property has been determined by the corporate authorities of the Village of Carol Stream to have negligible value to the Village; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Carol Stream to dispose of the surplus property.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWER, as follows:

SECTION 1: That the Mayor and Board of Trustees of the Village of Carol Stream find that the personal property described in Exhibit "A", now owned by the Village of Carol Stream, is no longer useful and authorize its disposal per the attached memorandum dated March 23, 2023.

SECTION 2: This resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr., Mayor

ATTEST:

\_\_\_\_\_  
Julia Schwarze, Village Clerk

**EXHIBIT "A"**

*Village of Carol Stream*  
**Interdepartmental Memo**

**TO:** Bob Mellor, Village Manager  
**FROM:** Brad C. Fink, Assistant Director of Public Works  
**DATE:** March 23, 2023  
**RE:** Surplus Declaration – Public Works Street Sweeper, Trailers, and Various Water Reclamation Center (WRC) Equipment

Public Works has identified the following village property that is no longer necessary or useful to the village and is seeking approval to be declared surplus.



**Vehicle #45 – Freightliner Street Sweeper**  
**VIN: 1FVAB6BV06DV11689**

- Year: 2006
- Miles: 23,980
- Replacement life expectancy: 15 years
- Public Works

Vehicle #45 is well beyond its useful life, is experiencing significant mechanical problems and is scheduled for replacement. Staff is requesting Vehicle #313 be removed from service and traded in for a credit on a new unit.



**Instrumentation - Inline Chlorine Analyzer – CL17; Quantity 2**  
**Original Value: >\$1,000.00 each**

- Manufacturer: Hach Company
- Model: 5440060 (same model number for both units)
- S/N 1: 090500323205
- S/N 2: 162000004656
- Age: approximately 7 years



These chlorine analyzers were used to measure total chlorine residual at two locations within the plant to ensure discharge permit limits are met for chlorine residual and fecal coliform. The analyzers were replaced in 2021. This equipment is recommended to be scrapped.



**Instrumentation – Inline Sodium Bisulfite Analyzer; Quantity 1**  
**Original Value: >\$1,000.00**

- Manufacturer: Siemens (Wallace-Tiernan)
- Model: W3T158815
- S/N: 38-2012
- Age: approximately 10 years

Analyzer was used to measure a dechlorination agent to reduce chlorine residual prior to entry into receiving stream. Analyzer replaced in 2021. This equipment is recommended to be scrapped.



**Instrumentation – Online Ammonia Probe w/Display; Quantity 2**  
**Original Value: >\$1,000.00 each**

- Manufacturer: Endress+Hauser
- Model: CM442-CUL0/0
- S/N 1: JA0F5605G00
- S/N 2: JA0F5705G00
- Age: approximately 10 years

In stream probes that were placed within the Aeration Basins to measure ammonia-nitrogen concentration. Probes proved unreliable and expensive to maintain. These probes were replaced by a Hach ammonia-nitrogen probe and online ammonia-nitrogen analyzer in 2021. This equipment is recommended to be scrapped.



**Air Compressors Compressor;**  
**Quantity 2**  
**Original Value: >\$1,000.00**

- Manufacturer: Quincy Compressor
- Model: 210
- S/N 1: 6195034
- S/N 2: 6195035
- Age: 10 years



Both air compressors were used with the old Belt Filter Presses to supply air for pneumatic control of the presses. Both units were pulled as part of the Belt Filter Press demolition. Unit No. 1 has original tank; Unit No. 2 has a newer tank. However, motor, compressor, controls and safety devices are all original. This equipment is recommended to be scrapped.



**Portable Air Compressor; Quantity 1**  
**Original Value: >\$1,000.00**

- Manufacturer: PNEUMOTIVE Air Power Products
- Model: GH-605B
- Part No. 980077
- Age: unknown

Purpose for air compressor is unknown and has been part of inventory for several years. Compressor does not build air pressure. This equipment is recommended to be scrapped.



**Electric Motor; Quantity 3**  
**Original Value: >\$1,000.00 each**

- Manufacturer: Baldor
- Model: F1510071072
- Cat. No: EFM3558T
- Age: unknown

Purpose for motor is unknown and has been part of inventory for several years. Motor runs with bearing noise. This equipment is recommended to be scrapped.



- Manufacturer: WEG
- Model: 00736EP3E213T
- S/N: 21MAI08 10015275
- Age: approximately 15 years

Motor was the driver for a water booster pump to clean belts on recently remove Belt Filter Press No 1. Motor was removed during demolition of belt filter press. Motor does not match existing equipment and is recommended to be scrapped.



- Manufacturer: WEG
- Model: 00736ET3E213T-W22-19FEV14
- S/N: 1022902455
- Age: approximately 15 years

Motor was the driver for a water booster pump to clean belts on recently remove Belt Filter Press No 2. Motor was removed during demolition of belt filter press. Motor does not match existing equipment and is recommended to be scrapped.



**Trailer #451 – T-12T Trailer**  
**Original Value: >\$1,000.00**

- Year: 2005
- Replacement life expectancy: 15 years
- Street Division

Trailer #451 is scheduled for replacement. In FY23 Staff budgeted for the purchase of a multi-purpose trailer to replace Trailer #451 and Trailer #457. The new trailer was recently delivered and Staff recommends auctioning this trailer.



**Trailer #457 – 12,000 lb. GVWR Skid Steer Trailer**  
**Original Value: >\$1,000.00**

- Year: 2005
- Replacement life expectancy: 15 years
- Street Division

Trailer #457 is scheduled for replacement. In FY23 Staff budgeted for the purchase of a multi-purpose trailer to replace Trailer #457 and Trailer #451. The new trailer was recently delivered and Staff recommends auctioning this trailer.

Staff recommends these items be declared surplus by the Mayor and Board of Trustees and the Village Manager be authorized to dispose of the property as proposed pursuant to the provisions of Section 5-8-15 of the Carol Stream Code of Ordinances.



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION AUTHORIZING A PLAT OF CONSOLIDATION  
(CASEY'S RETAIL COMPANY, NORTHEAST CORNER OF GARY AVENUE AND LIES  
ROAD)**

**PIN# 02-20-404-012, 02-20-404-013, 02-20-404-015, 02-20-404-016)**

**WHEREAS**, Mr. Richard McMahon, with Casey's Retail Company, hereinafter referred to as the Petitioner, has requested approval of a Plat of Consolidation to create one lot of approximately 4.14 acres at the northeast corner of Gary Avenue and Lies Road, in accordance with Section 16-8-4 (O)(4) of the Unified Development Ordinance, and

**WHEREAS**, the Plan Commission/Zoning Board of Appeals (the "Combined Board") of the Village of Carol Stream, at their meeting on March 27, 2023, considered the Plat of Consolidation and has found it to be in conformance with applicable Codes and Ordinances of the municipality relating to the particular properties herein proposed to be consolidated; and

**WHEREAS**, the Combined Board made its recommendation to the Corporate Authorities regarding the approval of this plat.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:**

**SECTION 1:** Approval is hereby given to the Plat of Consolidation, such document being attached to and made a part of this Resolution as Exhibit "A", drawn by Compass Surveying, Ltd., 2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502

**SECTION 2:** This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 3<sup>rd</sup> DAY OF APRIL, 2023.

AYES:

NAYS:

ABSENT:

\_\_\_\_\_  
Frank Saverino, Sr. Mayor

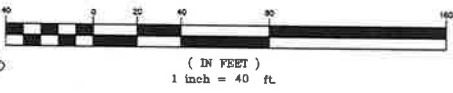
ATTEST:

\_\_\_\_\_  
Julia Schwarze, Village Clerk

# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

## GRAPHIC SCALE

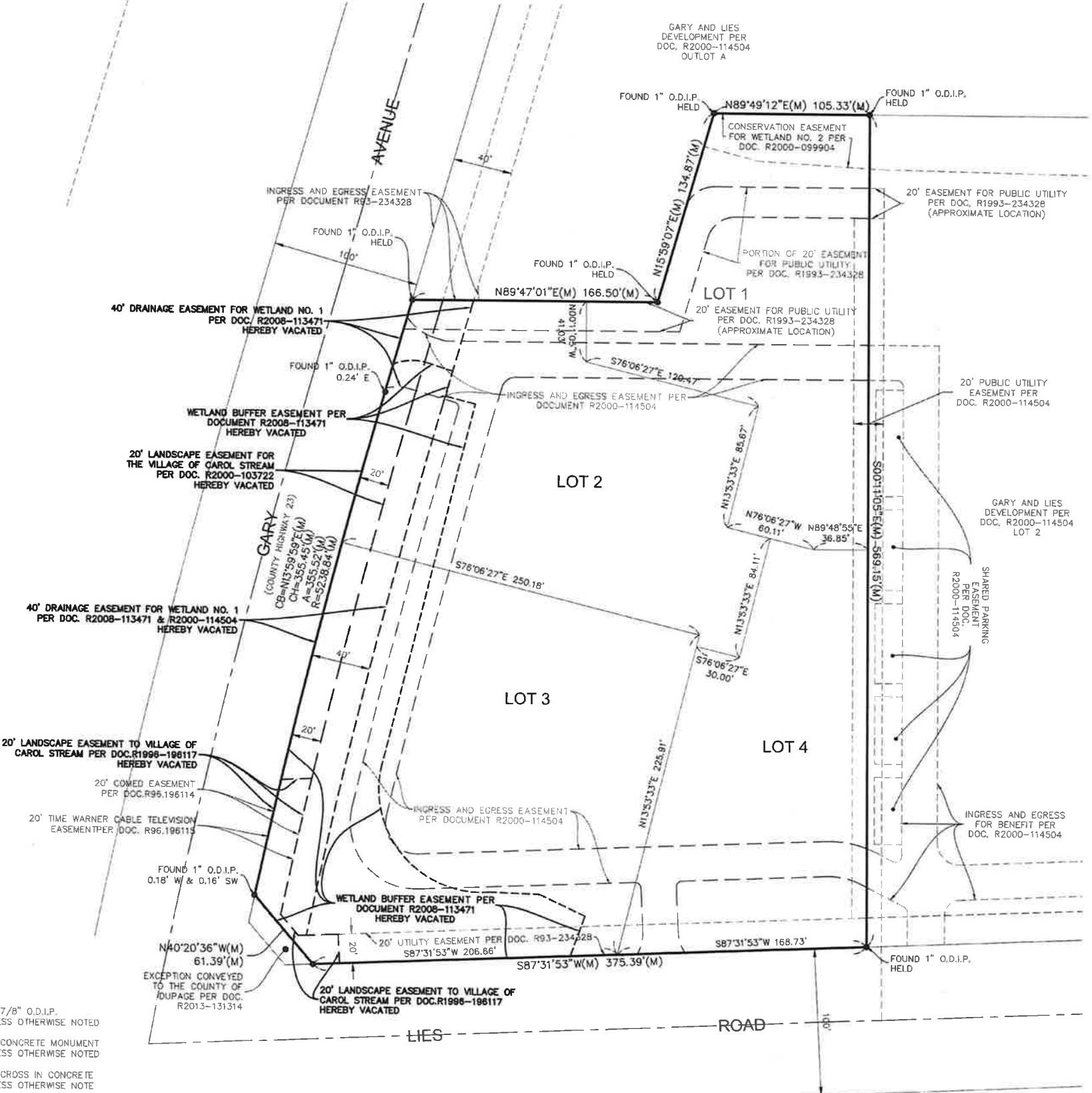


LOT 1  
P.I.N. 02-20-404-012  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188

LOT 2  
P.I.N. 02-20-404-013  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188

LOT 3  
P.I.N. 02-20-404-016  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188

LOT 4  
P.I.N. 02-20-404-015  
VACANT LOT - GARY AVENUE  
CAROL STREAM, 60188



- LEGEND**
- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
  - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
  - ✦ SET CROSS IN CONCRETE UNLESS OTHERWISE NOTE

### ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING

### LINE LEGEND

- SUBDIVISION BOUNDARY LINE
- ADJACENT LAND PARCEL LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- FLOOD MAP LINE

### NOTE

DOCUMENT R2008-113471 CREATES AN ACCESS EASEMENT AND A STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT. SEE DOCUMENT FOR PARTICULARS.

## SITE SURVEY & EASEMENT VACATION DETAIL

## EXHIBIT A

**COMPASS SURVEYING LTD.**  
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9109 FAX: (630) 820-7030 EMAIL: ADMIN@COMPASSSURVEYING.COM

PROJECT  
CASEY'S CAROL STREAM CONSOLIDATION  
CAROL STREAM, IL

**Kimley-Horn**  
4201 WINDFELD ROAD, SUITE 600,  
WARRENVILLE, IL 60555  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 05-12-22	05-16-22	CJC
2.	PER CITY REVIEW LETTER DATED 06-03-22	07-08-22	MP
3.	PER CITY REVIEW LETTER DATED 08-08-22	08-18-22	MP
4.	PER CITY RESPONSE EMAIL DATED 08-22-22	08-25-22	MP
5.	PER CLIENT EMAIL DATED 11-22-22	11-29-22	MP

DATE: 05-10-2022 PC AW DRAWN BY: CJC CHECKED BY: SK BOOK: PG:

J:\PSDATA\2022 PROJECTS\22.0095\22.0095 SUBPLAT.DWG

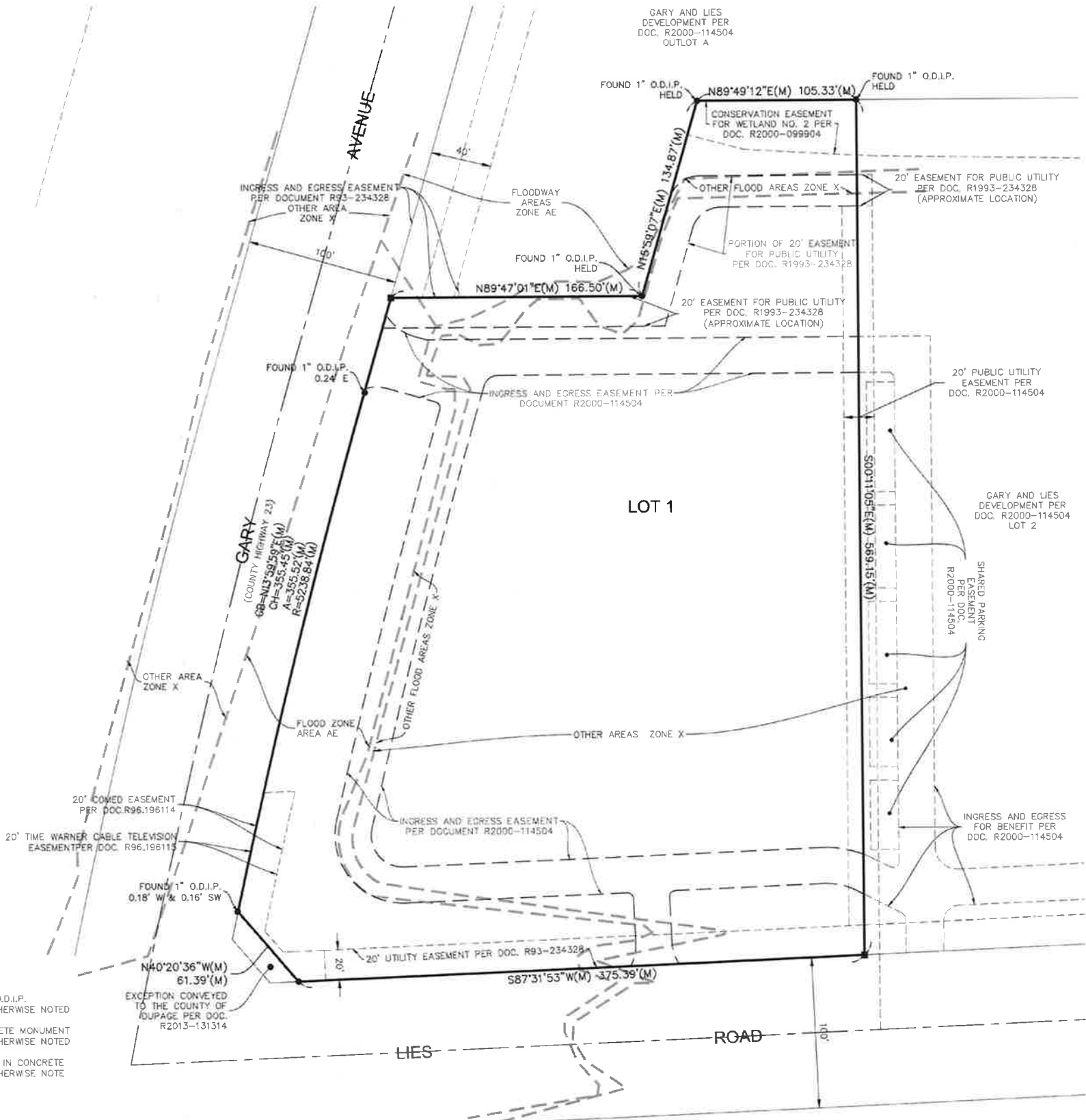
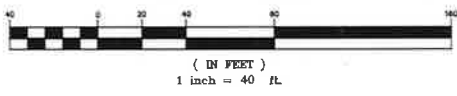
**811**  
Know what's below.  
Call before you dig.

P.I.N. 02-20-404-012  
P.I.N. 02-20-404-013  
P.I.N. 02-20-404-016  
P.I.N. 02-20-404-015

# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

GRAPHIC SCALE



- LEGEND**
- SET 7/8" O.D.I.P. UNLESS OTHERWISE NOTED
  - SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
  - + SET CROSS IN CONCRETE UNLESS OTHERWISE NOTE

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- W = WEST
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- R = RADIUS
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- CB = CHORD BEARING

**NOTE**

DOCUMENT R2008-113471 CREATES AN ACCESS EASEMENT AND A STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT. SEE DOCUMENT FOR PARTICULARS.

**LINE LEGEND**

- SUBDIVISION BOUNDARY LINE
- ADJACENT LAND PARCEL LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- FLOOD MAP LINE

AREA SUMMARY	
GROSS	180,481 SQUARE FEET OR 4.143 ACRES
R.O.W. DEDICATION	0 SQUARE FEET OR 0 ACRES
NET AREA (LOT 1)	180,481 SQUARE FEET OR 4.143 ACRES
(TO HEAVY LINES) (BASED ON MEASURED VALUES)	

**COMPASS SURVEYING LTD**  
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 109  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

**Kimley-Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600,  
WARRENVILLE, IL 60555  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 05-12-22	05-16-22	CJC
2.	PER CITY REVIEW LETTER DATED 06-03-22	07-08-22	MP
3.	PER CITY REVIEW LETTER DATED 08-08-22	08-18-22	MP
4.	PER CITY RESPONSE EMAIL DATED 08-22-22	08-22-22	MP
5.	PER CLIENT EMAIL DATED 11-22-22	11-29-22	MP

**811**  
Know what's below.  
Call before you dig.



PIN NO: 02-20-404-012  
02-20-404-013  
02-20-404-016  
02-20-404-015

ADDRESS: GARY AVENUE, CAROL STREAM, 60168

TAXING DISTRICTS:

COUNTY OF DUPAGE  
COUNTY OF DUPAGE HEALTH DEPARTMENT  
COUNTY OF DUPAGE FOREST PRESERVE DISTRICT  
DUPAGE AIRPORT AUTHORITY  
DUPAGE WATER COMMISSION  
BLOOMINGDALE TOWNSHIP  
VILLAGE OF CAROL STREAM  
VILLAGE OF CAROL STREAM LIBRARY  
CAROL STREAM PARK DISTRICT  
CAROL STREAM FIRE PROTECTION DISTRICT  
GRADE SCHOOL DISTRICT 93  
HIGH SCHOOL DISTRICT 87  
COMMUNITY COLLEGE DISTRICT: COLLEGE OF DUPAGE 502

# CASEY'S CAROL STREAM CONSOLIDATION

PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

## OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT \_\_\_\_\_, LLC, A \_\_\_\_\_ LIMITED LIABILITY COMPANY, IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN HEREON AND AS SUCH OWNER, HAS CAUSED THE PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID LIMITED LIABILITY COMPANY DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT \_\_\_\_\_.

DATED AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_\_

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

BY: \_\_\_\_\_  
SIGNATURE

TITLE: \_\_\_\_\_  
PRINT TITLE

## NOTARY'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE OF \_\_\_\_\_, DO HEREBY CERTIFY THAT \_\_\_\_\_ (PRINT NAME), \_\_\_\_\_ (TITLE) OF SAID LIMITED LIABILITY COMPANY, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH \_\_\_\_\_ APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID LIMITED LIABILITY COMPANY, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_\_

NOTARY PUBLIC SIGNATURE \_\_\_\_\_

(PRINT NAME)

## CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY #23, GARY AVENUE PURSUANT TO 765 ILCS 205/2; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHTS-OF-WAY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

BY: \_\_\_\_\_  
COUNTY ENGINEER

PLEASE TYPE/PRINT NAME

## DRAINAGE CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS.

THE UNDERSIGNED HEREBY CERTIFY THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH CONSOLIDATION OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL NOT BE CHANGED WITHOUT ADEQUATE PROVISION BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THEY HAVE A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE CONSOLIDATION, THE UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS THE FUTURE USE OF THE LAND HEREIN CONSOLIDATED IN THAT NO BUILDING PERMITS SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNTIL AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT BY SUCH CONSTRUCTION AND TOPOGRAPHICAL CHANGE COMPLY WITH THE ORDINANCES OF THE VILLAGE RELATING TO SURFACE WATERS, DRAINAGE, WATER RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_

OWNER OR ATTORNEY \_\_\_\_\_

## VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS.

THIS CONSOLIDATION PLAT WAS PRESENTED TO AND BY RESOLUTION \_\_\_\_\_ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_, 20 \_\_\_\_\_ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF I, HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

MAYOR \_\_\_\_\_

VILLAGE CLERK \_\_\_\_\_

## VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS.

I, \_\_\_\_\_, VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THIS CONSOLIDATION PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS CONSOLIDATION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

VILLAGE ENGINEER \_\_\_\_\_

## FINANCE DIRECTOR CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS.

I, \_\_\_\_\_, FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

FINANCE DIRECTOR \_\_\_\_\_

## PLAN COMMISSION CERTIFICATION

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

VILLAGE OF CAROL STREAM PLAN COMMISSION \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

## RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS AFORESAID ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20 \_\_\_\_\_ O'CLOCK \_\_\_\_\_

BY: \_\_\_\_\_  
RECORDER OF DEEDS

## SURVEYOR'S AUTHORIZATION TO RECORD

I HEREBY DESIGNATE \_\_\_\_\_ AND/OR REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_, AT AURORA, KANE COUNTY, ILLINOIS.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2023

BY: \_\_\_\_\_  
SCOTT C. KREBS  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509  
EXPIRES 11/30/2024

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF KANE ) SS

I, SCOTT C. KREBS, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509, HAVE SURVEYED AND CONSOLIDATED THE FOLLOWING PROPERTY:

LOTS 1, 2, 4 AND LOT 3 (EXCEPT PART OF LOT 3 CONVEYED TO COUNTY OF DUPAGE BY DEED DOCUMENT R2013-131314) OF TALLGRASS TOWN SQUARE ACCORDING TO THE PLAT THEREOF RECORDED JULY 18, 2008 DOCUMENT R2008-113471, BEING A RESUBDIVISION OF LOT 3 IN GARY AND LIES DEVELOPMENT BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE PLAT WHICH IS A REPRESENTATION OF SAID SURVEY AND CONSOLIDATION, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. THIS CONSOLIDATION IS WITHIN THE VILLAGE OF CAROL STREAM WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN THE FOLLOWING FLOOD ZONES:

- \* "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
- \* "OTHER FLOOD AREAS: ZONE X" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD)
- \* "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD CHANGE: ZONE AE" (BASE FLOOD ELEVATIONS DETERMINED).
- \* "FLOODWAY AREAS IN ZONE AE" (THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS)

AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 1710202 0061 J, MAP NUMBER 17089C0315J, HAVING AN EFFECTIVE REVISION DATE OF AUGUST 1, 2019.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2023

BY: \_\_\_\_\_  
SCOTT C. KREBS  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509  
LICENSE EXPIRES 11/30/2024


J:\PSDATA\2022 PROJECTS\22.0095\22.0095 SUBPLAT.DWG

3 OF 3	<b>COMPASS SURVEYING LTD</b> ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING 2631 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CCLSURVEYING.COM	PROJECT CASEY'S CAROL STREAM CONSOLIDATION	<b>Kimley»Horn</b> © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600, WARRENVILLE, IL 60555 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM	DATE: 05-10-2022 PG	DRAWN BY: CJC	CHECKED BY: SK	BOOK	PG
				NO. REVISIONS		DATE	BY	
				1.	PER EMAIL DATED 05-12-22		05-16-22	CJS
				2.	PER CITY REVIEW LETTER DATED 06-03-22		07-08-22	MP
				3.	PER CITY REVIEW LETTER DATED 08-08-22		08-18-22	MP
				4.	PER CITY RESPONSE EMAIL DATED 08-22-22		08-29-22	MP
				5.	PER CLIENT EMAIL DATED 11-22-22		11-29-22	MP



*Village of Carol Stream*

**Interdepartmental Memo**

To: Bob Mellor, Village Manager  
From: Ann Delort - Secretary   
Date: March 24, 2023  
Re: VetBros Pet Education Charitable Fund  
Waiver of Amplification Fee Request

The Carol Stream Animal Hospital in conjunction with VetBros Pet Education Charitable Fund is hosting a "Charity Dog Show" on Sunday, August 6, 2023 from 10:00 am - 2:00 pm at the Ross Ferraro Town Center. They are requesting a waiver of the amplification fee as indicated on their attached letter.

The application and required paperwork has been received and filed in the Administration office.

Please include this on the agenda for the April 3, 2023 Board meeting.

Thank you.

Enclosure



VETBROS  
PET EDUCATION CHARITABLE FUND  
A NONPROFIT, 501(C)(3) PUBLIC

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March, 22nd 2023

Dear Mayor Saverino and Villiage Trustees:

We are requesting a waiver for sound amplification, rental fees, and building permit fees for the VetBros Pet Education Charitable Fund Charity Dog Show being held at the Town Center on Sunday August 6th, 2023.

The VetBros Pet Education Charitable Fund Charity Dog Show is free community event that does not charge a fee to the attendees for admission to this special event. This event will provide educational information about caring for our pets and fun activities for residents of our community.

Thank you for your consideration of fee waivers and your support of this event.

Sincerely,



Mondrian Contreras, DVM  
Carol Stream Animal Hospital  
140 W. Elk Trail  
Carol Stream IL 60188



**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on APRIL 03, 2023**

**AGENDA ITEM**  
L-1 4/3/23

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>ABBOTT TREE CARE</b>					
SNOW REMOVAL 03/10/23 PO-4016, PAY #4	3,329.50	01670200-52266	SNOW REMOVAL	34184	
	<u>3,329.50</u>				
<b>AEP ENERGY</b>					
100 DELLA CT 02/08-03/09/23	10.45	01670300-53213	STREET LIGHT ELECTRICITY	3013130378 03/10/23	
1025 LIES RD 02/16-03/17/23	34.86	01670300-53213	STREET LIGHT ELECTRICITY	3013130446 MAR-2023	
192 YUMA LN 02/17-03/20/23	31.73	01670300-53213	STREET LIGHT ELECTRICITY	3013130479 MAR-2023	
401 TOMAHAWK 02/17-03/20/23	44.32	01670300-53213	STREET LIGHT ELECTRICITY	3013130468 MAR-2023	
403 SIOUX 02/17-03/20/23	25.51	01670300-53213	STREET LIGHT ELECTRICITY	3013130389 MAR-2023	
491 CHEYENNE 02/17-03/20/23	25.29	01670300-53213	STREET LIGHT ELECTRICITY	3013130413 MAR-2023	
512 CANYON TRL 02/17-03/22/23	22.56	01670300-53213	STREET LIGHT ELECTRICITY	3013130402 MAR-2023	
594 NEZ PERCE CT 02/17-03/20/23	20.95	01670300-53213	STREET LIGHT ELECTRICITY	3013130424 MAR-2023	
633 THUNDERBIRD 02/17-03/20/23	89.47	01670300-53213	STREET LIGHT ELECTRICITY	3013130457 MAR-2023	
796 PAWNEE 02/17-03/20/23	56.27	01670300-53213	STREET LIGHT ELECTRICITY	3013130435 MAR-2023	
	<u>361.41</u>				
<b>AJD CONCRETE CONSTRUCTION CORP</b>					
SNOW REMOVAL 03/10/23 PO-4014	5,392.00	01670200-52266	SNOW REMOVAL	2023-026	
SNOW REMOVAL 03/10/23 PO-4014 GLENBARD	375.00	01670200-52266	SNOW REMOVAL	2023-028	
SNOW REMOVAL 03/10/23 PO-4014 SILVERLEAF	120.00	01670200-52266	SNOW REMOVAL	2023-027	
	<u>5,887.00</u>				
<b>ALEXIS ARAOZ, GIS ANALYST</b>					
GIS CONTRACTOR-MAR 2023	2,756.08	01652800-52257	GIS SYSTEM	0000022	
	<u>2,756.08</u>				
<b>ALYSSA MCHUGH</b>					
TUITION REIMB-ACCY 622 08/22-12/10/22	49.04	01610100-52223	TRAINING	ACCY622	
	<u>49.04</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on APRIL 03, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>ARAMARK UNIFORM &amp; CAREER APPAREL GROUP INC</b>					
FIRST AID SUPPLIES	103.59	01590000-53317	OPERATING SUPPLIES	ORD4-010962	
	<u>103.59</u>				
<b>ASPEN SNOW AND ICE</b>					
SNOW REMOVAL ZONE 3-4 02/16/23, PO-4015	1,275.00	01670200-52266	SNOW REMOVAL	666	
	<u>1,275.00</u>				
<b>CARASOFT TECHNOLOGY CORP</b>					
SUBSCRIPTION-YEARLY PO-4663155	1,400.00	02385200-52255	SOFTWARE MAINTENANCE	37195664INV	20230112
SUBSCRIPTION-YEARLY PO-4663155	4,700.00	01660100-52255	SOFTWARE MAINTENANCE	37195664INV	20230112
	<u>6,100.00</u>				
<b>CAROL CADLE</b>					
TRAINING-C CADLE 04/05-04/06/23	64.00	01660100-52223	TRAINING	WCJ 2023-CADLE	
	<u>64.00</u>				
<b>CHAD PASKEVICZ</b>					
TRAINING-PASKEVICZ 04/23-04/28/23	205.00	01660100-52223	TRAINING	ICNA 2023-PASKEVICZ	
	<u>205.00</u>				
<b>COMED</b>					
465 CENTER 02/17-03/20/23	119.56	01670300-53213	STREET LIGHT ELECTRICITY	2859083222 MAR-2023	
KUHN RD, RT64 01/19-02/17/23	31.47	01662300-52298	ATLE SERVICE FEE	4202129060 FEB-2023	
KUHN RD, RT64 02/17-03/20/23	34.19	01662300-52298	ATLE SERVICE FEE	4202129060 MAR-2023	
MASTER ACCT-5025 02/16-03/17/23	445.17	01670300-53213	STREET LIGHT ELECTRICITY	5853045025 MAR-2023	
	<u>630.39</u>				
<b>CONSTELLATION NEW ENERGY</b>					
1128 EVERGREEN TRL 02/22-03/21/23, 6486920	74.23	04101500-53210	ELECTRICITY	7280332-25 MAR-2023	
1415 MAPLE RIDGE 02/20-03/21/23, 648691539	22.73	01670600-53210	ELECTRICITY	7280332-28 MAR-2023	
200 TUBEWAY 02/10-03/14/23, 64805194401	555.99	04101500-53210	ELECTRICITY	7280332-18 03/15/23	
	<u>652.95</u>				

**Village of Carol Stream  
Schedule of Bills  
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<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>CORE &amp; MAIN LP</b>					
MB SLEEVES, B-BOX PARTS	1,577.29	04201600-53317	OPERATING SUPPLIES	S500528	
	<u>1,577.29</u>				
<b>DAHME MECHANICAL INDUSTRIES</b>					
PUMP STATION RPZ PO-4023	7,888.00	04201600-52244	MAINTENANCE & REPAIR	20220524	20230111
	<u>7,888.00</u>				
<b>DARREN BOSHART</b>					
CLOTH ALLOW-BOSHART 03/19/23, FANATICS	44.99	01660100-53324	UNIFORMS	FANATICS 03/19/23	
	<u>44.99</u>				
<b>DRI-STICK DECAL CORP</b>					
VIDEO GAMING DECALS 2023-2024	468.62	01610100-53315	PRINTED MATERIALS	PS-INV104963	
	<u>468.62</u>				
<b>ENGINEERING RESOURCE ASSOCIATES INC</b>					
KLEIN CR-STEAMBANK SEC I 01/31/23 PO-46264:	513.51	11740000-55488	STORMWATER UTILITIES	160914A0.15	
	<u>513.51</u>				
<b>FOUNTAIN TECHNOLOGIES, LTD</b>					
TC-FOUNTAIN IMPROVEMENTS PO-4663127 PAY	-19,586.70	11-21455	RETAINAGE-FOUNTAIN TECHNOLO	14409	20230086
TC-FOUNTAIN IMPROVEMENTS PO-4663127 PAY	176,600.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT	14409	20230086
	<u>157,013.30</u>				
<b>GOVTEMPSUSA LLC</b>					
OFFICE MANAGER-D KALKE 03/12, 03/19/23	3,474.40	01590000-52253	CONSULTANT	4150330	
	<u>3,474.40</u>				
<b>H &amp; H ELECTRIC COMPANY</b>					
LIGHT REPAIR SVC FY23, PO-4002 PAY #4	4,178.01	01670300-52271	STREET LIGHT MAINTENANCE	41066 R1	20230064
	<u>4,178.01</u>				



**Village of Carol Stream  
Schedule of Bills  
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<b>HBK WATER METER SERVICE INC</b>					
WATER METER TESTING PO-4019	5,955.99	04201400-52282	METER MAINTENANCE	230193	20230113
WATER METER TESTING PO-4019	10,230.38	04201400-52282	METER MAINTENANCE	230174	20230113
	<b>16,186.37</b>				
<b>HENRICKSEN &amp; CO INC</b>					
OFFICE FURNITURE PO-461655 PAY #2 FINAL	3,675.08	01640100-54411	OFFICE EQUIPMENT	740849	20230080
	<b>3,675.08</b>				
<b>HOMESTEAD ELECTRICAL CONTRACTING</b>					
PUMP REPAIR	624.00	04201600-52244	MAINTENANCE & REPAIR	15421	
	<b>624.00</b>				
<b>IEPA</b>					
LOAN PAYMENT 04/15/23	7,198.36	04100100-56491	LOAN INTEREST	BILL 37 L17-1772	
LOAN PAYMENT 04/15/23	207,126.83	04100100-56490	LOAN PRINCIPAL	BILL 37 L17-1772	
	<b>214,325.19</b>				
<b>ILLINOIS STATE POLICE</b>					
LIVESCAN FEES, 01598-FEB 2023 IL022040L	28.25	01660100-53317	OPERATING SUPPLIES	20230201598	
LIVESCAN FEES, 01612-FEB 2023 ILL13340S	84.75	01660100-53317	OPERATING SUPPLIES	20230201612	
	<b>113.00</b>				
<b>ILLINOIS STATE POLICE/DIRECTOR</b>					
COURT ORDERED PAYMENT CSPC2200304	500.00	01-24238	IL STATE POLICE ASSET FORFEIT	22MX150/CSPC2200304	
COURT ORDERED PAYMENT CSPC2201544	500.00	01-24238	IL STATE POLICE ASSET FORFEIT	22MX394/CSPC2201544	
COURT ORDERED PAYMENT CSPC2300115	700.00	01-24238	IL STATE POLICE ASSET FORFEIT	23MX50/CSPC2300115	
	<b>1,700.00</b>				
<b>LANDSCAPE MATERIAL &amp; FIREWOOD SALES INC</b>					
TOP SOIL-NORTH AVE	1,705.00	01670400-53317	OPERATING SUPPLIES	21281	
	<b>1,705.00</b>				

**Village of Carol Stream  
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<b>LAW OFFICE OF MICHELLE L MOORE LTD</b>					
PROSECUTION-MAR 2023	3,000.00	01570000-52235	LEGAL FEES-PROSECUTION	2023-3	
PROSECUTION-MAR 2023	6,871.91	01570000-52312	PROSECUTION DUI	2023-3	
	<u>9,871.91</u>				
<b>MARK E RADABAUGH</b>					
TAPING, EDITING 03/20/23	137.50	01590000-52253	CONSULTANT	23-0219	
	<u>137.50</u>				
<b>MELANIE MEJIA</b>					
TRAINING-MEJIA 04/05-04/06/23	64.00	01660100-52223	TRAINING	WCJ 2023-MEJIA	
	<u>64.00</u>				
<b>MELANIPHY &amp; ASSOCIATES, INC</b>					
RETAIL MARKET STUDY	9,750.00	01640100-52253	CONSULTANT	3	
	<u>9,750.00</u>				
<b>MID AMERICAN WATER INC</b>					
WILLOW ST SEW	732.06	01670600-53317	OPERATING SUPPLIES	213505A	
WILLOW ST SEW	1,464.12	01670600-53317	OPERATING SUPPLIES	213490A	
	<u>2,196.18</u>				
<b>MUNICIPAL CLERKS OF DUPAGE CO</b>					
CLERKS MTG-APR 2023	70.00	01520000-52222	MEETINGS	MCDC 04/05/23	
	<u>70.00</u>				
<b>NATIVE TORCH,LLC</b>					
BURNS 2022-2023 PO-462691	14,840.00	01620100-52358	POND/STORM MAINTENANCE	5	
	<u>14,840.00</u>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on APRIL 03, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>NICOR</b>					
124 GERZEVSKE LN 02/17-03/21/23	152.24	04201600-53230	NATURAL GAS	13811210007 MAR-2023	
1348 CHARGER CT 02/20-03/22/23	164.62	04101500-53230	NATURAL GAS	86606011178 MAR-2023	
TUBEWAY DR 02/16-03/20/23	52.46	04101500-53230	NATURAL GAS	14309470202 MAR-2023	
	<b>369.32</b>				
<b>PABLO CASTRO</b>					
TRAINING-CASTRO 04/23-04/28/23	205.00	01660100-52223	TRAINING	ICNA 2023-CASTRO	
	<b>205.00</b>				
<b>REFUNDS MISC</b>					
TICKET 247799-PENN CREDIT, REFUND	60.00	01000000-45402	ORDINANCE VIOLATIONS	TICKET 247799	
TICKET 247990-DOUBLE PAYMENT, REFUND	60.00	01000000-45402	ORDINANCE VIOLATIONS	TICKET 247990	
TICKET 249903-PAID ONLINE, REFUND	60.00	01000000-45402	ORDINANCE VIOLATIONS	TICKET 249903	
TOW FEE REIMB-CSP23008763	475.00	01000000-45321	TOWING FEE	CSP23008763	
	<b>655.00</b>				
<b>RICHARD BLAIR</b>					
TRAINING-BLAIR 05/03-05/05/23	97.00	01-13010	PRE-PAID ITEMS	IDEOA 2023-BLAIR	
TRAINING-BLAIR 05/07-05/12/23	325.00	01-13010	PRE-PAID ITEMS	SWAT 2023-BLAIR	
	<b>422.00</b>				
<b>TOM ANDREJEVIC</b>					
TRAINING-ANDREJEVIC 05/03-05/05/23	97.00	01-13010	PRE-PAID ITEMS	IDEOA 2023-ANDREJEVI	
	<b>97.00</b>				
<b>US POSTMASTER</b>					
POSTAGE REPLENISH-APR 2023	10,000.00	01610100-52229	POSTAGE	POC14021044 APR 2023	
	<b>10,000.00</b>				



**Village of Carol Stream  
Schedule of Bills  
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<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>VILLA PARK OFFICE EQUIPMENT</b>					
REINSTALL FURNITURE PO-4663150 PAY #1	4,622.50	11740000-55487	FACILITY CAPITAL IMPROVEMENT 77041		20230114
REINSTALL FURNITURE PO-4663150 PAY #2	990.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 77042		20230114
REINSTALL FURNITURE PO-4663150 PAY #3	990.00	11740000-55487	FACILITY CAPITAL IMPROVEMENT 77043		20230114
REINSTALL FURNITURE PO-4663150 PAY #4	3,687.50	11740000-55487	FACILITY CAPITAL IMPROVEMENT 77045		20230114
	<b>10,290.00</b>				
<b>WEX BANK</b>					
FUEL 12/31/23	-359.99	01000000-47407	MISCELLANEOUS REVENUE	86085770	
FUEL 12/31/23	60.83	04101100-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	65.75	01680000-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	125.89	04200100-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	227.45	01640100-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	292.42	01620100-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	609.49	01670100-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	609.49	01670300-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	761.86	01670600-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	761.86	01670700-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	881.25	04201400-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	914.23	01670500-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	1,295.16	01670400-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	1,351.75	04101500-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	1,510.72	04201600-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	2,666.50	01670200-53313	AUTO GAS & OIL	86085770	
FUEL 12/31/23	12,619.85	01662700-53313	AUTO GAS & OIL	86085770	
	<b>24,394.51</b>				
<b>WILLIAM MCINTYRE</b>					
TRAINING-MCINTYRE 05/03-05/05/23	97.00	01-13010	PRE-PAID ITEMS	IDEOA 2023-MCINTYRE	
	<b>97.00</b>				

**Village of Carol Stream  
Schedule of Bills  
For Village Board Approval on APRIL 03, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
<b>GRAND TOTAL</b>	<u><u>\$518,360.14</u></u>				

**The preceding list of bills payable totaling \$ 518,360.14 was reviewed and approved for payment.**

**Approved by:**



Digitally signed by Robert Mellor  
DN: cn=Robert Mellor, o=Village of Carol Stream,  
ou=Administration, email=rmellor@carolstream.org, c=US  
Date: 2023.03.31 09:35:37 -05'00'

**Date:** 3/31/2023

Bob Mellor –Village Manager

**Authorized by:**

Frank Saverino Sr-Mayor

Julia Schwarze- Village Clerk

**ADDENDUM WARRANTS**  
**MARCH 21, 2023 Thru APRIL 3, 2023**

<b>Fund</b>	<b>Check #</b>	<b>Vendor</b>	<b>Description</b>	<b>Amount</b>
General	A C H	Wheaton Bank & Trust	Payroll March 6, 2023 thru March 19, 2023	631,247.37
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll March 6, 2023 thru March 19, 2023	56,895.36
				<b>688,142.73</b>

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2023

By: \_\_\_\_\_  
Frank Saverino Sr-Mayor

\_\_\_\_\_  
Julia Schwarze - Village Clerk