

# *Village of Carol Stream*

## AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, APRIL 10, 2023 AT 6:00 P.M.

*ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON*

- I. Roll Call: Present:  
Absent:
  
- II. Approval of Minutes: March 27, 2023
  
- III. Public Hearing  
  
**23-0006– BodyWorks Medical Center – 270-290 W. Army Trail Rd.**  
*Amendment to a Special Use Permit for a Planned Development, Plat of Consolidation*
  
- IV. Presentation:  
  
**23-0017 – Eaton – 125 Mercedes Dr.**  
*Gary/North Avenue Corridor Review – New Monument Sign*  
  
*PC/ZBA Training Video – Part 2*
  
- V. Old Business:
  
- VI. New Business:
  
- VII. Report of Officers:
  
- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
March 27, 2023.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Absent: 2 Commissioners Christopher and Petella

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Patty Battaglia, Planning and Permitting Assistant

**MINUTES:**

Commissioner Tucek moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on March 13, 2023.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by a unanimous vote.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Meneghini moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

**Case #22-0056– SBA Monarch Towers III, LLC/T-Mobile-877-901 E. Geneva Rd.**

*Height Variation for a Stealth Antenna Tower (continued from the February 13 and March 13, 2023 meetings)*

Chairman Parisi swore in Mr. Mark Iacopetti, from SBA Monarch Towers III, LLC.

Mr. Iacopetti stated we would like to upgrade the equipment to 5G connectivity in order to enhance the data structures for the Carol Stream residents. The 5G antennas and equipment run a little bit larger but since it is a stealth tower, the antennas are concealed within the canister. In order to facilitate this installation we need to expand the canister somewhat.

Chairman Parisi asked for questions or comments from the audience and there were none so he asked Mr. Farace to provide a Staff Report.

Mr. Farace stated Monarch Towers, on behalf of T-Mobile, are seeking approval of a new height variation for the stealth antenna. The antenna was installed about 10-12 years ago, and at that time, a variation was granted to increase the height of the tower itself from the allowable height of 55 feet to 100 feet. New antennas are proposed in the top 40 feet of the structure, increasing the diameter from 30 inches to 60 inches. Staff believes it is meeting the intent of a stealth design with the antennas located internally and staff is recommending approval with the stipulation that if other modifications are proposed to this tower, it would have to come back before Plan Commission and Village Board for review.

Chairman Parisi asked for questions or comments from the Commission.

Commissioners Meneghini, Tucek and Chairman Parisi had no questions. Commissioner Morris asked Mr. Farace asked what if you need another 20 or 30 feet needed going down. Will they have to come back.

Mr. Farace stated it is his understanding that once you get to a certain height, maybe it is not prudent to have the panel antennas in a location like this.

Mr. Iacopetti stated that is correct.

Mr. Battisto asked Mr. Iacopetti to confirm for the record that the height of the actual antenna is not changing at all. It's just the total diameter.

Mr. Iacopetti stated that is correct. We are not increasing the total height.

Commissioner Morris moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

23-0002 – New Asian Spa – 383 N. Gary Avenue  
*Special Use Permit for a Massage Establishment*

Chairman Parisi swore in Mr. Lionel Hu.

Mr. Hu stated his mom would like to open a foot and body massage business. She would have three licensed employees with four types of massages.

Chairman Parisi asked if there were any questions from the audience and there were none so he asked Mr. Berisha to provide a Staff Report.

Mr. Berisha stated in 2018 the Village created a massage establishment licensing program developed to regulate massage businesses due to recurring issues with illegal activities which prompted the Village to revoke their licenses including the previous massage business, Luna Spa, located at 383 N. Gary Avenue. In order to curb future revocations and encourage legitimate massage establishments, Village Board approval of a Special Use Permit is now required. The owners will use the existing interior floor plan with three massage therapist employees and one other employee working the front desk. The hours of operation will be 11 a.m. – 9 p.m., seven days a week. The applicant has been presented with the massage establishment regulations and has acknowledged them. The parking study revealed there will be a surplus of 39 parking spaces which meets code requirements. Staff has reviewed the applicant's submittal and supports this Special Use request.

Chairman Parisi asked for questions or comments from the Commission.

Commissioner Battisto asked if they have any relationship at all with the prior ownership and asked if he was aware as to why that location lost their ability to operate in Carol Stream.

Mr. Hu stated no and they don't know anything about it. We passed by, looked at the empty space and called the landlord.

Commissioner Battisto stated they engaged in activities that were not allowed in Carol Stream and stated since you are not changing the location or look at all, are you concerned at all about some prior customers showing up and creating other issues for the Village.

Mr. Hu stated we are going to follow the law and the regulations. We are not going to do anything illegal here. No matter which customer walks in, we will provide them our services.

Commissioners Morris, Tucek and Chairman Parisi had no questions.

Commissioner Meneghini asked if they have any other massage establishments and how long they have been in business.

Mr. Hu stated yes, and my mom has another spa, not in this area, and she closed it because of COVID. She has been in business over six years. She would like to open maybe two more in Cook County and DuPage County.

Commissioner Battisto asked if they were aware of the stipulations or certain requirements if the Commission approves.

Mr. Hu stated yeah, we are going to follow all the requirements.

Commissioner Meneghini moved and Commissioner Morris seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi  
 Nays: 0  
 Abstain: 0  
 Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

**22-0032– Casey’s Retail Company – 1025 N. Gary Avenue**

*Amendment of a Special Use Permit for a Planned Development; Text Amendment to Allow Fuel Sales as a Special Use in the B-1 District; Special Use Permit for Fuel Sales; Gary Avenue Corridor Review; Plat of Consolidation*

Chairman Parisi swore in Mr. Tom Szafranski, Civil Engineer with Kimley Horn.

Mr. Szafranski stated Casey's Retail is proposing to develop a modern, 4,319 square foot convenience store with fuel sales. The building will have a full kitchen, freshly made pizza, sandwiches and other related items as well as a large variety of coffees, fountain items and packaged goods. We believe this facility will have a positive impact and look forward to being part of the community. Casey's was founded in 1958 in Iowa. They have distribution centers in Iowa, Indiana and Missouri and have more than 2,200 stores. They are corporately owned and operated to ensure consistency and quality throughout all their sites. Casey's is known for their pizza and other fresh prepared items and are the fifth largest pizza chain in the United States and in the top ten of largest bakeries in the U.S. as well. There is a Casey's rewards program, cash fuel discounts and donations to local schools. So far in March, they've donated \$50,000 across communities. They are reducing their CO2 gas emissions by over 54,000 pounds annually by converting to LED lighting throughout their sites and have contributed 4.5 million to communities and charitable organizations and events throughout the sixteen states. Casey's, and their customers, also support several national organizations such as Special Olympics, MBA, Hope for the Warriors and Children's Miracle Network. The investment for this location will be between 3 and 5 million which will generate great tax revenues and will create 25-35 full and part-time positions including 401K and insurance options.

Chairman Parisi asked for questions from the audience and there were none so he asked Mr. Farace to provide a Staff Report.

Mr. Farace stated Casey's is seeking multiple approvals for the northeast corner of Gary Avenue and Lies Road. About 15 or so years ago, a planned development was approved for this property which is a little over 4 acres. There was going to be several multi-tenant like commercial buildings and a bank, but this project did not move forward. The property was rezoned B-1 in conjunction with the Unified Development Project. Currently, the B-1 District does not allow fuel sales or gas stations so a Text Amendment is requested. Staff looked at the intent and purpose of the B-1 District pertaining to current retail and commercial activity that is taking place in and around Carol Stream and across the country, and determined that we could support the request to allow the fuel sales as a Special Use in the B-1 District. We are supportive of the Text Amendment request.

The Development is going to consist of about 4,300 square foot convenience store with a 12 pump, fuel station under the canopy in the central portion of the property. There will be two driveway locations or two curb cuts, and a full access curb cut off Lies Road which is under the Village's jurisdiction. There will

also be a porkchop intersection, or right in, right out, on Gary Avenue which is under the jurisdiction of DuPage County who have indicated they reviewed the geometry of this driveway location and dimensions and are supportive of the layout.

Parking is proposed to the west of the building with some notched out areas along the front of the building façade for the sale of some products like firewood and a packaged ice cabinet. We support the location of these products only in front of the building and not located near the pumps as stated as a condition of approval.

They are proposing a sidewalk connection along Lies Road, and this year, the Village has received some funds to construct a multi-use path along the north side of Lies going all the way to Schmale Road.

There will be a corner site amenity that will have some benches and a stone seating wall with some landscaping proposed to soften the appearance of it, and there is a bike rack on the north side of the building. There is a flood plain area along the Gary Avenue frontage which limits what can and cannot be done, and a detention area on the north side of the property and that will allow for storm water drainage to occur efficiently on the property as well.

There are a few exemptions, or allowances, being requested which are allowed since it is a Planned Development. A foundation landscaping allowance. The UDO states that landscaping, at least 5 feet in width, needs to be provided along the foundation of the building where it has roadway frontage. This would be on the west side of the building facing Gary Avenue and on the south side facing Lies Road. The majority of the south side does have that foundation landscaping, but a smaller percentage has it along the west side. Staff is supportive of the allowance in this instance because there is a little bit of landscaping at the northwest and southwest corners of the building which anchors the building overall. There is also some additional landscaping to the east of the flood plain area that will provide a combination of screening and softening of the front of the property. There was an allowance requested for the east side of the property, but it was short based on the UDO standards are for a transition area between a property for commercial use and the property to the east which is an industrial use. This would require a ten-foot wide landscaped area with trees, shrubs and native grasses or plantings based on the linear frontage of that area. The plan did not meet the numbers listed in the UDO so Staff will be working with Casey's to modify the landscaping as it goes through the permit process. There is also a right-of-way landscaping allowance request in regards to parkway trees along Lies Road requesting some smaller shrub groupings, including trees, instead of all trees. Staff is comfortable supporting this allowance. Since the flood plain area along Gary Avenue restricts landscaping, Staff is also comfortable supporting the allowance for the location of the landscaping along the west side. Also, there is a building setback allowance being requested of about 195 feet (normal setback range is 60-100 feet). Keep in mind you have the flood plain area and the location of the pumps. Staff is comfortable granting this allowance which was also granted to the Wood Spring Suites Hotel which is about 150 feet setback from Gary Avenue for similar restrictions on their site as well. The exterior building will be constructed of masonry with the stone material at the base of the building on all four sides along with some stone material column features as well as decorative cornices proposed on top of the building. Staff commented that the ACM or Aluminum Composite Material, proposed for a good portion of the front façade facing Gary Avenue should be just around the signage for Casey's for aesthetic purposes would look a little more appropriate. Casey's is okay with modifying that section. The canopy will have a reddish color and the columns supporting the canopy will be covered with masonry material as well. Two ground signs, one proposed close to the corner of Gary and Lies, and one further east near the full access driveway on Lies, will have landscaping around the base of both. The Plat of Consolidation is requested because the parcel was previously divided into four different lots. In total, Staff is supportive of their requests and are recommending approval.

Chairman Parisi stated he would first like to discuss the actual Special Use to the B-1 District which requires modification to the text amendment and the approval of the Special Use. So, before I proceed to the Gary Avenue Corridor Review, any discussion with regards to those first two requests and the Plat of Consolidation.

Commissioner Meneghini had no questions.

Commissioner Morris asked if there would be alcohol sales and if it is beer and wine.

Chairman Parisi swore in Mr. Richard McMahon from Casey's.

Mr. McMahon replied Casey's will be selling the same as the Army Trail Road location which is wine, beer and liquor.

Commissioner Morris asked if the signs will follow the new text amendments recently established in the UDO.

Mr. Farace stated the signs will meet those requirements.

Commissioner Meneghini asked if Casey's is familiar with the ten conditions by our Staff and if they will be able to comply.

Mr. Szafranski stated yes.

Commissioner Tucek had no questions.

Commissioner Battisto stated his primary concern is adding fuel storage tanks on a marshy, wetland area as well as a portion of it being part of a flood plain. I believe the ground water connects across the west side of the street, but also can feed into the lake in our Village center. So, has an environmental study been done. I'm concerned with the ground water contaminating our Town Center. Or is there a special study that needs to be done when dealing with a marshy area like that.

Mr. Farace stated that there has been a thorough discussion with our Engineering Department on detention, drainage, and storm water run off which will also be reviewed during the permit process.

Commissioner Battisto asked if someone were to overflow gas, would that go to the retention pond.

Mr. McMahon replied the storm water that washes on the driveway is collected and goes into a devise before that storm water continues down stream. What drips from a car or if someone were to spill gas, we have barrels with absorbent materials on site if that happens. The tanks used now are called double walled tanks that have either a liquid or nothing in between the walls. These walls have sensors. When those sensors go off, it will shut the whole system down. Per the manufacturer, there has never been an incident of these double wall tanks failing. And the pipes going from the tanks to the pumps are double walled with sensors as well as lining under them. In the back room, they're checking the tanks every couple minutes.

Chairman Parisi asked Mr. Szafranski if a Wetland Delineation was done on the site and is the remainder of the site in a wetland and only the portion along Gary Avenue is in the flood plain.

Mr. Szafranski stated yes they conducted a Wetland Delineation and there actually are no wetlands on site.

Chairman Parisi asked if the remainder of the site is in a flood plain, or just the area along Gary Avenue in a flood plain.

Mr. Szafranski replied just the area along Gary Avenue with maybe part of the northern portion, but none of which would be developed like the store.

Chairman Parisi stated based on DuPage Counties record, you're actually building the entire development out of the flood plain.

Mr. Szafranski stated that was correct.

Chairman Parisi asked him to explain where is your BMP (Best Management Practices) according to DuPage County or where is that being assigned.

Mr. Szafranski stated it is the northern basin that will be planted completely with native plantings. Per the DuPage County ordinance there are multiple ways which you can satisfy the water quality measures that they uphold. One of the ways of doing that is creating a wetland style basin which utilizes native plants to suck up and treat the water that is tributary to that basin.

Chairman Parisi asked how does it flow on the site.

Mr. Szafranski stated it flows from storm water in the parking lot and then collected throughout the site in inlets and directed to the storm sewer to that northern basin.

Chairman Parisi asked where it goes after that.

Mr. Szafranski stated then it goes out to Klein Creek under Gary Avenue.

Chairman Parisi stated then it goes into the water shed which basically goes from the northern portion of Carol Stream through Armstrong Park and then feeds all the way through. So the BMP is actually a sustainable approach to removing the solids that are off pavement which is a requirement by DuPage County. In the flood plain itself, are you actually planting natives.

Mr. Szafranski replied yes, we have a wetlands mix that we are planting there.

Chairman Parisi stated the reason for asking all those questions for the Commission is I want to ask Mr. Farace to reiterate. So when we did the comprehensive master plan for Carol Stream, it went round and round and round. Now we are asking for a Special Use to the B-1. Originally in the B-1, the reason you're asking for the text amendment is because the fueling station is not part of that.

Mr. Farace stated as of now, a fuel or gas station or fuel sales facility is just allowed as a Special Use in the B-3 District.

Chairman Parisi asked if this would be the B-1 District.

Mr. Farace stated correct.

Chairman Parisi asked what was originally in the Comprehensive Plan. Like what would be an example of what would be in a B-1.

Mr. Farace stated it is geared more towards commercial and service type uses. The permitted uses in B-1 District were retail uses, commercial service uses, restaurants, grocery stores, office uses. Currently, allowable special uses in the B-1 District are hotels, shopping centers, micro breweries and drive through uses.

Chairman Parisi asked the Commission if there were any other questions with regards to the Amendment to the Special Use, Text Amendment for the Fuel Sales or Special Use Permit for Fuel Sales.

There were no further questions or comments from the Commission.



Chairman Parisi stated the next two items to discuss would be the Gary Avenue Corridor Review and the Plat of Consolidation. He then asked the Commission if it was okay to assume that everyone is all okay with the Plat of Consolidation and it was agreed.

Chairman Parisi stated on the Gary Avenue Corridor Review in regards to the landscaping, the aesthetics of the building as well as the allowances, asked if there any questions or comments from the Commission.

Commissioners Meneghini and Morris had no questions.

Commissioner Tucek commented that putting the bike rack on the far corner of the building is probably not the wisest location because they have to cross every scenario of vehicle traffic to get to it. Also, the ACM that you said was modified, is that backlit.

Mr. Szafranski stated that portion is not.

Commissioner Tucek asked about the photo metrics of the lights and a concern about the residents to the west. While your photo metrics shows the light vertically, it doesn't show it horizontally. Are there any light blocking capabilities even when the trees are in full bloom. These residents are actually closer to your location than some other residents at a prior gas station. If you can control the light in a horizontal plain better than what you're doing, and/or, is there technology available to lower the lumens of the light.

Mr. Szafranski stated he is not a lighting engineer, but I do know there are some ways to achieve what you are looking for and I believe they are being implemented here just based on the plans which show shields to project it where we don't want it.

Mr. Farace said the Unified Development Ordinance has lighting or photo metric requirements such as cut off shielding elements or other lighting standards that are required.

Commissioner Battisto stated he lives behind the high school football field with the big lights on every Friday night. I'm closer to the field than those houses are to the Casey's. It dissipates quickly. I can see the lights, but they are not beaming into my house.

Commissioner Tucek asked if the red stripe on the header of the canopy is backlit.

Mr. McMahon stated no, it is not. Only the Casey's on the storefront is lit.

Commissioner Battisto commented on the landscaping on the east of the property should be sufficient as proposed because I don't think the employees of the factory will say anything about there not being enough. And I do appreciate Casey's understanding of what we are trying to do with our fountain in the Fountain View area and them putting in a park bench and seating wall will look cohesive to the rest of the area.

Mr. Farace stated Staff was looking at it as since this is a new development, technically there is room or space for the plant materials which do not all have to be placed on the east side, but maybe in other green space areas. Also, a fence is normally required between a commercial and an industrial property. A fence is not being proposed for this location and Staff thought it was most appropriate within our corridor to have that landscaping requirement.

Chairman Parisi stated he agrees with Mr. Farace and Commissioner Battisto that Staff will appropriately handle the landscaping. I agree with the setback because it is defining a more aesthetically pleasing corner. Although the berm to the east would be nice, I would like to see some of it moved to the north side where the detention pond is and possibly along the flood plain.

Mr. Farace stated there is a provision where they can either plant shrubs or native grasses. Maybe the folks from Kimley Horn can work with our Storm Water Administrator, Greg Ulreich, to see what plant material can also be around the detention areas.

Chairman Parisi then asked what the hours of operation will be because the lighting will help from a safety perspective. He said you are far enough back so you might be okay but it will definitely change the aesthetics of that corner when you pull up to it.

Mr. Szafranski stated 24/7 which is similar to the one on County Farm and Army Trail.

Chairman Parisi asked what the alternate material would be on the ACM.

Mr. Szafranski stated they would be willing to do brick like the rest of the building.

Chairman Parisi stated because it does stick out, aesthetically it will look a little odd that you have brick up where the Casey's sign is and it will look very heavy. From an architectural perspective, I would be okay with the ACM and it balancing the elevation much better. It also ties into a little bit of the aesthetics at the Town Center across the way with the fascia and the bands around the top.

Chairman Parisi asked for any further discussion from the Commission and there was none.

Chairman Parisi asked for a motion for the Gary Avenue Corridor Review. Commissioner Meneghini moved and Commissioner Morris seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Battisto, Meneghini, Morris, Tucek

Nays: 1 Chairman Parisi

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by majority vote.

Chairman Parisi asked for a motion for the Amendment for Special Use, Text Amendment to allow Fuel Sales as a Special Use in the B-1 District and Special Use Permit for Fuel Sales and Plat of Consolidation.

Commissioner Morris moved and Commissioner Tucek seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, April 3, 2023, at 6:00 PM for review.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Battisto moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

**NEW BUSINESS:**

**OLD BUSINESS:**

**OTHER BUSINESS:**

**ADJOURNMENT:**

At 7:10 p.m. Commissioner Meneghini moved and Commissioner Tuvcek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 5 Commissioners Battisto, Meneghini, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioners Christopher and Petella

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Patty Battaglia  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

April 10, 2023

**TO:**  
Chairperson and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

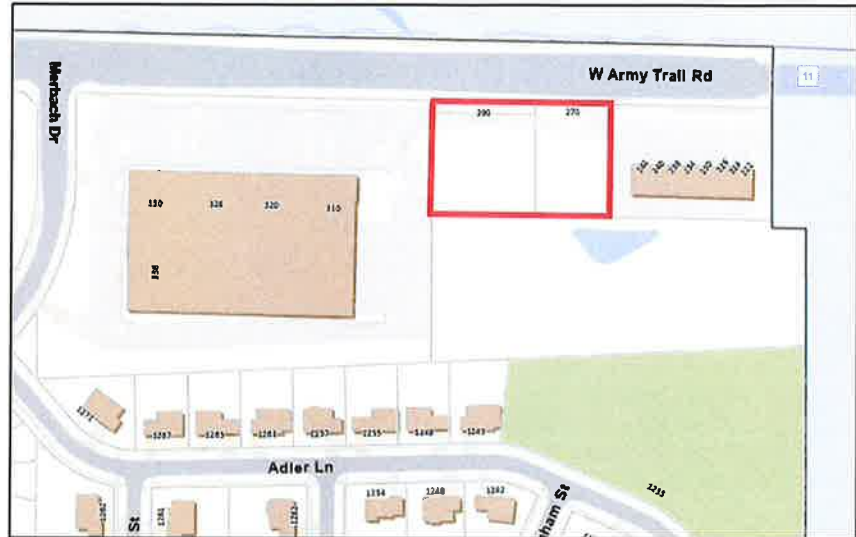
**ACTION REQUESTED:**  
The applicant is requesting approval  
of the following:

- An Amendment to a Special Use for a Planned Development, in accordance with Section 16-7-6 of the UDO
- Plat of Consolidation, in accordance with Section 16-8-4 (O) of the UDO

**APPLICANT/ CONTACT:**  
Dr. Mark Babinski  
Bodyworks Medical Center  
LLC  
1189 N. Gary Avenue  
Carol Stream, IL 60018



**CASE #:** 23-0006  
**LOCATION:** 270-290 W. Army Trail Road  
**PROJECT NAME:** Bodyworks Medical Center LLC



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Vacant)	Corridor Commercial
North	Village of Bloomingdale B-4 Automotive Business District	Commercial (Cubesmart, Bucaro Funeral Home)	Commercial
South	B-3 General Business District	Open Space (Detention)	Open Space
East	B-3 General Business District	Commercial (Commons at Army Trail Plaza)	Corridor Commercial
West	B-3 General Business District	Commercial (American Sale)	Corridor Commercial

The property highlighted above is located on the south side of Army Trail Road and east of Merbach Drive.

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## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed medical office building fits within this designation.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter from Bodyworks dated January 23, 2023, Public Notice, Cover Sheet (Exhibit A), Erosion Control and Demolition Plan (Exhibit B), Planned Development Plan (Exhibit C), Grading Plan (Exhibit D), Utility Plan (Exhibit E), Fire Hydrant Exhibit (Exhibit F), Landscape Plans (Exhibit G-1 through G-5), Site Details (Exhibit H), Floor Plan (Exhibit I), Elevations (Exhibit J-1 through J-4), and Plat of Consolidation (Exhibit K-1 and K-2).

### BACKGROUND:

The applicant, Dr. Mark Babinski of Bodyworks Medical Center, requests approval of an Amendment to a Planned Development and plat of consolidation for a proposed medical office building at 270-290 W. Army Trail Road. There are currently two vacant parcels, which will be consolidated to form one lot of approximately 1.3 acres. The parcels are part of the Burke

Venture Commercial Planned Development (PD) approved in the mid-1990s, and includes the American Sale property to the west, Commons at Army Trail Plaza to the east, and detention/wetland area to the south. The two parcels were preliminarily approved with an oil change facility and small retail building as part of the original PD, but these projects never moved forward. Bodyworks Medical Center is currently located in Windfall Plaza on Gary Avenue, and the applicant proposes to construct a 6,000 square foot, one-story medical office building on the subject parcels to expand his services. Services include chiropractic, physical therapy, and other pain management/prevention services.

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### Staff Analysis

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#### PLANNED DEVELOPMENT AMENDMENT / SPECIAL USE FOR FUEL SALES

§ 16-7-6 of the Unified Development Ordinance (UDO) specifies that amendments to PD Plans can either be categorized as minor or major amendments. A minor amendment can be approved at the staff level, and includes changes to a site plan or design details that do not alter the concept or intent of the PD. These changes include minor parking, site amenity, and landscaping/open space changes. Major changes to PD Plans must be reviewed by the PC/ZBA and approved by the Village Board, and include increasing the project density or expanding buildings, reducing open space by more than 10%, and amending development agreements or covenants. Since the proposed Bodyworks project would entirely change the previous projects approved on the subject parcels, the proposal is considered a major PD amendment and must be reviewed by the PC/ZBA and Village Board.

Below is a summary of the project:

- A 6,000 square foot medical office building is proposed on the east half of the development, with a 26-space parking lot proposed on the west side of the development. The facility is proposed to have nine employees, and will operate from 9:00 am to 7:00 pm Monday through Thursday, and 8:00am to 12:00pm on Fridays.
- Access to the development is proposed from the private driveway that is shared with American Sale and Commons at Army Trail Plaza. A portion of the shared driveway along the subject parcels' frontage is in poor condition, and while the submitted plans do not reflect this, the applicant has agreed to repair the pavement and add curbing to match existing curbing along the driveway. It should be noted that the maintenance of some common elements within the PD, including detention areas and the lift station at the west end of the PD, are shared among the property owners within the PD as stipulated in declaration and easement language. However, property owners are required to maintain their proportionate share of the driveway, and the applicant has agreed to said repair work. In addition, the applicant proposes to remove an existing mailbox located on the subject parcels, which serves the adjacent strip mall. The mailbox is not believed to be in use anymore. Said work shall be illustrated on building permit plans.

- Sidewalks are proposed from the parking lot to the front of the building on the north side, along with a crosswalk connection from the existing sidewalk along Army Trail Road for pedestrian connectivity.
- A section of Klein Creek runs along the west side of the development, and this area will be enhanced and maintained. In addition, a vegetated bioswale is proposed to the south of the building to allow for quality controlled detention runoff.
- Landscaping is proposed to meet requirements from the UDO. Foundation plantings are proposed along the north, east, and south sides of the building. In addition, landscaping is proposed along the north side of the property for screening purposes, and landscaped parking lot islands are also proposed. Finally, native plantings and seed mixes are proposed along the front of the building within the proposed rainwater renewal area, within the rear vegetated bioswale, and around the Klein Creek crossing.
- The building will contain several exam rooms, break room, office and storage space, and consultation rooms. The exterior of the building will be of masonry and stone veneer construction, with composite wood elements on the north, east, and west sides of the building. Storefront window systems, cream-colored Hardiboard trim, steel canopies, decorative wall-mounted light fixtures, and brick coursing will add ornamental elements to the building's design, and a proposed varied roofline with dark bronze coping will provide visually interesting building architecture.
- A dumpster enclosure is proposed on the west side of the building, and will match the materials of the building. In addition, a monument sign is proposed near the entrance to the development, with masonry and stone materials to match the building as well. The submitted landscape plan does not denote plant material around the base of the monument sign, but staff requests that the permit drawings illustrate plant material around the sign base that will meet UDO requirements. Since the sign is approximately 59 square feet in area, then 59 square feet of plant material needs to be installed around the sign base.

Proposed site and landscaping improvements will meet PD standards as outlined in Sections 16-7-1 and 16-7-3 of the UDO, which state that PDs should have unified buildings, structures, and site amenities through design, and should provide for safe, efficient, convenient, and harmonious grouping of structures, uses and facilities. As such, staff supports the PD amendment request.

#### **SPECIAL USE FINDINGS OF FACT**

The Plan Commission's recommendation regarding the requested Special Use Permits must be based on the evaluation criteria set forth in the UDO. As stated in §16-15-8(E) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The expanded medical office will provide services to the community, and will be considered a public convenience at the subject location.



2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Overall, the proposed development has been designed to allow for safe traffic patterns in and out of the site, and for enhanced storm water and drainage management.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed development will not have negative impacts on surrounding properties, as it has been designed with safe and efficient traffic flow. In addition, a new commercial development should enhance values for surrounding properties.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Staff does not believe the proposed facility should have an impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are either in place or will be designed and constructed in accordance with State and Village regulations.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

#### **PLAT OF CONSOLIDATION**

A plat of consolidation has been submitted for review, which consolidates the two existing lots into one lot. In total, the newly established lot will measure approximately 1.3 acres. Staff from Community Development, Engineering Services, and the Village Clerk's office have reviewed the submitted plat, and deem it acceptable.

#### **RECOMMENDATION**

Staff has reviewed the proposed requests and supports the project. Therefore, staff recommends approval of an Amendment of a Special Use Permit for a Planned Development and a Plat of Consolidation for Bodyworks Medical Center at 270-290 W. Army Trail Road, Case No. 23-0006, subject to the following conditions:

1. That all improvements, including but limited to the building, parking lot, and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan (except as may be amended to address recommended conditions herein), and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That the landscape plan shall be amended at the time of building permit review to include landscaping around the base of the proposed monument sign that meet requirements of the UDO, and will be reviewed by the Director of Community Development or designee for compliance;
4. That a guaranty, in the form of a letter of credit or performance bond, approved by the Village Attorney and the Community Development Director, or a cash deposit made with the Village Treasurer for 20% of the total cost estimate of landscaping for the construction in January 1 dollars for the current year, shall be provided by the applicant for all required landscape improvements. Such guaranty shall be executed before building permits are issued. The 20% landscaping deposit shall be held in escrow for a period of 18 months past the time of planting and will be refunded on approval of the village, unless extended by the village per § 16-8-4(N)(10)(c) of the UDO;
5. That any required landscaped area, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas, unless otherwise approved by the Engineering Services Director to accommodate native grasses. No part of an irrigation system may be installed in village right-of-way;
6. That the plans shall be updated at the time of building permit review to include notes and details for the repair work along the shared driveway, installation of curbing along portions of the shared driveway, and removal of the existing mailbox, to be reviewed by the Director of Community Development or designee;
7. That all trash, refuse and recycling containers must be kept within the dumpster enclosure on the west side of the property, and that the gates to the enclosure must be kept closed at all times except when employees are accessing the enclosure or when the waste hauler is servicing the property;
8. That parking lot lighting which meets requirements of the UDO shall be required;
9. That the applicant must obtain the required sign permit prior to the installation of any new signage;

10. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO; and
11. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations.

T:\Planning New\Planning\Plan Commission\Staff Reports\2023 Staff Reports\23-0006 Bodyworks SUP PLAT 270-290 W Army Trail.docx



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JAN 27 2023  
COMMUNITY DEVELOPMENT  
DEPT

Do Not Write in This Space	
Date Submitted:	<u>1-27-2023</u>
Fee Submitted:	<u>\$2,040.00</u>
File Number:	<u>23-0006</u>
Meeting Date:	<u>4/10/23</u>
Public Hearing Required:	<u>Y</u>

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Dr. Mark Babinski Phone (630) 326-5714  
 Address 1189 N. Gary Avenue Fax \_\_\_\_\_  
 E-Mail Address markbabinski@gmail.com  
 (required)  
 Name of Civil Engineer Dan Miletic Phone (630)405-5722  
 (if represented)  
 Address 55 Shuman Blvd, Suite 375, Naperville, IL 60563 Email: dan.miletic@rasmith.com  
 Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect Eduard Garcia Phone (847)971-5424  
 (if applicable)  
 Address 1000 Hart Rd, Suite 300, Barrington, IL 60010 Email: eduard@landmarkdgi.com

2. \*Common Address/Location of Property 270 Army Trail Road

3. Requested Action: (check all that apply)
- |                                                                 |                                                                           |
|-----------------------------------------------------------------|---------------------------------------------------------------------------|
| <input type="checkbox"/> Annexation                             | <input checked="" type="checkbox"/> Subdivision – Minor/Major             |
| <input type="checkbox"/> Courtesy Review                        | <input type="checkbox"/> Temporary Waiver/Code of Ordinances              |
| <input type="checkbox"/> Development Staff Review               | <input type="checkbox"/> Variation – Zoning (requires Form B-1)           |
| <input type="checkbox"/> Gary/North Avenue Corridor Review      | <input type="checkbox"/> Variation – Sign (requires Form B-2)             |
| <input checked="" type="checkbox"/> Planned Development – Final | <input checked="" type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary      | <input checked="" type="checkbox"/> Special Use Permit (requires Form C)  |
| <input type="checkbox"/> Shared Parking Facility                | <input type="checkbox"/> Map Amendment (requires Form D-1)                |
| <input type="checkbox"/> Site Plan Review                       | <input type="checkbox"/> Text Amendment (requires Form D2)                |
|                                                                 | <input type="checkbox"/> Staff Adjustment (requires Form E)               |

Describe requested action \_\_\_\_\_

Major Change to an Existing PD, Special Use, and Plat of Subdivision for a proposed ±6,000 sf Medical Office building with 26 parking stalls on a 1.297 acre lot at W. 270 Army Trail Rd.

## 4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 1,400

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
X	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
X	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification


\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for the purpose of notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements which relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Dr. Mark Babinski

Print Name

  
Signature

1/23/23  
Date

Revised 07/21



FORM C

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JAN 27 2023

COMMUNITY DEVELOPMENT  
DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.  


---

The proposed development will enhance property that originally approved for PD in 1995 but has been vacant. Medical office will enhance facility for an existing business within the Village.

---
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.  


---

Development will not be detrimental to the public, and will in fact enhance the existing Klein Creek wetland buffers within the property.

---
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.  


---

The development will create positive affect on the surrounding retail uses, by creating a use on undeveloped land.

---
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.  


---

The site will provide adequate parking and access and will conduct operations similar to the surrounding uses. No impediment to surround development is anticipated.

---

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Development will utilize existing infrastructure already in place and sized to meet build out.

---

A bioswale will be added upstream of the existing detention basin to improve stormwater quality.

---

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposed project intends to conform with the applicable regulations of the district and the

---

Village Board.

---

7. Other pertinent information or reason for request.

---

---





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JAN 27 2023

COMMUNITY DEVELOPMENT  
DEPT

1189 N. GARY AVENUE  
CAROL STREAM, IL 60188

630.517.5674

WWW.BODYWORKSMED.COM

January 23, 2023

Village of Carol Stream  
Community Development  
500 N Gary Ave  
Carol Stream, IL 60188

Letter of Intent: 270-290 Army Trail Road Zoning Request

To Whom It May Concern,

270 Army Trail Road LLC is submitting this Letter of Intent on behalf of BodyWorks Medical Center LLC and Drs. Mark & Kara Babinski.

270-290 Army Trail Road (otherwise known as Lot 2 Parcel Number 02-20-102-016 & Lot 3 Parcel Number 02-20-102-019 of the Burke Venture Subdivision) is a combined 1.38 acres of vacant undeveloped land and is currently zoned B-3. Our intent is to develop a 6,000 (+/-) square foot, single tenant, medical clinic with an adjoining parking lot for BodyWorks Medical Center LLC.

The proposed 6,000 square foot structure will occupy Lot 2 and the proposed parking lot will occupy Lot 3 with 26 total parking spaces including 24 standard spaces and 2 accessible spaces. The clinic will have 9 employees and will operate Monday through Thursday from 9:00 am to 7:00 pm and on Friday from 8:00 am to 12:00 pm.

Dan Miletic with raSmith has been selected as the civil engineer for this development. Eduard Garcia with Landmark Design Group is the project architect and Craig Damm with RSD Construction is the general contractor.

If you have any questions about this project you can contact me directly at 630-518-2949.

Sincerely,

Mark Babinski  
BodyWorks Medical Center LLC  
270 Army Trail Road LLC

# Certificate of the Publisher


Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on March 22, 2023 and the last publication of the notice was made in the newspaper dated and published on March 22, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on March 22, 2023.

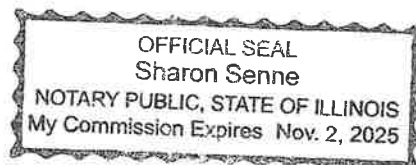
Examiner Publications, Inc.

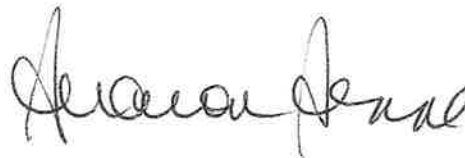
By: Publisher

  
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 22 day of March, A.D. 2023.

Notary Public





## LEGAL NOTICE PUBLIC NOTICE FILE #23-0006

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, April 10, 2023 at 6:00 p.m. to consider an application from Dr. Mark Babinski (Bodyworks Medical Center) for the following actions:

An Amendment to a Special Use Permit for Planned Development, in accordance with Section 16- 7-6 (B) of the Carol Stream Unified Development Ordinance For the property located at 270-290 W. Army Trail Road (PIN 02-20-102-015 and 02-20-102-016)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL: <https://us02web.zoom.us/j/86631253419>

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 866 3125 3419

International numbers available: <https://zoom.us/j/86631253419>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, AICP, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* March 22, 2023 0322

**LEGEND**  
(PROPOSED FEATURES)

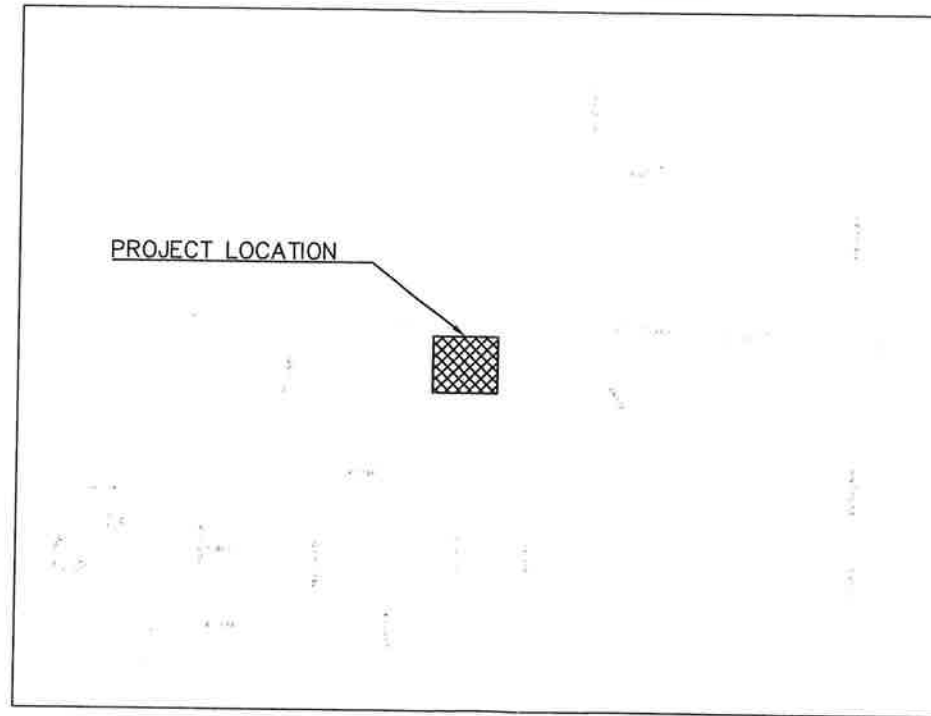
- TREE REMOVAL
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING BUILDING/STRUCTURE TO BE REMOVED
- SAWCUT LINE
- PROPOSED PROPERTY LINE
- PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
- MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
- SIGN
- HEAVY-DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- COLORED AND STAMPED CONCRETE
- PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
- PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
- PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
- DOOR
- STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
- PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
- PROPOSED 1-FOOT GRADE CONTOUR
- PROPOSED 5-FOOT GRADE CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED TOP OF CURB
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO TOP OF WALL
- PROPOSED FINISHED SURFACE GRADE ADJACENT TO BASE OF WALL
- PROPOSED EROSION CONTROL BALE
- PROPOSED TEMPORARY DITCH CHECK
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY DIVERSION SWALE & BERM
- PROPOSED LEVEL SPREADER
- PROPOSED STONE TRACKING MAT
- PROPOSED PERMANENT TURF REINFORCEMENT MAT
- EROSION CONTROL BLANKET
- PROPOSED RIPRAP
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED INLET/ CB
- PROPOSED STORM MANHOLE
- PROPOSED AREA DRAIN
- PROPOSED SANITARY MANHOLE

**LEGEND**  
(EXISTING FEATURES)

- BOUNDARY LINE
- R.O.W. LINE
- EASEMENT LINE
- PAVEMENT LINE
- CURB & GUTTER
- CONCRETE SIDEWALK
- EX. CONTOUR
- SANITARY LINE
- STORM LINE
- WATERMAIN LINE
- FOUND IRON ROD OR PIPE
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. INLET
- EX. FLARED END SECTION
- EX. HYDRANT
- EX. VALVE BOX
- EX. VALVE VAULT
- EX. WATER MARK
- EX. TRAFFIC SIGNAL HANDHOLE
- EX. DBL. TRAF. SIGN. HANDHOLE
- EX. ELECTRIC MARK
- EX. STREET LIGHT
- EX. TRAFFIC SIGNAL W/ARM
- EX. GAS MARK
- EX. FIBER OPTIC HANDHOLE
- EX. SIGN
- EX. GRADE SHOT
- EX. CONCRETE
- BLOCK WALL/HEADWALL
- XXX.XX MEASURED INFORMATION
- (XXX.XX) RECORD INFORMATION
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.W.E. PUBLIC SIDEWALK EASEMENT
- I.E.E. INGRESS/EGRESS EASEMENT

# SITE CIVIL PLANS FOR PROPOSED MEDICAL OFFICE 270 ARMY TRAIL ROAD CAROL STREAM, ILLINOIS

## VICINITY MAP (N.T.S)



SHEET NO.	DESCRIPTION
C000	COVER SHEET
1 OF 3	ALTA/NSPS SURVEY (BY OTHERS)
2 OF 2	ALTA/NSPS SURVEY (BY OTHERS)
3 OF 3	ALTA/NSPS SURVEY (BY OTHERS)
C100	EROSION CONTROL AND DEMO PLAN
C200	PLANNED DEVELOPMENT PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500	EROSION CONTROL DETAILS
C501	SITE DETAILS
C502	CONSTRUCTION DETAILS 1
C503	CONSTRUCTION DETAILS 2
C600	SPECIFICATIONS

## EXHIBIT A

**ARCHITECT:**  
LANDMARK DESIGN AND DEVELOPMENT SERVICES  
1000 HART ROAD, BARRINGTON, IL 60010  
847-971-5424

**DEVELOPER / OWNER:**  
BODYWORKS MEDICAL CENTER  
1189 N. GARY AVENUE  
CAROL STREAM, IL 60188  
(630) 326 - 5714

**ENGINEER AND LANDSCAPE ARCHITECT:**

**Smith**  
55 Shuman Boulevard, Suite 375  
Naperville, IL 60563-8467  
(630) 405-5722

**DRAINAGE STATEMENT:**  
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES.

NAME



R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.  
ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A. SMITH, INC.

PLAN DATE: 01/25/2023																																													
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REVISIONS</th> <th>ISSUE DATE</th> <th>SHEET NO.'S</th> <th>ISSUED FOR:</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03/15/2023</td> <td>ALL</td> <td>ZONING #1</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:	1	03/15/2023	ALL	ZONING #1																																					<p style="font-size: 2em; color: red; margin: 0;">RECEIVED</p> <p style="font-size: 1.5em; color: red; margin: 0;">MAR 15 2023</p>
REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:																																										
1	03/15/2023	ALL	ZONING #1																																										

55 Shuman Boulevard, Suite 375  
 Naperville, IL 60563-8467  
 (630) 405-5722  
**Smith**  
 ENGINEERS & LANDSCAPE ARCHITECTS

PROPOSED MEDICAL OFFICE  
 270 ARMY TRAIL ROAD, CAROL STREAM, ILLINOIS  
 COVER SHEET

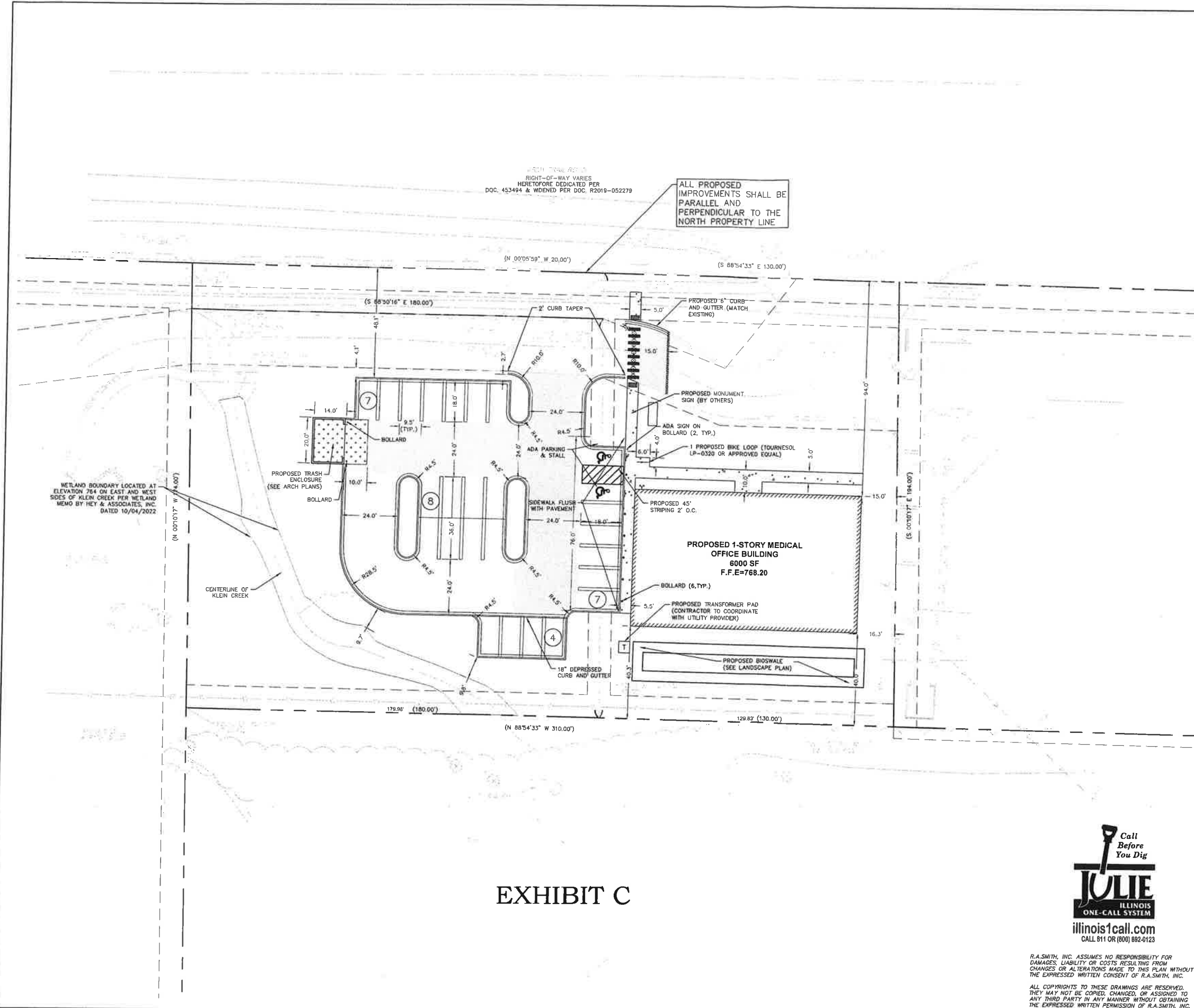


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 R.A. Smith, Inc.  
 DATE: 01/25/2023  
 SCALE: N.T.S.  
 JOB NO. 3210260  
 PROJECT MANAGER:  
 DAN MILETIC, P.E.  
 DESIGNED BY: DJB  
 CHECKED BY: DBM  
**SHEET NUMBER**  
 C000

COMMUNITY DEVELOPMENT  
DEPT



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# EXHIBIT C



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### LEGEND

- PROPERTY LINE
- ===== PROPOSED 18" CURB AND GUTTER
- [Pattern] HEAVY-DUTY CONCRETE PAVEMENT
- [Pattern] CONCRETE SIDEWALK
- [Pattern] HEAVY-DUTY ASPHALT PAVEMENT
- [Pattern] STANDARD-DUTY ASPHALT PAVEMENT
- [Symbol] PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
- [Symbol] STALL PARKING COUNT
- [Pattern] EXISTING WETLANDS

### ZONING

EXISTING ZONING: PLANNED DEVELOPMENT, B-3  
 PROPOSED PROPERTY: 1.297 AC  
 PROPOSED BUILDING: 6,000 SF

### LOT COVERAGE

EXISTING IMPERVIOUS AREA: 46,105 SF (1.058 AC)  
 PROPOSED IMPERVIOUS AREA: 10,395 (0.239 AC)  
 PROPOSED IMPERVIOUS AREA: 29,621 SF (0.680 AC)  
 PROPOSED PERVIOUS AREA: 26,864 SF (0.617 AC)

### SETBACKS

- REQUIRED FRONT BUILDING SETBACK: 25'
- PROPOSED FRONT BUILDING SETBACK: 94'
- REQUIRED INTERIOR SIDE BUILDING SETBACK: 15'
- PROPOSED INTERIOR SIDE BUILDING SETBACK: 15'
- REQUIRED REAR BUILDING SETBACK: 40'
- PROPOSED REAR BUILDING SETBACK: 40'

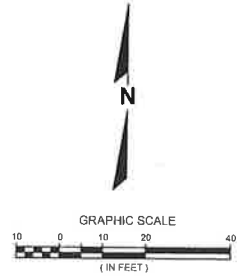
### PARKING CALCULATIONS

PARKING REQUIRED:	1/250 SOFT
PARKING PROVIDED:	STANDARD SPACES: 24
	ACCESSIBLE SPACES: 2
	TOTAL PROVIDED: 26

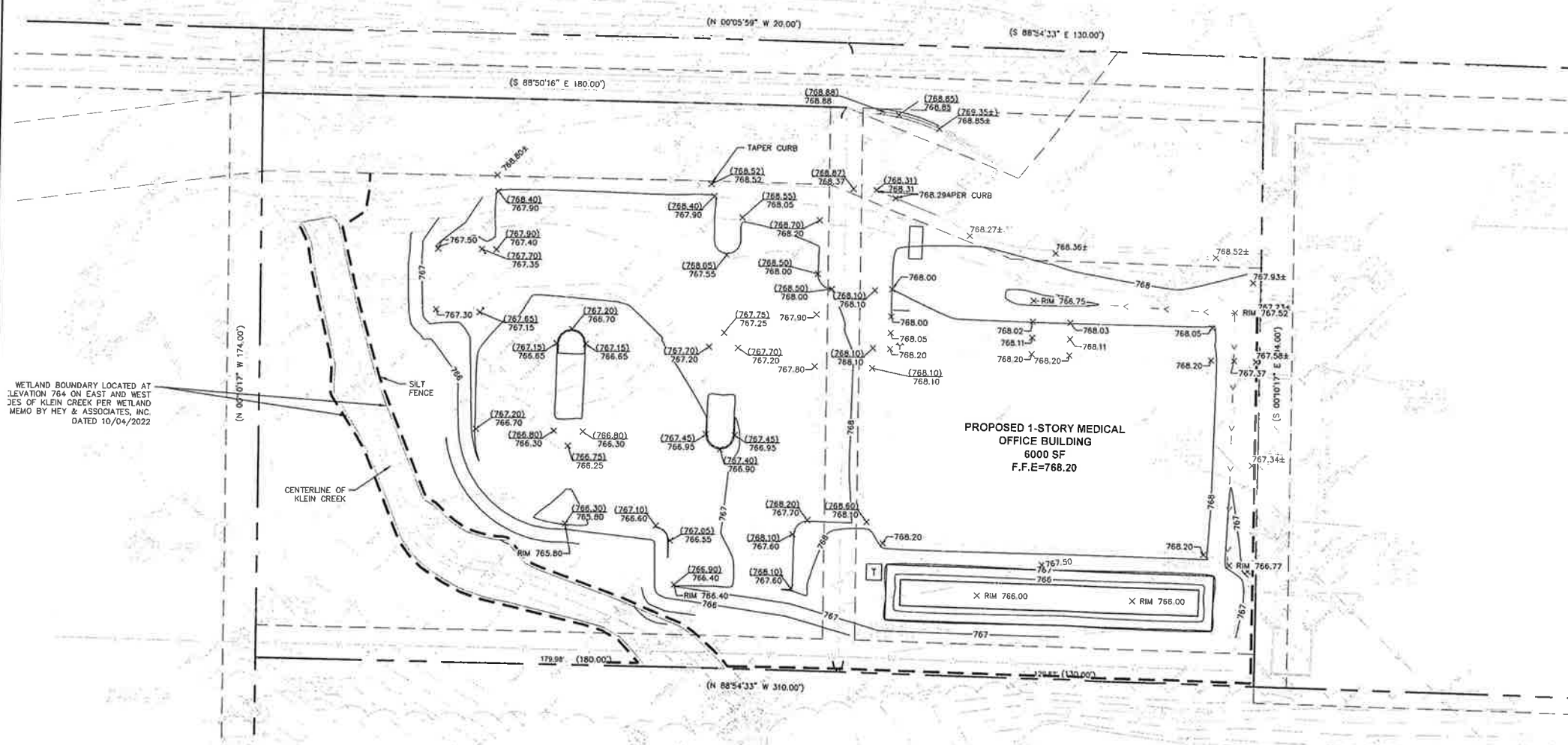
### SITE NOTES

1. EXISTING TOPOGRAPHY OBTAINED BY CAGE CIVIL ENGINEERING ON SEPTEMBER 22, 2022.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE DUPAGE COUNTY EROSION CONTROL ORDINANCE AND STATE OF ILLINOIS TECHNICAL STANDARDS.
4. ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
5. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
6. ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
7. SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDING USES AND DIMENSIONS.

DESCRIPTION	DATE
55 Shuman Boulevard, Suite 375 Naperville, IL 60563-8167 (630) 405-5722	
<b>R.A. Smith</b>	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
<b>PROPOSED MEDICAL OFFICE</b>	
<b>270 ARMY TRAIL ROAD, CAROL STREAM, ILLINOIS</b>	
<b>PLANNED DEVELOPMENT PLAN</b>	
© COPYRIGHT 2023 R.A. Smith, Inc.	
DATE: 01/25/2023	
SCALE: 1" = 20'	
JOB NO. 3210260	
PROJECT MANAGER: DAN MILETIC, P.E.	
DESIGNED BY: DJB	
CHECKED BY: DBM	
<b>SHEET NUMBER</b>	
<b>C200</b>	



RIGHT-OF-WAY VARIES  
HEREFORE DEDICATED PER  
DOC. 453494 & WIDENED PER DOC. R2019-052279



**LEGEND**

---	PROPERTY LINE
---	EXISTING 5-FT CONTOUR
---	EXISTING 1-FT CONTOUR
---	PROPOSED 5-FT CONTOUR
---	PROPOSED 1-FT CONTOUR
834.50	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
(834.50)	PROPOSED SPOT GRADE AT TOP OF CURB
834.50±	MATCHING GRADES INTO EXISTING
⊗	PROPOSED INLET PROTECTION
◻	EXISTING WETLANDS

**GRADING NOTES**

- EXISTING TOPOGRAPHY OBTAINED BY CAGE CIVIL ENGINEERING ON 09/22/2022.
- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE AND A RUNNING SLOPE NO GREATER THAN 5%.
- ADA STALLS SHOULD BE NO MORE THAN 2% RAMP SHOULD BE NO MORE THAN 5%.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED LANDSCAPE AREAS SHALL BE SEEDED UNLESS OTHERWISE NOTED. SEEDED AREAS SHALL BE FERTILIZED AND COVERED W/ EROSION CONTROL MATTING OR RESTORED TO EXISTING CONDITIONS.
- ADJUST ALL EXISTING MANHOLES, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY.
- ALL GRADES ARE TO FINISHED GRADE OR FACE OF CURB UNLESS OTHERWISE NOTED.
- NO CONSTRUCTION DISTURBANCE IS PERMITTED WITHIN THE WETLAND BOUNDARY.

WETLAND BOUNDARY LOCATED AT ELEVATION 764 ON EAST AND WEST SIES OF KLEIN CREEK PER WETLAND MEMO BY HEY & ASSOCIATES, INC. DATED 10/04/2022

PROPOSED 1-STORY MEDICAL OFFICE BUILDING  
6000 SF  
F.F.E=768.20

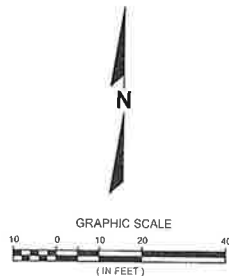
**EXHIBIT D**



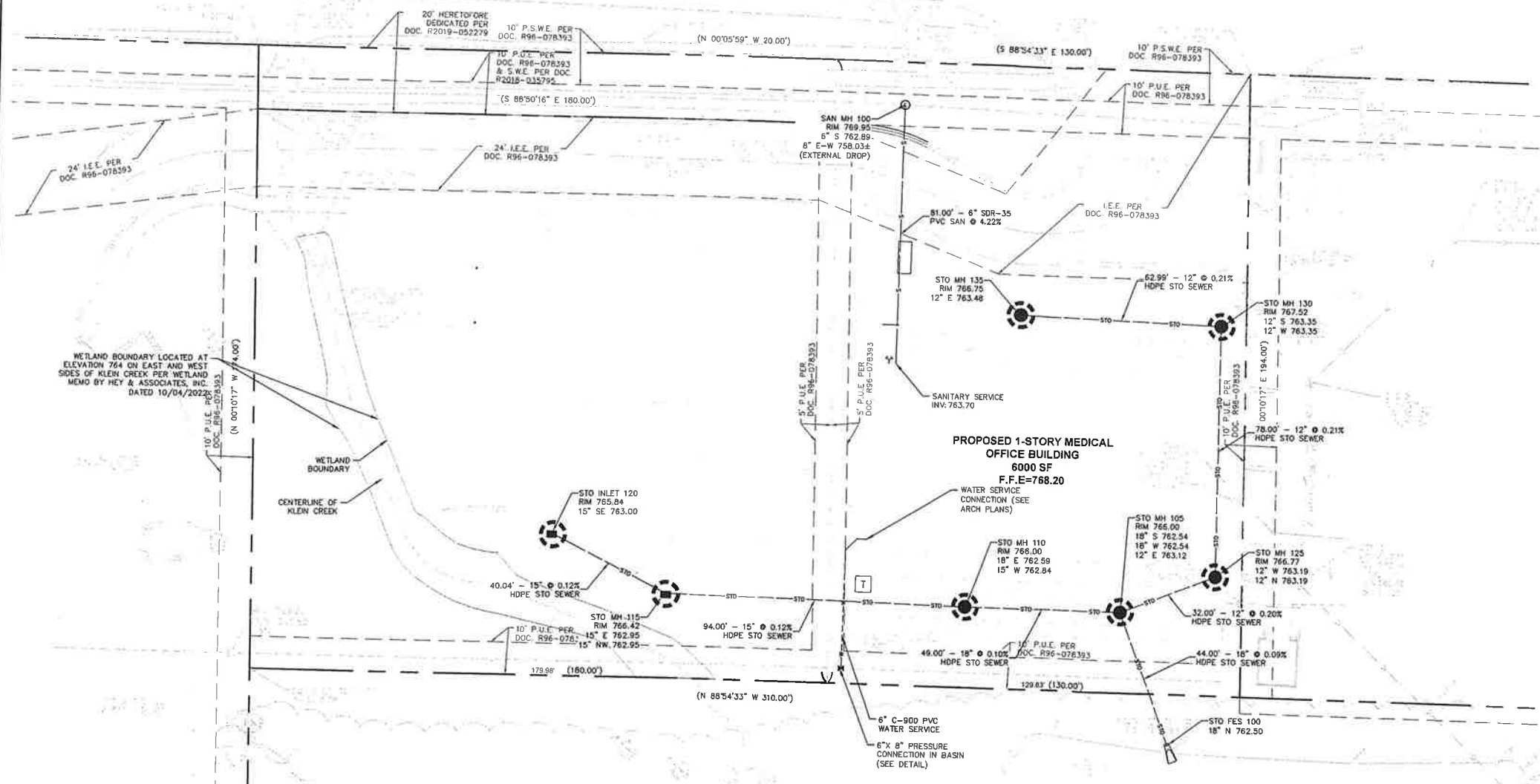
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DESCRIPTION	
DATE	
55 Shuman Boulevard, Suite 375 Naperville, IL 60563-8467 (630) 405-5772	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
PROPOSED MEDICAL OFFICE	GRADING PLAN
270 ARMY TRAIL ROAD, CAROL STREAM, ILLINOIS	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 01/25/2023 SCALE: 1" = 20' JOB NO. 3210260 PROJECT MANAGER: DAN MILETIC, P.E. DESIGNED BY: DJB CHECKED BY: DBM	
<b>SHEET NUMBER</b> C300	

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RIGHT-OF-WAY VARIES  
HEREFORE DEDICATED PER  
DOC. 453494 & WIDENED PER DOC. R2019-052279



**LEGEND**

	PROPOSED STORM SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED WATER SERVICE
	EXISTING STORM SERVICE
	EXISTING SANITARY SERVICE
	EXISTING WATER SERVICE
	EXISTING TELEPHONE SERVICE
	EXISTING ELECTRIC SERVICE
	EXISTING GAS SERVICE
	PROPOSED STORM STRUCTURE
	PROPOSED SANITARY MANHOLE
	WATER VALVE IN VAULT
	EXISTING WETLANDS

- GRADING & UTILITY NOTES**
- EXISTING TOPOGRAPHY OBTAINED BY CAGE CIVIL ENGINEERING ON 09/22/2022.
  - THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
  - THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
  - SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
  - THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
  - GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
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  - ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
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  - ALL DISTURBED LANDSCAPE AREAS SHALL BE SEEDED UNLESS OTHERWISE NOTED. SEEDED AREAS SHALL BE FERTILIZED AND COVERED W/ EROSION CONTROL MATTING OR RESTORED TO EXISTING CONDITIONS.
  - ADJUST ALL EXISTING MANHOLES, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY.
  - ALL GRADES ARE TO FINISHED GRADE OR FACE OF CURB UNLESS OTHERWISE NOTED.
  - NO CONSTRUCTION DISTURBANCE IS PERMITTED WITHIN THE WETLAND BOUNDARY.
  - COORDINATE WITH THE VILLAGE OF CAROL STREAM PUBLIC WORKS DEPARTMENT FOR COMPLETION OF WATERMAIN PRESSURE CONNECTION.
  - IRRIGATION IS REQUIRED FOR ALL LANDSCAPE IMPROVEMENTS. IRRIGATION, INCLUDING ANY SUB-PAVEMENT SLEEVING, SHALL BE BID DESIGN-BUILD BY THE LANDSCAPE CONTRACTOR.

DESCRIPTION	
DATE	
55 Shuman Boulevard, Suite 375 Naperville, IL 60563-8467 (630) 405-5722	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Inver, CA	
PROPOSED MEDICAL OFFICE	UTILITY PLAN
270 ARMY TRAIL ROAD, CAROL STREAM, ILLINOIS	
© COPYRIGHT 2023 R.A. Smith, Inc. DATE: 01/25/2023 SCALE: 1" = 20' JOB NO. 3210260 PROJECT MANAGER: DAN MILETIC, P.E. DESIGNED BY: DJB CHECKED BY: DBM <b>SHEET NUMBER</b> C400	

EXHIBIT E



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# 270 W Army Trail Road

## Carol Stream, DuPage County Illinois

**Client:**

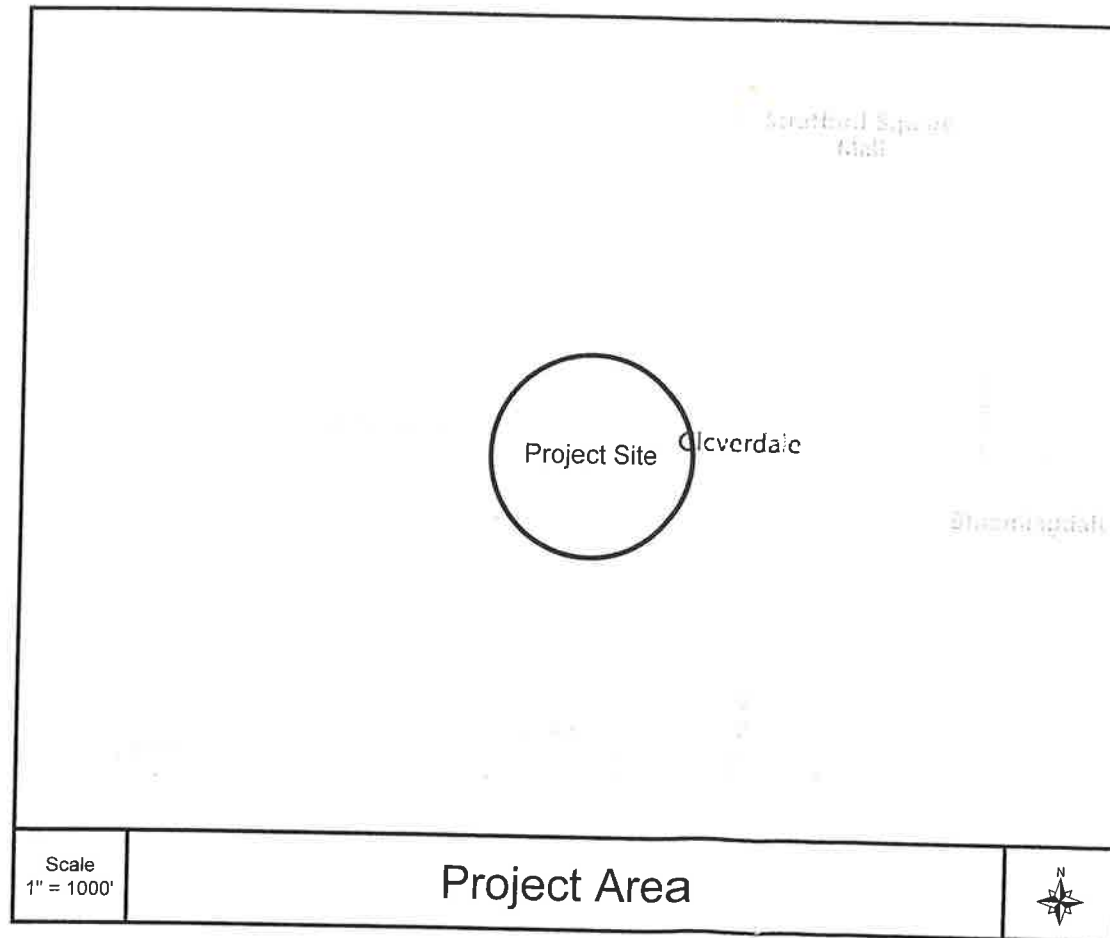
**raSmith**  
 Dan Miletic, PE  
 1245 East Diehl Road, Suite 102  
 DuPage County, Illinois 60563-4816  
 Office (630) 405-5722

**Landscape Architect:**

**Hey and Associates, Inc.**  
 8755 West Higgins Road, Suite 835  
 Chicago, IL 60631  
 Office (773) 693-9200  
 Fax (847) 740-2888

**Benchmark:**

Site Benchmark 1  
 Cross notch on curb north side of driveway  
 Elevation = 769.43 (NAVD 1988)  
 As established by survey observations 03/14/2022.



**Sheet Index:** (Sheet # / Drawing # / Title)

1. L1.0 Cover Sheet
2. L1.1 General Notes
3. L2.0 Overall Plan
4. L2.1 Seeding Mixes and Overstory Plan
5. L3.0 Planting Enlargement 1
6. L3.1 Planting Enlargement 2
7. L4.0 Details
8. L5.0 Seed Mixes

EXHIBIT G-1

RECEIVED  
 MAR 15 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

Call J.U.L.I.E. 1-800-892-0123 at least 48 hours before start of construction with the following:

County: DuPage  
 City or Township: Carol Stream  
 Tier, Range & Section: T40N, R10E, Sec. 20

The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The Contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto.

PROFESSIONAL SEAL

Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 License Expires: \_\_\_\_\_

This document shall not be considered a valid technical submittal unless it bears an original seal and signature.

Base Survey Information provided by:

Webster, McGrath and Ahlberg LTD.  
 March 14, 2022

No.	Revision/Issue	Date

**Hey and Associates, Inc.**  
 Engineering, Ecology and Landscape Architecture  
 8755 W. HIGGINS ROAD, SUITE 835  
 CHICAGO, ILLINOIS 60631  
 OFFICE (773) 693-9200  
 FAX (847) 740-2888  
 CHICAGO@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE N.O. 184-002429

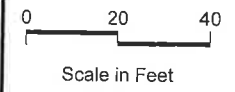
270 W Army Trail Road  
 Carol Stream, Illinois

Cover Sheet

PROJECT NO.	21-0372	DRAWING NO.
DESIGNED BY	ERA	L1.0
DRAWN BY	ERA	
CHECKED BY	TRP	SHEET NO.
APPROVED BY	TRP	
ISSUE DATE	03/13/2023	1 of 8

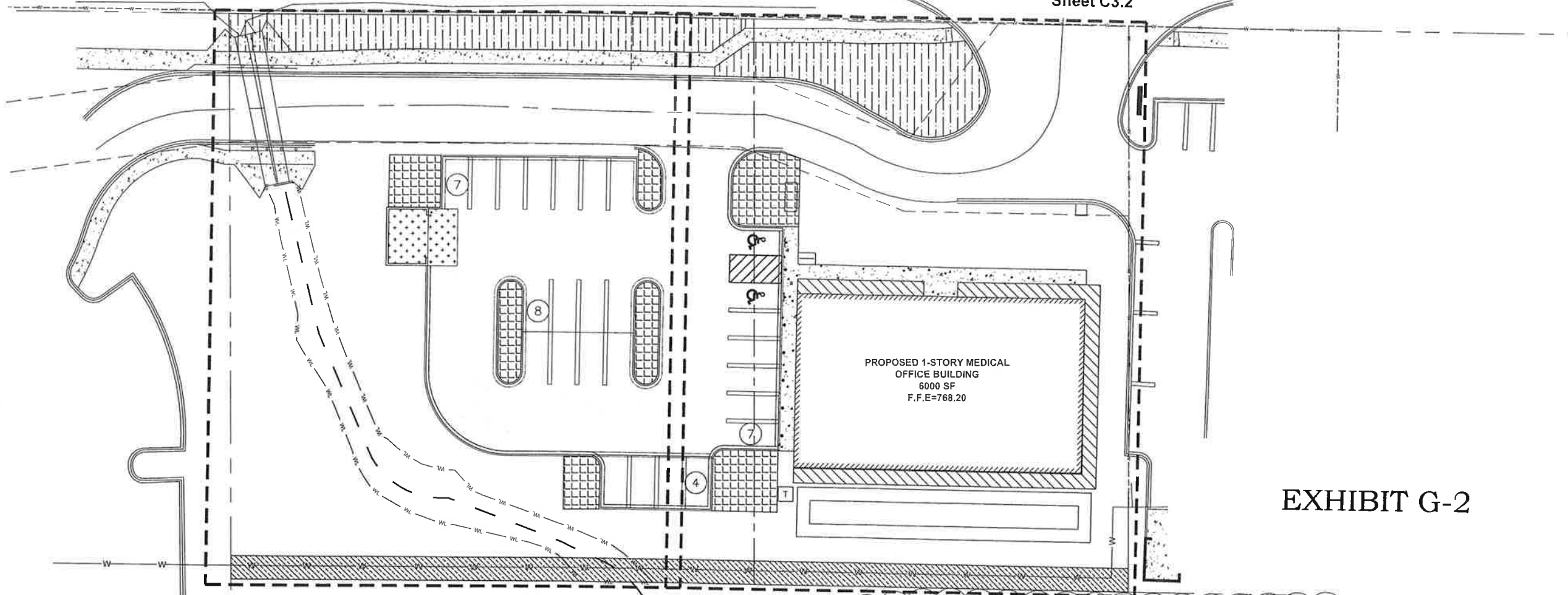
Revised Per Comments

ARMY TRAIL ROAD  
RIGHT-OF-WAY VARIES  
HEREFORERE DEDICATED PER  
DOC. 453494 & WIDENED PER DOC. R2019-052279



Sheet C3.1

Sheet C3.2



PROPOSED 1-STORY MEDICAL  
OFFICE BUILDING  
6000 SF  
F.F.E=768.20

EXHIBIT G-2

LEGEND		
Waterway		
Wetland Boundary		
Existing Property Boundary		
Existing Contours		
Concrete Sidewalk		
Landscape Zones		
No.	Revision/Issue	Date

**Hey and Associates, Inc.**  
Engineering, Ecology and Landscape Architecture  
8755 W. HIGGINS ROAD, SUITE 835  
CHICAGO, ILLINOIS 60631  
OFFICE (773) 693-9200  
FAX (847) 740-2888  
CHICAGO@HEYASSOC.COM  
  
PROFESSIONAL DESIGN FIRM  
LICENSE NO. 184-002429

270 W Army Trail Road  
Carol Stream, Illinois

Overall Plan and Landscape Requirements

Landscape Requirements					
Required On-Site Landscape Areas	Hatch Pattern Key	Dimensional Requirement	Landscape Requirements	Site Requirements	Landscape Provided
Parking Lot Interior Area	[Hatch Pattern]	>15 Parking Spaces	2 Vegetated Parking Islands with 2 Canopy Trees Each	2 Vegetated Parking Islands with 2 Canopy Trees Each	2 Vegetated Parking Islands with 2 Canopy Trees Each +
Parking Lot Perimeter Area	[Hatch Pattern]	120 LF	1 Shrub/Native Grass per every 3 LF	40 Shrubs/Native Grasses	40 Shrubs/Native Grasses
Transition Area	[Hatch Pattern]	310 LF	3 Ornamental Trees, 3 Canopy / Evergreen Trees and Shrubs / Native Grasses (optional) per 100 LF	9 Ornamental Trees, 9 Canopy / Evergreen Trees	9 Ornamental Trees, 9 Canopy / Evergreen Trees
Building Foundation Area	[Hatch Pattern]	272 LF	1 Shrub/Native Grass per every 3 LF	91 Shrubs/Native Grass	91 Shrubs/Native Grass

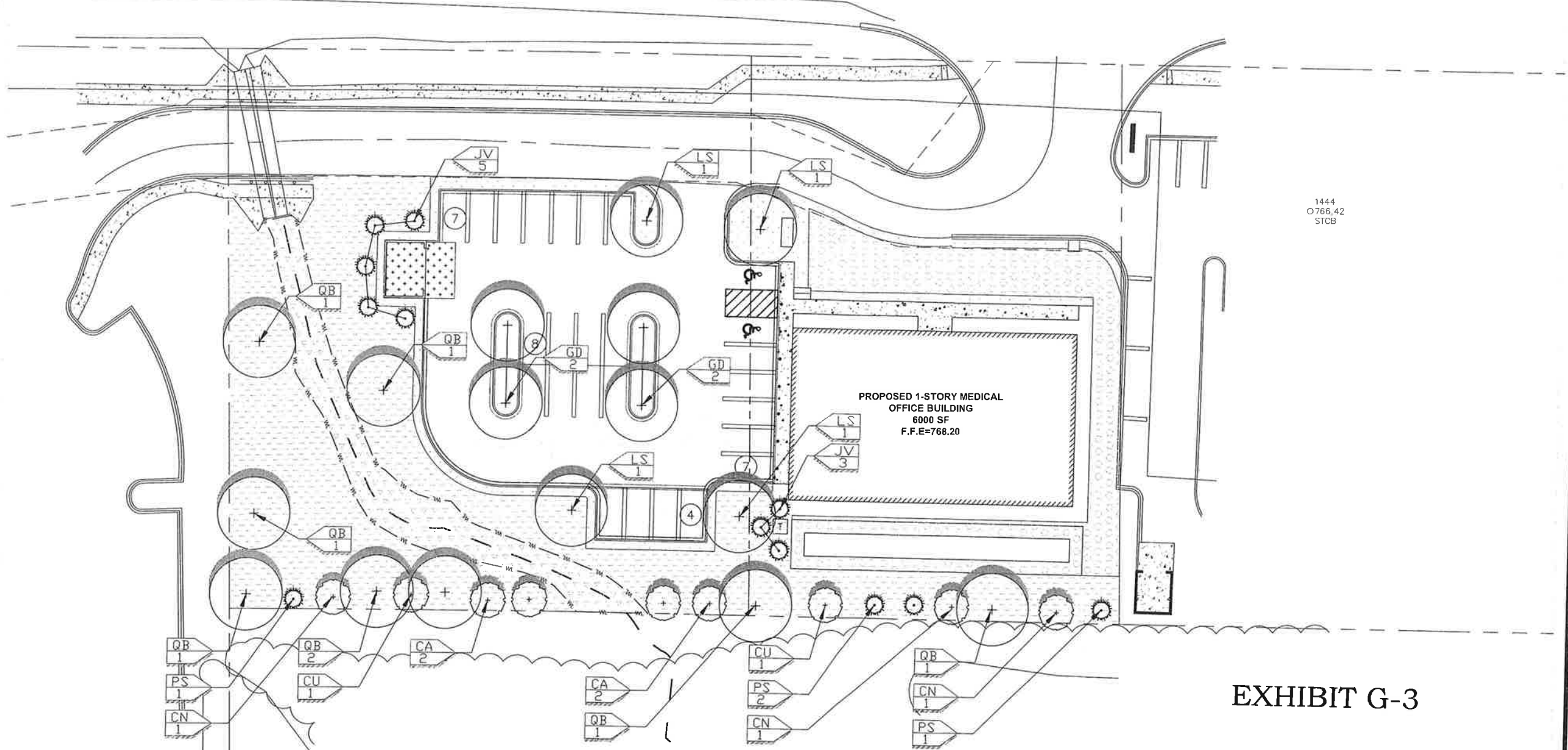
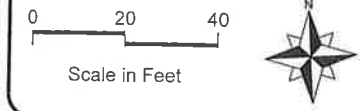
PROJECT NO.	21-0372	DRAWING NO.	L2.0
DESIGNED BY	ERA	SHEET NO.	
DRAWN BY	ERA	3 of 8	
CHECKED BY	TRP		
APPROVED BY	TRP		
ISSUE DATE	03/13/2023		

Revised Per Comments

File: P:\2100021-0372-05\Sketch-Cad Stream-Army Trail Rcd\05 CAD\02-0372 design\landscape.dwg Plot Date: March 13, 2023. Plotted by: Elhan Agayev

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ARMY TRAIL ROAD  
 RIGHT-OF-WAY VARIES  
 HERETOFORE DEDICATED PER  
 DOC. 453494 & WIDENED PER DOC. R2019-052279



1444  
 0766.42  
 STCB

PROPOSED 1-STORY MEDICAL  
 OFFICE BUILDING  
 6000 SF  
 F.F.E=768.20

LEGEND	
Waterway	
Wetland Boundary	
Existing Property Boundary	
Existing Contours	
Concrete Sidewalk	
Seedmixes	
Canopy Tree	
Ornamental Tree	
Evergreen Tree	

EXHIBIT G-3

**Hey and Associates, Inc.**  
 Engineering, Ecology and Landscape Architecture  
 8755 W. HIGGINS ROAD, SUITE 835  
 CHICAGO, ILLINOIS 60631  
 OFFICE (773) 693-9200  
 FAX (847) 740-2888  
 CHICAGO@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE No. 184-002429

270 W Army Trail Road  
 Carol Stream, Illinois

Seeding and Overstory  
 Plan

Tree Schedule				
Symbol	Botanical Name	Common Name	Quantity	Size/Container
CA	<i>Carpinus caroliniana</i>	Blue Beech	2	2.5" CALIPER B&B
CN	<i>Cercis canadensis</i>	Redbud	5	5' HT., B&B
CU	<i>Cornus alterniflora</i>	Alternate-Leaf Dogwood	2	5' HT., B&B
GD	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	4	7' HT., B&B
JV	<i>Juniperus virginiana</i>	Red Cedar	8	7' HT., B&B
LS	<i>Liquidambar styraciflua</i>	Sweetgum	4	2.5" CALIPER, B&B
PS	<i>Pinus strobus</i>	White Pine	4	2.5" CALIPER, B&B
QB	<i>Quercus bicolor</i>	Swamp White Oak	7	2.5" CALIPER, B&B

Seeding Mixes			
Mix Name	Hatch Pattern Key	Area (Acres)	Lbs/Acre
Floodplain Mix + Cover Crop		.05 Acres	8.0
Shortgrass Prairie for Med. Soils Mix + Cover Crop		.33 Acres	13.5
Rainwater Renewal Mix + Cover Crop		.10 Acres	8.0
IDQT Class 1A Salt Tolerant Lawn Mixture		.06 Acres	180.0

NOTE: See C5.0 for seed mixes

PROJECT NO:	21-0372	DRAWING NO:	L2.1
DESIGNED BY:	ERA	CHECKED BY:	TRP
DRAWN BY:	ERA	APPROVED BY:	TRP
ISSUE DATE:	03/13/2023	SHEET NO:	4 of 8

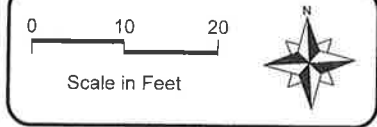
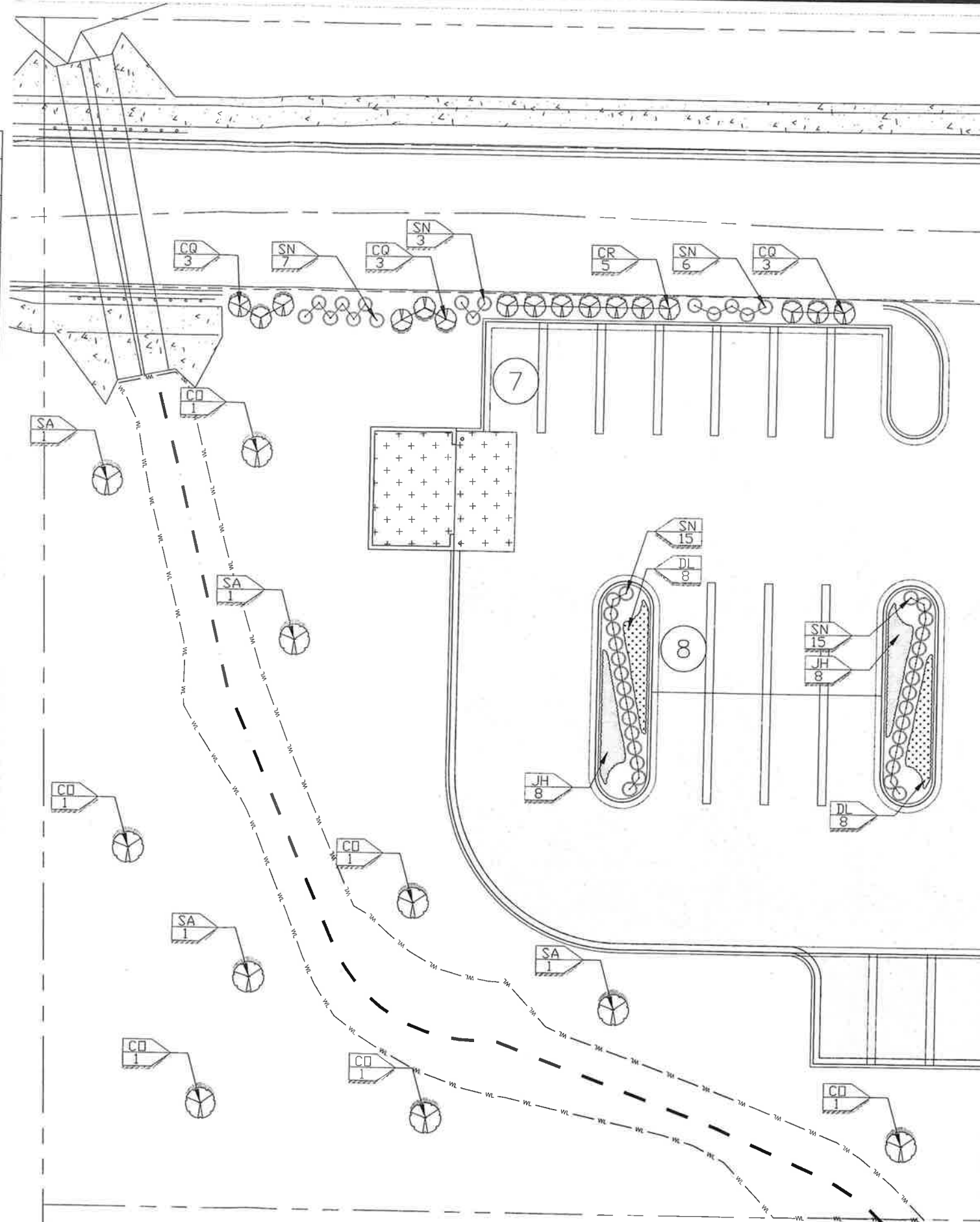
Revised Per Comments

File: P:\2100021-0372\Smith-Care Stream-Army Trail Road\05 CAD\21-0372 design\sheet.dwg Plot Date: March 13, 2023 Plotted by: Ethan Appert

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Plant Schedule				
Symbol	Botanical Name	Common Name	Quantity	Size/ Container
Shrubs				
AA	Aronia prunifolia	Chokeberry	8	#5 CONT., 2' HT.
AC	Amorpha canescens	Lead Plant	13	#5 CONT., 2' HT.
CA	Ceanothus americanus	New Jersey Tea	4	#5 CONT., 2' HT.
CO	Cephalanthus occidentalis	Buttonbush	6	#10 CONT., 3' HT.
CQ	Cornus obliqua	Blue-Fruited Dogwood	6	#5 CONT., 2' HT.
CR	Cornus racemosa	Gray Dogwood	17	#5 CONT., 2' HT.
DL	Diervilla lonicera	Dwarf Honeysuckle	16	#2 CONT., 18" HT.
JH	Juniperus horizontalis	Trailing Juniper	16	#2 CONT., 18" HT.
SA	Spiraea alba	Meadowsweet	4	#10 CONT., 3' HT.
Grasses				
AG	Andropogon gerardii	Big Bluestem	36	#1 CONT., 8" HT.
DA	Diarrhena americana	Beak Grass	8	#1 CONT., 8" HT.
HP	Hystrix patula	Bottlebrush Grass	24	#1 CONT., 8" HT.
SN	Sorghastrum nutans	Indian Grass	15	#1 CONT., 8" HT.

NOTE: Plant Schedule summarizes total quantity of plant material on site.



LEGEND		
	Waterway	
	Wetland Boundary	
	Existing Property Boundary	
	Existing Contours	
	Concrete Sidewalk	
	Shrub Groundcovers	
	Perennial Grasses	
	Shrub	
	Wetland Shrub	
No.	Revision/Issue	Date

**Hey and Associates, Inc.**  
 Engineering, Ecology and Landscape Architecture  
 8755 W. HIGGINS ROAD, SUITE 835  
 CHICAGO, ILLINOIS 60631  
 OFFICE (773) 693-9200  
 FAX (847) 740-2888  
 CHICAGO@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE NO. 184-002429

270 W Army Trail Road  
 Carol Stream, Illinois

Planting Enlargement 1

PROJECT NO.	21-0372	DRAWING NO.	L3.0
DESIGNED BY	ERA	CHECKED BY	TRP
DRAWN BY	ERA	APPROVED BY	TRP
CHECKED BY	TRP	ISSUE DATE	03/13/2023
APPROVED BY	TRP	SHEET NO.	5 of 8

Revised Per Comments

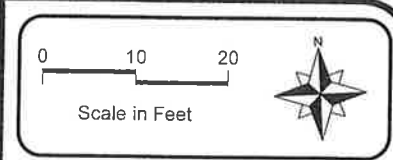
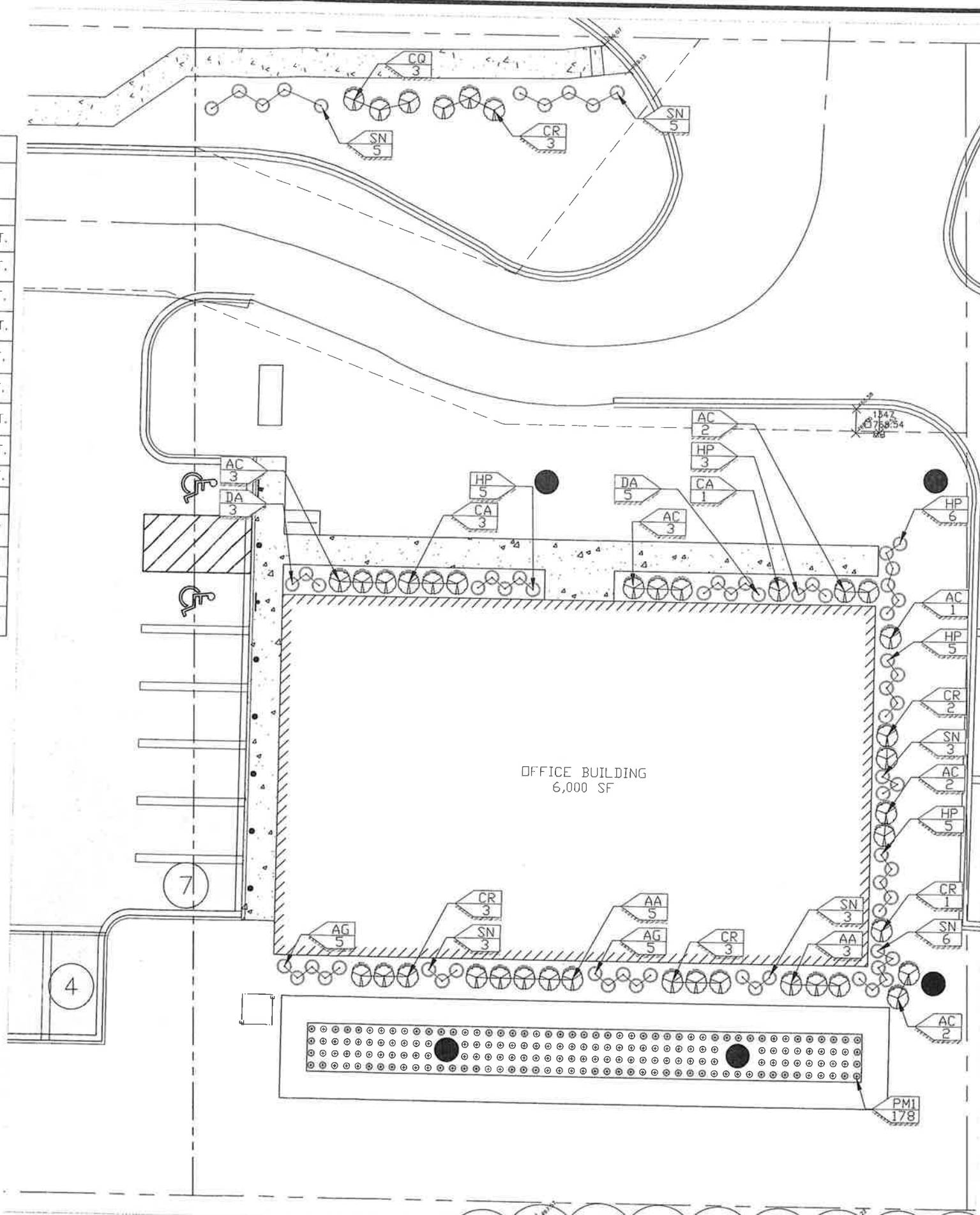
EXHIBIT G-4

File: P:\G100021-0372-01\Smith-Catal Stream-Army Trail E-005 CAD\21-0372-01.dwg Plot Date: March 13, 2023 Plotted by: Elham Aghajanyan

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Plant Schedule				
Symbol	Botanical Name	Common Name	Quantity	Size/ Container
Shrubs				
AA	<i>Aronia prunifolia</i>	Chokeberry	8	#5 CONT., 2' HT.
AC	<i>Amorpha canescens</i>	Lead Plant	13	#5 CONT., 2' HT.
CA	<i>Ceanothus americanus</i>	New Jersey Tea	4	#5 CONT., 2' HT.
CD	<i>Cephalanthus occidentalis</i>	Buttonbush	6	#10 CONT., 3' HT.
CQ	<i>Cornus obliqua</i>	Blue-Fruited Dogwood	6	#5 CONT., 2' HT.
CR	<i>Cornus racemosa</i>	Gray Dogwood	17	#5 CONT., 2' HT.
DL	<i>Diervilla lonicera</i>	Dwarf Honeysuckle	16	#2 CONT., 18" HT.
JH	<i>Juniperus horizontalis</i>	Trailing Juniper	16	#2 CONT., 18" HT.
SA	<i>Spiraea alba</i>	Meadowsweet	4	#10 CONT., 3' HT.
Grasses				
AG	<i>Andropogon gerardii</i>	Big Bluestem	36	#1 CONT., 8" HT.
DA	<i>Diarrhena americana</i>	Beak Grass	8	#1 CONT., 8" HT.
HP	<i>Hystrix patula</i>	Bottlebrush Grass	24	#1 CONT., 8" HT.
SN	<i>Sorghastrum nutans</i>	Indian Grass	15	#1 CONT., 8" HT.

NOTE: Plant Schedule summarizes total quantity of plant material on site.



LEGEND		
Existing Property Boundary		
Existing Contours		
Concrete Sidewalk		
Perennial Grasses		
Shrub		
Perennial Plug		
Catchbasin		

No.	Revision/Issue	Date

**Hey and Associates, Inc.**  
 Engineering, Ecology and Landscape Architecture  
 8755 W. HIGGINS ROAD, SUITE 835  
 CHICAGO, ILLINOIS 60631  
 OFFICE (773) 693-9200  
 FAX (847) 740-2888  
 CHICAGO@HEYASSOC.COM  
 PROFESSIONAL DESIGN FIRM  
 LICENSE NO. 184-002429

270 W Army Trail Road  
 Carol Stream, Illinois

Planting Enlargement 2

PROJECT NO:	21-0372	DRAWING NO:	L3.1
DESIGNED BY:	ERA		
DRAWN BY:	ERA		
CHECKED BY:	TRP		
APPROVED BY:	TRP	SHEET NO:	
ISSUE DATE:	03/13/2023		6 of 8

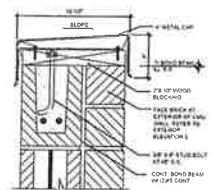
Revised Per Comments

EXHIBIT G-5

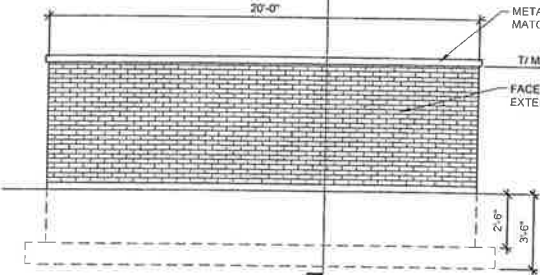
File: P:\2100021-0372-184\msh\Carol Stream\Army Trail R6005 CAD\21-0372.dwg, Plot Date: March 13, 2023, Plotted by: Elnar Lopez

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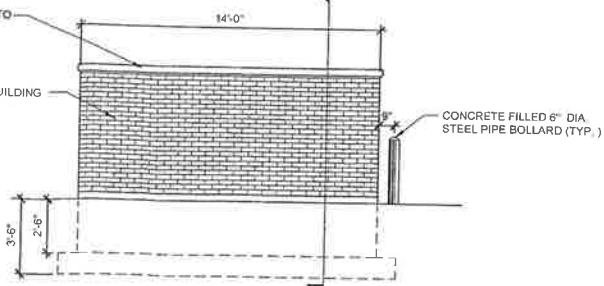
**8 TRASH ENCLOSURE CAP**  
SCALE: 1/12" = 1'-0"



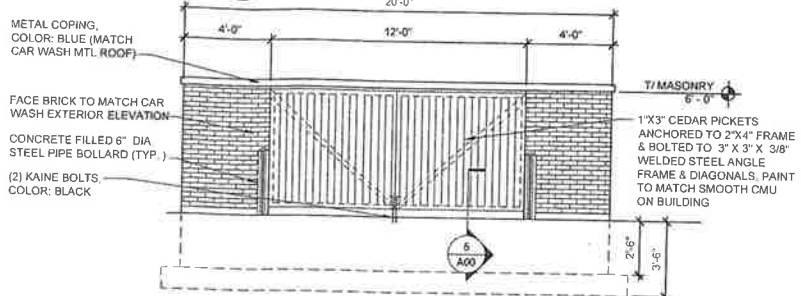
**7 TRASH ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"



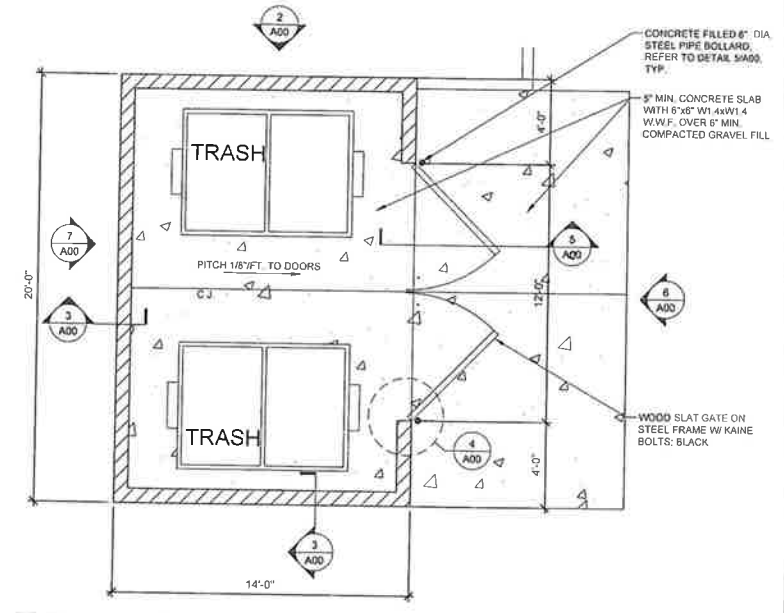
**2 TRASH ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"



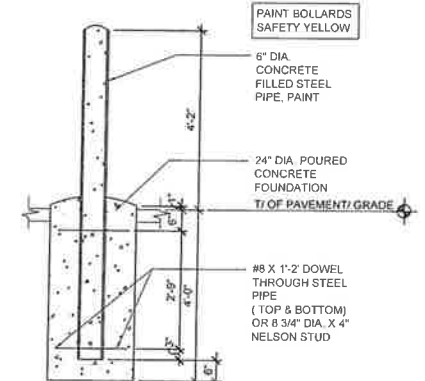
**6 TRASH ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"



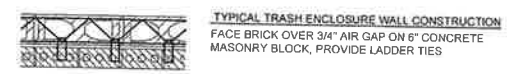
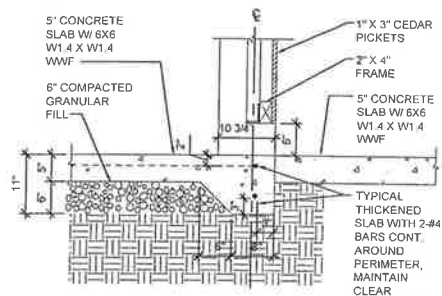
**1 PROPOSED TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



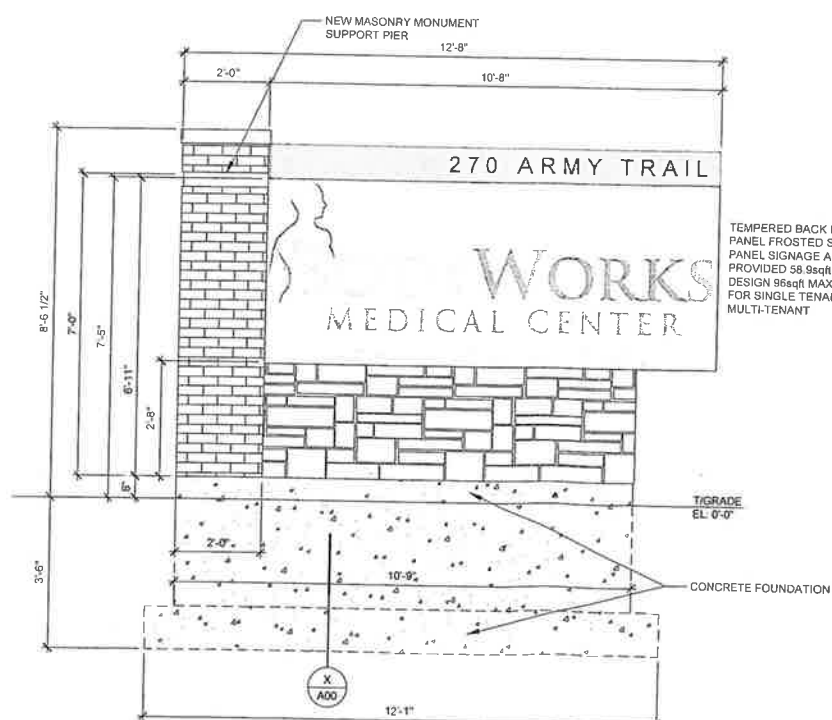
**4 TRASH ENCLOSURE BOLLARDS**  
SCALE: 1/2" = 1'-0"



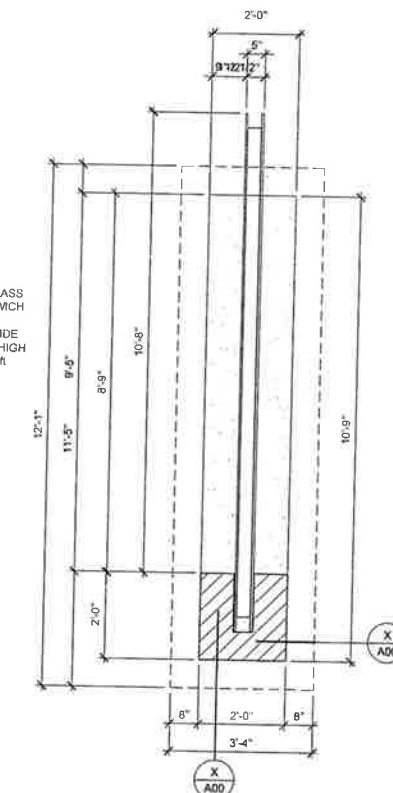
**5 TRASH ENCLOSURE THRESHOLD**  
SCALE: 3/4" = 1'-0"



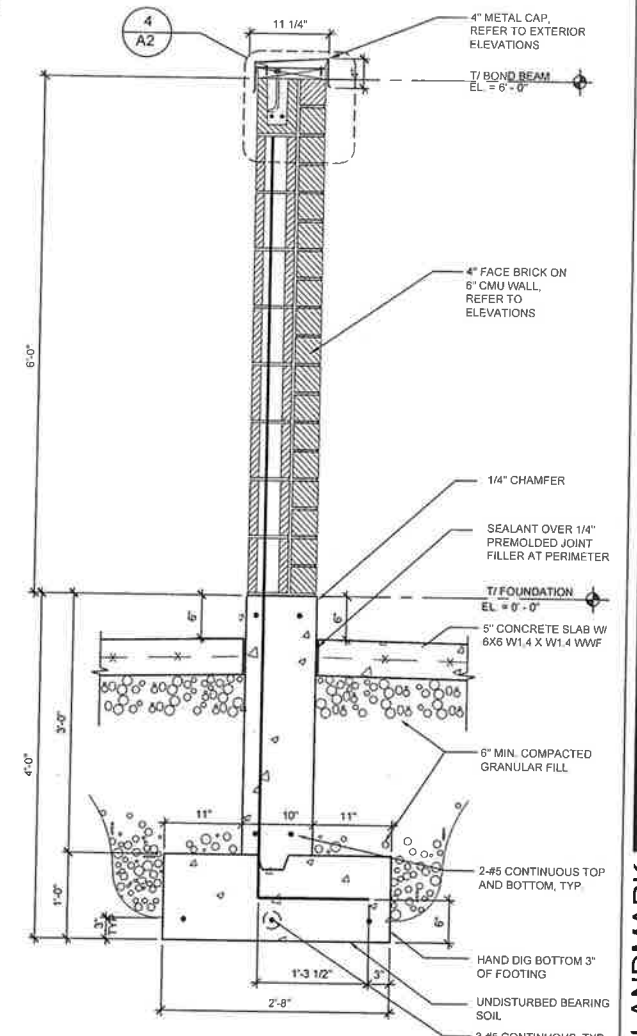
**10 MONUMENT SIGN ELEVATION**  
SCALE: 1/2" = 1'-0"



**9 MONUMENT SIGN PLAN**  
SCALE: 1/2" = 1'-0"



**3 TRASH ENCLOSURE WALL SECTION**  
SCALE: 3/4" = 1'-0"



**EXHIBIT H**

CLIENT: Dr. M. Babinski MEDICAL CENTER  
270 ARMY TRAIL ROAD  
CAROL STREAM, IL 60118

PROPOSED SITE DETAILS

1460 MARKET STREET  
SUITE 203  
DES PLAINES, IL 60018  
(947) 971-5424

DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHK: \_\_\_\_\_  
EG: \_\_\_\_\_  
BO: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

RECEIVED  
MAR 15 2023

COMMUNITY DEVELOPMENT

A00



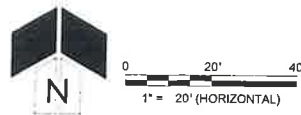












COORDINATES AND BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE (NAD 83), ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) UTILIZING GPS OBSERVATIONS

**AREA TABLE**

LOT 1: 56,502 SQUARE FEET (1.297 AC±)

**OWNER/CLIENT**

ARMY TRAIL ROAD PARTNERS  
181 S. BLOOMINGDALE ROAD  
BLOOMINGDALE, ILLINOIS 60108

**CURRENT P.I.N.:**

02-20-102-016  
02-20-102-019

**PREPARED BY:**

CAGE ENGINEERING  
2200 CABOT DRIVE, STE. 325  
LISLE, IL 60532

**TAXING BODIES**

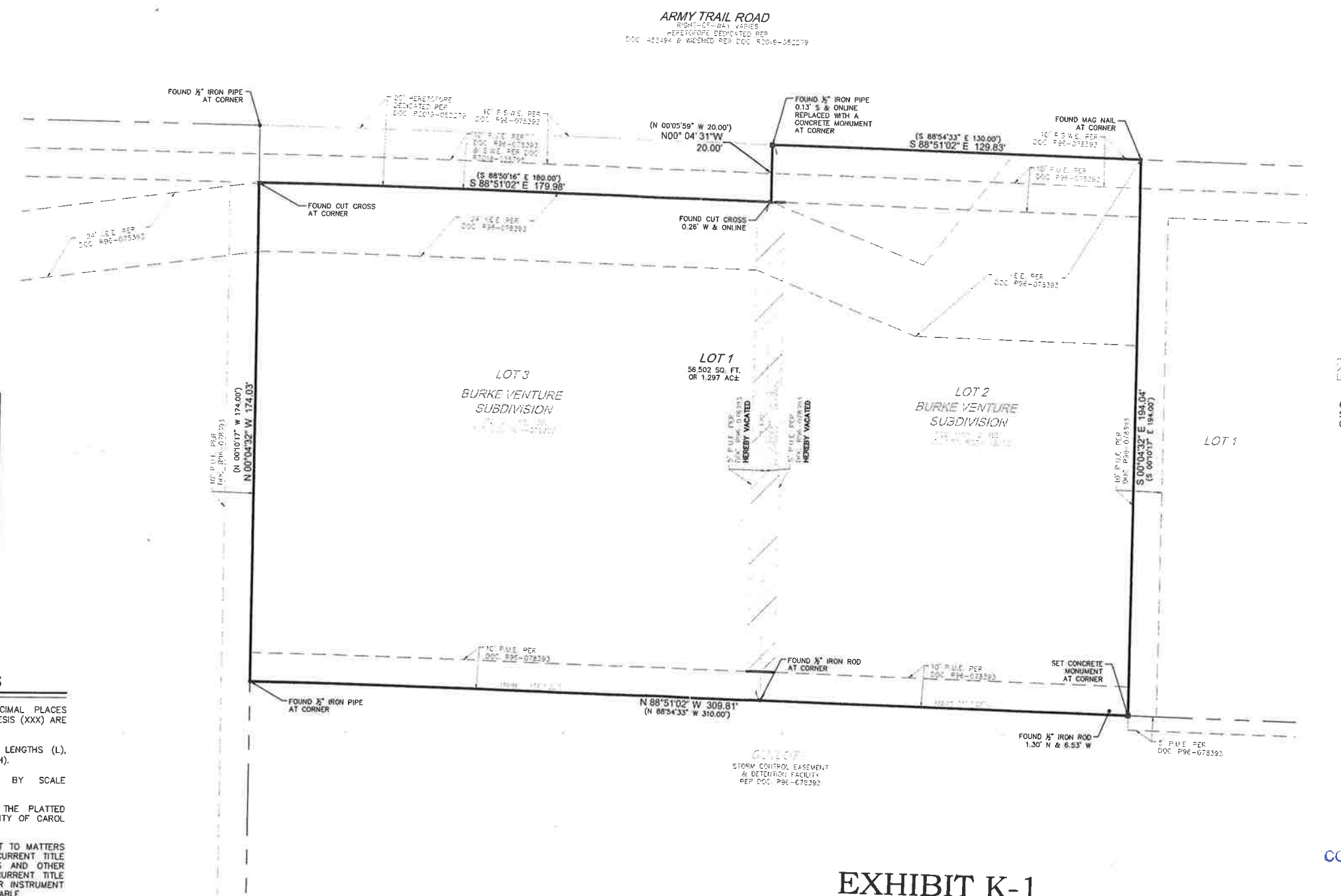
PIN NO: 02-20-102-016  
02-20-102-019  
ADDRESS 270 W ARMY TRAIL ROAD  
CAROL STREAM, IL 60188  
290 W ARMY TRAIL ROAD  
CAROL STREAM, IL 60188  
TAXING DISTRICTS  
SPECIAL SERVICE DIST:  
SPECIAL POLICE DIST:  
FIRE PROTECTION DIST: CAROL STREAM  
LIBRARY DIST: CAROL STREAM  
PARK DIST: CAROL STREAM  
SANITARY DIST:  
MOSQUITO ABT DIST:  
SURFACE WATER DIST:  
UNIT SCHOOL DIST:  
GRADE SCHOOL DIST: DISTRICT 93  
HIGH SCHOOL DIST: DISTRICT 87  
COMM COLLEGE DIST: COLLEGE OF DUPAGE 502  
OTHER DIST:  
WATER COMMISSION: DUPAGE WATER COMMISSION  
AIRPORT AUTHORITY: DUPAGE AIRPORT AUTHORITY

**SURVEYOR'S NOTES**

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. MEASUREMENTS SHOWN IN PARENTHESIS (XXX) ARE RECORD VALUES.
- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS (L), RADII (R) AND CHORD BEARING AND LENGTH (CH).
- NO MEASUREMENT SHALL BE ASSUMED BY SCALE MEASUREMENT
- EASEMENTS AND SETBACKS AS SHOWN ON THE PLATTED SUBDIVISION ARE HEREBY GRANTED TO THE CITY OF CAROL STREAM.
- THIS PLAT OF CONSOLIDATION MAY BE SUBJECT TO MATTERS OF TITLE, WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT, PRE-EXISTING EASEMENTS, SETBACKS AND OTHER RESTRICTIONS WHICH MAY BE FOUND IN A CURRENT TITLE REPORT, LOCAL ORDINANCES, DEEDS OR OTHER INSTRUMENT OF RECORD AND MAY NOT BE SHOWN OR PLOTTABLE.
- IN ACCORDANCE WITH CHAPTER 765 ILCS SECTION 205/1, 5/8" X 24" IRON RODS WILL BE SET AT ALL LOT CORNERS AND POINTS OF GEOMETRIC CHANGE, UNLESS SHOWN OTHERWISE. CONTACT SURVEYOR OF RECORD WITH DISCREPANCIES FOUND IN THE FIELD.
- DENOTES SET CONCRETE MONUMENTS.

FINAL PLAT OF CONSOLIDATION  
OF  
**270 ARMY TRAIL ROAD**

OF LOT 2 AND LOT 3 IN BURKE VENTURE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1995 AS DOCUMENT R98-078393, IN DUPAGE COUNTY, ILLINOIS.



**LEGEND**

- = EX. BOUNDARY LINE
- = EX. LOT LINE
- - - = EX. EASEMENT LINE
- - - = EX. RIGHT OF WAY LINE
- XXX.XX = MEASURED INFORMATION
- (XXX.XX) = RECORD INFORMATION
- P.U.E. = PUBLIC UTILITY EASEMENT
- I.E.E. = INGRESS & EGRESS EASEMENT
- P.S.W.E. = PUBLIC SIDEWALK EASEMENT
- S.W.E. = SIDEWALK EASEMENT
- = FOUND IRON ROD/PIPE
- ▨ = VACATED PUBLIC UTILITY EASEMENT

ONSITE UTILITY, MAINTENANCE AND STORMWATER EASEMENTS WILL BE GRANTED ON AND BY A SEPARATE DOCUMENT

2200 CABOT DRIVE, STE. 325  
LISLE, IL 60532  
P: 630.598.0007  
WWW.CAGECIVIL.COM



REVISIONS  
REV. PER VILLAGE REVIEW  
03/15/23

270 ARMY TRAIL ROAD  
CAROL STREAM, ILLINOIS  
FINAL PLAT OF CONSOLIDATION

RECEIVED  
MAR 15 2023  
COMMUNITY DEVELOPMENT  
DEPT

EXHIBIT K-1

SHEET INDEX	
SHEET 1 OF 2: BOUNDARY, EASEMENTS AND LOT DETAILS	
SHEET 2 OF 2: CERTIFICATES, EASEMENT PROVISIONS AND LEGAL DESCRIPTION	

220217
SJP
11/16/22
1"=30'
1 2

OWNER/CLIENT

CURRENT P.I.N.:

ARMY TRAIL ROAD PARTNERS  
181 S. BLOOMINGDALE ROAD  
BLOOMINGDALE, ILLINOIS 60108

02-20-102-016  
02-20-102-019

FINAL PLAT OF CONSOLIDATION  
OF

270 ARMY TRAIL ROAD

OF LOT 2 AND LOT 3 IN BURKE VENTURE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1996 AS DOCUMENT R96-078393, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT K-2

OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE HOLDER OF THE LEGAL TITLE OF ALL OF THE PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE PLAT HERIN DRAWN.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

OWNER \_\_\_\_\_

PRINTED NAME & TITLE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

NOTARY CERTIFICATE

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ OF \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE DID SIGN AND DELIVER THIS INSTRUMENT AS A FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

NOTARY PUBLIC SIGNATURE \_\_\_\_\_

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_  
VILLAGE OF CAROL STREAM PLAN COMMISSION

CHAIRPERSON \_\_\_\_\_

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_ VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE CONSOLIDATION PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS CONSOLIDATION PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

VILLAGE ENGINEER \_\_\_\_\_

FINANCE DIRECTOR CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_ FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENT OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

FINANCE DIRECTOR \_\_\_\_\_

ABROGATION AND VACATION OF A PUBLIC UTILITY EASEMENT APPROVED AND ACCEPTED

AUTHORITIES ON SIGNING THIS DOCUMENT HEREBY RELEASE AND CONSENT TO THE RELEASE, ABROGATION AND VACATION OF THE 10' PUBLIC UTILITY EASEMENT GRANTED BY DOCUMENT R96-078393, AS SHOWN HEREON AND LABELED "HEREBY VACATED".

ACCEPTED: AT&T (AKA ILLINOIS BELL OR SBC) DATE: \_\_\_\_\_

PRINTED NAME AND TITLE \_\_\_\_\_

ACCEPTED: COMMONWEALTH EDISON DATE: \_\_\_\_\_

PRINTED NAME AND TITLE \_\_\_\_\_

ACCEPTED: NICOR/SOUTHERN COMPANY GAS DATE: \_\_\_\_\_

PRINTED NAME AND TITLE \_\_\_\_\_

ACCEPTED: COMCAST CABLE COMPANY DATE: \_\_\_\_\_

PRINTED NAME AND TITLE \_\_\_\_\_

ACCEPTED: VILLAGE OF CAROL STREAM DATE: \_\_\_\_\_

PRINTED NAME AND TITLE \_\_\_\_\_

VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_ VILLAGE CLERK OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE CONSOLIDATION PLAT WAS PRESENTED TO AND BY RESOLUTION \_\_\_\_\_ DULY APPROVED BY VILLAGE BOARD, ON \_\_\_\_\_ A.D., 20\_\_ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

MAYOR \_\_\_\_\_

VILLAGE CLERK \_\_\_\_\_

CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY 11 (ARMY TRAIL ROAD), PURSUANT TO 765 ILCS 205/2; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHT OF WAY.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

BY: \_\_\_\_\_  
COUNTY ENGINEER

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

RECORDER OF DEEDS \_\_\_\_\_

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

COUNTY CLERK \_\_\_\_\_

SURFACE WATER STATEMENT

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

DANIEL B. MELTIC  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
ILLINOIS REGISTRATION NO. 062068629  
LICENSE EXPIRES NOVEMBER 30, 2023

OWNER \_\_\_\_\_ OR ATTORNEY \_\_\_\_\_

PERMISSION TO RECORD

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, SAMUEL J. PHILIPPE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY GRANT PERMISSION TO A MEMBER OF THE CAROL STREAM VILLAGE CLERK'S OFFICE TO RECORD THIS PLAT WITH THE DUPAGE COUNTY RECORDER'S OFFICE. THE REPRESENTATIVE SHALL PROVIDE THIS SURVEYOR WITH A RECORDED COPY OF THIS PLAT.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

BY: \_\_\_\_\_  
SAMUEL J. PHILIPPE  
SPHILIPPE@CAGECIVIL.COM  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003699  
LICENSE EXPIRES NOVEMBER 30, 2024



SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS IS TO CERTIFY I, SAMUEL J. PHILIPPE, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1:  
LOT 2 IN BURKE VENTURE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1996 AS DOCUMENT R96-078393, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:  
LOT 3 IN BURKE VENTURE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 10, 1996 AS DOCUMENT R96-078393, IN DUPAGE COUNTY, ILLINOIS.  
EXCEPT THAT PART OF LOT 3, AFORESAID, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE SOUTH 88 DEGREES 50 MINUTES 16 SECONDS EAST, BEING AN ASSUMED BEARING ON THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 180.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE SOUTH 00 DEGREES 05 MINUTES 59 SECONDS EAST, ON THE EAST LINE OF SAID LOT 3, A DISTANCE OF 20.00 FEET TO THE INTERSECTION WITH A LINE 20.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID LOT 3; THENCE NORTH 88 DEGREES 50 MINUTES 16 SECONDS WEST, ON SAID PARALLEL LINE, 180.00 FEET TO THE WEST LINE OF SAID LOT 3; THENCE NORTH 0 DEGREES 05 MINUTES 59 SECONDS WEST, ON SAID WEST LINE, 20 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

SUBDIVIDED PROPERTY CONTAINS 1.297 ACRES MORE OR LESS AND ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT 5/8" X 24" IRON RODS HAVE BEEN SET OR WILL BE SET UPON COMPLETION OF CONSTRUCTION, AT ALL CORNERS, POINTS OF CURVATURE AND TANGENTS AND CONCRETE MONUMENTS WILL BE PLACED AS INDICATED HEREON.

I FURTHER CERTIFY THAT, BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 17043C0034J WITH AN EFFECTIVE DATE OF AUGUST 1, 2019, THE LAND SHOWN ON THIS PLAT IS LOCATED WITHIN ZONE X AND SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE. ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANGE FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP. THIS DOES NOT GUARANTEE THAT THE SURVEYED PROPERTY WILL OR WILL NOT FLOOD. SFHA ZONE AE IS DEFINED AS AREAS INUNDATED BY THE FLOOD EVENT HAVING A 1% CHANGE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR WITH DETERMINED BASED FLOOD ELEVATIONS.

THIS IS ALSO TO DECLARE THAT THE PROPERTY AS DESCRIBED ON THE ANNEXED PLAT LIES WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF CAROL STREAM, ILLINOIS, WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWER AUTHORIZED BY THE STATE OF ILLINOIS IN ACCORDANCE WITH 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL AT LISLE, ILLINOIS,  
THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

FOR REVIEW

BY: \_\_\_\_\_  
SAMUEL J. PHILIPPE  
SPHILIPPE@CAGECIVIL.COM  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003699  
LICENSE EXPIRES NOVEMBER 30, 2024



DESIGN FIRM PROFESSIONAL LICENSE NO. 184007577  
LICENSE EXPIRES APRIL 30, 2025.

DATE OF FIELD SURVEY: SEPTEMBER 8, 2022

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY

2200 CABOT DRIVE, STE.  
325 LISLE, IL 60532  
P: 630.598.0007  
WWW.CAGECIVIL.COM



REVISIONS

270 ARMY TRAIL ROAD  
CAROL STREAM, ILLINOIS  
FINAL PLAT OF CONSOLIDATION

Table with 2 columns: Description, Date/Value. Includes fields for Project No. (220217), SJP, Date (11/16/22), and N/A.

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

April 10, 2023

**TO:**  
Chairman and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Bravo Berisha, Assistant Planner

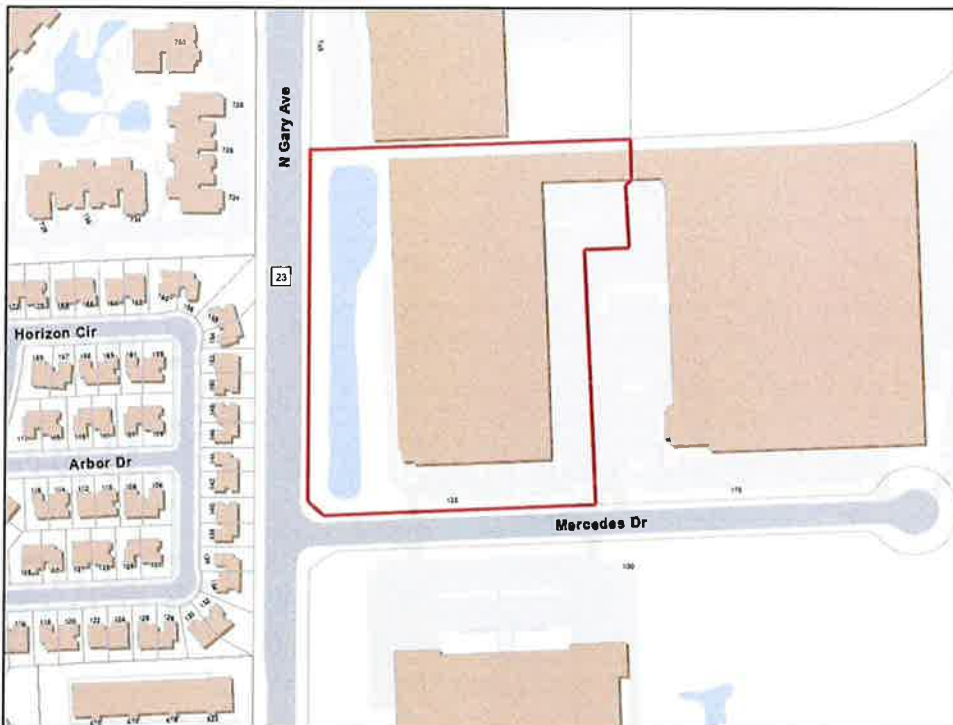
**ACTION REQUESTED:**  
The applicant is requesting Gary Avenue Corridor Review for a new monument sign in accordance with Sections 16-3-7 and 16-6-4(A)(2) of the Carol Stream UDO.

**APPLICANT/ CONTACT:**  
Mr. Michael Sobel  
Mark Your Space, Inc.  
1235 Humbracht Circle, Unit J  
Bartlett, IL 60103

**CASE #:** 23-0017

**LOCATION:** 125 Mercedes Drive

**PROJECT NAME:** Eaton



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	I Industrial District	Industrial (Eaton)	Industrial
North	I Industrial District	Industrial (Prince Industries)	Industrial
South	I Industrial District	Industrial (Mercedes Benz)	Industrial
East	I Industrial District	Industrial (American Litho)	Industrial
West	R-4 General Residence District	Multi-Family Residential (The Legends Duplexes and Condominiums)	Multi-Family Residential

The property outlined above is located on the east side of Gary Avenue and north of Mercedes Drive.

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## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses, according to the Village's 2016 Comprehensive Plan. The existing industrial use is fully compatible with this designation.

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## Project Summary

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### AERIAL PHOTOGRAPH:



### ATTACHMENTS:

Attached for review is the General Application, Letter from Eaton/Mark Your Space dated March 11, 2023, Sign Drawings and Photo Mockups (Exhibits A-1 through A-5), and Landscape Plan (Exhibit B).

**BACKGROUND:**

Mr. Michael Sobel with Mark Your Space requests Gary Avenue Corridor (GAC) Review on behalf of Eaton for a new monument sign at 125 Mercedes Drive. Royal Power Solutions was recently taken over by Eaton at the subject property. In a rebranding effort for the business, new signage is proposed for the company, including a new monument sign at the northeast corner of Gary Avenue and Mercedes Drive.

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**Staff Analysis**

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**GARY AVENUE CORRIDOR REVIEW**

As mentioned above, the proposed aluminum sign will be located along the Gary Avenue property frontage, specifically at the northeast corner of Gary Avenue and Mercedes Drive. The proposed sign will be a double-sided aluminum cabinet with acrylic letters and will be approximately 8 feet in height. It should be noted that monument signage along Gary Avenue is allowed to be a maximum of 10 feet in height. In addition, the sign will be approximately 12 feet wide, with a total sign area of 96 square feet, which is the maximum permitted sign area in the I District. Address identification is proposed to be displayed underneath the main panel on the sign.

It should be noted that the proposed sign will be located approximately 30 inches north of where the existing sign is located. Since the proposed sign is wider than the existing sign, a relocation will allow the sign to be placed at a location that does not conflict with underground utilities or sight distances.

The landscaping plan is the same as the previous plan submitted by Mark Your Space for Royal Power Solutions in 2019. It is as follows: landscaping in the form of shrubs and flowers are proposed around the base of the sign, along with stone outcroppings. Proposed landscaping will provide year-round screening of the sign base, and stone outcroppings will visually tie in the sign with other signs which have the same element along the Corridor.

Staff would like to note that the stone outcroppings were not installed previously and recommends that installation take place following installation of the new sign. Staff deems the landscaping plan acceptable.

---

**Recommendation**

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Staff has reviewed the request and recommends Gary Avenue Corridor Review approval for the monument sign for Eaton, Case No. 23-0017, subject to the following conditions:



1. That the applicant shall obtain a sign permit;
2. That the sign shall not be taller than 10 feet in height or have a greater sign area than 96 square feet as stipulated in the Village Unified Development Ordinance;
3. That the sign shall meet all sight distance requirements and not be located in the sight distance triangle as stipulated in Section 16-6-9(A) of the Village Unified Development Ordinance;
4. That all plant materials around the sign shall be maintained in a neat and healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis, and that stone outcroppings shall be installed; and
5. That the sign shall otherwise comply with all state, county and Village Codes and requirements.

T:\Planning\Plan Commission\Staff Reports\2023 Staff Reports\23-0017 Eaton GAC 125 Mercedes.docx



<b>Do Not Write In This Space</b>	
Date Submitted:	<u>3/28/23</u>
Fee Submitted:	<u>\$ 500.00</u>
File Number:	<u>23-0017</u>
Meeting Date:	<u>4/10/23</u>
Public Hearing Required:	<u>N</u>

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188  
 PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

**FORM A**

**GENERAL APPLICATION  
 PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Mike Sobel Phone 630-289-7082  
 Address 1235 Humbrecht Cir - J, Bartlett IL Fax \_\_\_\_\_  
 E-Mail Address Sales@MarkyourSpaceInc.com  
 (required)  
 Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner Erik Freitage Phone 630-330-6666  
 (required if other than applicant)  
 Address 125 Mercedes Dr. Carol Stream Fax \_\_\_\_\_  
 Name of Architect \_\_\_\_\_ Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 125 Mercedes Dr

3. Requested Action: (check all that apply)
- |                                                                       |                                                                 |
|-----------------------------------------------------------------------|-----------------------------------------------------------------|
| <input type="checkbox"/> Annexation                                   | <input type="checkbox"/> Subdivision – Minor/Major              |
| <input type="checkbox"/> Courtesy Review                              | <input type="checkbox"/> Temporary Waiver/Code of Ordinances    |
| <input type="checkbox"/> Development Staff Review                     | <input type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input checked="" type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)   |
| <input type="checkbox"/> Planned Development – Final                  | <input type="checkbox"/> Variation – Fence (requires Form B-3)  |
| <input type="checkbox"/> Planned Development – Preliminary            | <input type="checkbox"/> Special Use Permit (requires Form C)   |
| <input type="checkbox"/> Shared Parking Facility                      | <input type="checkbox"/> Map Amendment (requires Form D-1)      |
| <input type="checkbox"/> Site Plan Review                             | <input type="checkbox"/> Text Amendment (requires Form D2)      |
|                                                                       | <input type="checkbox"/> Staff Adjustment (requires Form E)     |

Describe requested action Replace existing monument sign  
at corner of Mercedes + Gary

4. Fee Schedule: (Check all that apply) Total Application Fee: \$ 500

Annexation approvals:	
New development	\$2,000
Other	\$800
Annexation Agreement Amendment	\$800
Appearance fee for approvals required by the UDO but not listed herein	\$500
Courtesy Review	\$240
Development Staff Review	\$640
Easement Encroachment	\$300
Gary/North Avenue Corridor Review:	
New or replacement monument sign	\$500
One discipline (site design, architecture or landscaping)	\$500
Two disciplines	\$1,000
Three disciplines	\$1,500
New development	\$1,500
Outdoor Dining Permit	\$120
Planned Development:	
Existing Planned Development, minor change	\$500
Existing Planned Development, major change	\$1,000
New Planned Development	\$1,500
Rezoning (Zoning Map Amendment)	\$640
Shared Parking Facility Permit	\$500
Site Plan Review	\$640
Special Use:	
First	\$800
Each additional	\$200
Special Use Amendment	\$800
Staff Adjustment	\$240
Subdivision:	
Major	\$700
Minor	\$400
Temporary Building, Structure or Use	\$120
Temporary Waiver to the Code of Ordinances	\$120
Text Amendment:	
Building Codes	\$240
Unified Development Ordinance	\$640
Variation:	
First	\$640
Each additional	\$200
Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Mike Sobel

Print Name



Signature

2-27-2023

Date

Revised 11/22



MARK  
YOUR  
SPACE

TO: PC/ZBA Board  
FROM: Eaton/Mark Your Space, Inc.  
DATE: 3/21/2023  
SUBJECT: Proposed Monument Sign on Gary Avenue

Dear Board Members:

Eaton Corp (previously Royal Power Solutions) and Mark Your Space, Inc. are collaborating on rebranding the exterior of the Eaton facility at 125 Mercedes Drive. Eaton's rebrand includes their name ( they purchased Royal Power Solutions) as well as new branding collateral that include new logos and color schemes.

In addition to rebranding the existing signage on the facility, Eaton wishes to add a monument sign at the corner of Gary and Mercedes Drive. Visibility for vehicle (truck) traffic is the main component of this need. Both Eaton and their neighbors Mercedes & American Litho have high traffic volumes for deliveries and pick ups. Drivers coming to Eaton often complain that they don't see the facility until after they have passed it (existing wall signage is not visible until you pass Mercedes Drive going north bound). This can be an issue for large semis as they will have to find a way to turn around, increasing and slowing down other traffic flows.

Eaton is proposing putting a double sided monument sign at the corner to allow traffic from both the north and south bound lanes to see the entrance to Mercedes Drive as early as possible. To better assist drivers in getting to the proper docks they will also be placing three directional signs along the property to help direct traffic to the correct areas. This sign will be located at the same spot as the current Royal Power Solutions sign.

Please see the attached documents to show the improvement plan for the corner. The new plan requests a new monument sign that will be inside of a the existing landscaped bed (see attached). We hope you will consider this proposal favorably.

Sincerely,

Michael Sobel  
CEO – Mark Your Space, Inc.

Mark Your Space is a full service sign company servicing the US since 2009. We assist our clients with their branding needs and can help with; exterior lighted & non-lighted signs, interior signs and graphics, etc. We pride ourselves on working with our customers to help them improve their branding a visibility.

Client:	Eaton Corporation	Project:	Monument Sign	Revision:	4
Address:	125 Mercedes Drive, Carol Stream, IL			Date:	03/03/2023

**Artwork**



**Dimensions**

Overall Size: 144"W x 95"H x 18"D  
 Top Cabinet: 144"W x 57.6"H x 18"D  
 Base: 144"W x 36"H x 18"D

**Location**



**Sign Description**

Sided: Double-Sided  
 Illumination: Non-lit  
 Fabrication: Aluminum Cabinet with Acrylic Lettering

EXHIBIT A1

RECEIVED  
 APR 03 2023

COMMUNITY DEVELOPMENT  
 DEPT

Client:	Eaton Corporation	Project:	Monument Sign	Revision:	4
Address:	125 Mercedes Drive, Carol Stream, IL			Date:	03/03/2023

**Logo with Dimension**



**Dimensions**

Overall Size: 144"W x 95"H x 18"D  
 Top Cabinet: 144"W x 57.6"H x 18"D  
 Base: 144"W x 36"H x 18"D

**Location**



**Example Sign**



EXHIBIT A2

**Sign Description**

Sided: Double-Sided  
 Illumination: Non-lit  
 Fabrication: Aluminum Cabinet with Acrylic Lettering

RECEIVED  
 APR 03 2023  
 COMMUNITY DEVELOPMENT  
 DEPT

Client:	Eaton Corporation	Project:	Monument Sign	Revision:	4
Address:	125 Mercedes Drive, Carol Stream, IL			Date:	03/03/2023

**Monument Sign Permit**

**Dimensions**

Overall Size: 144"W x 95"H x 18"D  
 Top Cabinet: 144"W x 57.6"H x 18"D  
 Base: 144"W x 36"H x 18"D

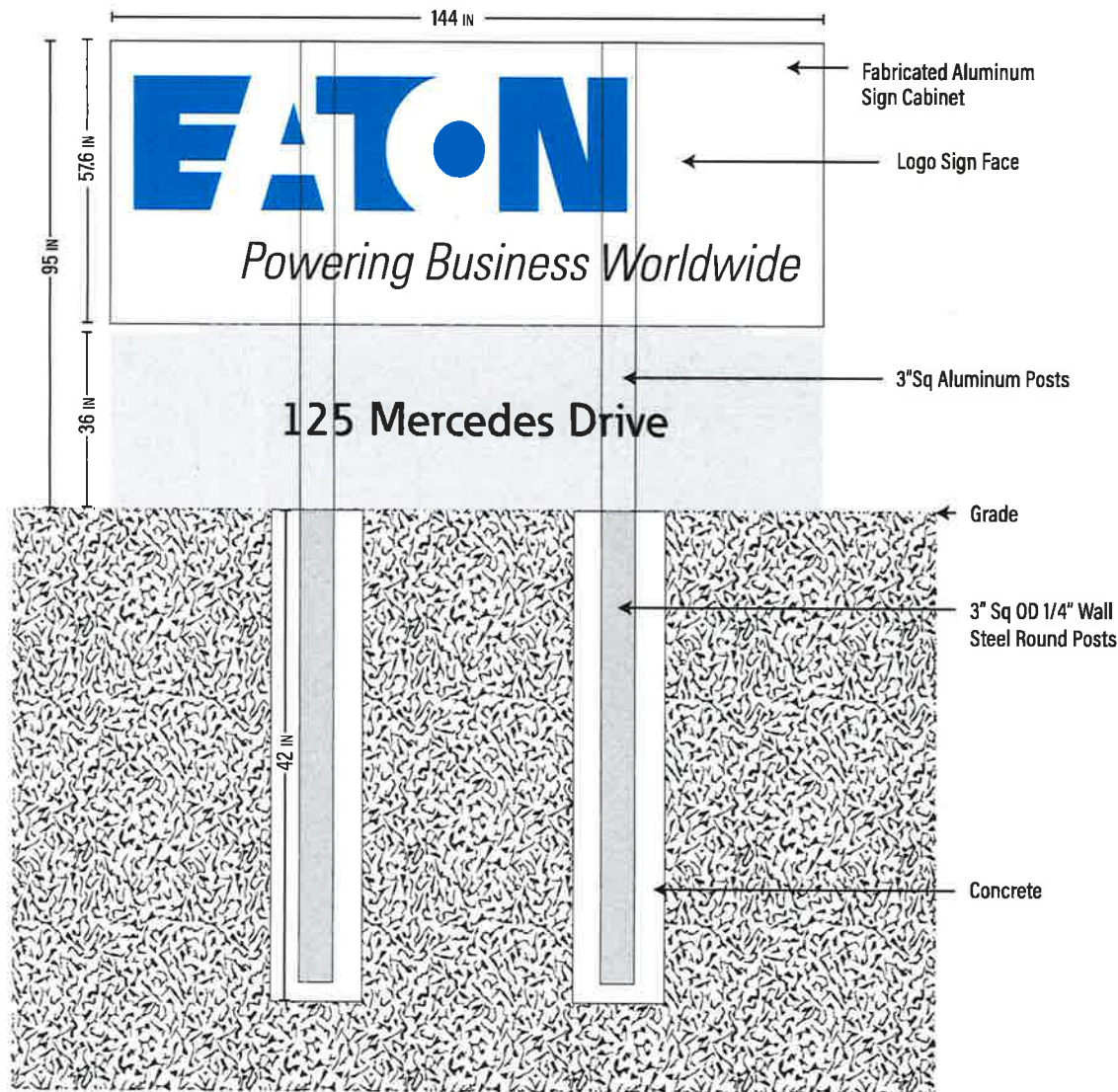


EXHIBIT A3

**Location**



**Sign Description**

Sided: Double-Sided  
 Illumination: Non-lit  
 Fabrication: Aluminum Cabinet with Acrylic Lettering

RECEIVED  
 APR 03 2023  
 COMMUNITY DEVELOPMENT  
 DEPT



# Aerial View

N Gary Ave

Existing  
New Double Sided Monument Sign, moved 30" in from existing sign

125

Left edge remains same distance from road as existing sign

Mercedes D

Location of sign will be lower than grade. Based on Utility Line Drawing, the actual sign location will be farther back and lower than measured.

EXHIBIT A4

RECEIVED  
APR 03 2023  
COMMUNITY DEVELOPMENT  
DEPT

# Aerial View

N Gary Ave

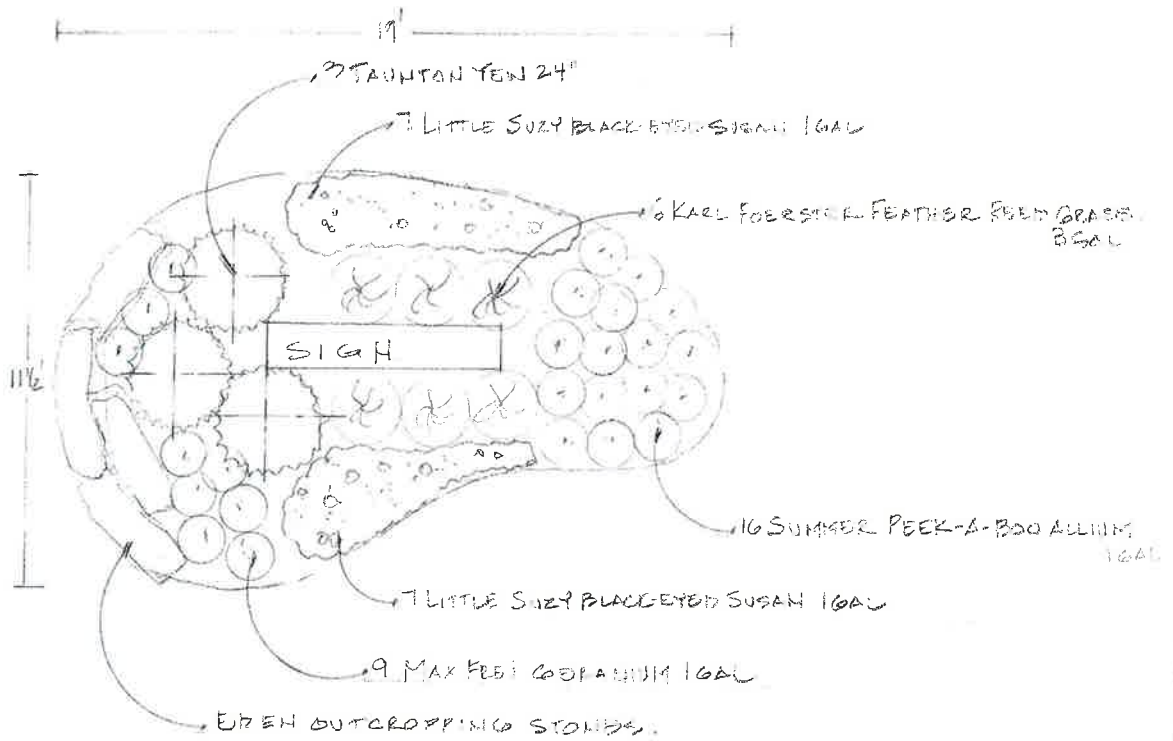
New  
Double Sided  
Momentum Sign

Location of sign will be lower than grade. Based on Utility Line Drawing, the actual sign location will be farther back and lower than measured.

Merced

EXHIBIT A5

RECEIVED  
APR 03 2023  
COMMUNITY DEVELOPMENT  
DEPT



ROYAL POWER SOLUTIONS  
PROPOSED SIGNAGE LANDSCAPING



**MARK  
YOUR  
SPACE**

*This artwork is not to be reproduced, copied or exhibited in any fashion without the permission of Mark Your Space, Inc. Any use of this artwork without written permission automatically requires the user to pay Mark Your Space, Inc \$750.00 design fee.*

*This computer generated artwork is to be viewed as a representation only. Colors represented on this computer image or color print out, may not exactly match PMS chips, vinyl, or paint color. Descriptions may vary with the actual fabrication.*

1235 Humbrecht Circle Unit J Bartlett, IL 60103  
(630) 289-7082

Customer \_\_\_\_\_  
 Date 10/25/2019 Revision \_\_\_\_\_ Landscaping Plan  
 Address \_\_\_\_\_ 125 Mercedes Dr  
 Address \_\_\_\_\_ Carol Stream, IL

EXHIBIT B



## Village of Carol Stream

FRANK SAVERINO, SR., MAYOR • JULIA SCHWARZE, CLERK • ROBERT MELLOR, MANAGER  
500 N. Gary Avenue • Carol Stream, Illinois 60188-1899  
(630) 665-7050 • FAX (630) 665-1064  
[www.carolstream.org](http://www.carolstream.org)

**TO:** Chair and Members, Plan Commission/Zoning Board of Appeals

**FROM:** Tom Farace, AICP, Planning & Economic Development Manager

**THROUGH:** Donald T. Bastian, AICP, Community Development Director

**DATE:** April 6, 2023

**RE:** **PC/ZBA Training Video Viewing at the April 10, 2023 Meeting**

We will continue with viewing the training video from the Illinois Chapter of the American Planning Association (APA-IL), which we began viewing at the March 13, 2023 meeting. The next section of the training video will continue the discussion of roles and responsibilities of commissioners, and is about 20 minutes long. Afterwards, we can discuss concepts and topics from the video.

Other video sections will be viewed at future PC/ZBA meetings this year. Should you have any questions, feel free to contact me.

ec: Bravo Berisha, Assistant Planner  
Patty Battaglia, Planning & Permitting Assistant

T:\Planning New\Planning\Plan Commission\Staff Reports\2023 Staff Reports\PC Training Video 041023.docx