

Village of Carol Stream

BOARD MEETING AGENDA NOVEMBER 20, 2023 6:00 P.M.

All matters on the Agenda may be discussed, amended and acted upon

A. ROLL CALL AND PLEDGE OF ALLEGIANCE:

B. MINUTES:

1. Approval of Minutes of the November 6, 2023 Village Board Meeting.

C. LISTENING POST:

1. Swearing in of Donald M. Cummings as Chief of Police.
2. Introduction of Sara Van Winkle, Community Development Department Planning & Permitting Assistant.
3. Proclamation Designating November 25, 2023 as Small Business Saturday.
4. Addresses from Audience (3 Minutes).

D. PUBLIC HEARINGS:

E. SELECTION OF CONSENT AGENDA:

If you are here for an item that is added to the consent agenda and approved, the Village Board has acted favorably on your request.

F. BOARD AND COMMISSION REPORTS:

1. Plan Commission/Zoning Board of Appeals.
 - a. 23-0035 – C.I.E. Properties, LLC – 2N275 Morton Road
*Special Use Permits for Truck Repair and Outdoor Storage
Variations to allow a Fence in the Front Yard and to Reduce the Number of
Off-Street Parking Spaces
Rezoning from B-3 to I-Industrial
Recommended Approval Subject to Conditions, 4-0*
 - b. 23-0042 – Dev Patel/Veltiste IL – 720 E. North Avenue
*North Avenue Corridor Review – Revised Building Elevations
Denied – No Village Board Action is necessary*

G. OLD BUSINESS:

Village of Carol Stream

BOARD MEETING

AGENDA

NOVEMBER 20, 2023

6:00 P.M.

All matters on the Agenda may be discussed, amended and acted upon

H. STAFF REPORTS AND RECOMMENDATIONS:

1. Agreement with GovTempsUSA for Professional Administrative Services. *Recommendation to award a contract to GovTempsUSA to staff the Office Manager position within the Administration Department for a period of January 1, 2024 through December 31, 2024 for a cost of \$93,246.40.*
2. Klein Creek Trail – Kuhn to Thunderbird/Bennett, Change Order No. 01. *Staff recommends approving Change Order No. 01 to Schroeder Asphalt Services in the amount of \$5,234.15 due to an increase in quantities for the Klein Creek Trail.*
3. Phase III – Hydraulic Model Analysis of the Water Distribution System, Change Order No. 02. *Staff recommends approving Change Order No. 02 for Engineering Services to Trotter and Associates, Inc. for Phase III: Hydraulic Model Calibration in the not-to-exceed, cost plus fixed fee amount of \$18,600.00 and a completion date of January 31, 2024.*

I. ORDINANCES:

1. Ordinance No. 2023-11-____, Granting a third six-month extension for execution of Ordinance 2022-10-44, which granted approval of an Amendment to a Special Use Permit for a Planned Development and a Rear Yard Building Setback Variation (Tyndale House Ministries, 504 S. Schmale Road). *Section 6 of Ordinance 2022-10-44 requires the owner to execute the Ordinance within sixty (60) days after passage and approval; however, an extension may be granted by the corporate authorities by motion. In this case, the subject property is subject to an Operation and Easement Agreement (OEA), which contains restrictions regarding development of the property. Tyndale's purchase of the subject property is contingent upon a release from the OEA, which they are working toward but which has not yet occurred. As such, Tyndale has been unable to close on the purchase of the subject property, and requests approval of a third extension of the execution date for Ordinance 2022-10-44 to May 31, 2024.*
2. Ordinance No. 2023-11-____, Approving a Zoning Map Amendment to Rezone Property from the B-3 General Business District to the I Industrial District. (CIE Properties, LLC, 2N275 Morton Road). *See F.1.a.*

Village of Carol Stream

BOARD MEETING

AGENDA

NOVEMBER 20, 2023

6:00 P.M.

All matters on the Agenda may be discussed, amended and acted upon

3. Ordinance No. 2023-11-____, Approving a Special Use Permit for Auto Repair and Service, a Special Use Permit for Outdoor Vehicle Storage, Parking Variation, and a Fence Variation. (CIE Properties, LLC, 2N275 Morton Road).
See F.1.a.

J. RESOLUTIONS:

1. Resolution No. ____ for Improvement Under the Illinois Highway Code – Fair Oaks Road Rehabilitation Project (Army Trail Road to Plum Grove Court) Section 23-00068-00-RS. *Staff recommends that the Illinois Department of Transportation Resolution for Improvement Under the Illinois Highway Code be approved in the amount of \$528,000.00.*
2. Resolution No. ____, Authorizing a Plat of Consolidation (North Ave TH LLC, 27W364 North Avenue). *Approval of a Plat of Consolidation of the parcels comprising the 15.76-acre Timber Hill Group/Mainfreight redevelopment site at the northeast corner of North Avenue and Morton Road.*

K. NEW BUSINESS:

L. PAYMENT OF BILLS:

1. Regular Bills: November 7, 2023 through November 20, 2023.
2. Addendum Warrants: November 7, 2023 through November 20, 2023.

M. REPORT OF OFFICERS:

1. Mayor:
2. Trustees:
3. Clerk:
4. Treasurer's Report: *Revenue/Expenditure Statements and Balance Sheet for the Month ended October 31, 2023.*

Village of Carol Stream

BOARD MEETING

AGENDA

NOVEMBER 20, 2023

6:00 P.M.

All matters on the Agenda may be discussed, amended and acted upon

N. EXECUTIVE SESSION:

O. ADJOURNMENT:

LAST ORDINANCE	2023-11-52	LAST RESOLUTION	3335
NEXT ORDINANCE	2023-11-53	NEXT RESOLUTION	3336

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES
Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue,
Carol Stream, DuPage County, IL

November 6, 2023

Mayor Frank Saverino, Sr. called the Regular Meeting of the Board of Trustees to order at 6:00 p.m. and requested that Village Clerk Julia Schwarze call the roll.

Present: Trustees Joe Anselmo, John Zalak, Rick Gieser, Mary Frusolone and Matt McCarthy, Village Clerk Julia Schwarze and Mayor Frank Saverino, Sr.

Absent: Trustee Jeff Berger

Also Present: Village Manager Bob Mellor, Assistant Village Manager Joe Carey, Community Development Director Don Bastian, Director of Engineering Services Bill Cleveland, Finance Director Jon Batek, Public Works Director Brad Fink, Chief of Police Bill Holmer, Deputy Chief of Police Don Cummings, Human Resources Director Caryl Rebholz, Information Technology Director Marc Talavera and Village Attorney Jim Rhodes

ROLL CALL AND PLEDGE OF ALLEGIANCE: *All present except Trustee Berger.*

MINUTES:

Trustee McCarthy moved and Trustee Anselmo made the second to approve the Minutes of the October 16, 2023 Village Board Meeting. The results of the roll call vote were as follows:

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

Absent: 1 Trustee Berger

The motion passed.

LISTENING POST:

1. Halloween Decorating Contest Winners - *Trustee Gieser announced the 2023 Halloween Decorating Contest winners:*

Big Pumpkin – 1388 Boa Trail

Family Fun – 887 Horseshoe Court

Judges' Favorite – 866 River Drive

2. Resolution Honoring Robert J. Mellor Upon his Retirement from the Village of Carol Stream – *read by Mayor Saverino. Trustee McCarthy moved and Trustee Frusolone made the second to approve the Resolution Honoring Robert J. Mellor Upon his Retirement from the Village of Carol Stream. The results of the roll call vote were as follows:*

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

Absent: 1 Trustee Berger

The motion passed as Resolution No. 3334.

3. Proclamation Celebrating National Apprenticeship Week – *read by Trustee McCarthy.*

4. Addresses from Audience (3 Minutes) – *None.*

CONSENT AGENDA:

Trustee Gieser moved and Trustee Anselmo made the second to establish a Consent Agenda for this meeting. The results of the roll call vote were as follows:

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

Absent: 1 Trustee Berger

The motion passed.

Trustee McCarthy moved and Trustee Frusolone made the second to place the following items on the Consent Agenda established for this meeting. The results of the roll call vote were as follows:

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy
Nays: 0
Abstain: 0
Absent: 1 Trustee Berger

The motion passed.

Trustee Zalak moved and Trustee Anselmo made the second to approve the Consent Agenda for this meeting by Omnibus Vote. The results of the roll call vote were as follows:

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy
Nays: 0
Abstain: 0
Absent: 1 Trustee Berger

The motion passed.

The following items were approved on the Consent Agenda for this meeting:

Police Pension Fund – Compliance Report FY23:

The Village Board received the annual Compliance Report from the Police Pension Fund.

23-0039 – Family Life Christian Center – 362 S. Schmale Road

Amendment to a Special Use Permit for a Place of Worship

Recommended Approval Subject to Conditions, 6-1

Village Board concurred with Plan Commission’s recommendations.

Recommendation to waive competitive bidding as authorized in Section 5-8-14 of the Village Code and purchase a 2023 Ford Explorer from Hawk Ford for a total cost of \$42,288.26:

The Village Board waived competitive bidding and approved the purchase of a 2023 Ford Explorer from Hawk Ford for a total cost of \$42,288.26.

Temporary Waivers to the Code of Ordinances – Permit fee waiver and off-premises banners for the 2023 Holiday Happenings Craft Show Fundraising Event:

The Village Board approved a Temporary Waiver from the Sign Code to allow site special event banners, and a waiver of the sign permit fee for the banners, subject to certain conditions, for the 2023 Holiday Happenings Craft Show Fundraising Event to be held on November 11, 2023.

2023 Pavement Patching Project – Change Order No. 1:

The Village Board approved Change Order No. 1 in the amount of \$4,555.67 to Schroeder Asphalt Services for the 2023 Pavement Patching Project.

2022 Flexible Pavement Project – Final Payment, Balancing Change Order and Acceptance:

The Village Board approved the balancing Change Order, final payment in the amount of \$2,500.00 to Arrow Road Construction Inc. and acceptance of the public improvements for the 2022 Flexible Pavement Project.

Receipt of the 2023-2024 Snow and Ice Control Plan:

The Village Board received the 2023-2024 Snow and Ice Plan.

Ordinance No. 2023-11-49 An Ordinance Repealing Chapter 10, Business Licensing and Regulation, Article 8, Vending Machines of the Village of Carol Stream Code of Ordinances:

The Village Board repealed Chapter 10, Article 8 eliminating the requirement to obtain an annual \$15.00 license for each vending machine within the Village beginning in calendar year 2024.

Ordinance No. 2023-11-50 Approving an Amendment to a Special Use Permit for a Place of Worship (Family Life Christian Center – 362 S. Schmale Road):

The Village Board approved an amendment to a Special Use Permit for a Place of Worship for Family Life Christian Center located at 362 S. Schmale Road.

Ordinance No. 2023-11-51 Amending Chapter 11, Article 2 of the Carol Stream Code of Ordinances by Decreasing the Number of Class C Liquor Licenses from 18 to 17 (RKVA Corp. d/b/a Carol Liquor, 1037 Fountain View Drive):

The Village Board approved an amendment to Chapter 11, Article 2 of the Carol Stream Code of Ordinances by decreasing the number of Class C Liquor Licenses due to the closure of Carol Liquor located at 1037 Fountain View Drive.

Ordinance No. 2023-11-52 Amending Chapter 8, Article 6 of the Carol Stream Traffic Code – Parking Schedules:

The Village Board approved an amendment to Chapter 8, Article 6 of the Carol Stream Traffic Code approving “No Parking” on Parkview Circle from 1067 Parkview Circle to 1085 Parkview Circle along the center island.

Resolution No. 3335, A Resolution to Record the Determination of the Corporate Authorities of the Village of Carol Stream of the Amounts of Money Estimated to be Necessary to be Raised by Taxation on Taxable Property for the Fiscal Year Beginning May 1, 2023, and Ending April 30, 2024:

The Village Board action is a requirement by the Illinois Truth in Taxation Act (35 ILCS 200/18-60) and must be completed no sooner than 20 days prior to adoption of the final 2023 property tax levy. The Village is requesting a tax levy totaling \$3,800,000 (no increase) and the Library is requesting a tax levy totaling \$3,846,461 (1.0% increase) for 2023. The combined total tax levy represents an increase of 0.5% over taxes extended in 2022. Final adoption of the tax levy is scheduled for the Village Board meeting of December 4, 2023.

Employment Agreement:

The Village Board approved an Employment Agreement with William Holmer as the successor Village Manager beginning November 13, 2023.

Regular Bills and Addendum Warrant of Bills:

The Village Board approved payment of Regular Bills dated November 6, 2023 in the amount of \$1,329,342.12. The Village Board approved the payment of Addendum Warrant of Bills from October 17, 2023 thru November 6, 2023 in the amount of \$1,437,334.57.

Treasurer's Report:

The Village Board received the Revenue/Expenditure Statements and Balance Sheet for the Month ended September 30, 2023.

REPORT OF OFFICERS:

Trustee Anselmo congratulated the Halloween Decorating Contest winners; congratulated Village Manager Bob Mellor on his retirement and thanked him for his kindness and patience; commented on the recent Pumpkin Smash, Electronics Recycling and Shredding event with thanks to Assistant to the Village Manager Bacigalupo for streamlining the process; reminded residents to save the date for our December 1st Tree Lighting; offered details for Christmas Sharing; and reminded motorists to watch their speed while driving through town.

Trustee Zalak thanked all who participated in the Halloween decorating and congratulated the contest winners; announced the December 9th Toys for Tots fundraiser at Gametime Pub; thanked Village Manager Mellor for his service and congratulated him on his retirement; stated that he looks forward to working with new Village Manager Bill Holmer; and asked everyone to keep the military and first responders in our thoughts and prayers.

Trustee Gieser congratulated the Halloween Decorating Contest winners and thanked all those who participated; announced details are coming soon for the next Holiday Decorating Contest; thanked Village Manager Mellor for his years of service and congratulated him on his retirement; stated that he is looking forward to working with new Village Manager Holmer; and invited everyone to attend the VFW's Veterans Day event at 11am on Saturday November 11th at Veterans Memorial Plaza.

Trustee Frusolone thanked Village Manager Mellor for his many years of service, congratulated him on his retirement and extended him best wishes; welcomed her father to Carol Stream, as he is officially a resident now; and invited everyone to stop by to say hello to "Fireman Mike" and welcome him to our community.

Trustee McCarthy congratulated all the Halloween Decorating Contest winners and thanked Trustee Gieser for his continued efforts to organize this event; thanked Village Manager Mellor for his service and always showing up to events outside of regular office hours; stated that he looks forward to working with new Village Manager Holmer; and announced the addition of sponsorship logo opportunities for the annual Relay for Life Bags Tournament.

Assistant to the Village Manager Bacigalupo congratulated Village Manager Mellor on his retirement and extended her best wishes; recapped the successful Pumpkin Smash, Electronics Recycling and Shredding event; and gave details for the annual Tree Lighting event at Town Center from 6-8pm on December 1st.

Village Clerk Schwarze congratulated Village Manager Mellor on his retirement and thanked him for his kindness over the years; stated that she looks forward to working with new Village Manager Holmer; commended this year's successful Pumpkin Smash, Electronics Recycling and Shredding event; congratulated the Halloween Decorating Contest winners; and reminded residents to Shop and Dine Carol Stream.

Attorney Rhodes commended Village Manager Mellor for being so well-respected in our community due to his traits of being steadfast, caring and respectful of others; congratulated him on his retirement, thanked him for his service and extended his best wishes.

Village Manager Mellor congratulated Bill Holmer on his new role effective November 13th, and stated that he will be an excellent Village Manager; and congratulated Don Cummings who has been appointed interim Police Chief until he is sworn in as Chief at the November 20th Village Board meeting.

Mayor Saverino congratulated Village Manager Mellor on his retirement, stated that he has made the mayor a better person and Carol Stream a better place, and extended his best wishes; welcomed new Village Manager Holmer to the Village Board; thanked Trustee Gieser for his continued efforts to coordinate the decorating contests; thanked

Assistant to the Village Manager Bacigalupo for her efforts to organize all the Town Center events; and wished everyone a happy Thanksgiving.

At 7:13 p.m., Trustee McCarthy moved and Trustee Frusolone made the second to adjourn the meeting. The results of the roll call vote were as follows:

Ayes: 5 Trustees Anselmo, Zalak, Gieser, Frusolone and McCarthy

Nays: 0

Abstain: 0

Absent: 1 Trustee Berger

The motion passed.

FOR THE BOARD OF TRUSTEES

Frank Saverino, Sr., Mayor

ATTEST:

Julia Schwarze, Village Clerk

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
October 23, 2023.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Patty Battaglia, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 7 Commissioners Battisto, Christopher, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Absent: 0

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Patty Battaglia, Planning and Permitting Assistant; a representative from County Court Reporters

MINUTES:

Commissioner Meneghini moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on September 25, 2023.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Christopher, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion passed by a unanimous vote.

PUBLIC HEARING:

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Petella moved and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Christopher, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion passed by unanimous vote.

Case #23-0038 – Dev Patel/Veltiste IL – 720 E. North Avenue
Zoning Text Amendment – Limit on Cannabis Dispensaries

Chairman Parisi stated there was a request from the petitioner for a continuance.

Mr. Farace stated that is correct. He was not able to have all of his team members here tonight, so he requested a continuance for the next meeting on November 13, 2023.

Chairman Parisi asked for a motion to continue Case #23-0038 to November 13, 2023. Commissioner Petella motioned and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Christopher, Meneghini, Morris, Petella, Tucek and
Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion passed by a unanimous vote.

Case #23-0039– Family Life Christian Center – 362 S. Schmale Road

Chairman Parisi swore in Mr. Daniel Hochstatter from Family Life Christian Center.

Mr. Hochstatter stated we moved in last August and hoped renovations would be complete by the end of 2022. We had several delays which caused us to begin operating in this building in July of this year. Part of our Special Use Permit was to reseal and stripe the parking lot which was done November of 2022. Since then, the milling and paving was scheduled for this past September, but we would like to request a time frame extension to June of 2024 to complete this type of work.

Chairman Parisi asked for any questions from the audience and there were none.

Mr. Faraced provided a Staff Report by stating Family Life Christian Center received Special Use approval the summer of 2022 which included a phasing plan for interior work and exterior work (parking lot). As indicated, the parking lot was seal coated and restriped last Fall, but a component of the approval was milling it down and resurfacing it by September of 2023. Staff feels comfortable supporting the amendment of the Special Use to extend this work to be done and are recommending it be extended to the end of June, 2024.

Chairman Parisi asked for any questions from the Commission.

Commissioner Battisto asked if June is enough time so you do not have to come back.

Mr. Hochstatter stated we are confident June should be fine, but if there is room for a few more months, I would not say no to that either. My neighbor mentioned his lot needs work as well.

Commissioners Tucek, Christopher, Morris and Meneghini had no questions.

Commissioner Petella stated the lot does not look horrible.

Chairman Parisi stated we should give the church a little more time than June. He then stated if your neighbor is going to resurface his lot, maybe the lots can be redone at the same time it would help you out.

Chairman Parisi asked for a motion. Commissioner Petella moved with Staff Recommendations and added the condition to extend the deadline to July 31, 2024, and Commissioner Christopher seconded the motion.

The results of the roll call vote were:

Ayes: 6 Commissioners Battisto, Christopher, Morris, Petella, Tucek and Chairman Parisi

Nays: 1 Commissioner Meneghini

Abstain: 0

Absent: 0

The motion passed by a majority vote.

This case will go before the Village Board on Monday, November 6, 2023, at 6:00 PM for review.

PUBLIC HEARING:

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Christopher moved and Commissioner Petella seconded the motion.

The results of the roll call vote were:

Ayes: 7 Commissioners Battisto, Christopher, Meneghini, Morris, Petella, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 0

The motion passed by unanimous vote.

PRESENTATION:

The Plan Commission viewed the final segment of the PC/ZBA training video. Ms. Paula Freeze, Executive Director of Illinois Chapter of the American Planning Association, was also in attendance.

NEW BUSINESS:

Mr. Farace provided a brief update regarding previous cases.

OLD BUSINESS:

OTHER BUSINESS:

ADJOURNMENT:

At 6:59 p.m. Commissioner Christopher moved and Commissioner Petella seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 7 Commissioners Christopher, Meneghini, Morris, Petella, Tucek and Chairman Parisi
Nays: 0
Abstain: 0
Absent: 0

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Patty Battaglia

Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Chairman

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
November 13, 2023.***

Mr. Farace stated since Chairman Parisi was absent an Acting Chairman would need to be nominated. Commissioner Petella made a motion to nominate Commissioner Christopher and Commissioner Morris seconded the motion. The motion passed by a unanimous vote.

Acting Chairman Christopher called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Sara Van Winkle, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Sara Van Winkle, Planning and Permitting Assistant; Patty Battaglia, Permit Systems Coordinator; a representative from County Court Reporters

MINUTES:

Commissioner Meneghini moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on October 23, 2023.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by a unanimous vote.

PUBLIC HEARING:

Acting Chairman Christopher asked for a motion to open the Public Hearing. Commissioner Petella moved and Commissioner Morris seconded the motion.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by unanimous vote.

Case #22-0014– Bridge Street Properties (Villas of Fair Oaks)-1475 W. Lies Road

*Zoning Map Amendment Upon Annexation
Special Use Permit for Planned Development
Preliminary Plat of Subdivision*

Acting Chairman Christopher swore Ms. Caitlyn Csuk, Rosanova and Whittaker 445 Jackson Ave, Naperville, IL. Mr. Matt Brolly, Pulte Home 1900 E Golf Road Schaumburg, IL, Mr. John McHale, President Bridge Street Properties LLC 618 W Jefferson Naperville, IL and Mr. Michael May, Civil Engineer 2351 Mayfield Dr, Aurora, IL. Ms. Csuk stated she will provide the presentation on behalf of the petitioner and stated everyone would be available for questions.

Ms. Csuk stated a brief history of Pulte homes. She has included surrounding towns that currently have subdivisions that Pulte has built in recent years. Bridge Street properties/Pulte homes is currently seeking approval upon annexation to rezone the property to an R-4, which will include attached dwellings, with that they are proposing 32 duplex ranch style homes within 16 buildings on the property. Ms. Csuk continued the presentation by including parking information, options of amount bedrooms, sunrooms, or lofts. Ms. Csuk continued with elevation pictures, color schemes for the exterior, with emphasis on staying with in the Planned Development regulations.

Acting Chairman Christopher asked if there were any questions from online or the audience.

Mr. Farace has received a letter from a resident who is unable to attend the meeting that he will read into the record of the meeting (see attached). The letter is from Janet Hookaham, 3N642 Fair Oaks Road, Carol Stream, IL The letter states concerns that the 65 + years resident of Carol Stream has regarding the planned subdivision. One of two concerns stated is that 32 duplex units is too much density for the 9-acre property. The second concern is the amount of traffic increasing and to consider a three way stop at the corner of Fair Oaks and Lies Roads.

Acting Chairman Christopher swore Father Mark Hughes, Corpus Christi Catholic Church, 1415 W. Lies Rd. He is there on behalf of the church and supports the development. He continues to say it will improve the area visually, add beauty, value and increase safety to the church.

Acting Chairman Christopher asked if there were any other questions from the audience and there were none so he then asked for a Staff Report.

Mr. Farace introduces himself to the audience. He stated the information from the Staff Report and talks about the four items that were recommended to the builder from a previous courtesy review meeting. Mr. Farace makes a note that Bridge Street Properties introduced a concept plan September 2022. Recommendations were given to the developer at that time. In the Staff Report Mr. Farace reviews the requests and how the company has accommodated each of them. One request is rezoning the property from unincorporated to annexing the property into the Village of Carol Stream. The team along with the board is currently working on an annexation agreement that will be reviewed by the board shortly. Mr. Farace continues to talk about the other requests for the site to be considered a planned development. Mr. Farace continues to talk about other requests that have been met such as moving the retention pond, meeting parking requirements, landscape features and requirements. Mr. Farace continues to inform the board that the subdivision will also offer a homeowners association and other amenities on the property. Mr. Farace also briefly speaks about the property will not have the same façade. This includes having different elevations, color schemes, and garage design. He explains a few of the

proposed items with the commission members and audience. Mr. Farace concludes that the board is supportive and the development meets all requirements.

Acting Chairman Christopher asked for any comments or questions from the Commission.

Commissioner Meneghini asked Ms. Csuk if she was aware of the four conditions staff is recommending and if she would comply.

Ms. Csuk stated again in the staff report, have considered all four conditions, and have solutions for all of them she reviewed all of the statements and answers and referred back to her slide show and proposal for review.

Commissioner Morris asked Mr. McHale since there was a concern in previous meetings if the drainage had been adjusted so that the church driveway and parking lot do not flood. Mr. Morris notices on the plans according to the slide show that the builder has changed so all water will move towards Fair Oaks and drain .Mr. McHale answers yes, there were no further questions.

Commissioner Petella asked if the school districts have been notified that a new subdivision was being built and if the schools will be able to handle an influx of students if that would be the case. Mr. Farace states that it has been brought up to the annexation agreement review along with being proposed as a primarily a 55 year and over subdivision. Ms. Csuk had prepared a slide on her proposal and projected 4 students, based off the village code and how many bedrooms are being offered for each unit.

Commissioner Petella also asks about if the fire department has been notified and wanted to state that he agrees with the resident who wrote the letter and agreed about the three way stop at Fair Oaks and Lies. Mr. Farace states that he in addition to talking to the fire department that engineering is involved and they agree and appreciate the changes and feedback and a three way stop is not warranted at the intersection.

Acting Chairman Christopher asked if the units would include sprinklers for the fire department. Ms. Csuk answered no and Mr. Farace notes that the buildings will have to meet any applicable fire codes.

There were no further comments or questions from the Commission.

Since a few residents did not comment when offered earlier in the meeting, Acting Chairman Christopher offered for residents to come forward to speak.

Acting Chairman Christopher called up to the podium Robert Dutmaric 3N488 Fair Oaks, West Chicago, IL He is wondering the price point of the duplexes and the HOA fees. Ms. Csuk answers by letting the resident know the price point will be approximately \$500,000 and the HOA fees will be approximately \$350 per month. Mr. Dutmaric also asks are there restrictions on how many people can live in the dwelling. Mr. Farace answers with referring to village code and ordinances.

Acting Chairman Christopher called up to the podium Nancy Platana, 28W211 Judith Court, Carol Stream, IL, asks how drainage will work with different elevations. She asks since Judith Court is on septic they need proper draining in order for the septic to work properly. Her additional question is will the subdivision build a privacy fence to back up the property. Most of the properties do not have privacy fences. Mr. Farace and Ms. Csuk refers back to the slide show proposal to show the new drainage that has been proposed along with a new retention pond and draining into the streets. Ms. Csuk also answers that there will not be a privacy fence included in the plan designs.

Commissioner Mengheni moves to motion and Commissioner Petella seconded the motion to recommend approval with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, December 4th, 2023, at 6:00 PM for review.

Case #23-0035– C.I.E Properties, LLC – 2N275 Morton Road

Special Use Permits for Truck Repair and Outdoor Storage

Variations for Fence in Front Yard and Parking

Rezoning from B-3 to I-Industrial

Acting Chairman Christopher swore in Mr. Robert McNees, McNees and Associates, 195 Hiawatha Drive, Carol Stream, IL, and asked the representative to the applicant to provide his presentation.

Mr. McNees is there as a representative for CIE Trucking Company otherwise known as CIE Transport and is currently located at 300 Park Blvd Suite 335, Itasca, IL. They would like to relocate their headquarters from Itasca to Carol Stream. They have purchased a parcel about a year ago at St. Charles Rd and Morton Rd that is approximately 2.26 acres. CIE would like to develop a transport truck repair and storage facility. CIE would like to build a 7,350 square foot building and devote approximately 4,470 square feet for two truck repair bays. The rest of the building's square footage will be dedicated to office space. There will be a parking lot with 47 parking stalls for trucks and 8 parking stalls for employee parking, including one accessible stall. Mr. McNees continues to describe the materials used for the building, color scheme, foundation landscape, and fencing.

Acting Chairman Christopher asked if there were any comments or questions from the audience and there were none but Bravo Berisha assistant planner received a letter from a resident that was unable to attend the meeting so he asked to read the letter.

The letter is from Ron Misjak Jr. on behalf of his parents Ronald Sr and Sandra Misjak the owners of 27W340 St Charles Rd., West Chicago, IL 60185 (see attached). The letter states that the homeowners have no objections with the proposed use development but have a number of engineering concerns that they feel will greatly affect their property. The letter continues to state the conditions they have concerns with where the water was proposed to drain which is located at the S/E corner of their building. The retaining wall and the structural and integrity of the wall is insufficient to meet demand. They further discuss the concerns they have when trucks are backing up into parking spaces, any extra barrier should be proposed to help with safety and protection from their home and any accidents the trucks may get into while parking. The final concern is privacy. Mr. Misjak feels with all the trucks parking only 5 feet away this will diminish the feeling of the front of their property. Mr Misjak is suggesting for the fence to continue on the east end of his building at the N/W corner.

Acting Chairman Christopher asked if there were any other questions from the audience and there were none so he then asked for a Staff Report.

Mr. Berisha reads the information from the Staff Report. Mr. Berisha states that CIE Transport has proposed they would like to relocate from Itasca to Carol Stream. CIE is proposing to build a truck repair facility and offices on the property they purchased in 2022. CIE is requesting for the zoning map amendment. To have land be rezoned from B-3 to I-Industrial. The subject property is designated for future industrial uses and based on surrounding properties the designation would be most appropriate. Mr. Berisha continues to talk about the request for the special use permit for auto repair and service. He describes the materials the building will be made from, parking lot and the amount of spaces, the color scheme and landscape. Mr. Berisha continues to discuss two variations that have been requested by the applicant. Variations from the applicant regarding parking spots and reducing onsite parking to allow truck parking. An additional variation proposed by the applicant is to install an eight-foot privacy fence along the west and south side of the property. Typically, a privacy fence is not allowed in the front of a building. The fence variation requested can be supported by staff and agrees it's necessary for the property.

Acting Chairman Christopher asked for questions from the Commission.

Commissioner Petella asked when the employees come to pick up their semi Trucks for work, where will they park their cars.

Acting Chairman Christopher swore in Kevin Cox 1880 Duffy Lane, Bannockburn, IL 60015. He was there on behalf of the manager and stated that the parking spots will always be at 50% full due to all working different times and days.

Commissioner Petella then asked will truck and car spots be intermixed.

Mr. Cox answered by stating that they will try to keep car parking to one side of the building but there will be plenty of open spots available for anyone to park in.

Commissioner Petella then referred to the resident letter and asked the Community Development department if Engineering had taken a look at it and had anymore information or concerns about it.

Mr. Berisha stated that engineering has looked at it and does not have any concerns with drainage.

Commissioner Morris asks why the fence does not go along all four sides of the building. He states it will help when trucks are backing in for extra safety.

Mr. Cox answers by stating that they will not be extending the fence along that fourth side. Instead for safety measures a few ideas have been talked about, an elevated curb or metal bollards could be installed if requested.

Commissioner Meneghini had no questions.

Acting Chairman Christopher asked about what will happen with storm water and if there is a current storm trap there.

Acting Chairman Christopher swore in Bob Walker Bono Civil Engineering 4234 Meridian Pkwy North Aurora, IL He states that there is not an existing basin and the storm water will then run into the road. They will have a storm voids in the pavers on the property to help with that.

Commissioner Meneghini moved and Commissioner Patella seconded the motion to recommend approval with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, November 20, 2023, at 6:00 PM for review.

A short recess was requested.

Case #23-0038 – Dev Patel /Veltiste IL – 720 E. North Ave

Zoning Text Amendment-Limit on Cannabis Dispensaries (Continued from 10/23/2023 meeting)

Acting Chairman Christopher swore in Dev Patel –Veltiste IL 414 Parkview Place, Burr Ridge, IL and Medina Uddin- General Manager Veltiste IL 720 E. North Ave Carol Stream, IL. Mr. Patel started the presentation by giving a background on himself and Ms. Uddin also gave a brief description and background on herself. Mr. Patel has listed several reasons on his presentation slide show on why Carol Stream should put a cap on how many dispensaries should be allowed in the village. Mr. Patel discusses different examples of towns that do not have a cap and the outcomes of those cannabis businesses. He continues by letting the board know statistics, models, and examples of local dispensaries in the area. He concluded his presentation with this information.

Acting Chairman Christopher asked if there were any other questions from the audience

Chairman Christopher invites resident Braxton Montaya, 438 Hunter Drive, Carol Stream, IL to the podium. Mr. Montaya states he is there in support of the business. He is a medical and recreational cannabis user. He stated he was excited to hear a cannabis dispensary was opening in Carol Stream. He states that he is favor of the cap to see this business succeed.

Chairman Christopher invites Monsuer Offman 211 N Harlem, Chicago, IL to the podium, supporter and friend of Mr. Dev Patel. Mr. Offman is also a Cannabis business owner. Mr. Offman discusses his own experience opening his business in Michigan. Mr. Offman had to liquidate his business in 6 months due to not having a cap on cannabis businesses. Mr. Offman continues to give other examples of his own experience in the cannabis business. He is in support of the cap to see his friend have a chance at a successful business.

Acting Chairman Christopher asked if there were any other questions from the audience

Tom Farace then reads his staff report and gives a history on what was recommended for approval earlier in the year and that Mr. Patel is seeking approval for a cap of this type of business in Carol Stream. Mr. Farace continues with an explanation and more examples from other businesses and other states that were included in the packet. Mr. Farace also discusses how the board has talked about this a few months back and decided not to put a cap and let the amount of dispensaries be dictated by the market.

Acting Chairman Christopher asked for questions from the Commission.

Commissioner Meneghini just made a comment that there possibly should be a cap since it's a unique business.

Commissioner Morris states he would like to have an additional discussion on putting a cap in place.

Commissioner Petella makes a statement about the Village should not have just one and states that it's not up to the Village to how successful his business will be.

Mr. Patel comes back to the podium to thank the board for listening to his presentation and appreciates that their answer is not a no but that they are considering it. He continues to discuss on why there should be a cap and that the village should consider allowing another dispensary on the other side of town.

Mr. Farce briefly discusses that another dispensary is looking at a similar location near Mr. Patel's business.

Acting Chairman Christopher moved and Commissioner Morris seconded the motion to approve with a limit of 2 dispensaries and a buffer of 2.5 miles between dispensaries.

The results of the roll call vote were:

Ayes:	3	Commissioners Meneghini, Morris, and Acting Chairman Christopher
Nays:	1	Commissioner Petella
Abstain:	0	
Absent:	3	Commissioners Battisto, Tucek and Chairman Parisi

This case will go before the Village Board on Monday, November 20, 2023, at 6:00 PM for review.

PUBLIC HEARING:

Acting Chairman Christopher asked for a motion to close the Public Hearing. Commissioner Petella moved and Commissioner Morris seconded the motion.

NEW BUSINESS:

PRESENTATION:

Case #23-0042 – Veltiste IL/Bisa Lina Cannabis – 720 E North Avenue

North Avenue Corridor Review-Approval for Façade Modifications

Mr. Dev Patel with Ms. Medina Uddin give a brief description on what they do at their dispensary. Ms. Uddin then starts the presentation. Ms. Uddin give information and meaning behind Bisa Lina and some medical benefits and information. They continue what their medicinal and recreational cannabis can do for patients. They are presenting why they want to paint the entire exterior purple and gold. They want to brand and give patrons a visual and feeling before stepping inside the building.

Mr. Farace then reads his Staff Report. He discusses the regulations on façade information and then gives a brief description of what the North Ave Corridor expects. He states staff has no problem with having the top of the building painted with purple and gold colors, they are not supporting to have all the whole exterior of the building painted.

The Commissioners concurred with staff's recommendation Commissioner Morris moved and Commissioner Petella seconded the motion to deny the request with no further discussion.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by unanimous vote.

OLD BUSINESS:

OTHER BUSINESS:

ADJOURNMENT:

At 8:43 p.m. Commissioner Petella moved and Commissioner Morris seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Acting Chairman Christopher

Nays: 0

Abstain: 0

Absent: 3 Commissioners Battisto, Tucek and Chairman Parisi

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Draft

Recorded and transcribed by,

Sara Van Winkle
Planning and Permitting Assistant

Minutes approved by Plan Commission on this ____ day of _____, 20____.

Acting Chairman

Bravo Berisha

From: Ron Misjak Jr <ronjr@svspower.com>
Sent: Sunday, November 12, 2023 1:58 PM
To: Bravo Berisha; Mark Daniel; Randy Bus
Subject: 2n750 Morton Rd Rezoning

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED
NOV 13 2023
COMMUNITY DEVELOPMENT
DEPT

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

bberisha@carolstream.org

Re: 2N275 Morton Road Truck Facility
Rezoning Petition and Site Engineering

Dear Mr Berisha

My parents, Ronald Sr. and Sandra Misjak, are the owners of 27W340 St. Charles Rd., West Chicago, IL 60185, a property that abuts the east line of the subject property.

Please Note that our attorney for a few decades and our civil engineer are engaging the applicant about the issues addressed below and we hope they can be resolved adequately

A brief history of 2N275 Morton Rd.

When Harry Kuhn improved North Ave 25 years ago he dumped a massive amount of broken concrete into the property at the north end going to the south which raised the elevation over 6'. We believe there's a sanitary system buried in the mound. The entire length of Morton Rd next to this property is black dirt that was tested up to 6' from finished pavement. It is our understanding that the 2N275 Morton Rd development will mostly be sitting on black dirt after completion. This intensifies the structural longevity needed for building on and around silty black dirt.

We have no objections to the proposed use development but we have a number of engineering concerns that we feel will greatly affect our property.

Water

The proposed drainage is to the S/E corner directly next to our building. Water has always drained away from our building at the S/E corner on the proposed property. Directly In front of our building is our septic field. The system has been tested as never saturated. The bottom of the proposed retaining wall is 752 elevation. This is less than 1' beneath the elevation of our grass at our septic system. Water will permeate under the wall through the black dirt into our septic system and under our building. The requirement for having a black dirt base is a minimum of 4' below our finished floor. This is necessary for the entire length of the retaining wall in order to retain water.

The site now currently drains to the low depression along the east property at elev. 751. They are proposing to divert on-site flows to the St. Charles Rd. ROW (County Route 7) and it is typically the policy of DuDOT to restrict discharges to no more than in the existing condition. There is also some off-site flow entering the 2N275 site through a culvert under Morton Rd., the flow from which they have neglected to quantify, and that will complicate matters further as it does not appear there is much, if any, area of this site that currently drains to the St. Charles Rd. ROW. So, any discharge to the ROW will almost certainly exceed existing conditions without some stormwater storage / attenuation. The Plan also calls for redirecting the overflows to the St. Charles Rd. ROW, which will not be well received by DuDOT.

The 5' easement between our properties has no solution for water drainage.

Retaining Wall

The overall structural integrity and design of the retaining wall is insufficient to meet demand. The proposed retaining wall is a 6" barrier curb by design with rebar. There's no footing or tieback straps that go into the stone to keep the wall from blowing out. There's no backing support against the wall on the east side. Over 50% of the wall goes from 4.5' to 7.5' high with nothing holding it in place. Most of the bottom wall elevation is higher than the bottom of our fence. When the water leaks from underneath the bottom of the wall where will it go? On the east parking there's a possibility that 26 loaded semi tractor and trailers equalling over 2 million pounds are sitting on pavers, stone and black dirt with a wall that's not sufficient.

On the east side parking at 757 pavement elevation will match the top of our fence. At 758 it's almost 1.5' higher and at 760 is over 3' higher than the top of our fence. There's 5' distance between the proposed wall and our fence. There's no parking bumpers in any of the east parking spaces. The average distance from the back tires of a semi trailer to the back of that trailer is 9'. If a semi backed up to the 6" barrier curb wall it would smash into the trailers in our yard. The only protection from a runaway truck going over the edge into our yard is the top of the 6" high by 6" wide barrier curb wall.

Privacy

At the S/E corner the 1st 3 semi spaces backup to the front yard of our property. It will appear as if the semi's are parking in our grass only 5' away. This will diminish the feeling of the front of our property. We feel there should be a continuation of the fence on the east parking at least to the end of our building at the N/W corner.

Thank you
Ron Misjak Jr.

November 7, 2023

RECEIVED

NOV 08 2023

COMMUNITY DEVELOPMENT
DEPT

Tom Farace AICP

Planning & Economic Development Manager

500 N Garv Avenue\Carol Stream, IL 60188

Dear Mr. Farace and Members of the Carol Stream Plan Commission/Zoning Board of Appeals,

My name is Janet Hookham. I live at 3N642 Fair Oaks Road about 6 houses south and across the street from the development by Bridge Street Properties at the corner of Fair Oaks and Lies Roads. I have lived on Fair Oaks Road for 65+ years, so you can imagine I have seen A LOT of changes during that time. Jay Stream had not yet started any construction for what has become Carol Stream.

I am unable to attend your meeting on November 13th but have some concerns about this plan. First this parcel is just over 9 acres— with the areas designated as Storm Water Management and the roads, it is probably closer to 8 acres. I believe that 32 duplex units is too much density. I saw the original plan of 38 units has been reduced to 32, but I believe that is because Carol Stream said there had to be access to Fair Oaks as well as Lies Road for safety reasons, so some area was taken up by that road.. I realize if you pay over a million dollars for a piece of property, you would want to fill it with as many homes as possible to make some profit, but I still think 32 units is too many. It is quite a change from the homes to the north and south of this property.

My other concern is the traffic on Fair Oaks and Lies Roads. Traffic has increased immensely over the last few years. I realize that many people use it a cut off to eliminate having to stop at lights on Army Trail and County Farm Roads since there are no stop signs on Fair Oaks between Army Trail Road and North Avenue. My husband and I asked several years ago if a three way stop sign could be put up at that corner (hoping to control the speed at that time) but the Village did not think it was necessary. I walk my dog every morning on the path along Fair Oaks. I often wait for several cars turning onto Lies from Fair Oaks and sometime as many

as 8 or 9 cars waiting to turn onto Fair Oaks from Lies. I am surprised there have not been numerous accidents, since several cars turn out. sometimes without. completely stopping. Since the path has been on Fair Oaks, many people use it, jogging, biking, walking which is great, but I am concerned that with more cars it will be more dangerous for those trying to cross Lies Road or those crossing Fair Oaks to go into the forest Preserve. Speed has also become a problem, both streets have a 35 mph limit, but I'm sure anyone on Fair Oaks will tell you that many exceed that. My hope is that Carol Stream will now consider a three-way stop at that corner since this development will also increase the traffic.

I'm sure Carl Stream would like to see this development, but I really think 32 units are too many and that something needs to be done about a three-way stop sign at the corner of Fair Oaks and Lies Roads.

Sincerely

Janet Hookham

Janet Hookham
31642 Fair Oaks Rd
West Chicago IL 60185

PROCLAMATION

Designating November 25, 2023 as Small Business Saturday

WHEREAS, the Village of Carol Stream celebrates our local small businesses and the contributions they make to our community; and

WHEREAS, small businesses employ 46.4% of employees in the private sector in the United States, and

WHEREAS, 96% of consumers who shopped on Small Business Saturday® agree that shopping at small, independently-owned businesses supports their commitment to making purchases that have a positive social, economic, and environmental impact and 97% of consumers who shopped on Small Business Saturday agree that small businesses are essential to their community; and

WHEREAS, 95% of consumers who shopped on Small Business Saturday reported the day makes them want to shop or eat at small, independently-owned businesses all year long, not just during the holiday season; and

WHEREAS, the Village of Carol Stream supports our local businesses that create jobs, boost our local economy and preserve our neighborhoods; and

WHEREAS, public and private organizations across the country have endorsed the Saturday after Thanksgiving as Small Business Saturday; and

NOW, THEREFORE, BE IT PROCLAIMED THAT I, MAYOR FRANK SAVERINO SR. & THE BOARD OF TRUSTEES OF CAROL STREAM, DuPage COUNTY, ILLINOIS in the exercise of its home rule powers does hereby designate

November 25, 2023 as Small Business Saturday

In Carol Stream and encourages residents to support small businesses and merchants on Small Business Saturday and throughout the year.

PROCLAIMED this 20th DAY of NOVEMBER 2023.

Frank Saverino Sr. - Mayor

Julia Schwarze, Village Clerk

Village of Carol Stream
Interdepartmental Memo

TO: William Holmer, Village Manager

FROM: Bravo Berisha, Assistant Planner *B. B.*

THROUGH: Donald T. Bastian, Community Development Director *DB*

DATE: November 14, 2023

RE: **Agenda Item for the Village Board Meeting of November 20, 2023**
PC/ZBA Case 23-0035, CIE Properties, LLC – 2N275 Morton Road, Zoning Map Amendment, Special Use Permit for Auto Repair and Service, Special Use Permit for Outdoor Vehicle Storage, Parking Variation, and Fence Variation

Robert McNees, Attorney with McNees & Associates, on behalf of CIE Properties, also known as CIE Transport, requests approval of the following items associated with the development of a CIE Transport truck repair and outdoor storage facility, at the northeast corner of St. Charles Road and Morton Road:

- *Zoning Map Amendment.* The subject property is 2.26 acres of vacant land and is currently zoned B-3. The applicant requests to rezone this property to the I Industrial District.
- *Special Use Permit for Auto Repair and Service.* CIE Transport proposes to relocate from Itasca to Carol Stream and build an office and truck repair facility on the northeast corner of the subject property. The proposed building will be 7,350 square feet, of which 4,470 square feet will be devoted to two truck repair bays. The rest of the building will consist of office space.
- *Special Use Permit for Outdoor Vehicle Storage.* The proposed development will include a parking lot with 47 parking stalls for trucks. The proposed outdoor storage will be screened with landscaping and privacy fencing.
- *Parking Variation.* The building requires a total of 23 parking spaces. The plans indicate a total of eight parking spaces will be provided; therefore, a Variation to reduce onsite parking by allowing the truck parking spaces to serve as automobile spaces has been requested.
- *Fence Variation.* The applicant proposes to install an eight-foot tall privacy fence along the west side of the property, along Morton Road, and the south side of the property, along St. Charles Road. The west side is considered the front yard. The UDO states that fences are not allowed to be located in the front yard of a property, and requires a Variation. The proposed fencing is necessary because it will screen the truck parking lot and should not impede visibility for motorists.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on November 10, 2023. At its meeting on November 13, 2023, by a vote of 4-0, the PC/ZBA recommended approval of the Zoning Map Amendment, Special Use Permits and Variations subject to the conditions in the November 10, 2023 staff report.

If the Village Board concurs with the PC/ZBA recommendation, they should approve the Zoning Map Amendment, Special Use Permit for Auto Repair and Service, Special Use Permit for Outdoor Vehicle Storage, Parking Variation, and Fence Variation for CIE Properties, subject to the conditions contained within the Ordinances, and adopt the necessary Ordinances.

ec: Bob McNees, McNees & Associates

Village of Carol Stream
Interdepartmental Memo

TO: Mayor Saverino & Village Trustees
FROM: William Holmer, Village Manager *WH*
DATE: November 13, 2023
RE: NEW CONTRACT – OFFICE MANAGER

Beginning in 2014, the Village approved a contract with GovTempsUSA for the position of office manager in Village Administration. This contractual arrangement is in lieu of a regular Village employee with benefits, and allows the Village to benefit from the services of an extremely experienced professional in municipal government, while saving money at the same time. Denise Kalke, who has established herself as a valuable member of the team, fills this role. This agreement has been extended annually since its inception.

For your consideration, I have attached Exhibits A & B to the agreement with GovTempsUSA. Exhibit A reflects a 3.25% increase in the hourly rate from \$43.42/hour to \$44.83/hour, which amounts to an annual cost of \$93,246.40. Exhibit B reflects two additional vacation days. This agreement continues to provide considerable value to the Village when compared to the cost of a full-time employee with benefits.

I recommend approval of the contract with GovTempsUSA for the period of January 1, 2024 through December 31, 2024, in accordance with the attached agreement. There are sufficient funds budgeted for this agreement.

If you have any questions, please feel free to contact me.

EXHIBIT A
Worksite Employee and Base Compensation

WORKSITE EMPLOYEE: Denise Kalke

POSITION/ASSIGNMENT: Outsourced Office Manager

Village of Carol Stream, IL

POSITION TERM: One Year Renewal: January 1 – December 31, 2024

Agreement may be renewed for up to one (1) additional year, with agreement between parties. Please review Section 5 of this Agreement for the complete terms of the position.

BASE COMPENSATION: \$44.83 per hour for hours worked, based on a forty (40) hour work week (\$1,793.20 per week).

Standard hours will be paid unless the Municipality reports otherwise to GovTempsUSA, LLC via email at payroll@govtempsusa.com on the Monday after the prior work week before the close of business.

GOVTEMPSUSA, INC.:

MUNICIPALITY:

By: 

By: _____

Date: 11/13/2023

Date: _____

This Exhibit A fully replaces all Exhibits A dated prior to the date of the Company's signature above.

EXHIBIT B

Municipality Holidays

New Year's Day
Presidents Day
Memorial day
Independence Day
Labor Day
Thanksgiving
Day after Thanksgiving
Christmas Eve
Christmas Day

Vacation

20 Days starting January 1

Village of Carol Stream Interdepartmental Memo

TO: William Holmer, Village Manager
 FROM: Gregory R. Ulreich, Civil/Stormwater Engineer *GRU*
 DATE: November 13, 2023
 RE: Klein Creek Trail – Kuhn to Thunderbird/Bennett
 Change Order No. 01 – Increase in Quantities

In August 2023, the Village Board awarded the referenced project to Schroeder Asphalt Services in the amount of \$99,825.00 (PO 462-710). After project completion and final quantities were measured, the final project cost is \$105,059.15, or \$5,234.15 (5%) over the contract amount. The overage is due to the difference between anticipated contract quantities and final measured quantities, notably in the additional asphalt near the two bridges (Kuhn & Thunderbird).

As shown in the table below, staff projects that after this award the total project cost for the Klein Creek Trail will remain below the \$500,000.00 as budgeted for in the FY24 Capital Improvement Program. The subject increase can be offset by an equivalent decrease in our estimate for the Pedestrian Crossing due to savings from contract sharing with our 2023 Flexible Pavement Project.

Engineering's Estimate of Cost	
Aggregate Base & Storm Sewers	\$66,910
Privacy Fence (Shawnee Drive Properties)	\$23,360
Asphalt Surface	\$99,825
Change Order No. 01*	\$5,234.15
Pedestrian Bridge (Fabrication & Delivery)	\$47,435
Safety Fence (above retaining wall)	\$39,298
Landscaping (Fine Grading/Topsoil/Seed)	\$121,758.50
The Conservation Foundation Grant	-\$7,800
SUBTOTAL (Expenses-to-Date)	\$396,020.65
Pedestrian Bridge (Installation/Abutments/Paving)	\$80,000
Pedestrian Crossing @ Kuhn Road**	\$10,000
Bennett Drive Concrete Apron	\$5,000
Signage	\$5,000
SUBTOTAL (Estimated Remaining)	\$100,000
TOTAL (Estimated)	\$496,020.65
* The subject contract of this memo.	
** Estimate decreased by \$5,000.	

Therefore, staff recommends increasing the subject purchase order by the amount shown in the enclosed Change Order No. 01 to Schroeder Asphalt Services for the total price of \$5,234.15.

cc: Bill Cleveland, Engineering Services Director
 Brad Fink, Public Works Director (via email)
 Jon Batek, Finance Director (via email)

CHANGE ORDER NO. 01

PROJECT: Klein Creek Trail
OWNER: Village of Carol Stream
CONTRACTOR: Schroeder Asphalt Services

You are directed to make the following changes in the Contract Documents:

Description: Increase the quantities for the following contract line items:
2.3 AGGREGATE BASE REPAIR: From 50.00 to 51.67 TONS
2.5 HMA SURFACE COURSE: From 713.00 to 754.88 TONS

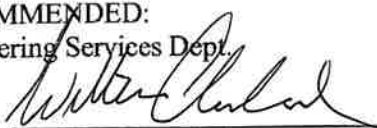
Purpose of Change Order: The contract quantities were based on an estimate from an aerial photograph. In addition, some minor field changes increased the scope. The requested amounts match the delivery tickets collected at the job site.

Attachments: • Schroeder claim via invoice dated 11/08/2023.

CHANGE IN CONTRACT PRICE		CHANGE IN CONTRACT TIME	
Original Contract Price:	\$99,825.00	Original Contract Time:	09/01/2023
Previous Change Orders:	\$0.00	Change from previous Change Orders:	NONE
Current Contract Price:	\$99,825.00	Current Contract Completion Date:	09/01/2023
Net increase/(decrease) of this Change Order:	\$5,234.15	Net increase/(decrease) of this Change Order:	30 Calendar Days
Contract Price with this Change Order:	\$104,682.95	Contract Completion Date after this Change Order:	09/30/2023

Pursuant to Public Act 85-1295, the circumstances which necessitate this Change Order were not reasonably foreseeable at the time the Contract was signed, the change is germane to the original contract as signed, and is in the best interest of the Village.

RECOMMENDED:
Engineering Services Dept.


Signed: 
William Cleveland
Director of Engineering Services

APPROVED:
Village of Carol Stream

Signed: _____
William Holmer
Village Manager

Date: _____

ACCEPTED:
Schroeder Asphalt Services

Signed: 
Name: Jennifer Bricker
Title: Corporate Secretary

Village of Carol Stream
Interdepartmental Memo

TO: William Holmer, Village Manager
FROM: Gregory R. Ulreich, Civil/Stormwater Engineer *GRU*
DATE: November 16, 2023
RE: **Change Order No. 02 – Phase III: Analysis**
Professional Services Agreement with Trotter and Associates, Inc.
Hydraulic Modeling of the Water Distribution System

On August 7th the Village Board approved Phase I of the agreement with Trotter and Associates, Inc. (TAI) to provide assistance with the aid of proprietary software towards the creation (Phase I), calibration (Phase II), and analysis (Phase III) of the Water Distribution System (WDS). The reason for awarding in multiple phases is that each phase builds upon the other so that the estimate becomes more accurate as the preceding phase is completed.

As expected, the Village's GIS mapping and maintenance of our fire hydrants and valves positioned the team to successfully complete both Phase I & II within budget. Furthermore, Phase II produced an average difference between the field tests and the model's output at 1.5%, which is well under the required 5%. Phase III will now produce maps showing areas with substandard fire flows and/or pressures to direct any future capital expenditures. More importantly, however, it will analyze methods and improvements to increase chlorine residuals above mandated levels.

The FY24 Water & Sewer budget included \$61,000 under Consulting Services for this work. Staff requested that the full scope of services be separated into three phases, which equated to a total of \$55,300, which was increased to \$57,900 in Phase II. An additional \$2,600 to Phase III will bring the total agreement to \$60,800. The increase to Phase II is solely related to a contingency fund for analyzing additional scenarios. Once the initial scenarios to improve chlorine residuals are done, staff may need to brainstorm additional scenarios with the consultant if the initial prove insufficient:

Phase I: Hydraulic Model Creation (\$23,100)
Phase II: Hydraulic Model Calibration (\$19,100 ~~\$16,600~~)
Phase III: Hydraulic Model Analyses (\$18,600 ~~\$15,700~~)

Therefore, staff recommends awarding Phase III of the professional services agreement without bids in accordance with ordinance section § 5-8-14(A) for Engineering Services to Trotter and Associates, Inc. for Phase III: Hydraulic Model Calibration in the not-to-exceed, cost plus fixed fee amount of \$18,600.00 and a completion date of January 31, 2024.

cc: William N. Cleveland, Director of Engineering Services (via email)
Brad Fink, Director of Public Works (via email)
Jon Batek, Director of Finance (via email)

Attachment:

1. Change Order No. 02 Form w/Proposal

CHANGE ORDER NO. 02

PROJECT: Water Distribution System – Hydraulic Model

PURCHASE ORDER #: 462-707

PROFESSIONAL FIRM: Trotter Associates, Inc.



You are directed to make the following changes in the Contract Documents:

Title: Phase III – Hydraulic Model Analysis

- Description:
- Create steady-state model scenarios and export model to EPANET for Village use.
 - Perform extended-period simulation modeling of water quality throughout the system.
 - Identify potential water quality improvements based on the extended period modeling.

Attachments: • Letter proposal with full scope of work dated 11/14/23.


Purpose: Using the Village’s GIS and relevant documents, the computer model has been successfully set up in Bentley’s WaterCAD software and calibrated (Phase I & II). This change order will cover the model analyses to identify potential water quality improvements.

Budget: Account #04200100-52253 = \$61,000.00
 Misc. Expenses & Encumbrances to Date = \$42,200.00
 Amount Remaining to Cover Change Order = \$18,800.00

CHANGE IN CONTRACT PRICE:		CHANGE IN CONTRACT TIME:
Original Contract Price:	\$ 23,100.00	Original Contract Time: July 17, 2023
Previous Change Orders:	\$ 19,100.00	Change from previous Change Orders: 107 days
Current Contract Price:	\$ 42,200.00	Current Contract Completion Date: October 31, 2023
Net increase/(decrease of this Change Order:	\$ 18,600.00	Net increase/(decrease) of this Change Order: 93 days
Contract Price with this Change Order:	\$ 60,800.00	Contract Completion Date w/ Change Order: January 31, 2024

Pursuant to Public Act 85-1295, the circumstances which necessitate this Change Order were not reasonably foreseeable at the time the Contract was signed, the change is germane to the original contract as signed, and is in the best interest of the Village.

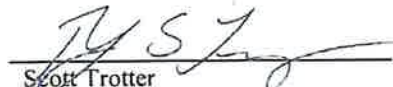
RECOMMENDED:
Engineering Services Dept.

By: 
William Cleveland
Director of Engineering Services

APPROVED:
Village of Carol Stream

By: _____
William Holmer
Village Manager

ACCEPTED:
Trotter and Associates, Inc.

By: 
Scott Trotter
President



November 14th, 2023

Mr. Gregory Ulreich, P.E., CFM
Civil/Stormwater Engineer
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, Illinois 60188

Re: Water Distribution System (WDS) Modeling – Phase III

Dear Mr. Ulreich,

Trotter and Associates, Inc. is pleased to provide this proposal for professional services to The Village of Carol Stream for Phase III of the WDS Modeling Project (hereinafter referred to as the “PROJECT”).

The creation, calibration, and analysis of a hydraulic model representing the Village’s WDS has been delineated into three separate phases. Phase I includes the creation of a new hydraulic model in Bentley’s WaterGEMS platform. Phase II includes the field flow testing and calibration of the hydraulic model. Phase III includes the various steady state and extended period analyses utilizing the model. The following Project Background, Understanding, and Scope of Services addresses all three phases. Although an estimated cost was created for all three phases to ensure it is within fiscal restraints, this agreement is only intended to encompass Phase III.

Project Background

The Village of Carol Stream owns and maintains approximately 140.5 miles of water main, serving the community’s nearly 39,000 residents along with commercial, industrial, and municipal users. The distribution system primarily receives its water from the DuPage Water Commission (DWC) at two supply points: 300 N. Kuhn Road and 124 Gerzevske Lane. The Village’s WDS is bounded by Army Trail Rd. to the north, Fair Oaks Rd to the west, St. Charles Road and Geneva Road to the south, and Schmale Rd to the east. The water system is generally comprised of the following supply, distribution, and storage components:

- Two connections to the DuPage Water Commission
- an inactive interconnection with Glendale Heights along Schmale Rd
- an active interconnection with Hanover Park along Army Trail Rd
- three backup emergency shallow wells
- three elevated storage tanks
- two 2.5 MG ground storage reservoirs
- 140.5 miles of water main ranging from 6-inch to 12-inch

The Village has a contractual allotment with the DWC of about 4.6 MGD with a maximum withdrawal limit of 1.7 times the allocation (about 7.82 MGD). Based on historical data from the past 3 years, the Village’s maximum daily demand reached 5.73 MGD.



The water supplied by the DWC is sourced from Lake Michigan and undergoes treatment at the Jardine Water Purification Facility. In the event of loss of the DWC supply, the emergency wells (Wells #2, 3, and 6) are regularly maintained and undergo monthly testing.

Carol Stream is one of the 34-member communities in the GIS Consortium. The Consortium oversees the integration of information and provides valuable mapping services. The Village's water distribution system (WDS) is actively managed using GIS technology with over 90% of the WDS reviewed and associated with relevant documents. The accuracy of the GIS database plays a crucial role in developing the WaterCAD hydraulic model, making it an essential component for effective water management.

The Village is committed to optimizing capital investments and ensuring superior water service. In pursuit of this goal, the staff acknowledges the importance of adopting a modern hydraulic modeling tool. By using Bentley's WaterGEMS/WaterCAD™, the Village aims to develop, calibrate, and analyze the WDS. This strategic move will enable the Village to make informed decisions and improve the overall performance of the water infrastructure, addressing primary concerns such as chlorine residual levels in specific areas.

Project Understanding

The hydraulic model will be created through importation of GIS database information and will require scrubbing to verify all elements are properly represented. In our experience, importing GIS Consortium member's data is highly effective, but careful review will be necessary to ensure main connections are accurately brought in; many times the GIS data is 'drawn' in such a way that water main crossings do not import as true connections in WaterGEMS/WaterCAD.

The model will incorporate water supply, booster stations, elevated and ground storage, valves, and hydrants to represent the Village's WDS dynamically. The hydraulic model will be created to address both hydraulic and water quality issues by performing analysis of both a steady-state and an extended period simulation. In addition, the hydraulic model's creation will be done with an eye towards further development into a fully "Digital Twin" architecture.

Hydraulic modeling is a critical element in the planning and development of water systems, as the model establishes the basis from which all future decisions should be made. Trotter and Associates' process is first and foremost collaborative, between our team and Village staff to develop a comprehensive hydraulic analysis of the WDS, as well as water supply and storage facilities. TAI will incorporate the Village at each step of the modeling process; data gathering, model creation, model calibration, and analysis of various scenarios. Only when all stakeholders have confidence in the model will it be utilized as a critical planning tool.

It is understood that Trotter and Associates will create, calibrate, and utilize the hydraulic model for this evaluation, however the Village of Carol Stream will retain all rights to the model and work products generated under this agreement. TAI will export the final base hydraulic model in .NET file format to the Village.



Scope of Services

Throughout the project we will work closely with the Village staff, holding several work sessions to gather data, visit facilities, and review analyses. Our services will consist of customary civil and related engineering services incidental thereto, as described as follows:

Phase I – Model Creation (Completed)

1. Data Acquisition

- a. TAI will attend a brief project kick off meeting with Village staff to discuss data received to date, preliminary GIS questions, and other pertinent items to begin model creation. In conjunction with the kick-off meeting, conduct a brief site visit to critical Village water facilities to begin understanding of system components.
- b. Review historical data and previous reports, plans, and record drawings.
- c. Conduct a follow-up site visit of water facilities with Village staff as needed to ensure proper understanding of the system infrastructure for the purposes of the model build.
- d. Obtain all infrastructure information necessary for the model build, including tower profiles, pump curves, operational setpoints, etc.

2. Distribution System Model Build

- a. Perform a review of the Village's GIS database to verify whether any additional scrubbing will be necessary prior to importing to WaterGEMS. Additional scrubbing of the GIS is excluded from this proposal at the Village's request as any revisions to the GIS database will be done by the Village.
- b. Utilize the Village's existing GIS database to import and develop a hydraulic model of the Village's water distribution system utilizing Bentley's WaterGEMS. This model will include source water connections to DWC, existing wells, elevated storage tanks, ground storage, etc.
- c. Review the fidelity of the imported model and scrub as necessary to ensure it properly reflects the GIS and water distribution system. This typically includes reviewing and altering cross-connections, broken nodes, and other inaccuracies generated during the model import.
- d. Create all infrastructure elements not imported through GIS. This will include elevated towers, reservoirs and booster stations, groundwater wells, and interconnections.
- e. Assign distribution system demands based on GIS meter information available. This is anticipated to include an import of GIS meters and attributes (annual average usage and class). LoadBuilder will be utilized to connect meters to their nearest perpendicular main.
 - Demand patterns will be assigned based on class for residential and non-residential meter types if this information is available in GIS meter data. Diurnal patterns applied shall use industry accepted multipliers over a 24-hour period.



Phase II – Model Calibration (Completed)

1. TAI will coordinate with the Village to select up to twenty-five (25) testing locations for dual-hydrant flow testing in accordance with AWWA M32 for model calibration. Locations will be selected to provide a representative cross section of the service area, generally to coincide with historical ISO flow locations.
2. TAI will assist in the performance of flow testing of up to twenty-five (25) testing locations. It is anticipated that two TAI staff members will be present; one will coordinate the test (flow) hydrant, while the second will coordinate and witness the residual hydrant.
 - a. TAI will provide the necessary testing equipment including Hose Monster or Big Boy Hose Monster, pressure gauges, and necessary forms to document test results.
 - b. Boundary conditions (e.g., tower hydraulic grade, DWC flows/pressures, booster pumps) is assumed to be recorded based on SCADA historical data and is not anticipated to be recorded in real-time. If real-time recording of boundary conditions is necessary an additional TAI field staffer will be required and shall be considered outside this scope.
3. TAI will calibrate the model based on the flow testing and boundary conditions. Calibration shall be in accordance with AWWA Manual M32 suitable for use as a highly accurate, representative hydraulic model. Target average deviation in static and flow conditions shall be $\leq 5.0\%$.
 - a. Calibration is an iterative process which may identify field issues which require further investigation (e.g. closed or partially closed system valves). Additional flow testing or field checks of system components shall be considered outside the scope of this proposal.
4. Once calibration is complete, a work session will be held at TAI's office for Village staff to review the model, understand the intricacies, and gain consensus on accuracy. This meeting will also include a discussion of system operations/controls to develop the hydraulic model Control Center.
5. TAI will work with Village staff to determine actual demand patterns of the largest industrial water users (e.g. top 10) and apply these patterns individually to represent actual daily usage.

Phase III – Model Analysis

1. Steady State Model Analysis
 - a. Create Average Day Demand as well as Maximum Day Demand scenarios utilizing the demands, demand patterns, and peaking factors identified in Phase I and Phase II. These scenarios will be part of the EPANET export to the Village for internal steady-state modeling.
 - b. The completed, calibrated hydraulic model will be provided to the Village in .NET file format. This file format may be imported into EPANET for internal Village use.
2. Extended Period Simulation Model Analysis
 - a. TAI will provide instructions to the Village for determination of a site-specific chlorine decay rate, which can be utilized in conjunction with water age modeling to anticipate chlorine residuals throughout the system.
 - b. Incorporate auto-flushing devices currently located within the system into the EPS model control center. Village required information will include the location of each auto-flusher, the target flow rate, and the flushing schedule for each unit.



- c. Utilizing the chlorine decay rate determined in 2.a, perform extended period simulation modeling of chlorine residual across the system. The model will be run until a steady-state is achieved (i.e. diurnal variations are consistent over a period of weeks, typically).
- d. TAI will host a work session (TAI St. Charles office) with Village staff to review the results of the preliminary EPS residual modeling to gain insight into historical trends in residual. TAI will utilize feedback from Village staff to refine the EPS model to reflect actual field conditions to the greatest extent possible.
- e. Evaluate alternatives to improve water quality in areas identified by the Village and/or EPS modeling. Three areas have been preliminarily identified by the Village for priority review:
 - The northwestern corner of the distribution system, generally bounded by Army Trail Road and Lies Road to the north and south, and County Farm Road and Fair Oaks Road to the east and west.
 - Benjamin Middle School area along St. Charles Road east of Fair Oaks Road. The distribution system in this area may presently be over-sized for current demand and was constructed with future buildout considerations.
 - Belmont Village Senior Living area at the southeast corner of the distribution system.

Alternatives to be reviewed for improving water quality are generally anticipated to include modification to the existing auto-flushing infrastructure (schedule and/or duration), additional auto-flushing at priority locations, operational adjustments to water storage to promote routine turnover, and/or additional chlorination points within the system.

- f. Perform additional EPS modeling of Village-requested scenarios, locations, or potential improvements. An additional (16) hours have been allocated to this line item. Utilization of these allocated hours shall be as directed by the Village only.

Schedule

Below is an anticipated project schedule, contingent upon execution of the proposal and furnishing of all requested documents:

<i>Contract Execution</i>	<i>June 19, 2023</i>
<i>Phase I – Water Model Creation (Completed)</i>	<i>June 22 – July 17, 2023</i>
<i>Phase II – Water Model Calibration (Completed)</i>	<i>September 8 – October 31, 2023</i>
<i>Phase III – Water Model Analyses</i>	<i>November 21, 2023 – January 31, 2024</i>



Estimated Engineering Hours & Compensation

The total compensation for Phase III – Model Analysis services will not exceed **\$18,600.00**.

	Project Manager ENG VI	Project Engineer ENG V	Staff Engineer ENG I	GIS Manager GISP III	Total Hours	Total Fee
	Marschinke	Berry	De Guzman	Dupree		
	\$ 208.00	\$ 182.00	\$ 124.00	\$ 163.00		
Phase I - Model Creation (Completed)					155	\$ 23,100.00
<i>Data Acquisition</i>						
<i>Project Kickoff Meeting & Site Visit</i>	2	2	4		8	\$ 1,276.00
<i>Review As-Builts, Reports, etc.</i>	1	2	8		11	\$ 1,564.00
<i>Water Facilities Follow-Up Site Visit</i>	2	2	4		8	\$ 1,276.00
<i>Infrastructure Profile Information</i>	1	4	8		13	\$ 1,928.00
<i>Distribution System Model Build</i>						
<i>GIS Pre-Import Review</i>	1	4	10	4	19	\$ 2,828.00
<i>Model Import from GIS</i>	2	8	16	8	34	\$ 5,160.00
<i>Model Scrubbing</i>	1	4	20		25	\$ 3,416.00
<i>Create Infrastructure Elements & Profiles</i>	2	6	18		26	\$ 3,740.00
<i>Assign Demands and Patterns</i>	1	4	2	4	11	\$ 1,836.00
Phase II - Model Calibration (Completed)					127	\$ 19,100.00
<i>Select Flow Testing Locations/ISO Review</i>	2	4			6	\$ 1,144.00
<i>Perform Field Flow Testing (including form prep, etc.)</i>		20	30		50	\$ 7,360.00
<i>Model Calibration Iteration</i>	5	12	36		53	\$ 7,688.00
<i>Calibration Review & Controls Work Session/Implementation</i>	4	4	6		14	\$ 2,304.00
<i>Largest User Demand Patterns</i>		1	3		4	\$ 554.00
Phase III - Model Analysis					122	\$ 18,600.00
<i>Steady State Model Analysis</i>						
<i>Average Day/Maximum Day Scenarios</i>		1	2		3	\$ 430.00
<i>EPANET Export (.NET File Structure)</i>		4	2		6	\$ 976.00
<i>Extended Period Simulation Model Analysis</i>						
<i>Chlorine Decay SOP & Incorporation</i>		1	2		3	\$ 430.00
<i>Incorporate Auto-Flushing into EPS Model</i>		1	2		3	\$ 430.00
<i>EPS Chlorine Residual Modeling</i>	6	8	24		38	\$ 5,680.00
<i>EPS Work Session & Model Refinement</i>	2	5	8		15	\$ 2,318.00
<i>Alternatives for Water Quality Improvements</i>	4	12	22		38	\$ 5,744.00
<i>Additional Village-Requested Modeling Scenarios</i>	2	6	8		16	\$ 2,500.00
Totals:	38	115	235	16	404	\$ 60,800.00

The total estimated compensation for services included in the breakdown by phases incorporates all labor, overhead, profit, Reimbursable Expenses and ENGINEER's Consultant's charges. The amounts billed for services will be based on the cumulative hours charged to the PROJECT during the billing period by each class of employee multiplied by their Standard Hourly Rates for each applicable billing class, plus Reimbursable Expenses.



2023 Schedule of Hourly Rates

Classification	Billing Rate
Engineering Intern	\$69.00
Engineer Level I	\$124.00
Engineer Level II	\$136.00
Engineer Level III	\$145.00
Engineer Level IV	\$161.00
Engineer Level V	\$182.00
Engineer Level VI	\$208.00
Engineer VII	\$219.00
Engineer VIII	\$251.00
Principal Engineer	\$258.00
Architect Intern	\$69.00
Architect Level I	\$109.00
Architect Level II	\$131.00
Architect Level III	\$152.00
Architect Level IV	\$164.00
Architect Level V	\$184.00
Architect Level VI	\$200.00
Architect VII	\$216.00
Architect VIII	\$233.00
Principal Architect	\$250.00
Technician Level I	\$103.00
Technician Level II	\$125.00
Technician Level III	\$146.00
Technician Level IV	\$159.00
Senior Technician	\$175.00
GIS Specialist I	\$103.00
GIS Specialist II	\$136.00
GIS Specialist III	\$163.00
Clerical Level I	\$69.00
Clerical Level II	\$82.00
Clerical Level III	\$99.00
Survey Technician Level I	\$69.00
Survey Technician Level II	\$85.00
Survey Crew Chief	\$175.00
Professional Land Surveyor	\$210.00
Project Coordinator I	\$125.00
Project Coordinator II	\$135.00
Project Coordinator III	\$145.00
Department Director	\$208.00

Note: On January 1st of each year, the fees and hourly rates may be escalated by an amount not to exceed five (5) percent.

Village of Carol Stream
WDS Modeling Phase III
November 14th, 2023



Trotter and Associates, Inc.:

A handwritten signature in blue ink, appearing to read 'S. Trotter', is written over a solid horizontal line.

By: Scott Trotter, PE, BCEE

Title: President

Date Signed: November 14th, 2023

Village of Carol Stream
Interdepartmental Memo

TO: William Holmer, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager

THROUGH: Donald T. Bastian, Community Development Director *DB TF*

DATE: November 13, 2023

RE: **Agenda Item for the Village Board Meeting of November 20, 2023**
PC/ZBA Case 22-0013, Tyndale House Ministries – 504 S. Schmale Road, Request for a Third Six-Month Extension of the Execution of Ordinance No. 2022-10-44

Mr. Eric Prechtel, attorney with Rosanova & Whitaker, Ltd., on behalf of Tyndale House Ministries, requests approval of a third extension for the execution of Ordinance No. 2022-10-44. On October 3, 2022, the Village Board adopted Ordinance No. 2022-10-44, which granted approval of an Amendment to a Special Use Permit for a Planned Development (PD) and Rear Yard Building Setback Variation for Tyndale House Ministries at 504 S. Schmale Road. Tyndale House proposes to construct a 53,000 square foot addition onto their southern warehouse building. The addition will be located on a lot that is currently designated as Lot 1 in the Geneva Crossing Phase II development. The lot will be consolidated with the main Tyndale House lot and removed from the Geneva Crossing Phase II PD.

Section 6 of Ordinance No. 2022-10-44 requires the owner of the subject property to deliver to the Village an executed copy of the ordinance signed by the owner within sixty (60) days after passage and approval, which resulted in an execution deadline date of December 2, 2022. However, an extension may be granted at the discretion of the corporate authorities by motion. The subject property is subject to an Operation and Easement Agreement (OEA), which contains certain restrictions regarding development of the property. Tyndale's purchase of the subject property is contingent upon a release from the OEA. As such, Tyndale has been unable to close on the purchase of the property. In December 2022, Tyndale requested and the Village Board granted an extension of the execution date for Ordinance No. 2022-10-44 to May 31, 2023, which was one hundred eighty (180) days from the date of the original expiration. In May 2023, the Village Board granted a second 180-day extension, until November 30, 2023.

While the current property owner continues to work diligently towards obtaining the signatures required for the release from the OEA, the signatures have not yet been acquired. Therefore, Tyndale is requesting a third six-month extension of the execution date for Ordinance No. 2022-10-44, to May 31, 2024.

Staff supports the third execution extension in this instance, and believes that Tyndale and the current property owner will diligently work to execute the ordinance and move forward with the building addition project once the release from the OEA has been accomplished.

If the Village Board concurs with staff's recommendation, they should approve the third six-month execution extension request for Ordinance No. 2022-10-44, for Tyndale House Ministries at 504 S. Schmale Road, to a date certain of May 31, 2024, and adopt the necessary Ordinance.

cc: Eric Prechtel, Rosanova and Whitaker, Ltd.

Rosanova & Whitaker Ltd.
Attorneys at Law

127 Aurora Avenue
Naperville, Illinois 60540

630-355-4600 office
630-352-3610 fax

October 5, 2023

Tom Farace
Planning & Economic Development Manager
500 N. Gary Avenue
Carol Stream, Illinois 60188

**RE: ORDINANCE NO. 2022-10-43 & ORDINANCE NO. 2022-10-44
2442 N MAIN ST, CAROL STREAM, ILLINOIS (“PROPERTY”)**

Dear Mr. Farace:

We are in receipt of the original and certified copy of Ordinance No. 2022-10-43: Approving a Zoning Map Amendment to Rezone Property from B-3 General Business District to the O-S Office and Service District (Tyndale House Ministries, 504 S. Schmale Road) and Ordinance No. 2022-10-44: Approving an Amendment to a Special Use Permit for a Planned Development and a Rear Yard Building Setback Variation (Tyndale House Ministries, 504 S. Schmale Road), which were both approved and passed by the Mayor and Board of Trustees on October 3, 2022.

Per Section 6 of Ordinance No. 2022-10-44, the owner of the Property was required to deliver to the Village an executed copy signed by the owner within sixty (60) days after passage and approval, which deadline was December 2, 2022. We previously petitioned the Village, and were granted, an extension of this deadline to May 31, 2023 as set forth in Ordinance No. 22-12-53. A second extension of this deadline was granted to November 30, 2023 as set forth in Ordinance No. 2023-05-27.

As you know, the Property is subject to an Operation and Easement Agreement (OEA), which contains certain restrictions regarding development of the Property, and Tyndale’s purchase of the Property is contingent upon the release of this OEA. While the current owner continues to diligently work towards obtaining the signatures required for the release, as of the date of this letter the signatures have not been acquired and litigation is now pending relating to release of the OEA. As a result, Tyndale has been unable to close on the purchase of the Property and thus is unable to execute Ordinance No. 2022-10-44 as owner of the Property. For these reasons, we ask the Village to grant an extension of Ordinance 2022-10-44’s execution deadline to May 31, 2024.

We appreciate your assistance in this matter and please do not hesitate to call me with any questions.

Sincerely,

Eric M. Prechtel

Eric M. Prechtel
Attorney for Tyndale House Ministries

ORDINANCE NO. 2023-__-__

**AN ORDINANCE GRANTING A THIRD SIX-MONTH EXTENSION FOR THE
EXECUTION OF ORDINANCE NO. 2022-10-44
(TYNDALE HOUSE MINISTRIES, 504 S. SCHMALE ROAD)**

WHEREAS, On October 3, 2022, the Village Board adopted Ordinance No. 2022-10-44, which granted approval of an Amendment to a Special Use Permit for a Planned Development and a Rear Yard Building Setback Variation, to Tyndale House Ministries at 504 S. Schmale Road; and

WHEREAS, Section 6 of Ordinance No. 2022-10-44 states that the Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that the Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance, and that such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of the Ordinance; and

WHEREAS, the Subject Property is party to a certain Operation and Easement Agreement (OEA) between Scheffler Greenhouses, Inc., and E.C.B., LLC, recorded as Document R97-021027; and

WHEREAS, the OEA contains certain restrictions regarding development of the Subject Property, and Tyndale House Ministries' purchase of the Subject Property is contingent upon release from the OEA; and

WHEREAS, a release from the OEA must be executed by all parties under the authority of the OEA; and

WHEREAS, the release from the OEA is currently under review but has not yet been executed; and

WHEREAS, Section 6 of Ordinance No. 2022-10-44 provides that an extension of time may be granted in the discretion of the corporate authorities, by motion; and

WHEREAS, the applicant/owner requested a six-month extension for the execution of Ordinance No. 2022-10-44, or until May 31, 2023, which was approved by the Board of Trustees on December 5, 2022 under Ordinance No. 2022-12-53; and

WHEREAS, the applicant/owner requested a second six-month extension for the execution of Ordinance No. 2022-10-44, or until November 30, 2023, which was approved by the Board of Trustees on May 15, 2023 under Ordinance No. 2023-05-27; and

WHEREAS, the applicant/owner has requested a third six-month extension for the execution of Ordinance No. 2022-10-44, or until May 31, 2024, since the release from the OEA is currently under review but has not yet been executed; and

WHEREAS, the Mayor and Board of Trustees of the Village of Carol Stream have determined that granting a third six-month extension for the execution of Ordinance No. 2022-10-44 is in the best interest of the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

That a third six-month extension to a date certain of May 31, 2024 for the execution of Ordinance No. 2022-10-44, be and it is hereby granted on property legally described as:

LOT 1 IN GENEVA CROSSING; PHASE II, BEING A SUBDIVISION OF PART OF THE WEST ½ OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 7, 2017 AS DOCUMENT R2017-125315, IN DUPAGE COUNTY, ILLINOIS

AND

EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR CROSS ACCESS AS PER THE PLAT OF GENEVA CROSSING; PHASE II DOCUMENT R2017-125315

Which is property located at 504 S. Schmale Road, Carol Stream, Illinois, 60188.

SECTION 2:

All terms and conditions of Ordinance 2022-10-44 not specifically revised herein are hereby reaffirmed.

PASSED AND APPROVED THIS 20th DAY OF November, 2023.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk

**AN ORDINANCE APPROVING A ZONING MAP AMENDMENT
TO REZONE PROPERTY FROM THE B-3 GENERAL BUSINESS DISTRICT TO THE I
INDUSTRIAL DISTRICT
(CIE PROPERTIES, LLC, 2N275 MORTON ROAD)**

WHEREAS, Robert A. McNees, Attorney with McNees & Associates, on behalf of CIE Properties, LLC, also known as CIE Transport, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Zoning Map Amendment to rezone the Property at 2N275 Morton Road from the B-3 General Business District to the I Industrial District; and

WHEREAS, pursuant to Section 16-8-4 of the Carol Stream Unified Development Ordinance, the Combined Plan Commission/Zoning Board of Appeals, at a regular meeting thereof, held a public hearing on the above petition on November 13, 2023, following proper legal notice of said public hearing, after which the Commission voted to recommend to the Mayor and Board of Trustees of the Village that the Zoning Map Amendment be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Zoning Map Amendment with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1: The approximately 2.26-acre parcel legally described below (the Property) is hereby granted a Zoning Map Amendment to rezone the Property from the B-3 General Business District to the I Industrial District in the Village of Carol Stream.

LEGAL DESCRIPTION OF THE PROPERTY:

LOT 2 OF KYLE'S CORNER SUBDIVISION, BEING A RESUBDIVISION OF PART OF LOT 4 IN ASSESSMENT PLAT OF EDWARD W. PLANE ESTATE, A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 9, AND SECTION 31, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 7, 2007 AS DOCUMENT NO. R2007-166054, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 01-36-400-027

Common Address: 2N275 Morton Road, Carol Stream, IL, 60188

PASSED AND APPROVED THIS 20th Of NOVEMBER, 2023.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk

**AN ORDINANCE APPROVING
A SPECIAL USE PERMIT FOR AUTO REPAIR AND SERVICE, A SPECIAL USE
PERMIT FOR OUTDOOR VEHICLE STORAGE, PARKING VARIATION, AND A
FENCE VARIATION
(CIE PROPERTIES, LLC, 2N275 MORTON ROAD)**

WHEREAS, Robert A. McNeas, Attorney with McNeas & Associates, on behalf of CIE Properties, LLC, also known as CIE Transport, hereinafter referred to as the Petitioner, has petitioned the Village of Carol Stream for a Special Use Permit for Auto Repair and Service, as provided in Section 16-3-11 (E) of the Unified Development Ordinance; a Special Use Permit for Outdoor Vehicle Storage, as provided in Section 16-3-11 (E) of the Unified Development Ordinance; A Variation to Reduce On-Site Parking, as provided in Section 16-5-2 (C) of the Unified Development Ordinance; and a Variation to allow a fence to be located in the front yard, as provided in Section 16-5-8 (F)(2) of the Unified Development Ordinance, on the property legally described in Section 3 herein and commonly known as 2N275 Morton Road; and

WHEREAS, pursuant to Sections 16-8-4 (K) and 16-8-4 (L) of the Unified Development Ordinance, the Combined Plan Commission/Zoning Board of Appeals held a public hearing on the above petition on November 13, 2023 following proper legal notice of said public hearings, after which the Commission recommended to the Mayor and Board of Trustees of the Village that the Special Use Permits and Variations be approved; and

WHEREAS, the Combined Plan Commission/Zoning Board of Appeals has filed its Findings and Recommendations regarding the Special Use Permits and Variations with the Mayor and Board of Trustees, and the Mayor and Board of Trustees have duly considered said Findings and Recommendations.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1:

The Mayor and Board of Trustees of the Village of Carol Stream, after examining the Petition for the Special Use Permits, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that the requested Special Use Permits:

1. Are deemed necessary for the public convenience at the location. *The development of the property with a modern truck repair facility and parking lot will be considered a public convenience at the subject location.*
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare. *The proposed development is designed and will operate in a safe manner, and should not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. *The surrounding area has a mix of industrial, commercial, and park uses. While the proposed use will generate truck traffic, it will not be excessive, and the business should not be injurious to the use and enjoyment of other properties in the immediate vicinity for the purposes already permitted, nor diminish or impair property values within the area.*
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.*
5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities. *Utilities, access roads, drainage and other public improvements will be constructed with the proposed development.*
6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations. *The project is expected to conform to all applicable codes and requirements.*

SECTION 2:

The Mayor and Board of Trustees of the Village, after examining the Variation requests, and the Findings and Recommendations of the Combined Plan Commission/Zoning Board of Appeals, have determined and find that, with respect to the requested Variations:

1. The requested variations arise from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action. *The property is oriented in a way that necessitates the use of a privacy fence along the front yard for screening purposes. Also, an increase in automobile parking spaces is not required due to the surplus of truck parking spaces that can be used for automobile parking when trucks are not on the property.*
2. The variations to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property. *The essential character of the surrounding neighborhood is highly varied, with commercial, industrial, and park uses in the immediate vicinity. The proposed development will have a greatly improved design when compared to the current vacant use of the property. In addition, the proposed privacy fencing along the property will provide additional screening and security measures for the development.*
3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards. *Privacy fencing is necessary along the front of the property*

and the required number of automobile parking spaces is not necessary due to the surplus of truck parking spaces.

4. The variations are the minimum action necessary to alleviate the hardship and observes the spirit of this UDO. *The requested variations are necessary to create a functional site for CIE Transport, and the proposed privacy fencing located along the front yard of the property will not have negative impacts on surrounding properties or impact visibility of motorists and will observe the spirit of the UDO.*
5. The variations desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of the UDO or the comprehensive plan. *It is not believed that the requested variations will have an adverse effect on public health, safety, or general welfare, and meets the intent of the UDO and Village Comprehensive Plan by bringing a high quality and attractively designed development into the community.*

SECTION 3:

The Special Use Permits and Variations, as set forth in the above recitals, are hereby approved and granted to CIE Properties, LLC, subject to the conditions set forth in Section 4, upon the real estate commonly known as 2N275 Morton Road, and legally described as follows:

LOT 2 OF KYLE'S CORNER SUBDIVISION, BEING A RESUBDIVISION OF PART OF LOT 4 IN ASSESSMENT PLAT OF EDWARD W. PLANE ESTATE, A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 40 NORTH, RANGE 9, AND SECTION 31, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 7, 2007 AS DOCUMENT NO. R2007-166054, IN DUPAGE COUNTY, ILLINOIS.

Hereinafter referred to as the Subject Property.

SECTION 4:

The approval of the Special Use Permits and Variations granted in Sections 1 and 2 herein are subject to the following conditions:

1. The all improvements, including but not limited to the parking lot, fencing and landscaping, must be built, installed, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all landscape materials damaged or destroyed by the Village's future watermain project along Morton Road and St. Charles Road will be replaced by the property owner;

4. That trucks backing into the site from St. Charles Road and Morton Road will be strictly prohibited;
5. That trucks and trailers shall only park in designated parking spaces, and not block access nor be parked or stored in drive aisles or the automobile parking spaces;
6. That sleeping in trucks, outdoor maintenance and servicing of trucks, and outdoor washing of trucks and trailers will be strictly prohibited;
7. That parking spaces will not be leased or rented out to third-party logistics companies or private truck drivers;
8. That any other outdoor storage, other than trucks and trailers, will be strictly prohibited;
9. That if any ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO;
10. That the applicant acknowledges that revisions to the plans may be necessary as determined during final engineering review, which may result in additional design and construction costs; and
11. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

SECTION 5:

The Special Use Permits and Variations are hereby approved and granted as set forth in the following plans and exhibits:

1. Site Plan (Exhibit A, received by the Community Development Department October 12, 2023), prepared by Bono Consulting Civil Engineers, 1601 Bond St, Suite 305, Naperville, IL 60563.
2. Existing Conditions and Demolition Plan (Exhibit B, received by the Community Development Department October 12, 2023), prepared by Bono Consulting Civil Engineers, 1601 Bond St, Suite 305, Naperville, IL 60563.
3. Grading and Drainage Plan (Exhibit C, received by the Community Development Department October 12, 2023), prepared by Bono Consulting Civil Engineers, 1601 Bond St, Suite 305, Naperville, IL 60563.
4. Auto Turn Details (Exhibit D, received by the Community Development Department October 12, 2023), prepared by Bono Consulting Civil Engineers, 1601 Bond St, Suite 305, Naperville, IL 60563.

5. Building Plan (Exhibit E, received by the Community Development Department September 26, 2023), prepared by Gino Romozzi – Architect. 117 S. Cook St, Suite 275, Barrington, IL 60010.
6. Landscape Plan (Exhibit F), received by the Community Development Department October 16, 2023), prepared by G Studio Landscape Architecture, 5834 N. Talman Ave, Chicago, IL 60659.
7. Exterior Elevations (Exhibits G1 – G4), received by the Community Development Department September 26, 2023), prepared by Gino Romozzi – Architect. 117 S. Cook St, Suite 275, Barrington, IL 60010.

SECTION 6:

This Ordinance shall be in full force and effect from and after passage, approval and publication in pamphlet form, provided, however, that this Ordinance is executed by the owners or such other party in interest, consenting to and agreeing to be bound by all of the terms and conditions contained within this Ordinance. Such execution and delivery to the Village shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted in the discretion of the corporate authorities, by motion.

SECTION 7:

The failure of the owner or other party in interest, or a subsequent owner or other party in interest, to strictly comply with the terms and conditions of this Ordinance, after execution of this Ordinance, shall subject the owner or party in interest to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permits after notice and public hearing in accordance with the procedures required by the Carol Stream Code of Ordinances.

PASSED AND APPROVED THIS 20th DAY OF NOVEMBER, 2023.

AYES:

NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk

I, Ilirjan Sejdini, being the owner and/or party in interest of the Subject Property legally described in this ordinance, do hereby accept, concur, and agree to develop and use the Subject Property in accordance with the terms and conditions of this Ordinance, and I understand that if I do not do so, I am subject to the penalties set forth in Section 16-8-5 of the Carol Stream Code of Ordinances, and/or termination of the special use permits. CIE Properties, LLC further agrees to indemnify, hold harmless and defend the Village, and its officers, agents and employees from any and all claims, lawsuits, liabilities damages and costs incurred as a result of the approvals as granted herein.

Date

Owner/Party In Interest

PAVEMENT LEGEND	
[Pattern]	PERMEABLE PAVEMENT TRUCK PARKING
[Pattern]	3-1/8" UNLOCK ECO-OPTECOCK PERMEABLE PAVERS
[Pattern]	1-7/8" CA-16 BEDDING COURSE
[Pattern]	6" CA-7 AGGREGATE BASE/STORAGE
[Pattern]	24" CA-1 OR CA-7 AGGREGATE BASE/STORAGE
[Pattern]	35" (2'9") TOTAL DEPTH SURFACE TO SUBGRADE
[Pattern]	30" STONE VOID STORAGE DEPTH
[Pattern]	CONCRETE PARKING LOT TRASH ENCLOSURE & APPROXS
[Pattern]	8" PORTLAND CEMENT CONCRETE
[Pattern]	4" AGGREGATE BASE COURSE CA-6, TYPE B
[Pattern]	HEADER SIDEWALK
[Pattern]	5" MINIMUM PORTLAND CEMENT CONCRETE
[Pattern]	4" CURB ALONG PARKING LOT
[Pattern]	4" AGGREGATE BASE COURSE CA-6, TYPE B
[Pattern]	CONCRETE TRUCK DOLLY PAD
[Pattern]	8" PORTLAND CEMENT CONCRETE
[Pattern]	PERMEABLE PAVEMENT AGGREGATE BASE/STORAGE

AREA SUMMARY		
TOTAL AREA	98,813	sq ft 2.27 ac
BUILDING	7,350	sq ft 0.17 ac
WALK	1,920	sq ft 0.04 ac
CONCRETE PARKING/APRONS	7,720	sq ft 0.18 ac
DOLLY PADS	2,600	sq ft 0.06 ac
CURBS/WALLS	975	sq ft 0.02 ac
PERMEABLE PAVERS	59,271	sq ft 1.36 ac
GREENSPACE	18,977	sq ft 0.44 ac

SITE DATA	
BUILDING NORTH SETBACK	- 15 FT
BUILDING EAST SETBACK	- 40 FT
BUILDING WEST SETBACK	- 109 FT
PARKING SETBACK	- 20 FT
BUILDING HEIGHT	- 23 FT
F.A.R.	- 7.43%
PARKING SPACES	- 8

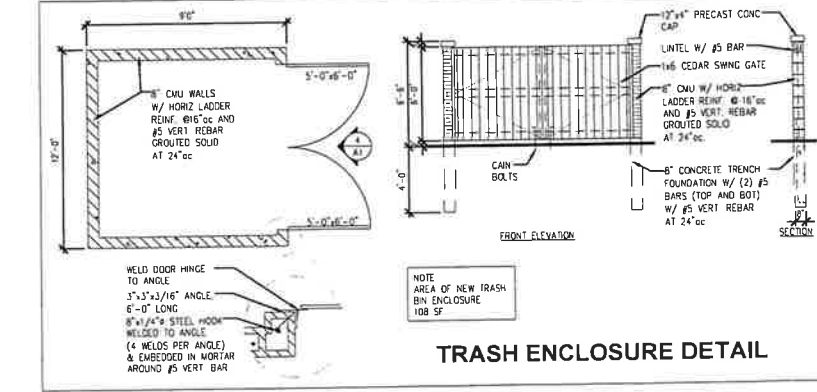
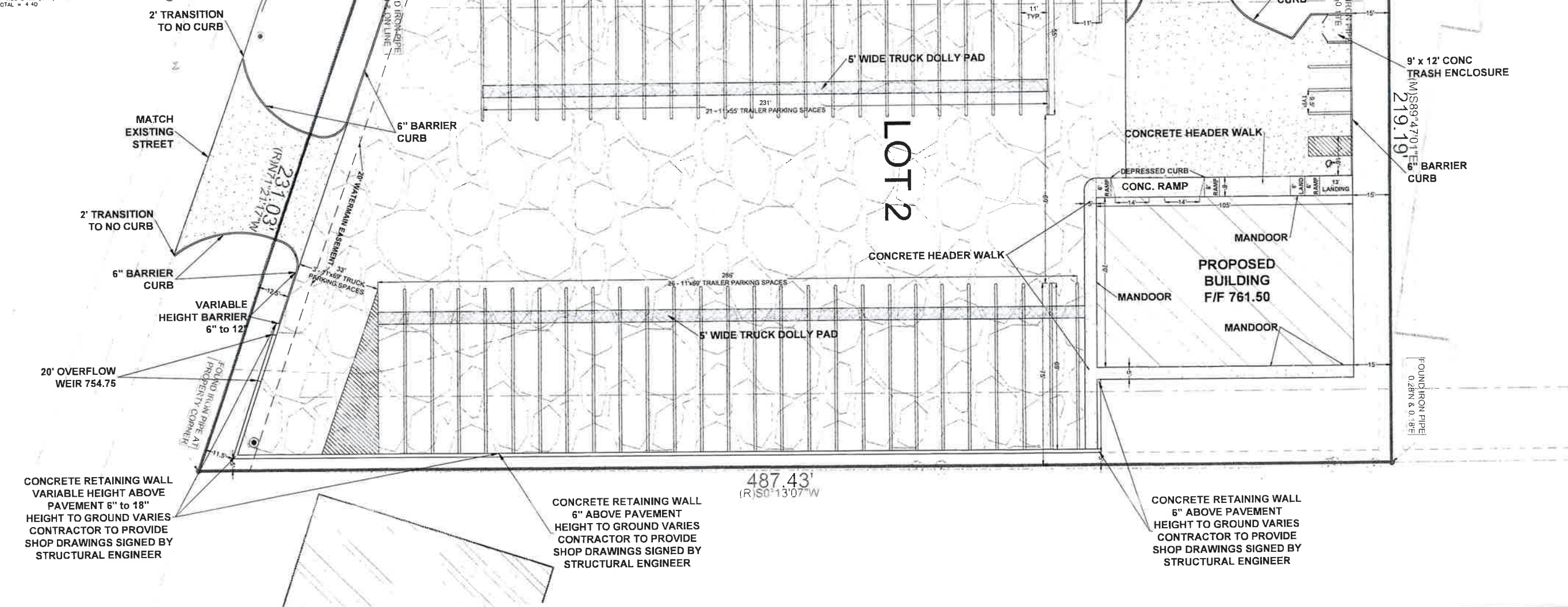
STRUCTURAL NUMBER REQUIRED	
PERMEABLE PAVEMENT TRUCK PARKING	2.0
30" STONE VOID STORAGE DEPTH (0.10)	3.00
CONCRETE PARKING LOT TRASH ENCLOSURE & APPROXS	4.00
8" PCC (0.50)	4.00
4" AGG BASE (0.10)	0.40
TOTAL	4.40

DATE		REVISIONS	
ISSUE	DATE	DESCRIPTION	BY
1	09/15/2022	ISSUE FOR PERMITS	AW
2	09/15/2022	ISSUE FOR PERMITS	AW
3	09/15/2022	ISSUE FOR PERMITS	AW
4	09/15/2022	ISSUE FOR PERMITS	AW
5	09/15/2022	ISSUE FOR PERMITS	AW

BCI
BONO CONSULTING
 CIVIL ENGINEERS
 A State & Multistate Engineers Firm

1001 BOND STREET, SUITE 200
 GAITHERSBURG, MD 20878
 301-229-2512
 www.bonocivil.com

SITE PLAN
 PROPOSED TRUCK FACILITY
 2N275 MORTON RD., CAROL STREAM, IL, 60185



LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL JULIE @ 1-800-892-0123 BEFORE DIGGING.

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

EXHIBIT A

PROJECT NO.	22314
SHEET FILE	
ISSUE DATE	SEP 15, 2022
SCALE	1" = 20'
SHEET NUMBER	C-2.0

LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @ 1-800-892-0123 BEFORE DIGGING.

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

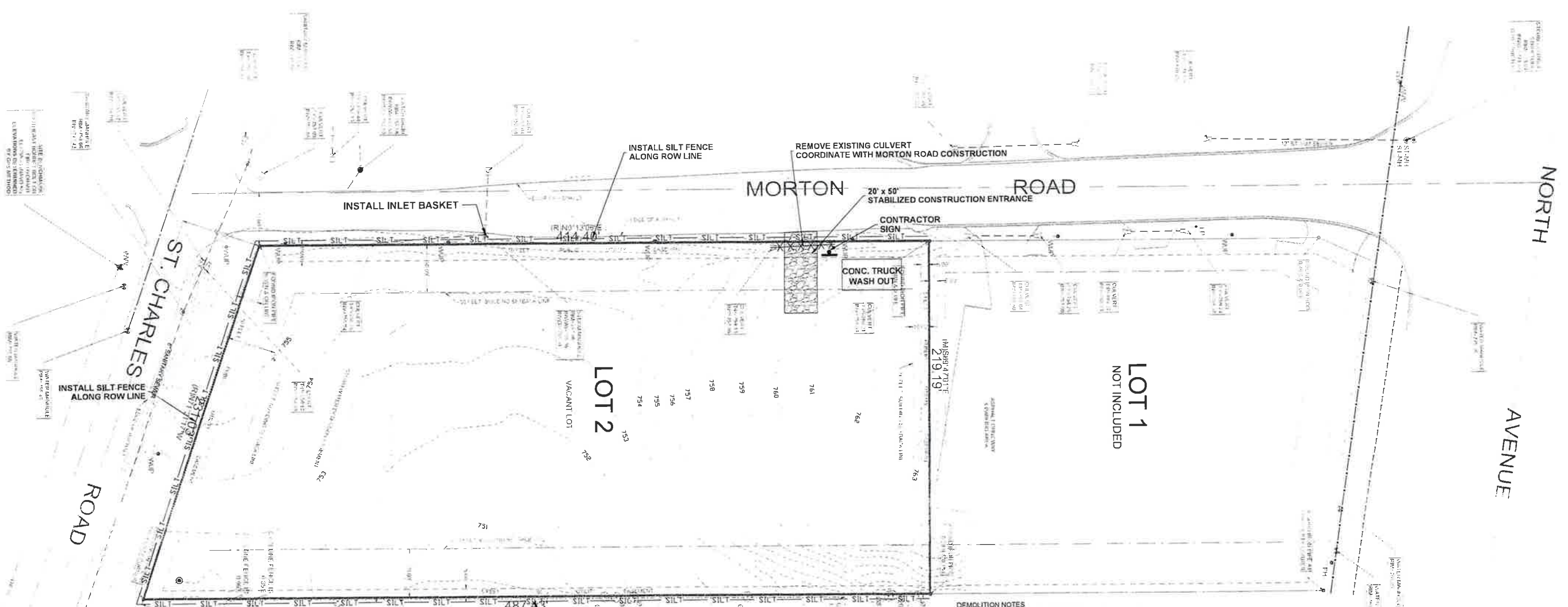
SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. Install row silt fence prior to any earth disturbing activities.
2. Contractor to install construction entrance.
3. Contractor to install inlet filters in existing and proposed structures.
4. Contractor to remove any mud tracked onto existing pavement every night.
5. A concrete washout should be provided on-site. Concrete cannot be washed out into the public right-of-way or storm sewer system.

SURVEY BY:
UNITED SURVEY SERVICE, LLC
 CONSTRUCTION AND LAND SURVEYORS
 7710 CENTRAL AVENUE, RIVER FOREST, IL 60305
 TEL.: (847) 299-1010 FAX: (847) 299-5887
 E-MAIL: USURVEY@USANDCS.COM

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- EXISTING SANITARY
- COMBINATION SEWER
- PROPOSED SANITARY SEWER
- PROPOSED COMBINATION SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED PERFORATED PIPE
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING TREE
- REMOVE TREE
- TEMPORARY FENCE
- TEMPORARY SILT / CONSTRUCTION FENCE
- SWAP PUMP (PROPOSED/EXISTING)
- ELECTRIC PUMP (PROPOSED/EXISTING)
- DOWNSPOUT (ON-GROUND) (PROPOSED)
- SWALE (PROPOSED)
- OUTLET / POP-UP FILTER
- CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- CLEANOUT
- B BOX
- WOOD UTILITY POLE
- LIGHT POLE
- FLARED END SECTION (F.E.S.)
- INLET / DRAIN
- WATER VALVE MAINT / WATER METER
- SON
- MANHOLE (UNCLASSIFIED)
- TREE HYDRANT
- TREE TAG NO.
- STOP LIGHT
- CAS WALK
- ROOT PRONG
- AUGERING
- PATCHING
- 1/5 0000 TOP OF CANAL SLAB
- 1/1 3000 TOP OF FOUNDATION
- 1/1 0000 FINISH FLOOR
- 1/4 0000 TOP OF WALL
- 1/4 0000 CURB AND GUTTER ELEVATIONS



- DEMOLITION NOTES**
1. INSTALL TEMPORARY 6' HIGH CHAIN LINK FENCE AROUND THE PROPOSED WORK AREA AS SHOWN ON THE DRAWING.
 2. CONTRACTOR TO CALL JULIE AT 1-800-892-0123, MINIMUM OF 48 HOURS PRIOR TO INITIATING ANY EXCAVATION OR DEMOLITION.
 3. CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
 4. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER OR REPLACED.
 5. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY.
 6. BONO CONSULTING INC IS NOT LIABLE FOR ANY CONSTRUCTION SITE SAFETY. CONTRACTOR TO TAKE ALL OSHA REGULATED AND APPLICABLE LOCAL SAFETY PRECAUTIONS TO SAFE GUARD ALL POTENTIALLY HAZARDOUS SITES/WORK.
 7. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF EXCESSIVE DEBRIS AT ALL TIMES.
 8. ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH DAY.
 9. DO NOT CREATE DUST OR OTHER NUISANCE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION.
 10. "NO TRESPASSING" SIGNS SHALL BE MOUNTED ON THE FENCING IN CONSPICUOUS LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND APPROVED.
 11. ANY GATE IN THE PERIMETER FENCE SHALL BE ADEQUATELY HINGED TO PREVENT ENTRY, EXCEPT TO ALLOWINGRESS AND EGRESS TO AND FROM SITE. SUCH GATE MUST BE LOOKED AT ALL TIMES OTHER THAN PERMITTED HOURS OF CONSTRUCTION.

EXHIBIT B

DATE	REVISIONS	ISSUE	PROJECT STAFF

BCI	
BONO CONSULTING CIVIL ENGINEERS	
A Steer & Holder Engineers company	
101 BOND STREET, SUITE 205 MORRISVILLE, IL 60550 TEL: (847) 299-1010 WWW.USURVEY.COM	

EXISTING TOPOGRAPHY, DEMOLITION AND EROSION CONTROL PLAN	
PROPOSED TRUCK FACILITY	
2N275 MORTON RD., CAROL STREAM, IL, 60185	
COPYRIGHT	THIS DRAWING SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING BY THE ENGINEER.
PROJECT NO.:	22314
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	SEP 15, 2022
SCALE	1"=30'
SHEET NUMBER	
C-1	

EARTHWORK AND GRADING

1. All earthwork shall be done in accordance with the state of Illinois "Standard Specifications for Road and Bridge Construction" latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are: cleaning, stripping and stockpiling of topsoil; mass grading and fine grading of the site and roadways; excavation of unsuitable materials and excavation of detention ponds, landscape mound construction, and miscellaneous topsoil respread and seeding.
2. Any earthwork summaries provided by the engineer are intended to be used as a guide for the contractor in determining the scope of the completed project. It is the responsibility of the contractor to determine all material quantities and appraise themselves of all site conditions. The contract price submitted by the contractor shall be considered a lump sum for the complete project. No claims for extra work will be recognized unless ordered in writing by the owner.
3. The initial establishment of erosion control procedures shall be installed by the contractor prior to the start of mass grading.
4. All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and its replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the owner and documentation by the soils engineer.
5. Clearing shall consist of the removal and disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation and stumps. These items shall be performed whenever they occur within the street right of ways, and within the limits of construction. Trees to be saved shall be identified by the Engineer on the construction plans. All trees, except those designated to be saved, and all stumps shall be cut and legally disposed of. Trees, stumps, and hedges within the limits of construction shall be removed completely. Trees designated to be saved as indicated on the plans, or as directed by the engineer, shall be protected in accordance with the procedures outlined in Article 201.05 of the "Standard Specifications for Road and Bridge Construction."

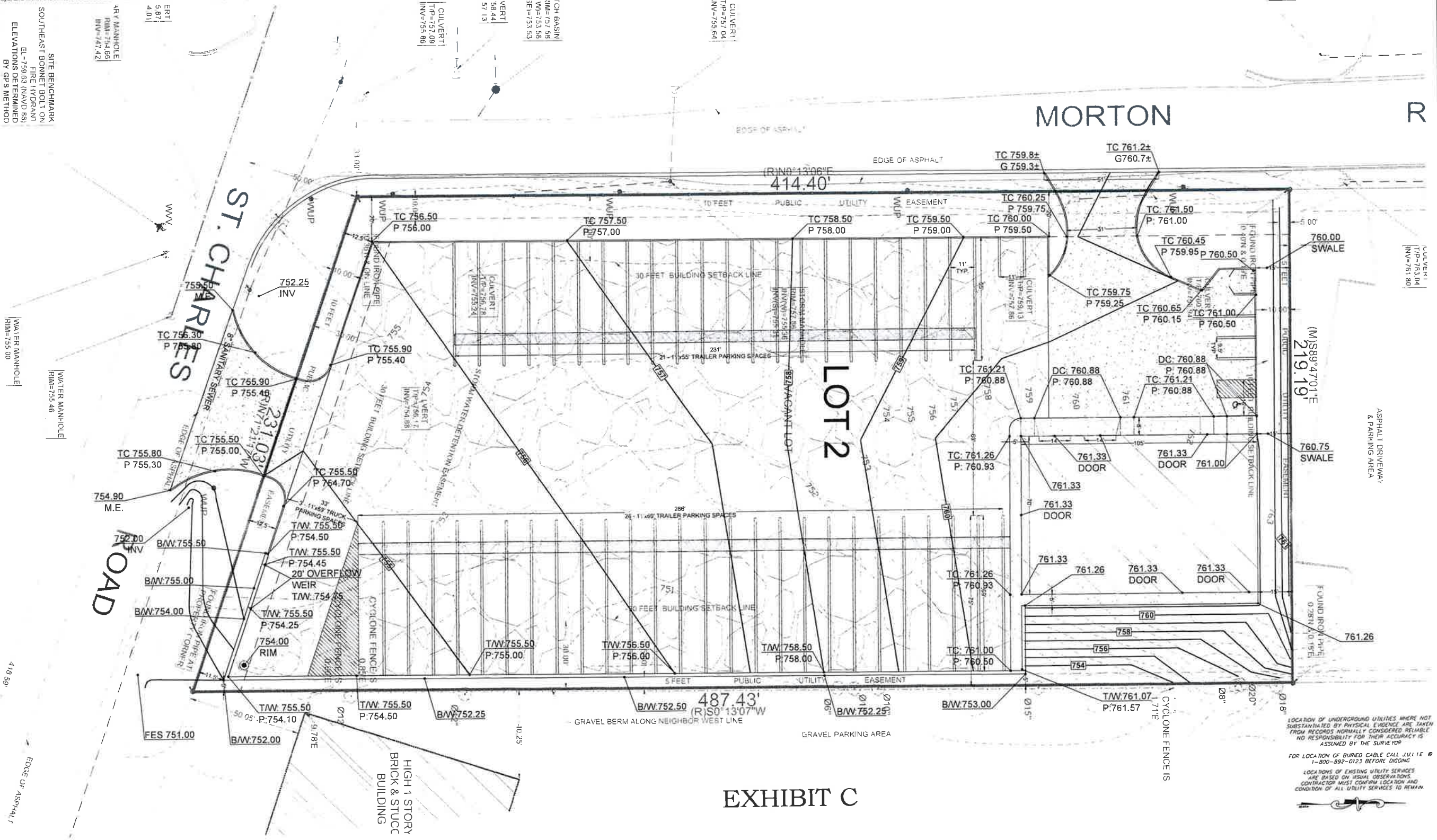
6. Strip topsoil down to firm subbase, stockpile quantity necessary for landscaping, and remove other materials from the site.
7. Excavation shall consist of the excavation, removal, and satisfactory disposal or placement and compaction of all materials taken from within the site for the construction of embankments, subgrade, subbase, shoulders, intersections, ditches, waterways, entrances, approaches and incidental work, and the removal and satisfactory disposal of unstable and unsuitable materials and their replacement with satisfactory materials where required.
8. After stripping and excavating to the proposed subgrade level, as required, the building and parking areas should be proof-rolled with a loaded, tandem-axle dump truck or similar rubber tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fills, and help to delineate soft, loose, or disturbed areas that may exist below subgrade level. Proof-rolling is especially important to help evaluate the surficial stability of existing fill soils that may be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted with a smooth drum vibratory roller for granular soils, a sheeps foot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling and undercutting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the subgrade soils should be scarified and compacted to at least 90 percent of the Modified

9. Proctor maximum dry density ASTM D 598 for a depth of at least 8 inches below the surface. Where encountered, loose sands should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to moisture. Therefore, extra care should be used to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils are encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of coarse aggregate are required, depending on the consistency of the subgrade. The coarse aggregate should be spread in a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.
10. Topsoil excavation shall consist of the removal and stockpiling, or placing on fill slopes or placing in mounds, of the uppermost layers of organic soil. Topsoil shall be stockpiled on the areas as shown on the plans or as directed by the engineer.
11. Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil over the unpaved areas within the construction limits.
12. 6" topsoil & sod shall be placed on all disturbed areas within the right of way.
13. Refer to the landscape plans for additional information on ground cover & planting requirements.
14. Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density (ASTM D1557).
15. Completed grading (finished fine grade) for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) feet of design subgrade elevations.

16. The subgrade for the proposed streets and pavement areas shall be proof-rolled by the contractor in the presence of the Village engineer and soils engineer. Any unstable areas encountered shall be removed and replaced as directed by the Village engineer and soils engineer. Any unstable areas shall be documented by the soils engineer.
17. It shall be the responsibility of the contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the owner.
18. When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by the soils engineer and the Village. The depth of the removal and replacement shall be documented by the owner's engineer and witnessed by the contractor.

This work, when approved by the owner and owner's engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which price shall include the removal and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to perform the work as specified.
The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil testing. This shall be included in the cost of work.

21
46
22



NO.	REVISIONS	DATE
1	AS SHOWN	09/15/2022
2	REVISIONS	09/15/2022
3	REVISIONS	09/15/2022
4	REVISIONS	09/15/2022
5	REVISIONS	09/15/2022
6	REVISIONS	09/15/2022
7	REVISIONS	09/15/2022
8	REVISIONS	09/15/2022
9	REVISIONS	09/15/2022
10	REVISIONS	09/15/2022
11	REVISIONS	09/15/2022
12	REVISIONS	09/15/2022
13	REVISIONS	09/15/2022
14	REVISIONS	09/15/2022
15	REVISIONS	09/15/2022
16	REVISIONS	09/15/2022
17	REVISIONS	09/15/2022
18	REVISIONS	09/15/2022
19	REVISIONS	09/15/2022
20	REVISIONS	09/15/2022
21	REVISIONS	09/15/2022

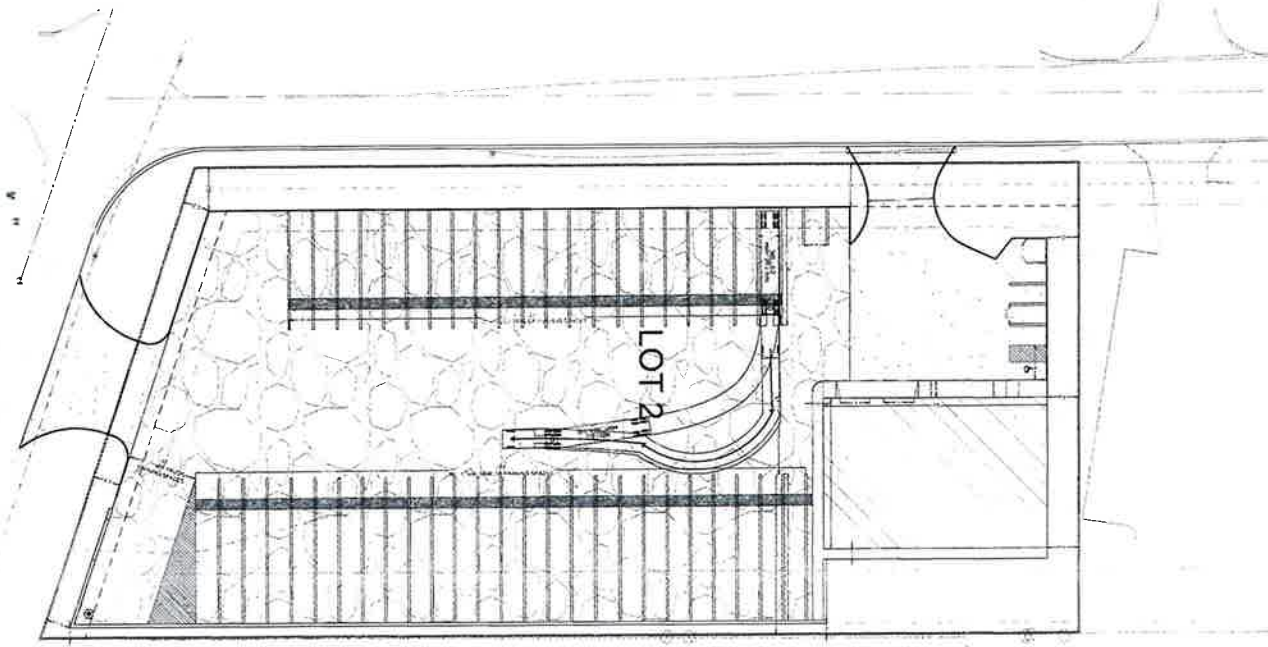
BCI
BONO CONSULTING
CIVIL ENGINEERS
 A Scott & Natur Engineering Company
 1018 BUSTEADT HWY
 PARK RIDGE, IL 60068
 www.bonocivil.com

GRADING AND DRAINAGE PLAN
PROPOSED TRUCK FACILITY
 2N275 MORTON RD., CAROL STREAM, IL, 60185

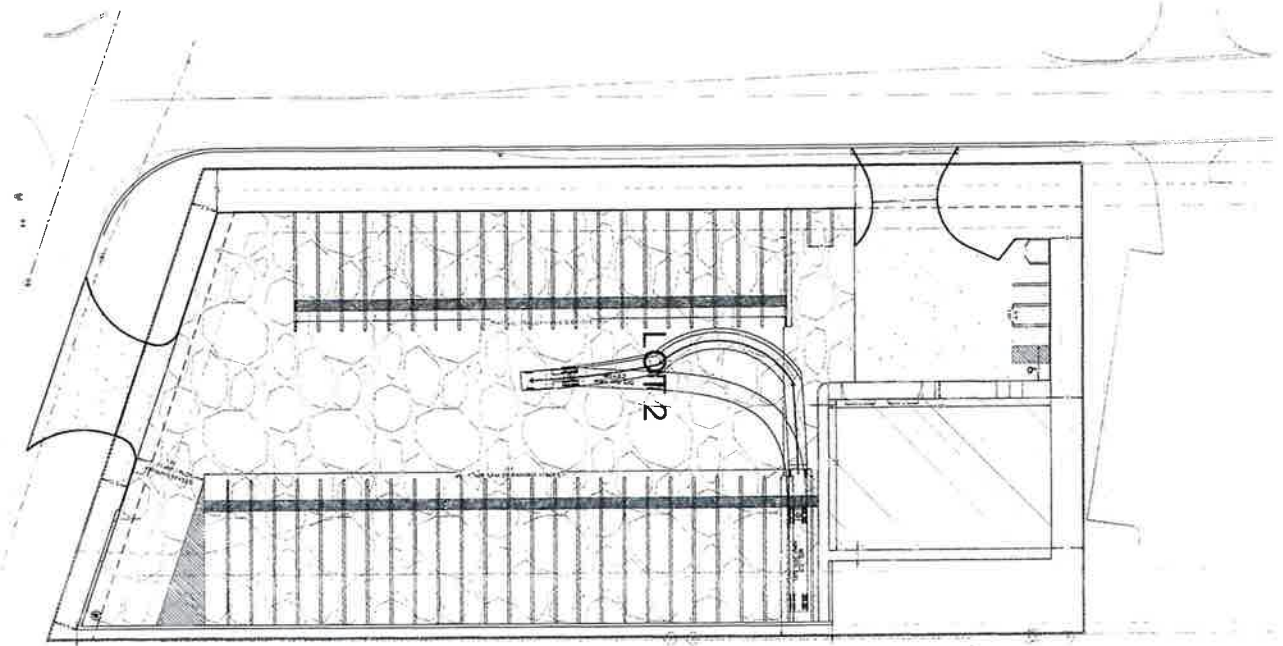
PROJECT NO.	22314
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	SEP 15, 2022
SCALE:	1"=20'

SHEET NUMBER
C-4.0

EXHIBIT C

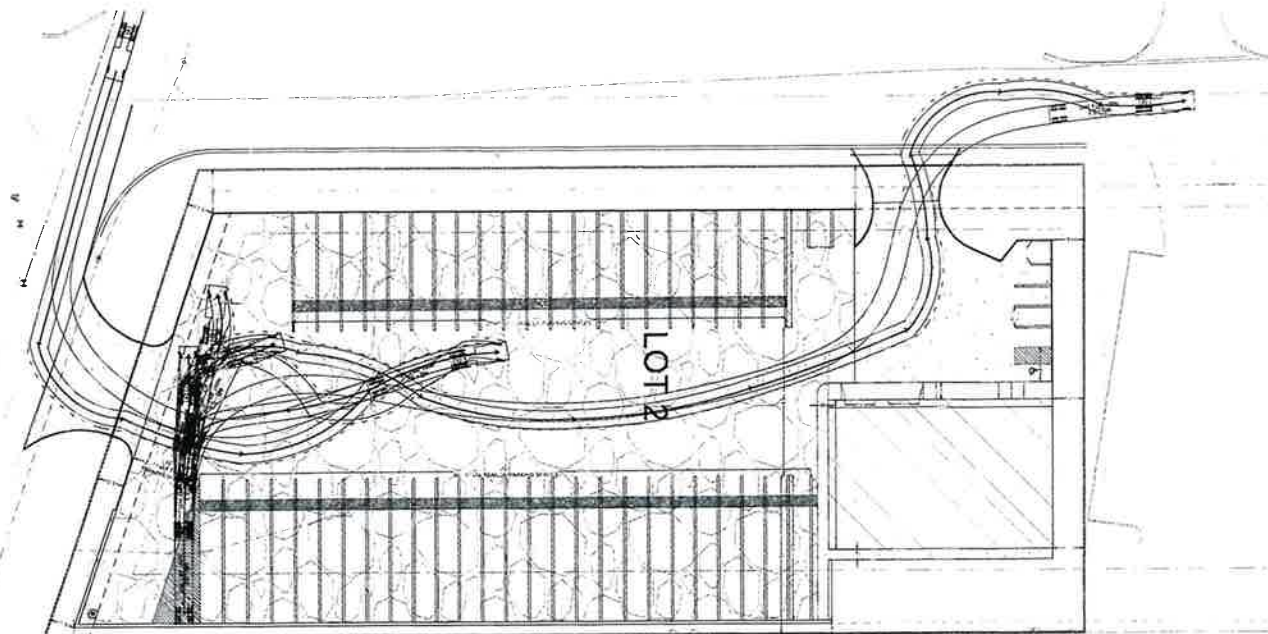


AUTO TURN EXHIBIT - EXITING WEST PARKING DIAGRAM

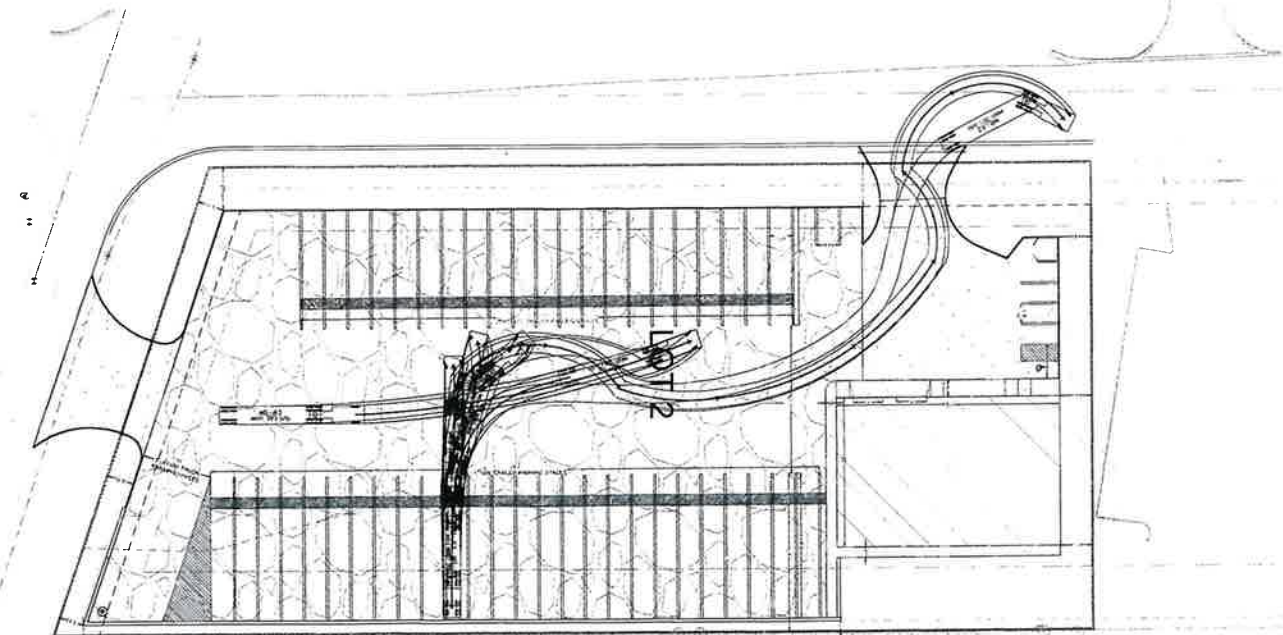


AUTO TURN EXHIBIT - EXITING EAST PARKING DIAGRAM

EXHIBIT D



AUTO TURN EXHIBIT - BACKING INTO EAST STALL & LEAVING NORTH



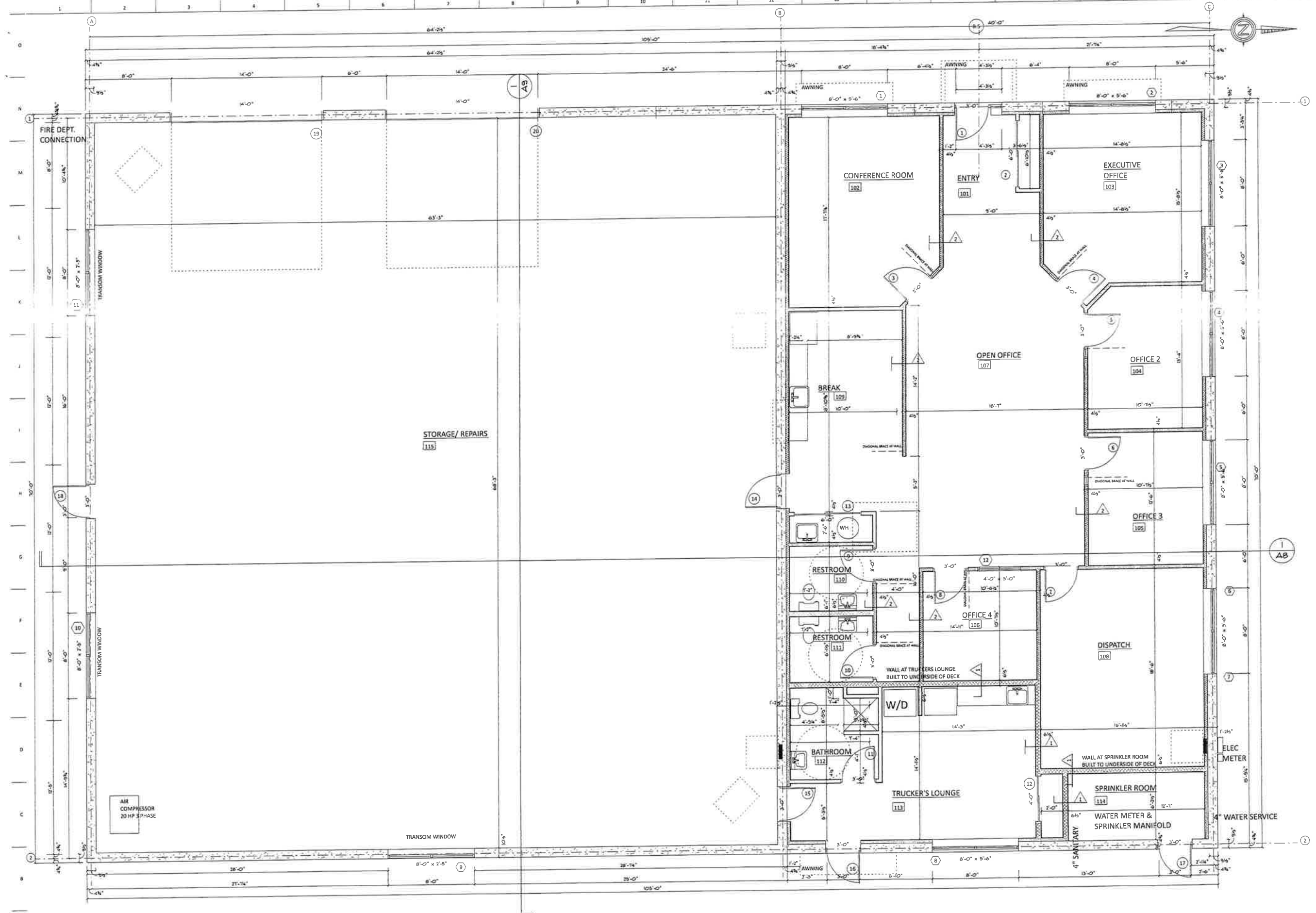
AUTO TURN EXHIBIT - BACKING INTO EAST STALL & LEAVING NORTH

PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: [Name]	1. 11/15/2022	1. 11/15/2022	11/15/2022
DESIGNER: [Name]	2. 11/15/2022	2. 11/15/2022	11/15/2022
CHECKER: [Name]	3. 11/15/2022	3. 11/15/2022	11/15/2022
APPROVER: [Name]	4. 11/15/2022	4. 11/15/2022	11/15/2022

BCI
BONO CONSULTING
CIVIL ENGINEERS
 A Service & Public Engineering, Inc. (SPEI) Company
 1011 BOND STREET, SUITE 205
 WILMINGTON, IL 60185
 PH: 618.233.1000
 WWW.BONOCONSULTING.COM

AUTOTURN DETAILS
 PROPOSED TRUCK FACILITY
 2N275 MORTON RD., CAROL STREAM, IL, 60185

PROJECT NO.:	22314
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	SEP 15, 2022
SCALE:	1"=40'
SHEET NUMBER	C-5.0



BUILDING PLAN SCALE: 1/4" = 1'-0"

EXHIBIT E

GR GINO ROMOZZI - ARCHITECT

117 S. COOK STREET STE. #275
BARRINGTON, IL 60010
T 847-707-2453
ROMOZZI@GMAIL.COM

© 2023 Gino Romozzi Architect - All rights reserved.
Any discrepancies shall be reported, in writing, in accordance to the
contract before proceeding. Only signed dimensions should
be used. Contractors and fabricators to verify all dimensions
on site prior to beginning work.

ISSUED DATE	ISSUED FOR
05.30.23	REVIEW
09.22.23	REVIEW

MM.DD.YYYY REVISION #

PROFESSIONAL SEAL

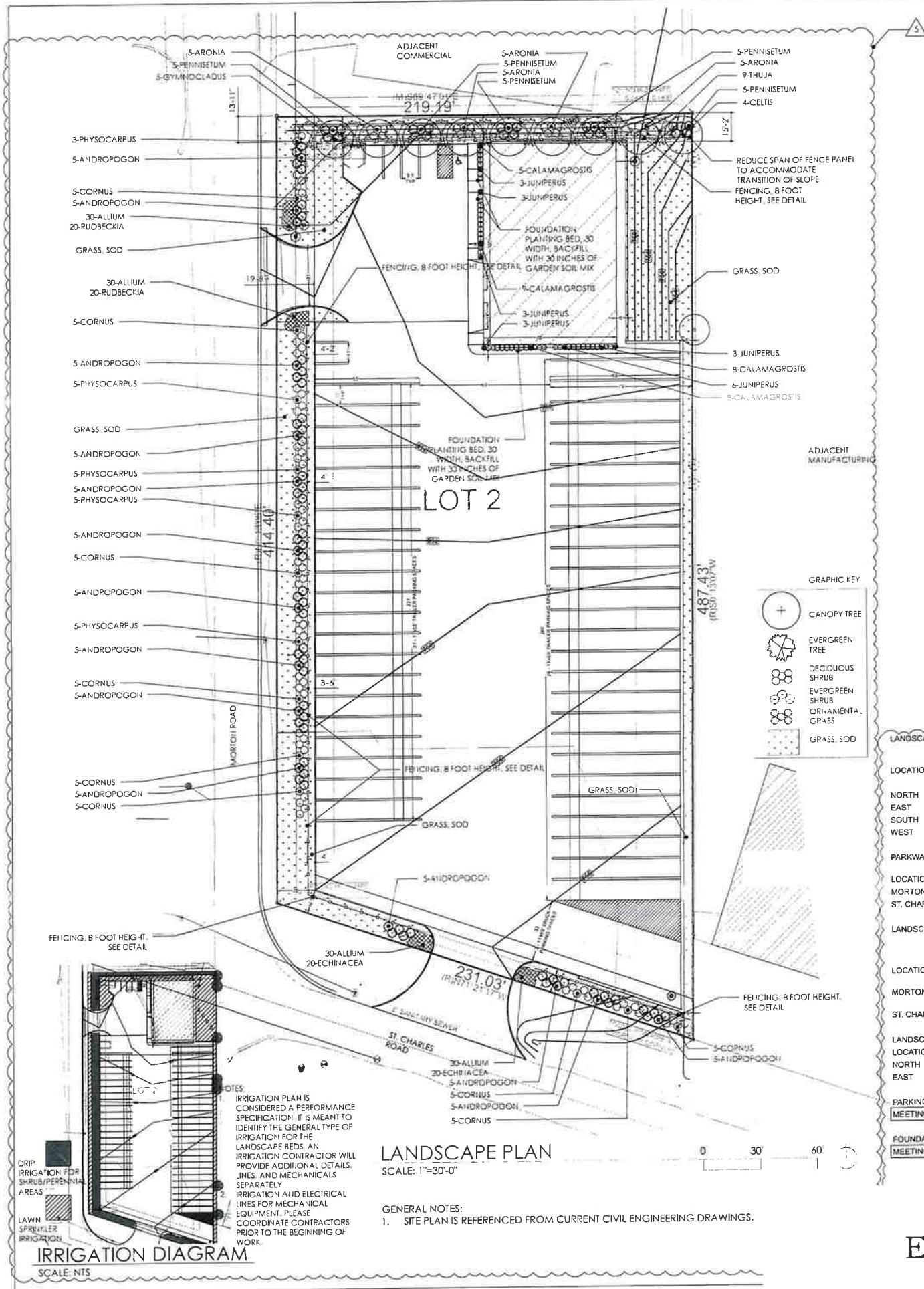


PROJECT
CIE TRANSPORT
2N275 MORTON ROAD
CAROL STREAM, IL
60185

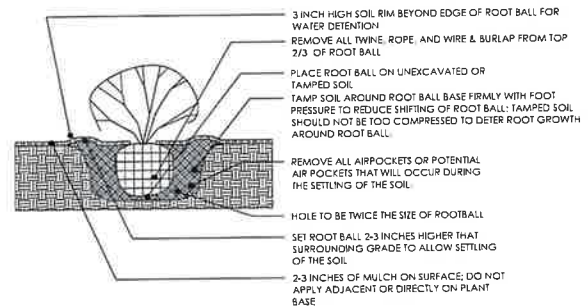
525	Project No.
	Drawn By
	Checked By
	Drawing No.

A4

Drawing Name
BUILDING PLAN

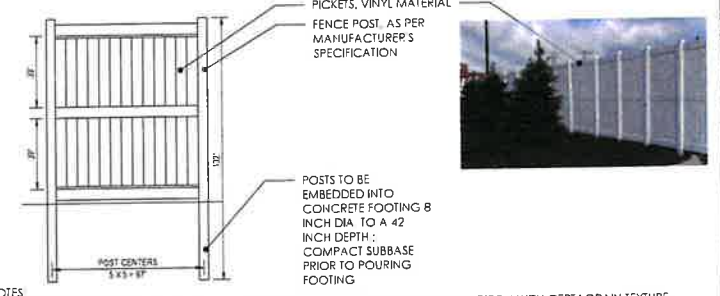


EVERGREEN TREE DETAIL
SCALE: 1/4"=1'-0"



SHRUB DETAIL
SCALE: 1/4"=1'-0"

DECIDUOUS TREE DETAIL
SCALE: 1/4"=1'-0"



VINYL FENCE DETAIL, 8 FOOT HT.
SCALE: NOT TO SCALE

LANDSCAPE YARD CALCULATIONS

LOCATION	ADJ. LAND USE	LENGTH	POINT FACTOR	POINT REQUIRED	FENCING	CANOPY TREE	TALL SHRUBS	PROPOSED TOTAL POINTS
NORTH	B	219	5	1095		25	100	15
EAST	M	487	0	0		500	600	0
SOUTH	ROW	231	0	0		0	0	0
WEST	ROW	414	0	0		0	0	0

PARKWAYS

LOCATION	LENGTH	REQ TREES (1/150LF)	PROPOSED TREES
MORTON	414	8	0
ST. CHARLES	231	5	0

LANDSCAPE FOR FRONT AND EXTERIOR SIDYARDS

LOCATION	LENGTH	REQ TREES (1/100LF)	ORN / EVERGREEN TREE (1/100LF)	SHRUBS (1/1025LF)
MORTON	330.5	3	0	132
ST. CHARLES	231	2	0	92

LANDSCAPE FOR REAR YARDS AND SIDYARDS

LOCATION	LENGTH	REQ. TREES	REQ. SHRUBS
NORTH	219	18	44
EAST	487	5	0

PARKING AREA
MEETING REVIEW REQUIREMENTS

FOUNDATION PLANTING
MEETING REVIEW REQUIREMENTS

PLANT SCHEDULE

Botanical Name	Common Name	Quantity	Size	Condition	Notes
Shade Trees					
<i>Celtis occidentalis</i>	Hackberry	4	3" caliper	B&B	
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	5	3" caliper	B&B	
Evergreen Trees					
<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	9	8 foot height	B&B	
Shrubs					
<i>Aronia melanocarpa</i>	Chokeberry	20	3 foot height	B&B	
<i>Cornus sericea</i>	Redtwig Dogwood	45	3 foot height	B&B	
<i>Physocarpus opulifolius</i>	Ninebark	23	3 foot height	B&B	
Evergreen Shrubs					
<i>Juniperus horizontalis</i>	Creeping Juniper	21	2 foot height	B&B	
Perennials and Grasses					
<i>Allium cernuum</i>	Knocking Onion	120		1 gallon	
<i>Andropogon gerardi</i>	Big Bluestem	40		5 gallon	
<i>Calamagrostis acutiflora</i>	Karl Foerster Grass	30		5 gallon	
<i>Echinacea purpurea</i>	Purple Coneflower	40		1 gallon	
<i>Pennisetum glyptostroboides</i>	Fountain Grass	25		5 gallon	
<i>Rudbeckia hirta</i>	Black-eyed Susan	40		1 gallon	

LANDSCAPE PLAN
SCALE: 1"=30'-0"

GENERAL NOTES:
1. SITE PLAN IS REFERENCED FROM CURRENT CIVIL ENGINEERING DRAWINGS.

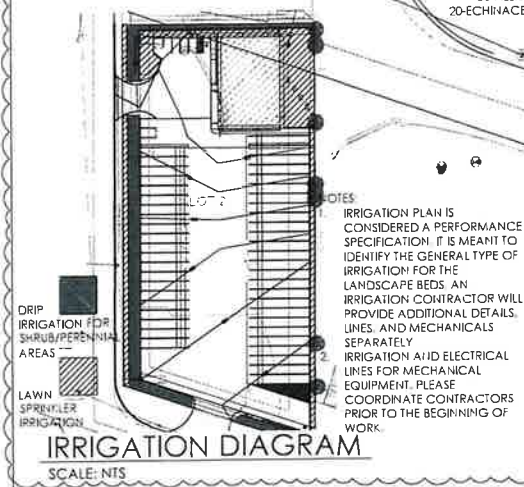


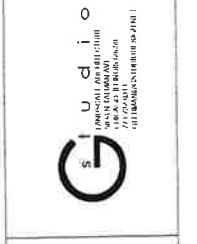
EXHIBIT F



DATE: _____

PROJECT STAFF:

DATE	ISSUE
11/15/2023	11/15/2023
11/15/2023	11/15/2023
11/15/2023	11/15/2023
11/15/2023	11/15/2023
11/15/2023	11/15/2023



PRELIMINARY LANDSCAPE PLANS
2N275 MORTON ROAD
CAROL STREAM, ILLINOIS

COPYRIGHT: THIS DRAWING SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.

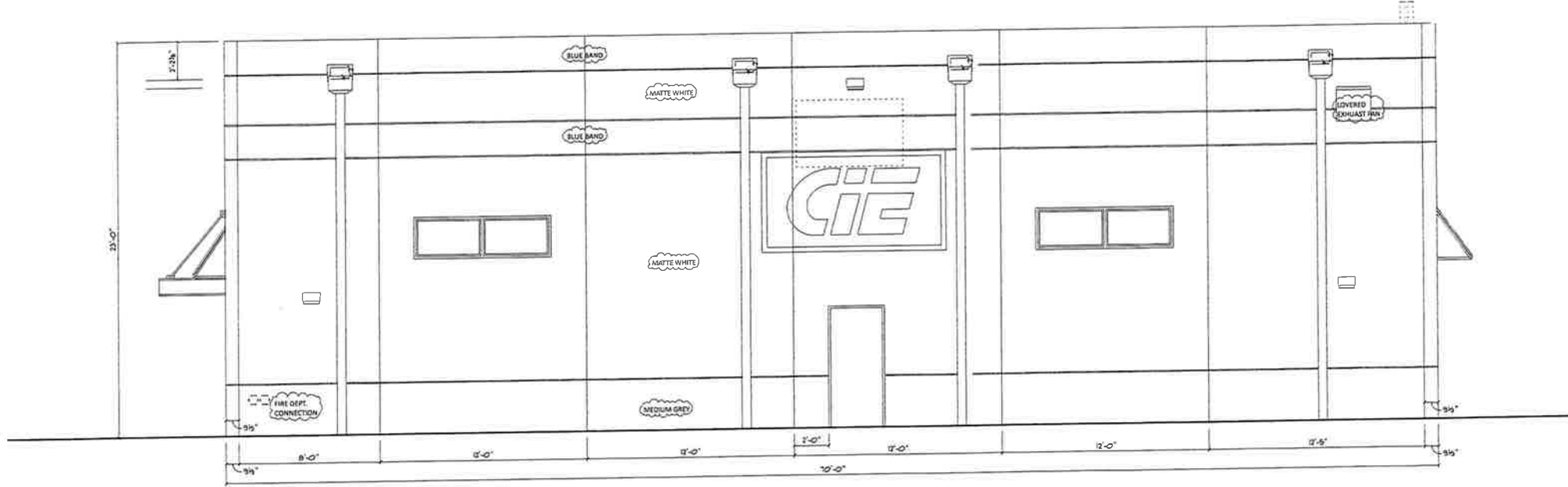
PROJECT NO.: 23017
ISSUE DATE: OCT. 18, 2023
SCALE: SEE DRAWING
SHEET NUMBER: L1



WEST ELEVATION

SCALE: 1/4" = 1' - 0"

MATERIAL SELECTIONS / COLORS
 PRE-CAST CONCRETE - SMOOTH - PAINTED
 SIGNAGE - CUSTOM - BLUE
 AWINGS - ALUMINUM / STEEL - BLACK
 OVERHEAD DOORS - ALUMINUM - WHITE
 WINDOWS - ALUMINUM - BLACK



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

EXHIBIT G1

GR GINO ROMOZZI - ARCHITECT

117 S. COOK STREET STE. #275
 BARRINGTON, IL 60010
 T 847-707-2453
 ROMOZZI@GMAIL.COM

©2023 Gino Romozzi Architect. All rights reserved.
 Any discrepancies shall be reported, in writing, immediately to the Architect before proceeding. Only figured dimensions should be used. Contractors and fabricators to verify all dimensions on the prior to beginning work.

ISSUED DATE	ISSUED FOR
05.30.23	REVIEW
09.22.23	REVIEW

MM.DD.YYYY REVISION #



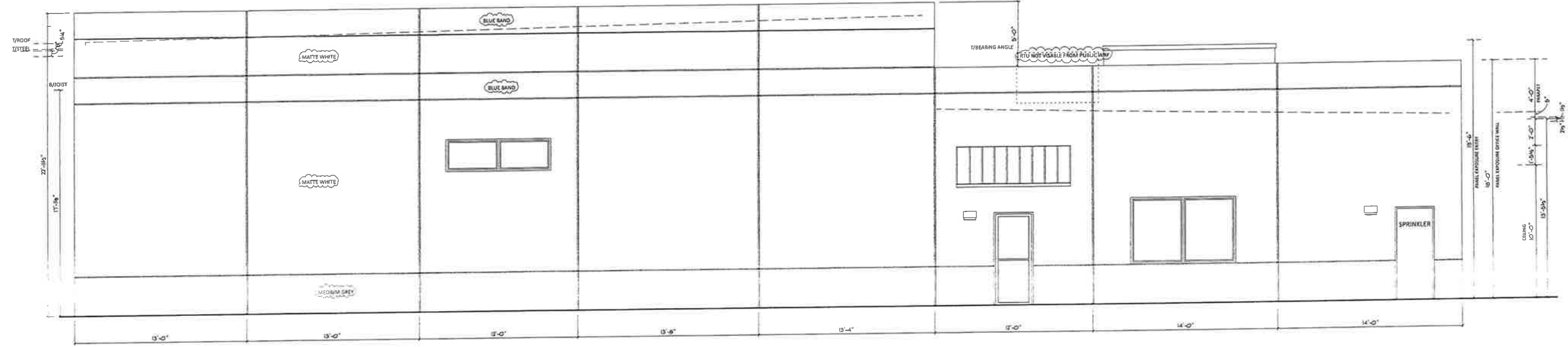
PROJECT
 CIE TRANSPORT
 2N275 MORTON ROAD
 CAROL STREAM, IL
 60185

525	Project No.
	Drawn By
	Checked By
	Drawing No.

A6

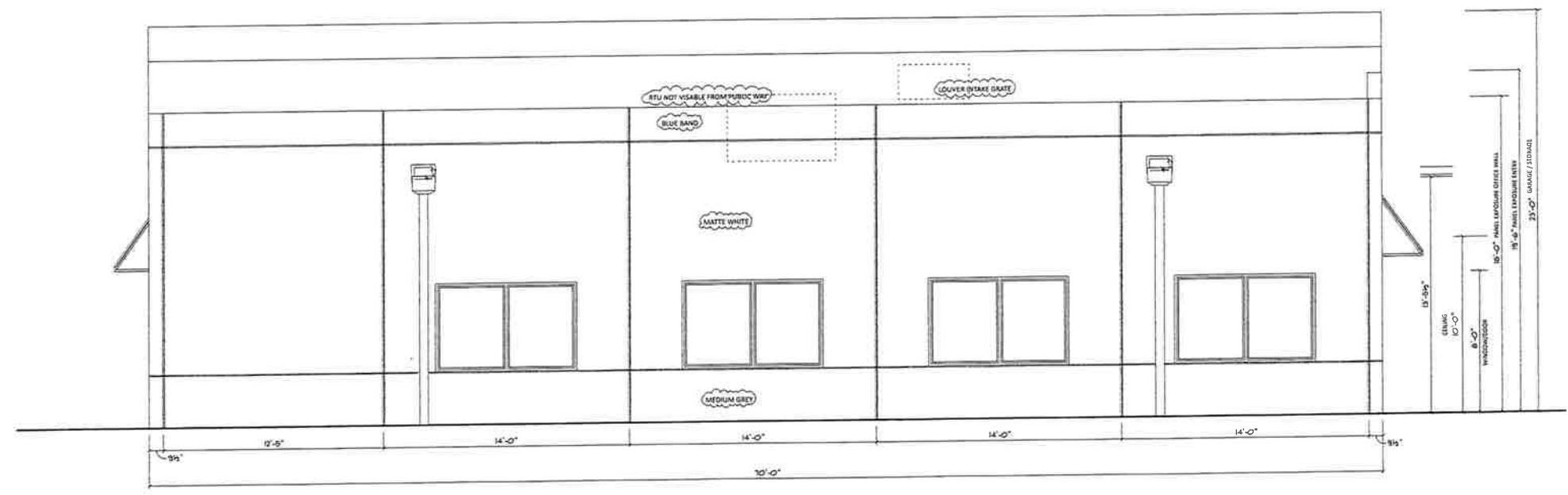
Drawing Name
BUILDING ELEVATIONS

MATERIAL SELECTIONS / COLORS
 PRE-CAST CONCRETE - SMOOTH - PAINTED
 SIGNAGE - CUSTOM - BLUE
 FINISHES - ALUMINUM / STEEL - BLACK
 OVERHEAD DOORS - ALUMINUM - WHITE
 WINDOWS - ALUMINUM - BLACK



EAST ELEVATION

SCALE: 1/4" = 1' - 0"



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"

EXHIBIT G2

GR GINO ROMOZZI - ARCHITECT

117 S. COOK STREET STE. #275
 BARRINGTON, IL 60010
 T 847-707-2453
 ROMOZZI@GMAIL.COM

© 2023 Gino Romozzi Architect. All rights reserved.
 Any discrepancies shall be reported, in writing, immediately to the
 Architect before proceeding. Only figured dimensions should be
 used. Contractors and fabricators to verify all dimensions
 on site prior to beginning work.

ISSUED DATE	ISSUED FOR
05.30.23	REVIEW
09.22.23	REVIEW

MM.DD.YYYY REVISION #



PROJECT
 CIE TRANSPORT
 2N275 MORTON ROAD
 CAROL STREAM, IL
 60185

525	Project No.
	Drawn By
	Checked By
	Drawing No.

A7

Drawing Name
 BUILDING ELEVATIONS



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXHIBIT G3

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2N275 MORTON ROAD

CAROL STREAM, IL. 60185

SEPTEMBER 24, 2023

GR GINO ROMOZZI - ARCHITECT

117 S. COOK STREET STE. #275
BARRINGTON, IL 60010

T 847-707-2453
ROMOZZI@GMAIL.COM



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXHIBIT G4



2N275 MORTON ROAD

CAROL STREAM, IL. 60185

SEPTEMBER 24, 2023

GR GINO ROMOZZI - ARCHITECT


117 S. COOK STREET STE. #275
BARRINGTON, IL 60010

T 847-707-2453
ROMOZZI@GMAIL.COM

Village of Carol Stream

Interdepartmental Memo

TO: William Holmer, Village Manager

FROM: Adam Frederick, Assistant Village Engineer 

DATE: November 13, 2023

RE: Rebuild Illinois Bond Fund - Resolution for Improvement Under the Illinois Highway Code – Fair Oaks Road Rehabilitation Project (Army Trail Road to Plum Grove Court (Section 23-00068-00-RS))

Attached is a Resolution for Improvement Under the Illinois Highway Code for construction costs related to the Fair Oaks Road Rehabilitation Project in the amount of \$528,000.00, which is the construction contract amount.

Construction for this project is funded through the Rebuild Illinois Bond Fund (RIB). Expenditures to the bond fund are identical MFT Funding procedures. As such, Illinois Department of Transportation procedures and documentation must be followed. It is therefore required that the attached Resolution be approved in order to spend RIB Funds on this project. Therefore, it is recommended that the IDOT Resolution for Improvement Under the Illinois Highway Code be approved in the amount of \$528,000.00. \$700,000.00 is budgeted for this project.

Once four copies of the attached Resolution are executed, the Engineering Services Department will forward all required documents to the Illinois Department of Transportation Bureau of Local Roads and Streets for approval.

Attachments:
4 Copies BLR 09110

CC: William N. Cleveland, Director of Engineering Services
Jon Batek, Finance Director
Sherry Craig, Clerk's Office Secretary



Resolution for Improvement Under the Illinois Highway Code

Is this project a bondable capital improvement?

Yes No

Resolution Type: Original, Resolution Number, Section Number: 23-00068-00-RS

BE IT RESOLVED, by the Board of the Village of Carol Stream

the Illinois Highway Code. Work shall be done by Contract

For Roadway/Street Improvements:

Table with 5 columns: Name of Street(s)/Road(s), Length (miles), Route, From, To. Row 1: Fair Oaks Road, 2542, Army Trail Road, Plum Grove Court

For Structures:

Table with 5 columns: Name of Street(s)/Road(s), Existing Structure No., Route, Location, Feature Crossed

BE IT FURTHER RESOLVED,

1. That the proposed improvement shall consist of

Rehabilitating Fair Oaks Road by milling 5" of pavement and installing 3.5" of HMA Binder and 1.5" of HMA Surface. The works also consists of miscellaneous curb, sidewalk and storm structure repairs as needed.

2. That there is hereby appropriated the sum of Five Hundred Twenty Eight Thousand Dollars (\$528,000.00) for the improvement of said section from the Local Public Agency's allotment of Motor Fuel Tax funds.

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to transmit four (4) certified originals of this resolution to the district office of the Department of Transportation.

I, Julia Schwarze, Clerk in and for said Village of Carol Stream

do hereby certify the foregoing to be a true, perfect and complete original of a resolution adopted by

Board of Carol Stream at a meeting held on November 20, 2023

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this 20th day of November, 2023

(SEAL, if required by the LPA)

Clerk Signature & Date

Approved Regional Engineer Signature & Date Department of Transportation

Village of Carol Stream
Interdepartmental Memo

TO: William Holmer, Village Manager

FROM: Tom Farace, Planning & Economic Development Manager

THROUGH: Donald T. Bastian, Community Development Director

DATE: November 14, 2023

RE: **Agenda Item for the Village Board Meeting of November 20, 2023**
PC/ZBA Case 23-0033, North Avenue TH LLC/Mainfreight – 27W364 North Avenue, Plat of Consolidation

At the Village Board meeting on October 16, 2023, the Board concurred with the recommendations made by the Plan Commission/Zoning Board of Appeals (PC/ZBA) at its meeting on September 25, 2023, regarding a Zoning Map Amendment, Special Use Permit for a Motor Freight Terminal, Special Use Permit for Outdoor Vehicle Storage, Loading Dock Variation, Foundation Landscaping Variation, Fence Variation, and Subdivision Variations for the proposed Mainfreight motor freight terminal project at 27W364 North Avenue.

At the September 25, 2023 meeting, the PC/ZBA also recommended approval of a Plat of Consolidation, which consolidates four existing lots into one lot. Village Board action regarding the Plat of Consolidation was deferred while the plat was under review by the Illinois Department of Transportation (IDOT). IDOT has now reviewed and signed the plat. Staff from Community Development, Engineering Services and the Village Clerk's office have reviewed the plat and recommend approval of the document.

The staff report presenting the request, with supporting documentation, was transmitted to the Village Board with the PC/ZBA packet on September 22, 2023. As indicated, at its meeting on September 25, 2023, the PC/ZBA recommended approval of the Plat of Consolidation by a vote of 4-0 with one member abstaining. Should the Board concur with the PC/ZBA's recommendation regarding the Plat of Consolidation, they should approve the plat and adopt the necessary resolution.

ec: Connor Harmon and Ryan Battistoni, Timber Hill

RESOLUTION NO. _____

**A RESOLUTION AUTHORIZING A PLAT OF CONSOLIDATION
(NORTH AVE TH LLC / MAINFREIGHT, INC, 27W364 NORTH AVENUE)
PIN# 01-36-200-017, 01-36-200-040, 01-36-200-006 AND 01-36-200-005**

WHEREAS, Connor Harmon, Associate Director of Development with Timber Hill Group, the Petitioner, has requested approval of a Plat of Consolidation to create one lot of approximately 15.76 acres at 27W364 North Avenue, West Chicago, IL., in accordance with Section 16-8-4 (O)(4) of the Unified Development Ordinance, and

WHEREAS, the Plan Commission/Zoning Board of Appeals (the “Combined Board”) of the Village of Carol Stream, at their meeting on September 11, 2023, and September 25, 2023, considered the Plat of Consolidation and has found it to be in conformance with applicable Codes and Ordinances of the municipality relating to the particular properties herein proposed to be consolidated; and

WHEREAS, the Combined Board made its recommendation to the Corporate Authorities regarding the approval of this plat.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF CAROL STREAM, DU PAGE COUNTY, ILLINOIS, IN THE EXERCISE OF ITS HOME RULE POWERS, AS FOLLOWS:

SECTION 1: Approval is hereby given to the Plat of Consolidation, such document being attached to and made a part of this Resolution as Exhibit “A”, drawn by Civil & Environmental Consultants, Inc., 1230 E. Diehl Road, Suite 200, Naperville, IL 60563.

SECTION 2: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED THIS 20th DAY OF NOVEMBER, 2023.

AYES:

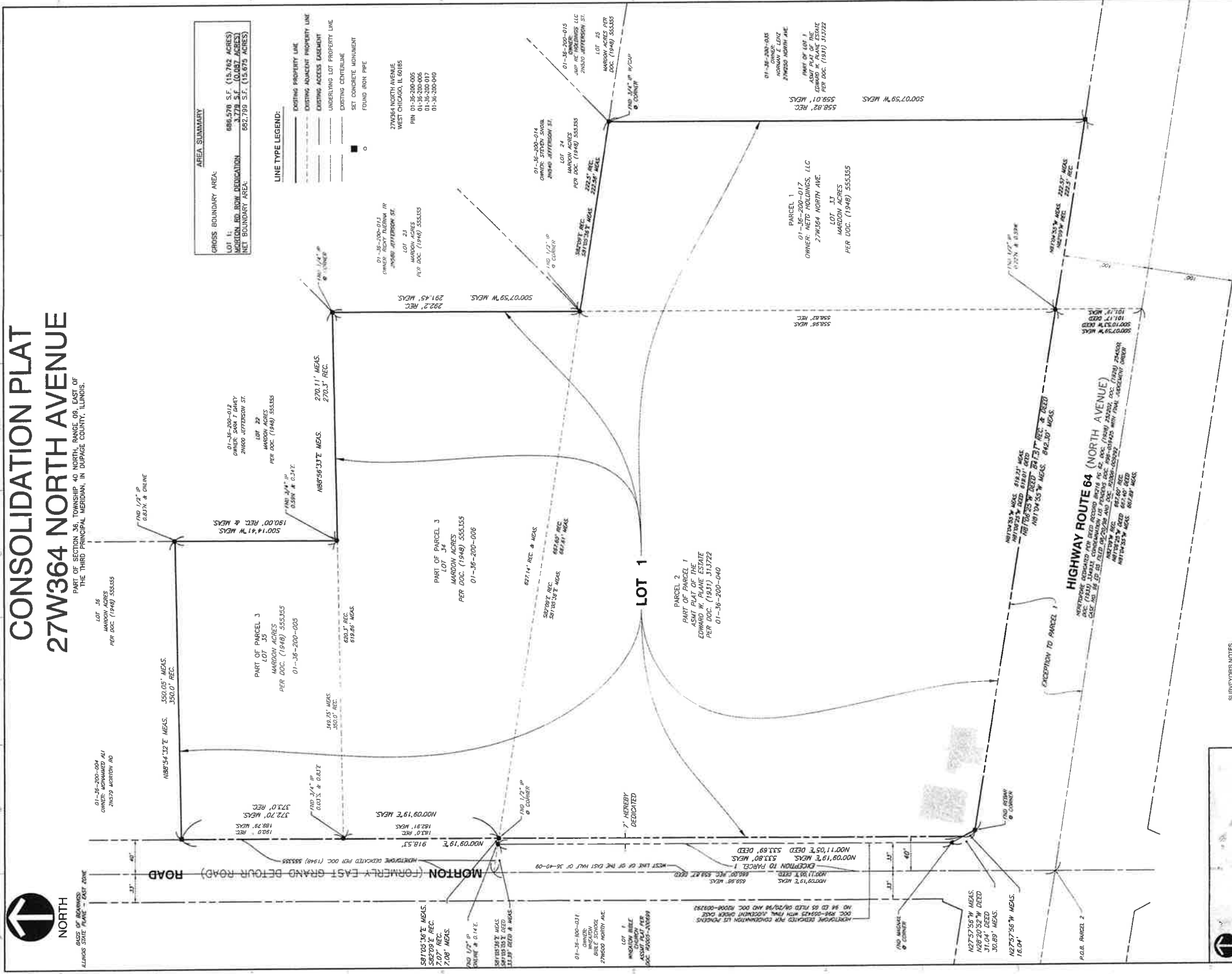
NAYS:

ABSENT:

Frank Saverino, Sr. Mayor

ATTEST:

Julia Schwarze, Village Clerk



- SURVEYOR'S NOTES:**
1. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 2. IRON PIPES AT ALL LOT CORNERS (UNLESS NOTED OTHERWISE).
 3. [Symbol] DENOTES CONCRETE MONUMENT SET.
 4. 3/4" I.D. X 24" LONG IRON PIPE PLACED AT THE POSITIONS NOTED IN #2 TO CONFORM TO ILLINOIS COMPILED STATUTES CHAPTER 785 ILCS 230/7 REGARDING PLACEMENT OF MONUMENTS.
 5. SEE SURVEYOR'S CERTIFICATE FOR FEMA FLOOD MAP INFORMATION.
 6. THE SURVEYED PROPERTY IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGES OF CAROL STREAM.
 7. EASEMENTS TO BE GRANTED HAVE BEEN INTENTIONALLY BEEN OMITTED. A PLAN OF EASEMENT FOR THE SUBJECT SITE WILL BE PREPARED GRANTING REQUIRED EASEMENTS IF DEEMED NECESSARY.
 8. THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO IL ROUTE 64(NORTH AVE) FROM LOT 1.
 9. TAXING BODIES ARE AS FOLLOWS:
 CAROL STREAM FIRE
 CAROL STREAM DISTRICT 25
 HIGH SCHOOL DISTRICT 04
 COUNTY OF DUPAGE
 COUNTY OF DUPAGE
 DUPAGE AIRPORT AUTHORITY
 DUPAGE DISTRICT
 WAYNE TOWNSHIP DISTRICT
 WAYNE TOWNSHIP ROAD
 WAYNE TOWNSHIP SPC POLICE

NO.	DATE	REVISION RECORD DESCRIPTION
1	08/10/2023	PRELIMINARY PLAN OF CONVEYANCE
2	08/10/2023	PRELIMINARY PLAN OF CONVEYANCE
3	08/10/2023	PRELIMINARY PLAN OF CONVEYANCE
4	08/10/2023	PRELIMINARY PLAN OF CONVEYANCE

Civil & Environmental Consultants, Inc.
 1230 East Dahl Road, Suite 200 - Naperville, IL 60563
 PH: (630) 983-0028 • FAX: (630) 983-0027
 WWW.CECONSULT.COM

PLAT OF CONSOLIDATION
 Situated in
27W364 NORTH AVENUE
 WEST CHICAGO, ILLINOIS 60185
 Made For
TIMBER HILL
 8770 W BRYN MAWR
 CHICAGO, IL 60631

DATE: 08/10/2023 SCALE: 1"=50'
 DRAWN BY: BTR CHECKED BY: MAJ
 PROJECT NO: 334-443 APPROVED BY: DRM SHEET 1 OF 4

SCALE IN FEET
 0 50 100

#1 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Cary Goldman/Manager C All
NAME/TITLE
8770 W Bryn Mawr, St 1350 Chicago, IL 60631
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Cary Goldman *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

#4 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Cary Goldman/Manager C All
NAME/TITLE
8770 W Bryn Mawr St. 1350 Chicago, IL 60631
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Cary Goldman *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

MORTGAGEE CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

CERTAIN MORTGAGE DATED *May 5th* A.D. 20*23* AND RECORDED IN THE RECORDER OF DEEDS OFFICE OF *DUPAGE* COUNTY, ILLINOIS ON THE *17th* DAY OF *May*, A.D. 20*23* AS DOCUMENT NO. *RO03-083720* HEREBY CONSENTS TO AND APPROVES THE SUBDIVISION OF THE LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.

DATED THIS *13th* DAY OF *November* A.D. 20*23*

PRINT MORTGAGEE NAME: *Thomas F. Borzak* ATTEST: *Car All*
BY: *Th F B* ITS: *Associate Director of Development*
SVP

#2 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Cary Goldman/Manager C All
NAME/TITLE
8770 W Bryn Mawr, St 1350 Chicago IL 60631
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Cary Goldman *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

#5 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Nicole Decker/Manager Nicole Decker
NAME/TITLE
776 Stonegate Dr HP IL 60035
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Nicole E. Decker *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

NOTARY CERTIFICATE - MORTGAGEE

STATE OF ILLINOIS }
COUNTY OF CHICAGO }SS

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT *Thomas F. Borzak* *Senior Vice President* (NAME) (TITLE), *Betsy Bank* (NAME) AND (NAME) WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH (TITLE) *Thomas F. Borzak* AND (TITLE) *Betsy Bank* (TITLE) *Senior Vice President* AND (TITLE) *Betsy Bank* HEREBY APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT OF SAID SAID *Betsy Bank* AS MORTGAGEE, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL
THIS 13 DAY OF November 2023

PRINT NAME TITLE
BY: *Car All* ATTEST: *Car All*
ITS: *Associate Director of Development*

REVISION RECORD

Table with 3 columns: No, Date, Description. Row 1: 1, 11/20/23, Initial recording.

#3 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Cary Goldman/Manager C All
NAME/TITLE
8770 W Bryn Mawr, St. 1350 Chicago IL 60631
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Cary Goldman *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

#6 OWNERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. I/WE HEREBY DEDICATE/DEDICATE FOR PUBLIC USE THE LAND SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, EASEMENTS, DRAINAGE AND PUBLIC SERVICES; AND HEREBY ALSO RESERVE/RESERVE AND GRANTS/GRANT TO THE VILLAGE OF CAROL STREAM AND THE UTILITY COMPANIES OPERATING NOW OR IN THE FUTURE UNDER A FRANCHISE FROM THE VILLAGE, THE UTILITY EASEMENTS, WHICH ARE SHOWN ON THE PLAT OR STATED ON THEIR STANDARD FORM WHICH IS ATTACHED HERETO.

Nicole Decker/Manager Nicole Decker
NAME/TITLE
776 Stonegate Dr HP IL 60035
ADDRESS
DATED THIS 9 DAY OF Nov 2023

NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, *Karen Ann Bolognia*, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
Nicole E. Decker *Manager* AND
PRINT NAME TITLE
OF SAID

OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS, WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AS SUCH
Manager AND
TITLE

RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGE THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL
THIS 9th DAY OF November 2023

Karen Ann Bolognia
NOTARY PUBLIC SIGNATURE
Karen Ann Bolognia
PRINT NAME
MY COMMISSION EXPIRES ON October 23 2027
MONTH DATE

EEB
Civil & Environmental Consultants, Inc.
1340 S. WILSON AVENUE, SUITE 100
PHILADELPHIA, PA 19104
TEL: 800.985.0026 • 610.487.8800 • FAX: 800.985.0027
WWW.EEBCON.COM

PLAT OF CONSOLIDATION

Subdiv in
27W364 NORTH AVENUE
WEST CHICAGO, ILLINOIS 60185

Made For
TIMBER HILL
8770 BRYN MAWR SUITE 1350
CHICAGO, IL 60631

DATE: 08/10/2023 SCALE: 1" = 50'
DRAWN BY: BTM CHECKED BY: MAJ
PROJECT NO: 304-443 APPROVED BY: DRM SHEET 2 OF 4
SV01

NO.	DATE	REVISION RECORD	DESCRIPTION
1	11/23/2023	PRELIMINARY PLAN	PRELIMINARY PLAN
2	11/23/2023	FINAL PLAN	FINAL PLAN
3	11/23/2023	REVISION	REVISION

VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

HEREBY, VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS,
CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION _____
DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD
ON _____ DAY OF _____, 20____.
THAT THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS
HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO
BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS
OF THE VILLAGE.
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF
CAROL STREAM, ILLINOIS THIS _____ DAY OF _____, 20____.

MAYOR _____ VILLAGE CLERK _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

APPROVED THIS _____ DAY OF _____, 20____
VILLAGE OF CAROL STREAM PLAN COMMISSION
CHAMPFERSON _____

DUPAGE COUNTY RECORDERS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

THIS INSTRUMENT _____ WAS FILED FOR
RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON
THE _____ DAY OF _____, A.D. 20____
AT _____ O'CLOCK ____M.

RECORDERS OF DEEDS

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, Jean Kozlowski, COUNTY CLERK OF DUPAGE
COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO
DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO
UNPAID DEFERRED TAXES, NO UNPAID SPECIAL ASSESSMENTS,
OR ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN
CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT
WHEATON, ILLINOIS,
THIS 14th DAY OF November, 2023.



Jean Kozlowski
COUNTY CLERK

CERTIFICATE CONCERNING DRAINAGE

STATE OF ILLINOIS }
COUNTY OF DU PAGE }SS

THE UNDERSIGNED HEREBY CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE AND
BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE
CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT SUCH
SURFACE WATER DRAINAGE WILL NOT BE OBTAINED BY SUCH SURFACE WATERS INTO
PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT
SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING
LAND OWNERS UNLESS BY CONSENT OF THE SUBDIVIDER. THE UNDERSIGNED
LAND OWNERS HEREBY CONSENT TO THE CONSTRUCTION OF THE SUBDIVISION, THE
UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE
EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS
THE FUTURE CONSTRUCTION OF THE SUBDIVISION TO THE EXTENT THAT THE
SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS
IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNIT
AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT
BY THE CONSTRUCTION OF THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE
ORDINANCES OF THE VILLAGE RELATING TO SURFACE WATERS, DRAINAGE, WATER
RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE
CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.
DATED THIS 24th DAY OF November, A.D. 2023

BY: [Signature] REGISTERED PROFESSIONAL ENGINEER



VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, [Signature], VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM,
ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED
PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS
JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED
TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS PLAT.
DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS
THE _____ DATE OF _____, 20____.

VILLAGE ENGINEER _____

FINANCE DIRECTOR CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, _____ FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY
THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS
OR ANY OF THE LAND INCLUDED IN THE PLAT.
DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS _____ DAY OF _____, 20____.

FINANCE DIRECTOR _____

ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION
WITH THE UNDERSTANDING THAT THE SUBDIVIDER SHALL BE RESPONSIBLE FOR THE
THE PLAN IN RELATION TO PLATS, AS AMENDED, A PLAN THAT MEETS THE
REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR
ACCESS DRIVELAYS TO STATE HIGHWAYS." WILL BE REQUIRED BY THE DEPARTMENT.

[Signature] REGIONAL ENGINEER
DATE 11th of November, A.D. 2023

SURVEYORS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, Douglas R. McQuinn, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR,
HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT REPRESENTATION THEREOF,
AND ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1: MARDON ACRES, BEING A SUBDIVISION OF PART OF SECTION 30,
LOT 33 IN MARDON TOWNSHIP, RANGE 9, EAST OF THE THIRD PRINCIPAL
MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 1948, AS
DOCUMENT 555355, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF PARCEL 1 IN THE ASSESSMENT PLAT OF THE EDWARD W. PLANE
ESTATE, BEING A SUBDIVISION OF PART OF SECTION 30, TOWNSHIP 40 NORTH,
RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, TOWNSHIP 40 NORTH,
RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN,
DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL
BEING A CROSS IN THE CENTER LINE OF STATE BOND ISSUE HIGHWAY ROUTE 64
ALSO KNOWN AS NORTH AVENUE, FOR A POINT OF BEGINNING, AND RUNNING
THENCE NORTH ALONG THE CENTER LINE OF THE PUBLIC HIGHWAY KNOWN AS
NORTH AVENUE, DISTANCE 100 FEET TO THE POINT OF BEGINNING, THENCE
MINUTES EAST PARALLEL WITH THE CENTER LINE OF SAID NORTH AVENUE FOR A
DISTANCE OF 867.60 FEET TO THE NORTHWEST CORNER OF LOT 33 IN MARDON
ACRES RECORDED AS DOCUMENT 555355; THENCE SOUTH PARALLEL WITH THE WEST
LINE OF SAID LOT 33, DISTANCE 100 FEET TO THE POINT OF BEGINNING;
SAID LOT 33 AND SAID WEST LINE EXTENDED SOUTH, 860 FEET TO THE CENTER LINE
OF NORTH AVENUE; THENCE NORTH 82 DEGREES 09 MINUTES WEST ALONG SAID
CENTER LINE 867.60 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE
DOCUMENT 313722, (EXCEPTING THEREFROM THAT PART TAKEN BY CONDEMNATION IN
CASE 98D-5), IN DU PAGE COUNTY, ILLINOIS.

PARCEL 3:
LOTS 34 AND 35 IN MARDON ACRES, BEING A SUBDIVISION OF PART OF SECTION 30,
TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART
OF SECTION 31, TOWNSHIP 40 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL
MERIDIAN, AS RECORDED OCTOBER 4, 1948, AS
DOCUMENT 555355, IN DU PAGE COUNTY, ILLINOIS.

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE
REQUIREMENTS FOR THE CONSTRUCTION OF HOUSING
AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NUMBER 170A20042A,
WITH AN EFFECTIVE DATE OF AUGUST 1, 2018, FOR THE COMMUNITY NUMBER
170197, IN DUPAGE COUNTY, STATE OF ILLINOIS, WHICH IS SUBJECT TO FLOOD
INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

THIS PLAT HAS BEEN REVIEWED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. ILLINOIS
UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED
HEREON.

GIVEN UNDER MY HAND AND SEAL
THIS 2 DAY OF November, 2023.



ILLINOIS LICENSED PROFESSIONAL
LAND SURVEYOR NO. 035-002992
LICENSED VALID THROUGH NOVEMBER 30, 2025

WAYNE TOWNSHIP HIGHWAY COMMISSIONER CERTIFICATE

I, [Signature], WAYNE TOWNSHIP HIGHWAY COMMISSIONER, DO
HEREBY CERTIFY THAT THE PLAT MEETS THE REQUIREMENTS OF THE
THE APPLICABLE REGULATIONS AND REQUIREMENTS REGARDING PLATS OF WAYNE
TOWNSHIP HIGHWAYS, AND THE REGULATIONS AND REQUIREMENTS, IF ANY,
GOVERNING PLATS OF SUBDIVIDED LAND ADOPTED BY THE WAYNE TOWNSHIP ROAD
DISTRICT AND/OR WAYNE TOWNSHIP, ILLINOIS.

DATED THIS 03 DAY OF November, A.D. 2023.

[Signature] WAYNE TOWNSHIP HIGHWAY COMMISSIONER

Civil & Environmental Consultants, Inc.
1111 N. LAKE STREET, SUITE 100, CHICAGO, IL 60610
PH: 630.963.6026 • FAX: 630.963.6028 • WWW.CECINC.COM

PLAT OF CONSOLIDATION

Subsists in
27W364 NORTH AVENUE
WEST CHICAGO, ILLINOIS 60185
Made for
TIMBER HILL
8770 BRYN MAWR SUITE 1350
CHICAGO, IL 60631

DATE: 08/10/2023 SCALE: 1" = 50'
DRAWN BY: BTR CHECKED BY: MAJ
PROJECT NO: 304-443 APPROVED BY: DRM

SV01
4 of 4

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

AGENDA ITEM
L-1 11/20/23

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
AEP ENERGY					
100 DELLA CT 10/05-11/03/23	13.81	01670300-53213	STREET LIGHT ELECTRICITY	3013130378 NOV-2023	
	<u>13.81</u>				
AMERICAN LEGAL PUBLISHING CORP					
EDITING-OCT 2023	96.00	01520000-52253	CONSULTANT	28880	
EDITING-AUG 2023	168.00	01520000-52253	CONSULTANT	27614	
	<u>264.00</u>				
ARAMARK UNIFORM & CAREER APPAREL GROUP INC					
FIRST AID SUPPLIES	69.42	01590000-53317	OPERATING SUPPLIES	72280	
	<u>69.42</u>				
C S FIRE PROTECTION DISTRICT					
PERMITS-OCT 2023	2,880.00	01-24416	DEPOSIT-FIRE DISTRICT PERMIT	PERMITS OCT-2023	
	<u>2,880.00</u>				
C S PUBLIC LIBRARY					
PPRT OCT 2023	15,559.88	01000000-41102	PERSONAL PROPERTY REPLAC TAXPPRT OCT 223		
	<u>15,559.88</u>				
CAROL CADLE					
CLOTH ALLOW-C CADLE SKECHERS	112.49	01660100-53324	UNIFORMS	SKECHERS 11/05/23	
	<u>112.49</u>				
CHICAGO METROPOLITAN AGENCY FOR PLANNING					
2024 LOCAL CONTRIBUTION	1,812.83	01520000-52234	DUES & SUBSCRIPTIONS	2024MUN 037	
	<u>1,812.83</u>				
CLARK BAIRD SMITH LLP					
LABOR COUNSEL-OCT 2023	1,186.25	01570000-52238	LEGAL FEES	17502	
	<u>1,186.25</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
CONCENTRA HEALTH SERVICES, INC					
DOT RANDOM TESTING	270.00	01600000-52225	EMPLOYMENT PHYSICALS	16778394	
	<u>270.00</u>				
CONSTANTINO HECKERMANN					
UNIFORM-SHOES C.HECKERMANN 11/02/23	149.99	01660100-53324	UNIFORMS	6840452	
	<u>149.99</u>				
CORE & MAIN LP					
GASKET MATERIAL	218.20	04201600-53317	OPERATING SUPPLIES	T857781	
1.5" METER & FLANGE	2,566.00	04201400-53333	NEW METERS	T805146	
2" METER & FLANGE	1,562.00	04201400-53333	NEW METERS	T805184	
2" METER & FLANGE	1,587.00	04201400-53333	NEW METERS	T701320	
	<u>5,933.20</u>				
CYBERSOURCE CORP					
CYBERSOURCE FEES-OCT 2023	12.92	04203100-52221	UTILITY BILL PROCESSING	CYBER SRC OCT-2023	
CYBERSOURCE FEES-OCT 2023	77.53	01610100-52256	BANKING SERVICES	CYBER SRC OCT-2023	
AUTHNET CC FEES-OCT 2023	30.00	01610100-52256	BANKING SERVICES	AUTHNET OCT-2023	
CYBERSOURCE FEES-OCT 2023	12.92	04103100-52221	UTILITY BILL PROCESSING	CYBER SRC OCT-2023	
	<u>133.37</u>				
DAHME MECHANICAL INDUSTRIES					
KUHN RD-BP 4 REPAIR	4,000.00	04201600-52244	MAINTENANCE & REPAIR	20230413	
	<u>4,000.00</u>				
DELUXE FOR BUSINESS					
BANK DEPOSIT SLIPS 10/25/23	93.15	01610100-53315	PRINTED MATERIALS	15189389	
	<u>93.15</u>				
DUPAGE COUNTY ANIMAL CARE & CONTROL					
ANIMAL SVC-SEP 2023	150.00	01662700-52249	ANIMAL CONTROL	21920	
	<u>150.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
DUPAGE COUNTY RECORDER					
RECORDING R2023-070417 TO R2023-070419	231.00	01520000-52233	RECORDING FEES	40530899	
RECORDING R2023-070379	57.00	01520000-52233	RECORDING FEES	40530900	
	288.00				
DUPAGE WATER COMMISSION					
WATER PURCHASE-SEP 2023	585,585.77	04201600-52283	DUPAGE CTY WATER COMMISSION	08/31/23-09/30/23	
	585,585.77				
FEECE OIL CO					
FUEL	1,034.24	01670200-53312	PWC DIESEL FUEL	4029543	
FUEL	683.05	04201600-53312	PWC DIESEL FUEL	4014984	
FUEL	814.41	01670400-53312	PWC DIESEL FUEL	4014984	
FUEL	840.32	04201600-53312	PWC DIESEL FUEL	4029543	
FUEL	1,001.92	01670400-53312	PWC DIESEL FUEL	4029543	
FUEL	288.98	04101500-53312	PWC DIESEL FUEL	4014984	
FUEL	840.68	01670200-53312	PWC DIESEL FUEL	4014984	
FUEL	355.52	04101500-53312	PWC DIESEL FUEL	4029543	
	5,859.12				
GIS CONSORTIUM					
GISC MEMBERSHIP	4,760.00	01652800-52257	GIS SYSTEM	709	
	4,760.00				
GOVTEMPSUSA LLC					
OFFICE MANAGER-D KALKE 10/22, 10/29/23	3,474.00	01590000-52253	CONSULTANT	4282321	
	3,474.00				
H & H ELECTRIC COMPANY					
STREET LIGHT REPAIRS PO-4051	687.96	01670300-52271	STREET LIGHT MAINTENANCE	42209	20240074
	687.96				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
HAWK FORD OF CAROL STREAM					
2023 FORD EXPLORER-VIN# B86843	42,288.26	10680000-54415	VEHICLES	2023 FORD-1000869	20240088
	<u>42,288.26</u>				
HR GREEN, INC					
CONSULTANT SVC PO-4602184	9,750.00	04200100-52253	CONSULTANT	168633	20240095
	<u>9,750.00</u>				
ILLINOIS L E A P					
2023 LEAP LUNCH-HOLMER 12/13/23	30.00	01660100-52234	DUES & SUBSCRIPTIONS	LEAP 12/13/23	
	<u>30.00</u>				
ILLINOIS SECRETARY OF STATE					
UNIT 462, SURE TRAC-2023 VIN-2404238	173.00	10620000-54415	VEHICLES	SURE TRAC-2023	
	<u>173.00</u>				
ILLINOIS STATE POLICE / BUREAU OF IDENTIFICATION					
LIVESCAN FEES, 01612-OCT 2023, ILL13340S	141.25	01660100-53317	OPERATING SUPPLIES	20231001612	
	<u>141.25</u>				
IMPERIAL SURVEILLANCE					
DOOR WIRING-PW	719.50	01652800-52253	CONSULTANT	209936	
REPLACEMENT READER-PW	930.24	01652800-52253	CONSULTANT	208786	
	<u>1,649.74</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
INTERGOVERNMENTAL PERSONNEL BENEFIT COOPERATIVE					
NOV 2023 INSURANCE	1,510.63	04100100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	2,158.05	04201400-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	13,950.81	01662400-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	3,748.60	04203100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	2,265.95	01670600-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	11,637.22	01620100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	1,618.52	01670200-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	1,618.52	01670700-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	8,200.63	04201600-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	6,797.90	01670400-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	11,608.43	01600000-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	8,040.50	01610100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	9,711.32	01670100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	7,553.21	04200100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	17,450.64	01664700-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	6,214.02	01662300-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	3,748.60	04103100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	1,294.84	01670300-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	6,191.47	01643700-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	2,158.05	04101500-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	971.10	01670500-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	5,084.08	01662500-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	86,775.65	01662700-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	8,092.74	01696200-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	4,341.78	01652800-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	12,035.22	01662600-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	33,713.15	01660100-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	3,895.25	01590000-51111	GROUP INSURANCE	11012023	
NOV 2023 INSURANCE	4,315.87	01640100-51111	GROUP INSURANCE	11012023	
	286,702.75				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
ITOUCH BIOMETRICS LLC					
LIVE SCAN MACHINE PO-4663196	2,000.00	01660100-52255	SOFTWARE MAINTENANCE	6404	20240094
LIVE SCAN MACHINE PO-4663196	15,510.00	03395000-54413	COMPUTER EQUIPMENT	6404	20240094
	<u>17,510.00</u>				
JOHN S NEENAN					
2" PUMP	452.70	04101500-53317	OPERATING SUPPLIES	86717	
	<u>452.70</u>				
KLEIN, THORPE & JENKINS, LTD					
GENERAL COUNSEL-OCT 2023	184.00	11740000-52238	LEGAL FEES	237596-237597	
GENERAL COUNSEL-OCT 2023	69.00	01510000-52238	LEGAL FEES	237596-237597	
GENERAL COUNSEL-OCT 2023	483.00	22490000-52238	LEGAL FEES	237596-237597	
GENERAL COUNSEL-OCT 2023	11,661.44	01570000-52238	LEGAL FEES	237596-237597	
	<u>12,397.44</u>				
KLUBER, INC.					
CONSTR OVERSIGHT PO-4069	6,533.80	11740000-55487	FACILITY CAPITAL IMPROVEMENT 8731		20240044
	<u>6,533.80</u>				
LANDSCAPE MATERIAL & FIREWOOD SALES INC					
WATER LEAK RESTOS	270.00	04201600-52286	PAVEMENT RESTORATION	40278.	
STONE-TOWER 2	833.44	04201600-54480	CONSTRUCTION	40212	
STONE-TOWER 2	421.13	04201600-54480	CONSTRUCTION	40152	
DIRT, SEED, REST	650.00	04201600-52286	PAVEMENT RESTORATION	40555	
	<u>2,174.57</u>				
MARK E RADABAUGH					
TAPING, EDITING 11/06/23	100.00	01590000-52253	CONSULTANT	23-0233	
	<u>100.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
METROPOLITAN MAYORS CAUCUS					
2022-2023 CAUCUS DUES	1,793.43	01520000-52234	DUES & SUBSCRIPTIONS	2023-86	
	<u>1,793.43</u>				
MID AMERICAN WATER INC					
6" VALVE-POTOMAC CT	2,480.00	04201600-53317	OPERATING SUPPLIES	224706A	
	<u>2,480.00</u>				
MIDWEST METER INC					
1" METER BASES	602.98	04201400-53333	NEW METERS	158744-IN	
MAG METER-EASTSIDE	181.98	04201400-53333	NEW METERS	0159368-IN	
	<u>784.96</u>				
MOTOROLA SOLUTIONS INC					
EQUIP PARTS	2,180.00	01662700-52244	MAINTENANCE & REPAIR	8281643344	
EQUIP PARTS	1,780.00	01662700-52244	MAINTENANCE & REPAIR	82881664866	
BODY CAMERAS PO-4663145	6,525.00	01662700-53350	SMALL EQUIPMENT EXPENSE	1187085951	20240089
	<u>10,485.00</u>				
MUNICIPAL CLERKS OF DUPAGE CO					
CLERKS MTG-DEC 2023	25.00	01520000-52222	MEETINGS	MCDC 12/06/23	
	<u>25.00</u>				
NMI					
CC GATEWAY FEES-OCT 2023	108.30	04103100-52221	UTILITY BILL PROCESSING	285336267	
CC GATEWAY FEES-OCT 2023	108.30	04203100-52221	UTILITY BILL PROCESSING	285336267	
	<u>216.60</u>				
PETTY CASH					
PETTY CASH 11/20/23	999.10	01-10307	PETTY CASH	PETTY CASH 11/20/23	
	<u>999.10</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
PHYSICIANS IMMEDIATE CARE-CHICAGO					
POST-OFFER & HEP B	110.00	01660100-52236	EMPLOYEE SERVICES	4362860	
POST-OFFER & HEP B	180.00	01600000-52225	EMPLOYMENT PHYSICALS	4362860	
	<u>290.00</u>				
POWERLINK ELECTRIC INC					
TRANSFER SWITCH REPLACE-KUHN RD PO-4098	7,703.00	04201600-52244	MAINTENANCE & REPAIR	23169-01	20240091
	<u>7,703.00</u>				
REBECHINI STUDIOS INC					
RETIREMENT PLAQUE-MELLOR	2,800.00	01680000-52219	TC MAINTENANCE	36930	
	<u>2,800.00</u>				
REFUNDS W&S FINALS					
	59.77	04-12110	ACCOUNT RECEIV WATER & SEWER	13075	
	79.41	04-12110	ACCOUNT RECEIV WATER & SEWER	13072	
	15.17	04-12110	ACCOUNT RECEIV WATER & SEWER	13076	
	16.80	04-12110	ACCOUNT RECEIV WATER & SEWER	13078	
	10.00	04-12110	ACCOUNT RECEIV WATER & SEWER	13073	
	61.43	04-12110	ACCOUNT RECEIV WATER & SEWER	13074	
	11.15	04-12110	ACCOUNT RECEIV WATER & SEWER	13079	
	17.12	04-12110	ACCOUNT RECEIV WATER & SEWER	13071	
	45.95	04-12110	ACCOUNT RECEIV WATER & SEWER	13077	
	<u>316.80</u>				
SANTACRUZ ASSOCIATES LTD					
TITLE & SERVICE COSTS PO-462677	1,704.00	11740000-55486	ROADWAY CAPITAL IMPROVEMEN	3849	
	<u>1,704.00</u>				
SCHROEDER ASPHALT SERVICES					
KLEIN CREEK-SEC I PO-462710	104,682.95	11740000-55486	ROADWAY CAPITAL IMPROVEMEN	2023-432	20240096
KLEIN CREEK-SEC I PO-462710	-5,234.15	11-21446	RETAINAGE SCHROEDER	2023-432	20240096
	<u>99,448.80</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
TESTING SERVICE CORP					
CONSTR MATERIALS-TEST PO-462706 PAY #2	1,100.00	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	N128890	20240062
QUALITY CONTROL SVC-MORTON RD PO-462678	1,282.00	11740000-55486	ROADWAY CAPITAL IMPROVEMENT	N128912	20240093
	<u>2,382.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
THE BOARD OF TRUSTEES OF THE UNIV OF ILL					
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-163	
LAB TESTING	105.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-232	
LAB TESTING	190.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-176	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-107	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1127 2022-258	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-10	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-210	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-108	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-111	
LAB TESTING	80.00	01662300-53317	OPERATING SUPPLIES	H1127 2022-257	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-233	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-31	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-234	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-109	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-27	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1127 2022-259	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-139	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-110	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-28	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1151 2023-38	
LAB TESTING	190.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-177	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-130	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1202 2023-204	
LAB TESTING	190.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-8	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-191	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-128	
LAB TESTING	180.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-211	
LAB TESTING	83.00	01662300-53317	OPERATING SUPPLIES	H1158 2023-37	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-157	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1126 2022-190	

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-180	
LAB TESTING	190.00	01662300-53317	OPERATING SUPPLIES	H1180 2023-129	
LAB TESTING	115.00	01662300-53317	OPERATING SUPPLIES	H1125 2022-178	
	4,217.00				
THE FIELDS ON CATON FARM, INC					
IRMA INSURANCE CLAIM	650.00	01670700-52268	TREE MAINTENANCE	3005	
TREE PLANTING PO-4097	27,440.00	01670700-52268	TREE MAINTENANCE	3003	20240090
IRMA INSURANCE CLAIM	650.00	01670700-52268	TREE MAINTENANCE	3004	
	28,740.00				
THIRD MILLENIUM ASSOCIATES INCORPORATED					
GREEN PAY FEE-OCT 2023	257.36	04103100-52221	UTILITY BILL PROCESSING	30601	
GREEN PAY FEE-OCT 2023	257.35	04203100-52221	UTILITY BILL PROCESSING	30601	
BILL PRINTING S/O POSTAGE 10/30/23	34.65	04203100-52229	POSTAGE	30600	
BILL PRINTING S/O POSTAGE 10/30/23	1,310.80	04203100-52221	UTILITY BILL PROCESSING	30600	
BILL PRINTING S/O POSTAGE 10/30/23	1,310.79	04103100-52221	UTILITY BILL PROCESSING	30600	
BILL PRINTING S/O POSTAGE 10/30/23	34.65	04103100-52229	POSTAGE	30600	
	3,205.60				
TRISOURCE SOLUTIONS LLC					
TRISOURCE CC FEES-OCT 2023	2,285.23	04203100-52221	UTILITY BILL PROCESSING	7833 11/02/23	
TRISOURCE CC FEES-OCT 2023	2,285.23	04103100-52221	UTILITY BILL PROCESSING	7833 11/02/23	
	4,570.46				
TROTTER & ASSOCIATES, INC					
PHASE II HYDRO MODEL PAY #4 PO-462707	6,109.00	04200100-52253	CONSULTANT	22546	
	6,109.00				
U S POSTMASTER					
POSTAGE WATER BILLS-OCT 2023	2,717.79	04203100-52229	POSTAGE	1529 10/30/23	
POSTAGE WATER BILLS-OCT 2023	2,717.80	04103100-52229	POSTAGE	1529 10/30/23	
	5,435.59				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
UNITED SYSTEMS & SOFTWARE, INC					
AMR ORDER PO-4036	9,869.32	04201400-53333	NEW METERS	102017	20240092
	<u>9,869.32</u>				
VIKING CHEMICAL COMPANY					
KUHN RD-NaCLO	322.40	04201600-53331	CHEMICALS	152387	
	<u>322.40</u>				
VILLAGE OF CAROL STREAM					
124 GERZEVSKE LN-E SIDE PUMP 09/05-10/01/2:	3.63	04200100-53220	WATER	02071203-21254	
960 GARY AVE-FTN 09/05-10/01/23	773.67	01680000-53220	WATER	02070875-20877	
245 KUHN RD-MAINT CONTROL BLDG 09/05-10/	7.16	04101500-53220	WATER	02070869-20871	
245 KUHN RD-BLOWER BLDG I 09/05-10/01/23	10.37	04101500-53220	WATER	02071228-21279	
245 KUHN RD-BLOWER BLDG II 09/05-10/01/23	0.49	04101500-53220	WATER	02071227-21278	
300 KUHN RD-WRC SINK & HOSES 09/05-10/01/:	0.34	04200100-53220	WATER	02071240-21291	
500 GARY AVE-VH 09/05-10/01/23	566.70	01680000-53220	WATER	02070874-20876	
301 LIES RD-FARMHOUSE 09/05-10/01/23	3.78	01680000-53220	WATER	02069015-18979	
245 KUHN RD-BTH MAINT BLDG 09/05-10/01/2:	2.30	04101500-53220	WATER	02071205-21256	
124 GERZEVSKE LN-PW CENTER 09/05-10/01/23	143.92	01670100-53220	WATER	02070873-20875	
124 GERZEVSKE LN-N GARAGE 09/05-10/01/23	96.68	01670100-53220	WATER	02070872-20874	
300 KUHN RD-CHLORINE ANALYZER 09/05-10/01	4.77	04200100-53220	WATER	02071204-21255	
245 KUHN RD-SLUDGE 09/05-10/01/23	1,006.47	04101500-53220	WATER	02071241-21292	
245 KUHN RD-ADMIN BLDG 09/05-10/01/23	25.51	04101500-53220	WATER	02070870-20872	
300 KUHN RD-RESERVOIR 09/05-10/01/23	19.45	04200100-53220	WATER	02071239-21290	
124 GERZEVSKE LN-WASHDOWN BIN 09/05-10/0	131.15	04200100-53220	WATER	02071206-21257	
	<u>2,796.39</u>				
VILLAGE OF GLENDALE HEIGHTS					
GUN RANGE ANNUAL FEE 2024	6,000.00	01662700-52239	RANGE	19398	
	<u>6,000.00</u>				

**Village of Carol Stream
Schedule of Bills
For Village Board Approval on NOVEMBER 20, 2023**

<u>Vendor / Description</u>	<u>Amount</u>	<u>Account Number</u>	<u>Account Description</u>	<u>Invoice No.</u>	<u>Purchase Order</u>
WEST SIDE TRACTOR SALES					
NV DEF HEADER	1,214.10	01696200-53354	PARTS PURCHASED	N45214	
	<u>1,214.10</u>				
WEX BANK					
FUEL-AUG 2023	732.20	01670500-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	1,560.49	04201400-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	90.77	01680000-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	724.47	01640100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	21,212.11	01670100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	2,135.59	01670200-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	-355.46	01000000-47407	MISCELLANEOUS REVENUE	91614280	
FUEL-AUG 2023	488.14	01670100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	75.71	04101100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	488.14	01670300-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	222.93	04200100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	610.17	01670600-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	846.09	01620100-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	1,037.29	01670400-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	574.91	04101500-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	58.08	01652800-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	2,675.12	04201600-53313	AUTO GAS & OIL	91614280	
FUEL-AUG 2023	610.17	01670700-53313	AUTO GAS & OIL	91614280	
	<u>33,786.92</u>				
WINDY CITY CLEANING EQUIP & SUPPLIES					
OC BRASS FITTING	19.99	01696200-53354	PARTS PURCHASED	005913	
	<u>19.99</u>				
GRAND TOTAL	<u><u>\$1,250,902.21</u></u>				

The preceding list of bills payable totaling \$ 1,250,902.21 was reviewed and approved for payment.

Approved by:



William Holmer –Village Manager

Date: 11-17-2023

Authorized by:

Frank Saverino Sr-Mayor

Julia Schwarze- Village Clerk

**ADDENDUM WARRANTS
NOVEMBER 07, 2023 Thru NOVEMBER 20, 2023**

Fund	Check #	Vendor	Description	Amount
General	A C H	Wheaton Bank & Trust	Payroll October 30, 2023 thru November 12, 2023	615,000.02
Water & Sewer	A C H	Wheaton Bank & Trust	Payroll October 30, 2023 thru November 12, 2023	85,964.64
				700,964.66

Approved this _____ day of _____, 2023

By: _____
Frank Saverino Sr-Mayor

Julia Schwarze - Village Clerk

Village of Carol Stream
General Fund Budget Summary
For the Month Ended October 31, 2023

MONTH

YTD

BUDGET

REVENUES

	Last Year	Current Year	Monthly Variance			Last Year	Current Year	YTD Variance			Annual	YTD	YTD	Variance	
	Oct	Oct	\$	%		YTD	YTD	\$	%		Budget	Budget	Actual	\$	%
Property Tax	\$ 22,177	\$ 15,773	\$ (6,405)	-29%		\$ 3,733,427	\$ 3,750,079	\$ 16,653	0%		\$ 3,800,000	\$ 3,750,000	\$ 3,750,079	\$ 79	0%
Sales Tax	816,967	721,755	(95,213)	-12%		4,618,747	4,401,880	(216,867)	-5%		9,600,000	4,739,067	4,401,880	(337,187)	-7%
Home Rule Sales Tax	624,040	537,159	(86,882)	-14%		3,488,491	3,249,251	(239,240)	-7%		7,200,000	3,654,832	3,249,251	(405,581)	-11%
State Income Tax	642,878	690,634	47,756	7%		3,581,169	3,448,719	(132,451)	-4%		6,190,000	3,281,856	3,448,719	166,863	5%
Fines (Court, Ord., ATLE, Towing)	104,597	132,079	27,482	26%		754,652	704,135	(50,517)	-7%		1,523,000	767,800	704,135	(63,665)	-8%
Natural Gas Use Tax	15,685	14,049	(1,636)	-10%		163,460	143,145	(20,315)	-12%		630,000	165,894	143,145	(22,749)	-14%
Other Taxes (Use, Hotel, PPRT Video Gaming, Alcohol)	311,562	293,300	(18,262)	-6%		1,664,097	1,628,159	(35,938)	-2%		3,305,400	1,748,488	1,628,159	(120,329)	-7%
Licenses	465	11,509	11,044	2378%		29,555	27,235	(2,320)	-8%		242,900	202,781	27,235	(175,547)	-87%
Cable Franchise Fees	22,675	-	(22,675)	-100%		265,437	218,370	(47,067)	-18%		500,100	250,050	218,370	(31,680)	-13%
Building Permits	59,602	78,892	19,290	32%		391,616	329,741	(61,875)	-16%		682,000	473,000	329,741	(143,259)	-30%
Fees for Services	67,320	82,940	15,620	23%		383,632	400,973	17,341	5%		721,600	418,450	400,973	(17,477)	-4%
Interest Income	67,602	77,977	10,375	15%		184,878	291,118	106,240	57%		605,000	302,500	291,118	(11,382)	-4%
All Other / Miscellaneous	68,588	68,254	(333)	0%		647,648	575,932	(71,716)	-11%		1,310,000	670,000	575,932	(94,068)	-14%
Revenue Totals	\$ 2,824,158	\$ 2,724,319	\$ (99,839)	-4%		\$ 19,906,809	\$ 19,168,738	\$ (738,071)	-4%		\$ 36,310,000	\$ 20,424,718	\$ 19,168,738	\$ (1,255,980)	-6%

EXPENDITURES

Fire & Police Commission	\$ 1,251	\$ 986	\$ (264)	-21%		\$ 14,013	\$ 8,825	\$ (5,188)	-37%		\$ 62,596	\$ 31,298	\$ 8,825	\$ (22,473)	-72%
Village Board & Clerk	5,672	9,698	4,026	71%		71,145	76,680	5,535	8%		156,850	78,425	76,680	(1,746)	-2%
Plan Commission & ZBA	784	513	(272)	-35%		2,461	2,163	(298)	-12%		6,925	3,463	2,163	(1,299)	-38%
Emergency Services	-	-	-	0%		-	-	-	0%		8,000	4,000	-	(4,000)	-100%
Legal Services	28,442	13,033	(15,409)	-54%		106,121	87,972	(18,148)	-17%		223,100	111,550	87,972	(23,578)	-21%
Administration	61,971	87,015	25,044	40%		488,835	497,725	8,890	2%		1,004,287	502,144	497,725	(4,419)	-1%
Employee Relations	58,183	35,614	(22,569)	-39%		233,780	218,257	(15,523)	-7%		516,772	258,386	218,257	(40,129)	-16%
Financial Management	51,316	49,844	(1,472)	-3%		385,902	389,672	3,770	1%		748,615	374,308	389,672	15,364	4%
Engineering Services	84,962	81,511	(3,451)	-4%		557,224	628,152	70,929	13%		1,253,239	640,951	628,152	(12,799)	-2%
Community Development	76,591	97,727	21,136	28%		521,067	617,219	96,152	18%		1,235,712	620,958	617,219	(3,740)	-1%
Information Technology	118,674	93,809	(24,864)	-21%		721,181	788,176	66,995	9%		1,683,029	841,515	788,176	(53,339)	-6%
Police	1,477,421	1,549,196	71,775	5%		9,260,340	9,596,454	336,114	4%		19,264,007	9,834,881	9,596,454	(238,427)	-2%
Public Works	249,450	284,489	35,039	14%		2,160,204	3,261,221	1,101,017	51%		5,442,797	3,273,593	3,261,221	(12,372)	0%
Municipal Building	18,124	28,262	10,139	56%		159,464	247,967	88,503	56%		563,481	297,243	247,967	(49,276)	-17%
Municipal Garage	(8,982)	51,892	60,874	-678%		(15,445)	37,997	53,442	-346%		-	-	37,997	37,997	100%
Transfers and Agreements	157,046	96,106	(60,940)	-39%		456,352	533,372	77,020	17%		1,053,000	676,000	533,372	(142,628)	-21%
Town Center	6,574	3,865	(2,708)	-41%		124,930	130,183	5,253	4%		137,590	137,590	130,183	(7,407)	-5%
Expenditure Totals	\$ 2,387,478	\$ 2,483,560	\$ 96,083	4%		\$ 15,247,572	\$ 17,122,034	\$ 1,874,462	12%		\$ 33,360,000	\$ 17,686,303	\$ 17,122,034	\$ (564,269)	-3%
Net Increase / (Decrease)	\$ 436,680	\$ 240,759	\$ (195,921)			\$ 4,659,237	\$ 2,046,703	\$ (2,612,534)			\$ 2,950,000	\$ 2,738,415	\$ 2,046,703	\$ (691,712)	

Village of Carol Stream
Water and Sewer Fund Budget Summary
For the Month Ended October 31, 2023

	MONTH				YTD				BUDGET				
	Last Year Oct	Current Year Oct	Monthly Variance \$ %		Last Year YTD	Current Year YTD	YTD Variance \$ %		Annual Budget	YTD Budget	YTD Actual	Variance \$ %	
REVENUES													
Water Billings	\$ 764,018	\$ 676,502	(87,516)	-11%	\$ 4,775,206	\$ 4,943,186	167,979	4%	\$ 9,064,000	\$ 4,829,997	\$ 4,943,186	113,188	2%
Sewer Billings	351,776	304,077	(47,699)	-14%	2,196,333	2,283,334	87,001	4%	4,125,000	2,198,118	2,283,334	85,216	4%
Penalties/Admin Fees	14,385	15,641	1,256	9%	79,469	78,636	(833)	-1%	151,000	75,500	78,636	3,136	4%
Connection/Expansion Fees	-	3,195	3,195	100%	-	3,195	3,195	100%	-	-	3,195	3,195	100%
Interest Income	36,470	81,017	44,546	122%	127,653	498,676	371,023	291%	540,000	270,000	498,676	228,676	85%
Rental Income	14,149	23,450	9,301	66%	84,540	96,438	11,898	14%	143,000	71,500	96,438	24,938	35%
All Other / Miscellaneous	485,225	12,732	(472,493)	-97%	745,441	407,049	(338,391)	-45%	418,500	385,250	407,049	21,799	6%
Revenue Totals	\$ 1,666,023	\$ 1,116,613	\$ (549,410)	-33%	\$ 8,008,642	\$ 8,310,514	\$ 301,872	4%	\$ 14,441,500	\$ 7,830,365	\$ 8,310,514	\$ 480,149	6%
EXPENDITURES													
Salaries & Benefits	160,884	183,773	22,889	14%	970,857	978,355	7,499	1%	2,275,989	1,136,285	978,355	(157,930)	-14%
Purchase of Water	521,585	592,814	71,229	14%	2,930,548	3,137,658	207,109	7%	5,929,000	3,159,428	3,137,658	(21,770)	-1%
WRC Operating Contract	168,424	383,987	215,563	128%	1,137,407	1,148,055	10,648	1%	2,176,000	1,069,002	1,148,055	79,053	7%
Maintenance & Operating	574,652	115,574	(459,078)	-80%	1,748,511	1,768,533	20,022	1%	2,657,090	1,328,545	1,768,533	439,988	33%
IEPA Loan P&I	214,325	214,325	-	0%	214,325	223,325	9,000	4%	368,434	214,325	223,325	9,000	4%
DWC Loan P&I	-	-	-	0%	52,967	51,986	(981)	-2%	51,987	51,987	51,986	(1)	0%
Capital Outlay	580,651	25,986	(554,665)	-96%	1,252,080	441,747	(810,333)	-65%	612,000	1,048,700	441,747	(606,954)	-58%
Expenditure Totals	\$ 2,220,521	\$ 1,516,459	\$ (704,062)	-32%	\$ 8,306,695	\$ 7,749,659	\$ (557,036)	-7%	\$ 14,070,500	\$ 8,008,272	\$ 7,749,659	\$ (258,612)	-3%
Net Increase / (Decrease)	\$ (554,498)	\$ (399,845)	\$ 154,652		\$ (298,054)	\$ 560,854	\$ 858,908		\$ 371,000	\$ (177,907)	\$ 560,854	\$ 738,761	

Village of Carol Stream
Capital Budget Summary
For the Month Ended October 31, 2023

	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Oct	Oct	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
CAPITAL PROJECTS FUND											
REVENUES											
Electricity Use Tax	\$ 164,201	\$ 167,734	\$ 3,533	2%	\$ 941,363	\$ 907,289	\$ (34,074)	-4%	\$ 1,825,000	\$ 907,289	50%
Real Estate Transfer Tax	67,827	41,001	(26,826)	-40%	516,085	249,482	(266,603)	-52%	900,000	249,482	28%
Telecommunications Tax	46,317	37,739	(8,578)	-19%	291,683	269,574	(22,109)	-8%	504,000	269,574	53%
Local Motor Fuel Tax	61,847	58,001	(3,846)	-6%	355,727	346,151	(9,575)	-3%	750,000	346,151	46%
Capital Grants	-	119,984	119,984	100%	124,024	264,381	140,357	113%	2,576,000	264,381	10%
Interest Income	49,352	86,954	37,601	76%	182,800	514,937	332,137	182%	800,000	514,937	64%
All Other / Miscellaneous	-	-	-	0%	109,348	-	(109,348)	-100%	-	-	0%
Revenue Totals	\$ 389,544	\$ 511,412	\$ 121,868	31%	\$ 2,521,029	\$ 2,551,815	\$ 30,786	1%	\$ 7,355,000	\$ 2,551,815	35%
EXPENDITURES											
Roadway Improvements	\$ -	\$ 7,806	\$ 7,806	100%	\$ 2,971,475	\$ 701,076	\$ (2,270,399)	-76%	\$ 2,309,000	\$ 701,076	30%
Facility Improvements	5,034	801,129	796,096	15815%	491,585	2,005,259	1,513,674	308%	4,105,000	2,005,259	49%
Stormwater Improvements	10,050	253,398	243,349	2421%	550,491	765,858	215,367	39%	3,000,000	765,858	26%
Miscellaneous	1,419	-	(1,419)	-100%	15,711	8,119	(7,592)	-48%	10,000	8,119	81%
Expenditure Totals	\$ 16,502	\$ 1,062,334	\$ 1,045,832	6338%	\$ 4,029,263	\$ 3,480,312	\$ (548,951)	-14%	\$ 9,424,000	\$ 3,480,312	37%
Net Increase / (Decrease)	\$ 373,042	\$ (550,922)	\$ (923,964)	-248%	\$ (1,508,233)	\$ (928,497)	\$ 579,737	-38%	\$ (2,069,000)	\$ (928,497)	45%

MFT FUND

REVENUES											
Motor Fuel Tax Allotments	\$ 142,416	\$ 156,883	\$ 14,466	10%	\$ 813,331	\$ 882,202	\$ 68,870	8%	\$ 1,694,000	\$ 882,202	52%
Capital Grants	-	-	-	0%	436,185	-	(436,185)	-100%	-	-	0%
Interest Income	12,927	17,706	4,778	37%	42,928	147,565	104,637	244%	160,000	147,565	92%
Revenue Totals	\$ 155,344	\$ 174,588	\$ 19,245	12%	\$ 1,292,444	\$ 1,029,767	\$ (262,678)	-20%	\$ 1,854,000	\$ 1,029,767	56%
EXPENDITURES											
Street Resurfacing - Capital	\$ -	\$ -	\$ -	0%	\$ -	\$ 2,223,660	\$ 2,223,660	100%	\$ 3,400,000	\$ 2,223,660	65%
Crack Filling	-	-	-	0%	-	79,743	79,743	100%	100,000	79,743	80%
Rebuild Illinois Bond Projects	2,641	257,900	255,259	9665%	20,129	1,417,245	1,397,116	6941%	1,748,000	1,417,245	81%
Expenditure Totals	\$ 2,641	\$ 257,900	\$ 255,259	9665%	\$ 20,129	\$ 3,720,648	\$ 3,700,519		\$ 5,248,000	\$ 3,720,648	71%
Net Increase / (Decrease)	\$ 152,703	\$ (83,312)	\$ (236,015)	-155%	\$ 1,272,315	\$ (2,690,882)	\$ (3,963,197)	-311%	\$ (3,394,000)	\$ (2,690,882)	79%

* Due to the uncertainty of timing of various capital improvement projects, no YTD budget estimates are shown.

Village of Carol Stream
TIF Fund Budget Summary
 For the Month Ended October 31, 2023

NORTH/SCHMALE TIF	MONTH				YTD				BUDGET					
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	YTD	Variance		
	Oct	Oct	\$	%	YTD	YTD	\$	%	Budget	Budget	Actual	\$	%	
REVENUES														
TIF Property Taxes	\$ -	\$ -	\$ -	0%	\$ 458,373	\$ 485,127	\$ 26,754	6%	\$ 472,000	\$ 472,000	\$ 485,127	\$ 13,127	3%	
Sales Taxes	10,131	20,993	10,862	107%	57,146	61,701	4,555	8%	120,000	60,000	61,701	1,701	3%	
Interest Income	2,837	5,991	3,154	111%	10,153	33,297	23,144	228%	50,000	25,000	33,297	8,297	33%	
Revenue Totals	12,968	26,984	14,016	108%	525,672	580,126	54,454	100%	642,000	557,000	580,126	23,126	4%	
EXPENDITURES														
Legal Fees	\$ -	\$ -	\$ -	0%	\$ 65	\$ -	\$ (65)	-100%	\$ 2,500	\$ 1,248	\$ -	\$ (1,248)	-100%	
Other Expenses	-	-	-	0%	148,764	157,167	8,403	6%	302,000	151,000	157,167	6,167	4%	
Expenditure Totals	\$ -	\$ -	\$ -	0%	\$ 148,829	\$ 157,167	\$ 8,339	6%	\$ 304,500	\$ 152,248	\$ 157,167	\$ 4,919	3%	
Net Increase / (Decrease)	\$ 12,968	\$ 26,984	\$ 14,016		\$ 376,843	\$ 422,958	\$ 46,115		\$ 337,500	\$ 404,752	\$ 422,958	\$ 18,206		

**Village of Carol Stream
Police Pension Fund Budget Summary
For the Month Ended October 31, 2023**

	MONTH				YTD				BUDGET				
	Last Year Oct	Current Year Oct	Monthly Variance \$ %		Last Year YTD	Current Year YTD	YTD Variance \$ %		Annual Budget	YTD Budget	YTD Actual	Variance \$ %	
POLICE PENSION FUND													
REVENUES													
Investment Income	\$ (1,743,249)	\$ 13,582	1,756,831	-101%	\$ (1,764,172)	\$ 1,602,944	3,367,116	-191%	\$ 4,100,000	\$ 2,050,000	\$ 1,602,944	(447,056)	-22%
Employee Contributions	53,266	52,558	(708)	-1%	334,198	346,731	12,532	4%	700,000	350,000	346,731	(3,269)	-1%
Village Contribution	264,678	273,778	9,100	3%	1,588,068	1,642,668	54,600	3%	3,285,332	1,642,668	1,642,668	-	0%
Other Revenues	50	-	(50)	-100%	50	59	9	17%	-	-	59	59	100%
Revenue Totals	\$ (1,425,255)	\$ 339,917	\$ 1,765,173	-124%	\$ 158,144	\$ 3,592,401	\$ 3,434,257	2172%	\$ 8,085,332	\$ 4,042,668	\$ 3,592,401	\$ (450,267)	-11%
EXPENDITURES													
Investment and Admin Fees	\$ 12,580	\$ 9,165	(3,415)	-27%	\$ 64,605	\$ 106,642	42,037	65%	\$ 90,000	\$ 45,000	\$ 106,642	61,642	137%
Participant Benefit Payments	348,166	367,249	19,083	5%	2,060,986	2,195,557	134,571	7%	4,661,000	2,260,500	2,195,557	(64,943)	-3%
Expenditure Totals	\$ 360,746	\$ 376,414	\$ 15,668	4%	\$ 2,125,591	\$ 2,302,199	\$ 176,608	8%	\$ 4,751,000	\$ 2,305,500	\$ 2,302,199	\$ (3,301)	0%
Net Increase / (Decrease)	\$ (1,786,001)	\$ (36,496)	\$ 1,749,505		\$ (1,967,447)	\$ 1,290,202	\$ 3,257,649		\$ 3,334,332	\$ 1,737,168	\$ 1,290,202	\$ (446,966)	

Village of Carol Stream
State and Federal Asset Seizure Fund Summary
For the Month Ended October 31, 2023

	MONTH				YTD				BUDGET*			
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of	
	Oct	Oct	\$	%	YTD	YTD	\$	%	Budget	Actual	Total	
State Asset Seizure Fund												
REVENUES												
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%	
State Drug Seizure	-	1,040	1,040	100%	954	38,408	37,454	3925%	-	38,408	100%	
State Money Laundering	-	-	-	0%	-	4,377	4,377	100%	-	4,377	0%	
State Vehicle Seizure	-	1,386	1,386	100%	5,324	14,412	9,089	171%	-	14,412	100%	
Revenue Totals	\$ -	\$ 2,426	\$ 2,426	100%	\$ 6,278	\$ 57,197	\$ 50,920	100%	\$ -	\$ 57,197	100%	
EXPENDITURES												
State Drug Seizure	7,592	10,251	2,658	35%	12,332	26,036	13,703	111%	-	26,036	100%	
State Money Laundering	-	-	-	0%	-	-	-	0%	-	-	0%	
State Vehicle Seizure	-	-	-	0%	-	-	-	0%	-	-	0%	
Expenditure Totals	\$ 7,592	\$ 10,251	\$ 2,658	35%	\$ 12,332	\$ 26,036	\$ 13,703	111%	\$ -	\$ 26,036	100%	
Net Increase / (Decrease)	\$ (7,592)	\$ (7,824)	\$ (232)	3%	\$ (6,055)	\$ 31,162	\$ 37,216	100%	\$ -	\$ 31,162	100%	
Federal Asset Seizure Fund												
REVENUES												
Transfer from General Fund	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ -	\$ -	0%	
Federal DOJ Seizure	-	-	-	0%	751	-	(751)	-100%	-	-	100%	
Federal Treasury Seizure	-	-	-	0%	-	-	-	0%	-	-	0%	
Revenue Totals	\$ -	\$ -	\$ -	0%	\$ 751	\$ -	\$ (751)	-100%	-	\$ -	100%	
EXPENDITURES												
Federal DOJ	\$ 3,804	\$ -	\$ (3,804)	-100%	14,670	15,563	894	6%	\$ -	\$ 15,563	100%	
Federal Treasury	-	-	-	0%	-	-	-	0%	-	-	0%	
Expenditure Totals	\$ 3,804	\$ -	\$ (3,804)	-100%	\$ 14,670	\$ 15,563	\$ 894	100%	\$ -	\$ 15,563	100%	
Net Increase / (Decrease)	\$ (3,804)	\$ -	\$ 3,804	-100%	\$ (13,919)	\$ (15,563)	\$ (1,644)	100%	\$ -	\$ (15,563)	100%	

* Due to the uncertainty of timing of revenues and expenditures, no YTD budget estimates are shown.

Village of Carol Stream
Equipment Replacement Fund Budget Summary
For the Month Ended October 31, 2023

EQUIPMENT REPLACEMENT FUND	MONTH				YTD				BUDGET*		
	Last Year	Current Year	Monthly Variance		Last Year	Current Year	YTD Variance		Annual	YTD	% of
	Oct	Oct	\$	%	YTD	YTD	\$	%	Budget	Actual	Total
REVENUES											
Transfer - Engineering	\$ -	\$ -	-	0%	\$ 5,473	\$ 28,662	23,189	424%	\$ 28,662	\$ 28,662	100%
Transfer - Community Dev.	-	-	-	0%	6,203	6,203	-	0%	6,203	6,203	100%
Transfer - Police	-	-	-	0%	314,176	405,752	91,576	29%	405,752	405,752	100%
Transfer - PW Streets	-	-	-	0%	505,406	1,104,394	598,988	119%	1,104,394	1,104,394	100%
Transfer - Municipal Building	-	-	-	0%	4,000	31,000	27,000	675%	31,000	31,000	100%
Transfer - WRC	-	-	-	0%	31,137	(91,724)	(122,861)	-395%	(91,724)	(91,724)	100%
Transfer - Water	-	-	-	0%	81,679	221,407	139,728	171%	221,407	221,407	100%
Revenue Totals	\$ -	\$ -	\$ -	0%	\$ 948,074	\$ 1,705,694	\$ 757,620	0%	\$ 1,705,694	\$ 1,705,694	100%
EXPENDITURES											
Vehicles - Engineering	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -	0%	\$ 35,000	\$ -	0%
Vehicles - Community Dev.	-	-	-	0%	-	-	-	0%	-	-	0%
Vehicles - Police	1,000	-	(1,000)	-100%	236,225	249,064	12,839	5%	140,000	249,064	178%
Vehicles - PW Streets	326	7,908	7,582	2326%	50,371	344,095	293,724	583%	651,250	344,095	53%
Vehicles - Municipal Building	-	-	-	0%	-	-	-	0%	65,000	-	0%
Vehicles - WRC	-	-	-	0%	-	264,923	264,923	100%	266,250	264,923	100%
Vehicles - Water	500	-	(500)	-100%	500	11,742	11,242	2248%	42,000	11,742	28%
Expenditure Totals	\$ 1,826	\$ 7,908	\$ 6,082	333%	\$ 287,096	\$ 869,823	\$ 582,727	203%	\$ 1,199,500	\$ 869,823	73%
Net Increase / (Decrease)	\$ (1,826)	\$ (7,908)	\$ (6,082)		\$ 660,978	\$ 835,871	\$ 174,893		\$ 506,194	\$ 835,871	

* Due to the uncertainty of timing of vehicle purchases, no YTD budget estimates are shown.

Village of Carol Stream
Schedule of Cash and Investment Balances
 October 31, 2023

FUND	CASH	LGIPs*	INVESTMENTS	TOTAL CASH & INVESTMENTS	LAST YEAR 10/31/2022
GENERAL FUND	\$ 360,938.24	\$ 11,390,767.10	\$ -	\$ 11,751,705.34	\$ 13,260,971.90
WATER & SEWER FUND	217,515.75	15,522,476.60	-	15,739,992.35	10,944,382.98
CAPITAL PROJECTS FUND	952,442.92	18,686,388.10	-	19,638,831.02	19,257,657.60
MFT FUND	-	3,775,083.98	-	3,775,083.98	5,183,216.93
EQUIPMENT REPL. FUND	-	4,980,674.20	-	4,980,674.20	4,941,401.42
NORTH/SCHMALE TIF FUND	589,142.31	1,285,084.99	-	1,874,227.30	1,511,238.79
POLICE PENSION FUND	223,668.53	2,904,771.27	66,857,040.26	69,985,480.06	59,764,279.97
ARPA GRANT FUND	-	-	-	-	4,787,348.64
STATE ASSET SEIZURE FUND	306,190.85	-	-	306,190.85	328,494.17
FEDERAL ASSET SEIZURE FUND	96,301.61	-	-	96,301.61	124,273.89
TOTAL	<u>\$ 2,746,200.21</u>	<u>\$ 58,545,246.24</u>	<u>\$ 66,857,040.26</u>	<u>\$ 128,148,486.71</u>	<u>\$ 120,103,266.29</u>

* Local Government Investment Pools (LGIP) include the Illinois Funds and PMA IPRIME.