

# *Village of Carol Stream*

## AGENDA

### REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

MONDAY, January 8, 2024 AT 6:00 P.M.

*ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON*

- I. Roll Call: Present:  
Absent:
  
- II. Approval of Minutes: November 27, 2023
  
- III. Public Hearing  
  
**23-0040 – Green & Bransford LLC DBA Altius– 506 S. Schmale Rd**  
*Special Use Permit for an Adult-Use Cannabis Dispensary*  
  
**23-0041 – CannaCloud, LLC – 27W261 & 27W301 North Ave**  
*Special Use Permit for an Adult-Use Cannabis Dispensary, North Avenue Corridor Review*  
  
**23-0045 –Veltiste IL – 720 E. North Ave**  
*Text Amendment - Cannabis Dispensaries (Limit number of dispensaries and increase distance between dispensaries.)*
  
- IV. Presentation:
  
- V. Old Business:
  
- VI. New Business:
  
- VII. Report of Officers:
  
- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
November 27, 2023.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:02 p.m. and directed Sara Van Winkle, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi

Absent: 2 Commissioner Battisto and Commissioner Petella

Also Present: Tom Farace, Planning and Economic Development Manager, Sara Van Winkle  
Planning and Permitting Assistant and a representative from County Court  
Reporters

**MINUTES:**

Commissioner Menghini moved and Commissioner Morris stated a correction on the second page of the minutes to the name Fr. Mark Hughes corrected to Fr. Marek Jurzyk. Chairman Parisi asked to have the motion moved with the correction. Commissioner Menghini moved and Commissioner Tucek seconded the motion to approve the minutes of the Regular Meeting held on November 13, 2023.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Battisto and Commissioner Petella

The motion passed by a unanimous vote.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Christopher moved and Commissioner Morris seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Battisto and Commissioner Petella

The motion passed by unanimous vote.

**Case #23-0043 – Veltiste IL – 720 E. North Avenue**

*Amendment to a Special Use Permit for an Adult-Use Cannabis Dispensary*

Chairman Parisi swore in Ms. Medina Uddin, 720 E. North Ave, Carol Stream, Illinois, and asked her to provide her presentation.

Ms. Uddin stated she was here to request more time to complete the exterior projects of repaving the parking lot and landscape to the spring and or summer season 2024. She stated she is having a difficult time finding companies who will do this type of project before the end of the year due to weather. Ms. Uddin stated that they have had a conversation with their neighbors Jubilee Furniture Store to see if they wanted to repave the parking lot together in the spring and may add more parking by expanding lot lines for more spaces.

Tom Farace read the Staff Report and gave a brief description about Veltiste IL and their request of approval for an amendment to a special use permit for an adult use cannabis dispensary. The applicant is currently working on renovations and anticipates the dispensary opening shortly. One of the conditions of the approval needed for the special use included improvements to the parking lot and installation of landscaping, the applicant is requesting to extend the length of time in order to complete all the improvements. Mr. Farace continues by stating the existing parking lot in in poor condition, and the applicant has proposed to resurface and restripe the parking lot. In addition, overgrown landscaping around the building will be removed and replaced and or preserved and trimmed. This time of the year, both the landscaping and repaving the parking lot are not feasible. The applicant has proposed to complete the work by the spring. Staff supports the request and extended the timeframe to June 30, 2024. By staff recommending an even longer extension, it should allow more than sufficient time for the completion of the paving and landscape work.

No one was present in the audience or on line for questions.

Chairman Parisi asked for questions from the Commission.

Commissioner Menghini asked if the applicant will be able to uphold the three recommendations that staff has asked for.

Ms.Uddin responded yes and stated that the parking lot and landscape work will be complete by June 30, 2024.

Commissioner Meneghini asked if they would be able to comply with all three conditions.

Ms. Uddin stated yes.

Commissioner Meneghini had no further questions.

Commissioner Morris had no questions.

Commissioner Christopher asked if the work done would be a mill and resurface.

Ms. Uddin responded that she believed it would be.

Commissioner Christopher proceeded to let the applicant know he was at the property over the past weekend on Saturday, said there were several potholes throughout the parking lot, and could be a

hazard if not get worse as plow trucks will be in the lot over the winter and tearing up the asphalt even more.

Mr. Farace suggested to cold patch the potholes for the season as a temporary solution.

Ms. Uddin asked if that were something, an asphalt company would do in the winter.

Both Mr. Farace and Commissioner Christopher replied yes and Commissioner Christopher gave a brief explanation of what cold patching was.

Commissioner Meneghini moved the motion to recommend approval provided the applicant would suffice the requirement of utilizing cold patchwork where is needed and the three conditions staff has brought forward. Commissioner Tucek seconded the motion provided no further discussion.

The results of the roll call vote were:

Ayes: 5 Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Battisto and Commissioner Petella

The motion carried by unanimous vote.

This case will go before the Village Board on Monday, December 4, 2023, at 6:00 PM for review.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Meneghini moved and Commissioner Morris seconded the motion.

Ayes: 5 Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Battisto and Commissioner Petella

The motion is closed by unanimous vote.

**NEW BUSINESS:**

Tom Farace gave a brief update on local projects with in village including timelines of the projects, descriptions of the businesses, and when they could be opening.



Commissioner Christopher had questions in particular about the project next to the building that currently houses American Sale.

Mr. Farace answered letting him know that a Bodyworks will be the sole use on the property.

Commissioner Morris had a question about the annexations going on with in the Village.

Mr. Farace gave information about specific locations and timelines.

Mr. Farace wanted to mention also from the previous meeting about the limiting request of one cannabis dispensary and it was proposed as two and including a buffer of a 2.5 miles radius that another dispensary could not open with in. Mr. Farace continued to explain that per the village attorney this was a change to the amendment and will need to come back to the next meeting on January 8, 2024 for review.

Mr. Farace stated the Commission can vote on canceling the December 11, 2023, and December 26, 2023 meeting due to the lack of agenda item and the village hall is closed

Chairman Parisi asked to move the motion to cancel the meetings in December and Commissioner Menghini moved and Commissioner Christopher seconded the motion with no further discussion.

The results of the roll call vote were:

Ayes:	5	Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi
Nays:	0	
Abstain:	0	
Absent:	2	Commissioner Battisto and Commissioner Petella

The motion passed by unanimous vote.

**PRESENTATION:**

**OLD BUSINESS:**

**OTHER BUSINESS:**

**ADJOURNMENT:**

At 6:18 p.m. Commissioner Christopher moved and Commissioner Tucek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes:	5	Commissioners Tucek, Christopher, Morris, Meneghini, and Chairman Parisi
Nays:	0	
Abstain:	0	

Absent: 2 Commissioner Battisto and Commissioner Petella

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Sara Van Winkle  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

January 8, 2024

**TO:**  
Chairperson and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Bravo Berisha, Assistant Planner

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

A Special Use Permit for an  
Adult Use Cannabis Dispensary  
as outlined in Section 16-4-9 of  
the Carol Stream Unified  
Development Ordinance, in  
accordance with Section 16-3-  
11 of the UDO

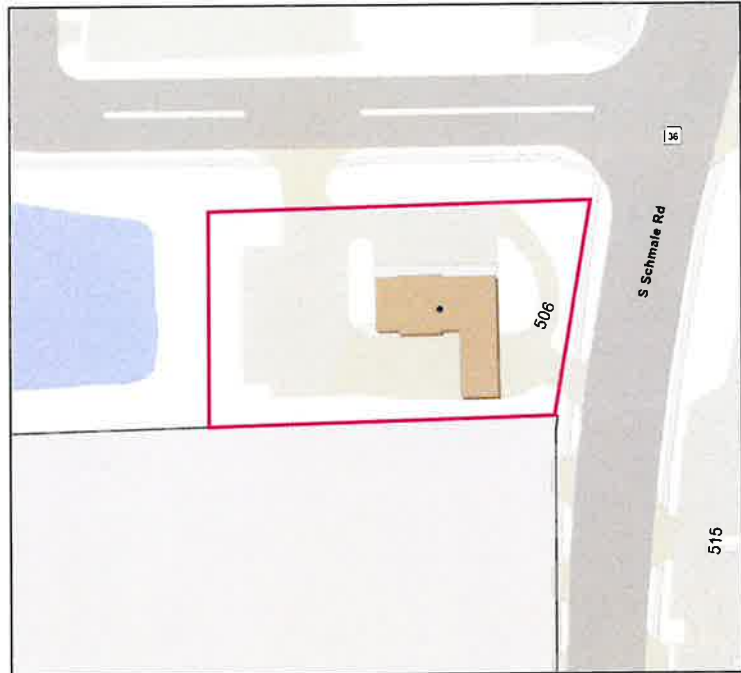
**APPLICANT/ CONTACT:**  
Mr. Daniel Shapiro  
Shapiro & Associates Law  
618 Academy Drive, Unit  
B  
Northbrook, IL 60062



**CASE #:** 23-0040

**LOCATION:** 506 S. Schmale Road

**PROJECT NAME:** Green & Bransford LLC / Altius



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Vacant)	Commercial
North	B-3 General Business District	Commercial (Firestone)	Commercial
South	B-2 Local Business District/ Unincorporated DuPage County	Commercial (Jiffy Lube)	Commercial
East	B-3 General Business District	Commercial (Home Depot)	Commercial
West	B-3 General Business District	Commercial (Geneva Crossing Shopping Center)	Commercial

The property highlighted above is located on the southwest corner of Schmale Road and Main Place.

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## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for commercial uses according to the Village's 2016 Comprehensive Plan. The proposed cannabis dispensary fits within this designation.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Cover Letter dated October 18, 2023, Operations Narrative, Public Notice, Existing Conditions & Demo Plan (Exhibit A), Site Development Plan (Exhibit B), Traffic Circulation Plan (Exhibit C), Floor Plan (Exhibit D),

Mechanical Floor Plan (Exhibit E), Egress Plan (Exhibit F) Landscape Plan (Exhibit G), Exterior Elevations (Exhibit H), Color Renderings (Exhibit I-1-I-3), Signage Plan (Exhibit J), Opposition Letter from The Goddard School dated January 2, 2024.

**BACKGROUND:**

Mr. Daniel Shapiro of Shapiro & Associates Law, on behalf of Green & Bransford LLC (Altius), requests approval of a Special Use Permit for an Adult Use Cannabis Dispensing Organization proposed to be located at 506 S. Schmale Road. The subject property is vacant and houses the former Bank of America building.

On January 1, 2020, The Cannabis Regulation and Tax Act (CRTA) went into effect, and legalized and regulated the production, consumption, and sale of cannabis in Illinois. In late 2019 and prior to the CRTA going into effect, the Plan Commission reviewed, and the Village Board approved, zoning text amendments to also allow adult use (recreational) cannabis dispensaries as a special use in the B-4 District.

In November and December 2022, the Village Board discussed possible zoning changes for dispensaries in Carol Stream given recent changes approved by the DuPage County Board for unincorporated areas. At the January 9, 2023 PC/ZBA meeting, a text amendment to amend the UDO and allow cannabis dispensaries as a special use in the B-3 General Business District was recommended for approval, and was subsequently approved by the Village Board on January 16, 2023. A provision was also adopted which updated location requirements for cannabis dispensaries, and stated that a dispensary cannot be located within a 1,500 foot radius of any other dispensing organization located within or outside the village, or be located within 100 feet of any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station.

In May 2023, a special use permit was granted to Veltiste IL, for a dispensary to be located at 720 E. North Avenue (Fuego Cannabis, now known as Bisa Lina Cannabis). It is anticipated that Bisa Lina will be opening shortly, and the property owner/operator of Bisa Lina has submitted a text amendment request to limit the number of dispensaries in Carol Stream to two dispensaries, and to increase the buffer between dispensaries from 1,500 feet to 2.5 miles (Case No. 23-0045). This application will also be reviewed by the PC/ZBA at their January 8, 2024 meeting.

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**Staff Analysis**

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**SPECIAL USE FOR AN ADULT USE CANNABIS DISPENSING ORGANIZATION**

The following information, as required in accordance with Section 16-4-9 of the UDO, has been submitted for review of the proposed cannabis dispensary (the applicant has provided individual plans or reports for each provision stipulated in Section 16-4-9 of the UDO, and has provided a cover letter that more succinctly describes operations and all other facets of the proposed business):

### Site Plan/Landscape Plan

The applicant has submitted a site plan and landscape plan denoting proposed modifications to the subject property.

- The building and property are proposed to be updated, with a white paint scheme for the building and new wall signage.
- Miscellaneous debris located around the property will be removed.
- Additional parking spaces will be created on the south side of the property. The parking lot will be resurfaced and restriped accordingly, and new parking lot lighting is proposed.
- From a landscaping perspective, existing plant material will be preserved and maintained.
- Signage concerning traffic circulation will be updated.
- A trash enclosure and a secure delivery area will be constructed on the south side of the building. The southernmost lane will remain and will be used only for traffic circulation.

### Floor Plan/Purchasing Process

The applicant has submitted a floor plan depicting how the interior of the building will be modified for the dispensary business. The applicant has also provided a narrative of operations describing how a customer will enter and leave the business.

- The existing front entrance on the north side of the building will remain as the front entrance. Customers will enter the lobby area and will be required to present a valid, government-issued ID.
- From there, customers will be buzzed into the kiosk lounge/retail area through the controlled entrance, which will account for approximately 1,170 square feet of space and include product display areas. Public restrooms will also be provided.
- Areas restricted to employees only will include the sales processing/cash register area, the vault and storage areas where products will be stored, delivery area in the south of the building, and employee office/break room areas.
- Employees will meet each customer and provide guidance in response to the customer's goals for the visit. The employee will direct customers to either the pre-order or quick order lines at the transaction counter or into the sales and product information area to be helped by a Sales Floor Agent.
- Altius will have pre-order available through their website and a loyalty program for customers.
- All terminals, including those on the sales floor, will have a dedicated, secure cash drawer. In order to best accommodate customers, Altius will have an ATM available for customer use in the retail area.
- Once the purchase transaction and product dispensing are complete, the customer will be directed to the mantrap exit. Customers are not allowed to remain in the retail area after the transaction and dispensing are complete. Customers are only allowed to exit through the dedicated exit, outfitted with a two-door system and Request-to-Exit detector.
- It should be noted that the Illinois Department of Financial and Professional Regulation (IDFPR) oversees inspection and compliance requirements for the proposed dispensary.



IDFPR will send investigators to audit the premises, and make sure it is in adherence to all code regulations for cannabis operations. These inspections include at a minimum, floor plan inspection, signage inspection, vault inspection, camera layout, and cash and record storage inspection.

- It should also be noted that the UDO does not allow the on-site consumption of cannabis products, and dispensary staff will make sure that consumption does not occur in and around the facility or within the parking lot. In addition, Village Requirements for Adult Use Cannabis Dispensaries prohibit the use of drive-through service and this is a condition of approval for Altius.

#### Dispensary Location

- The UDO requires that a dispensary be located at least 1,500 feet away from any other dispensary, and be located at least 100 feet away from any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station within or outside the village. It should be noted that even though the 100-foot distance requirement for dispensaries only pertains to the aforementioned institutions, the proposed dispensary will also be over 200 feet away from The Goddard School daycare. The Goddard School submitted a letter voicing their opposition to the proposed dispensary.
- The proposed dispensary location at 506 S. Schmale Road meets the location criteria.

#### Operations Plan

The applicant has submitted a Narrative of Operations and asserts that all operations will comply with the Cannabis Regulation and Tax Act (CRTA).

- Proposed hours of operation for the dispensary will be 9:00am to 9:00pm Monday through Thursday, 7:00am to 10:00pm on Friday and Saturday, and 7:00am to 9:00pm on Sunday. It should be noted that the CRTA prohibits dispensaries from being open between 10:00pm and 6:00am. The proposed hours of operation will meet regulatory requirements.
- Altius is anticipating that there will be 12 employees during the busiest shift. The employees will consist of a Shift Lead, Fulfillment Agents and Dispensing Agents, and Security Personnel.
- According to the Narrative of Operations, there will be a daily reconciliation of inventory, which includes counting every cannabis product in the store and verifying physical inventory matches the anticipated inventory shown in the state traceability system which tracks all cannabis products from seed to final sale.
- Products for sale will include cannabis and non-cannabis items, including but not limited to branded items such as T-shirts, hats, hoodies, and key chains as well as paraphernalia items such as rolling papers, smoking paraphernalia, and lighters.
- Products will be tracked, managed, packaged and labeled in accordance with all State regulations.
- In addition, vendors completing deliveries will enter and leave through the secure loading door, where they will need to present their Department-issued Agent badges to an employee prior to being allowed entry, and then sign-in to the Vendors Log once in the secure loading area. All other vendors will enter and leave through the entrance vestibule. All vendors will

area. All other vendors will enter and leave through the entrance vestibule. All vendors will be required to sign-out upon exit. The dispensary will abide by all occupancy regulations and will maintain compliance with all State and local building, fire and zoning requirements or regulations.

#### Disposal Plan

The applicant's Waste Disposal Plan describes proposed disposal of products at the dispensary, whether products have expired or deemed unusable.

- The applicant will utilize methods approved by the IDFPR to ensure proper destruction and disposal of such products. Likewise, the applicant will contract with an approved waste management services provider to pick up and dispose of all facility waste, which will be scheduled for the same day as destruction whenever possible.

#### Ventilation Plan

The applicant has submitted a Mechanical Floor Plan (Ventilation Plan) which indicates that a carbon activated filtration system will be used to eliminate cannabis odors from the immediate exterior of the building (should there be any), and between operations within the building.

- It should be noted that all items coming to the facility are sealed and pre-packaged, and there will be no unpacking or unsealing of contents in the store or on premise.
- All cannabis items will only be located in the restricted vault room, until sold to a customer. Therefore, there should be no odor transmission occurring outside of the building.
- Furthermore, customers are prohibited from opening and utilizing cannabis products on-site, which should alleviate odors in the parking lot.
- In the event that odor permeates through the building, the carbon activated filtration system should eliminate the problem.
- In addition, the applicant will ensure compliance with odor mitigation procedures through day-to-day operations, including keeping doors shut, changing carbon filters, and keeping all trashcans tightly locked and secured. Thorough cleaning policies will help mitigate potential odor issues.

#### Security Plan

The submitted Security Plan states how the dispensary operator will prevent and detect diversion, theft, or loss of cannabis product, currency, or unauthorized intrusion.

- A sophisticated security system will be installed, which will include intrusion devices, cameras inside and outside the building for surveillance, and other access control measures. Procedures also include provisions for diversion prevention, security and restricted access points, usage of security alarm systems, inventory control, internal loss prevention measures, reporting of incidents or irregularities, and security record keeping.



- As mentioned, the proposed dispensary will have several security cameras, which will provide unobstructed views of all interior dispensary areas, including points of entry and exit, the safe and vault room, sales areas, and where waste is stored and destroyed.
- Cameras will also be positioned outside on several spots on the exterior of the building, to provide unobstructed views of its exterior including the entrance area, parking lot, delivery area, and on all sides of the building.
- The proposed security alarm system will comply with State regulations, and will outfit the dispensary with a perimeter alarm on all entry points, along with silent holdup alarms, panic alarms, and smoke and fire alarms.
- The proposed security system shall include after-hours intrusion alarms that will notify the Security Monitoring Provider and the Village’s dispatch organization of any security issues (DuComm).
- Security personnel, through SSP Security, will be at the dispensary during all hours of operation, along with providing security during opening, closing, and delivery procedures.
- Exterior lighting will be updated to augment other security measures, provide a well-lit property, and meet lighting requirements in the UDO based on the submitted photometric plan.
- Carol Stream’s Police Department has reviewed the submitted security plan, along with all other submitted documents for the dispensary proposal, and deems it acceptable.

Parking Study

- Staff conducted the following parking study for the site:

Business	Code Requirement	Spaces Required
Proposed Dispensary 6,200 S.F. NFA	4 spaces / 1,000 S.F. NFA	25
<b>Parking Spaces Provided:</b>		<b>27 spaces (2 ADA)</b>
<b>Parking Surplus:</b>		<b>2 spaces</b>

- Staff can confirm that the site meets Code Requirements and can support the parking layout and the additional parking spaces on the south side of the property. Staff believes that parking should be sufficient to meet the demand of the proposed dispensary. However, in the event that parking demand routinely exceeds the number of parking spaces available on the property once the facility opens, Staff is recommending a condition of approval that will allow staff to require the installation of additional parking.

## Exterior Appearance

- As already described, the applicant proposes to have a white paint scheme over the existing brick. Staff supports the paint scheme and believes it will complement the surrounding properties.
- Wall signage is proposed on the north and east facades of the building, which will meet sign regulations in the UDO. The applicant is also proposing a monument sign, which also meets the regulations in the UDO.
- Please note that the UDO regulations for dispensaries does not allow signage that, among other requirements, displays cannabis or contains any slang or colloquial term for cannabis or cannabis paraphernalia. The applicant has agreed to this provision and staff recommends that a condition of approval be included for the special use permit that reiterates this requirement.





Performance and Other Standards

The applicant has agreed to or has acknowledged the following stipulations per the UDO:

- All uses shall provide evidence of conformity to the performance standards for noise, vibration, smoke, dust, odor, heat, glare, fire hazard and other objectionable influences established by the State of Illinois and administered by the Illinois Environmental Protection Agency, the United States of America and administered by the federal environmental agency, and any ordinance of DuPage County or the Village of Carol Stream.

- All dispensing organizations shall abide by all other applicable state and village regulations and requirements. The facility may not conduct any sales or distribution of cannabis other than as authorized by the Act, and shall obtain and maintain at all times valid licensing, certification, and/or accreditation by appropriate, local, state and national bodies charged with the regulation of adult-use or medical cannabis business establishments and shall adhere to all governing local, state and national codes and regulations.

Staff has reviewed the various plans and documents that have been submitted by the applicant, and believe the proposed dispensary will meet all of the regulations outlined in Section 16-4-9 of the UDO pertaining to dispensing organizations. As such, staff supports the special use request.

### SPECIAL USE FINDINGS OF FACT

The Plan Commission’s recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4(L)(3) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed dispensary will provide a legal retail use to the community, and will be considered a public convenience at the subject location.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Overall, the proposed project has been designed to allow for safe traffic patterns and customer interactions in a well-lit and open environment. Likewise, odor control and security measures have been carefully designed and extensively examined.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed use should not have negative impacts on surrounding properties, as the applicant has described measures that will be taken to ensure so that all performance standards pertaining to items such as noise, odor, and other objectionable influences will be abided by.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Staff does not believe the proposed dispensary should have an impact on the normal and orderly development and improvement of surrounding properties. Traffic and parking

demand will be met on-site, and the submitted Narrative of Operations outlines all operational needs and procedures for the business.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are either in place or will be designed and constructed in accordance with State and Village regulations.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The project is expected to conform to all applicable codes and requirements.

### **RECOMMENDATION**

Staff has reviewed the proposed requests and supports the dispensary as it meets all regulations set forth in Section 16-4-9 of the UDO. Therefore, staff recommends approval of a Special Use Permit for an Adult Use Cannabis Dispensing Organization for Green & Bransford LLC/Altius at 506 S. Schmale Road, Case No. 23-0040, subject to the following conditions:

1. That all improvements, including but not limited to the building, elevation upgrades, parking lot resurfacing and lighting, and landscaping, must be built and installed prior to opening of the dispensary, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all trash, refuse and recycling containers must be kept within the dumpster enclosure on the south side of the property, that the gates to the enclosure must be kept closed at all times except when employees are accessing the enclosure or when the waste hauler is servicing the property, and that the applicant shall separate out and make special arrangements for the pickup of cannabis product waste;
4. That parking lot lighting meeting the requirements of the UDO shall be installed as required;
5. That the applicant must obtain the required sign permit prior to the installation of any new signage, and that the monument sign or any wall or window signage shall not have the display of cannabis or contain any slang or colloquial term for cannabis or cannabis paraphernalia;
6. That on site consumption of cannabis shall be prohibited;
7. That drive-through service shall be prohibited;

8. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO;
9. That should parking demand routinely exceed the number of parking spaces available on the property once the facility opens, Staff will retain the discretion to require additional parking;  
and
10. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations, including Section 16-4-9 of the Village's Unified Development Ordinance and the State of Illinois' Cannabis Regulation and Tax Act.

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RECEIVED  
OCT 18 2023  
COMMUNITY DEVELOPMENT  
DEPT

Do Not Write in This Space  
Date Submitted: 10-18-23  
Fee Submitted: \$ 800  
File Number: 23-0040  
Meeting Date: 1-8-24  
Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

## FORM A

### GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Green & Bransford LLC, an Illinois limited liability company, dba Altius Phone 312-804-8567  
 Address 11220 Fitzgerald Lane, Huntley, IL 60142 Fax \_\_\_\_\_  
 E-Mail Address jgasner@vispartners.org  
 (required)  
 Name of Attorney Daniel C. Shapiro Phone 312-763-9640  
 (if represented)  
 Address 618 Academy Drive, Unit B, Northbrook, IL 60062 Fax 312-763-9641  
 Name of Owner 506 S Schmale LLC Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address 11900 Freeman Road, Huntley, IL 60142-8023 Fax \_\_\_\_\_  
 Name of Architect Camburas Theodore, LTD Phone 847-298-1525  
 (if applicable)  
 Address 2454 E. Dempster Street, #202, Des Plaines, IL 60016 Fax 847-404-6180
2. \*Common Address/Location of Property 506 S. Schmale Road, Carol Stream, IL 60188
3. Requested Action: (check all that apply)
- |  |   |
|--|---|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                        |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances              |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)           |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)             |
| <input type="checkbox"/> Planned Development – Final       | <input checked="" type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input checked="" type="checkbox"/> Special Use Permit (requires Form C)  |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)                |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)                |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)               |

Describe requested action The Applicant is requesting a Special Use Permit and for a proposed recreational cannabis dispensary.

4. Fee Schedule: (Check all that apply) Total Application Fee: \$ 800.00

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
X	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80



5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

JEFFREY H GASNER

Print Name

Jeffrey H Gasner

Signature

10/13/2023

Date

Revised 11/22



FORM C

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OCT 18 2023

COMMUNITY DEVELOPMENT DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

Given the location and layout of the proposed development, the public need will be met.

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2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed use will fit harmoniously with the existing character of its surroundings

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and with permitted uses in the zoning district. It will be served adequately by essential public facilities.

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3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

There proposed development has been thoughtfully designed and laid out to mitigate any adverse affects

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on property values.

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4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Given it's location in the B-3 Zoning District and the surrounding uses the proposed use

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will not impede future development.

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5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

The proposed use and development will be served adequately by essential public facilities and services such as streets public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposed use and development will conform to the applicable regulations of the B-3 district in which it is located, except as such regulations may in each instance be modified by the Village Board.

7. Other pertinent information or reason for request.

The applicant has received a license for a dispensary and with that, submitted an extensive application with the state of Illinois addressing similar standards. A copy of the state application is available upon request.



RECEIVED

October 16, 2023

OCT 18 2023

COMMUNITY DEVELOPMENT  
DEPT

Tom Farace, AICP  
Planning & Development Manager  
Village of Carol Stream  
Community Development Department  
500 N. Gary Avenue  
Carol Stream, IL 60188

Re: 506 S. Schmale Road, Carol Stream, IL 60188

Dear Mr. Farace:

The Applicant, Green & Bransford, LLC, an Illinois limited liability company, dba Altius (“Altius”), is requesting a Special Use Permit for a proposed recreational cannabis dispensary at 506 S. Schmale Road, Carol Stream, IL 60188. The parcel is zoned B-3. A cannabis dispensary is a special use in the B-3 zoning district. The Property is zoned B-3 Local Business. The Village’s Zoning Ordinance states that the B-3 District is intended to provide and preserve areas along highly visible and accessible road corridors that provide for a broad range of retail, wholesale, and service areas. The Village’s Future land use map in its Comprehensive Plan also indicates commercial uses. The proposed building will be 5225 sq feet and will include 10 additional parking stalls to the current parking field. The proposed dispensary will provide additional retail services that will further the convenience for the public.

Altius also realizes that under 16-4-9 of the Village’s Unified Development Ordinance, certain criteria and standards are required for a dispensary to be special use in the B-3 zoning district. The applicant has received a license for a dispensary and with that, submitted an extensive application with the state of Illinois addressing similar standards. A copy of the state application is available upon request.

1. Traffic/Parking: The number of cars that will be generated is benign compared to the other nearby uses and traffic on the nearby streets including North Ave. Full access will be provided from Main Place. A right out will be provided from North Main St. 26 parking stall will be provided which exceeds the minimum amount required under the Village’s Zoning Ordinance.

Any adverse effects of noise, glare, odor, dust, waste disposal, blockage of light or air, or other adverse environmental effects of a type or degree not characteristic of permitted uses in the zoning district have been minimized. The dispensary has been designed and will be built to minimize adverse noise, glare and other adverse effects not otherwise characteristic of the neighborhood.



3. Neighborhood Character: The proposed use will fit harmoniously with the existing character of its surroundings, and with permitted uses in the zoning district. Given its size, layout and design there will not be undue deleterious effects on the environmental quality, property values, or neighborhood character already existing in the area or normally associated with permitted uses in the district. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety, and general welfare.
  
4. Services and Facilities: The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities, in such a way as to place undue burdens upon existing development in the area.
  
5. Public Safety and Health: The proposed use will not be detrimental to the safety or health of the employees, patrons, or visitors associated with the use nor of the general public in the vicinity. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police, and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
  
6. Other Factors: The proposed use is in harmony with the B-3 Zoning District. The proposed use and development will be in harmony with the general and specific purposes for which this Zoning Ordinance was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

We are attaching a separate comprehensive narrative which addresses the operations and procedures of the proposed dispensary. Additionally, given the sensitive nature of our security plan, we are not including specific details about the same in our packet. Rather, we intend to consult closely with your police chief to seek his input and approval. We look forward to presenting our application to the Carol Stream Plan Commission and answering any questions that it may have.

Very truly yours,  
SHAPIRO & ASSOCIATES LAW

By \_\_\_\_\_  
Dan Shapiro

## NARRATIVE OF OPERATIONS

The proposed business is an adult use cannabis dispensary, as licensed by the Illinois Department of Financial and Professional Regulation, meeting all requirements for security, access, inventory, recordkeeping, and monitoring as outlined under the Cannabis Regulation and Tax Act, 410 ILCS 705 (CRTA). The adult use dispensary will sell cannabis products to qualifying purchasers over the age of 21 with valid ID. The business will also sell non-cannabis items, including but not limited to branded items such as T-shirts, hats, hoodies, and key chains as well as paraphernalia items such as rolling papers, smoking paraphernalia including glass, and lighters. Any person under the age of 21 will be refused entry into the facility.

All cannabis products arrive pre-packaged and tamper-sealed from the licensed cannabis manufacturers including craft growers, cultivation centers, and infusers. The cannabis products remain sealed until sold to a consumer, and cannabis is never directly handled at the dispensary level unless it is being placed or quarantine or destroyed, which only occur under strict guidelines as described below. The cannabis products are safely transported from the licensed manufacturers to the dispensary by a licensed transporter which includes at least two persons in the transport vehicle so that someone is always able to stay with the vehicle while the other processes deliveries inside the dispensary.

Under the CRTA statute, the operating hours for an Adult Use Cannabis Dispensary are restricted to fall within 6AM to 10PM. Additional tasks may take place outside of these hours. This will include a daily reconciliation of inventory which includes counting every cannabis product in the store and verifying physical inventory matches the anticipated inventory shown in the state traceability system which tracks all cannabis products from seed to final sale. Cannabis consumption will not be permitted at the Adult Use Dispensary.

To achieve a safe and secure business, the following modifications are anticipated prior to opening the business to the public:

### **EXTERIOR MODIFICATIONS**

Exterior modifications will include the addition of an overhead sign and graphics on the front of the building, an expansion of the ground floor structure, concrete work for sidewalks and loading zones, and the addition of a fenced and secure dedicated delivery area. These modifications can be found on the site and floor plans submitted with this application.

### **INTERIOR MODIFICATIONS**

The interior construction will require a complete remodel to meet operational demands and compliance with all state laws. Generally, this will include the following items, with additional details below:

- Floor plan redesign
- Vault construction
- Security system installation
- Tech and ancillary system installations
- Cosmetic finishes and furnishings

#### *FLOOR PLAN REDESIGN*

The floor plan will be redesigned to meet the needs of a highly secure facility that allows for efficient workflow while offering an excellent customer experience. The redesign will

include a secure vestibule entryway. All adult purchasers will be required to show valid state identification at the door by on-site security present during all operational hours prior to entering the main lobby of the facility. There, as retail associates become available, consumers enter the sales floor area and will be served by a sales agent.

Beyond the secure entry vestibule and the limited access sales floor, additional staff facilities are available including a break room, locker area, and staff and public bathrooms. The rest of the facility will be reserved for restricted access areas encompassing all back-of-house activities. This includes a secure delivery area, reinforced vault, offices, security/IT room, and staff facilities.

#### *VAULT CONSTRUCTION*

The vault construction will meet state specific requirements, including but not limited to steel and/or concrete reinforcement. Full details of vault construction specifications are present in the applicant's security plan which must be approved by the state of Illinois and must be reviewed and approved by local police according to municipal code.

Additional information regarding vault construction can be found in the security section of this SUP application.

#### *SECURITY SYSTEM INSTALLATION*

A 3-tiered security system will be installed, including (1) camera monitoring, (2) access control, and (3) alarm systems. The applicant will have continuous 24/7 camera coverage of all interior areas and surrounding exterior areas. These recordings must be kept for a minimum of 90 days. A live feed and historical camera footage is available to the Illinois State Police (ISP) and Illinois Department of Professional Regulation (IDFPR) at all times via remote access, as required by statute. The applicant will have 50+ cameras monitoring the exterior and interior premises, including the parking lot.

Access control systems will utilize keycards with customizable access levels based on programmable security clearance levels installed throughout the facility. Additional locks, keycodes, and security features may be utilized in high security locations. The access control system will limit access to all areas beyond the initial vestibule and allows for tracking of individual ID scans and historical scans for at least a 90-day period.

The alarm system will feature motion detection, glass break, panic, duress, and tamper alarm systems. The alarm will be monitored by a licensed monitoring firm with notifications sent directly to local police and regulatory bodies including ISP and IDFPR. A sound system will be installed for announcements and background music to elevate the shopping experience.

A battery backup system and pending review from mechanical engineers, an automatic gas generator will be installed. These systems will maintain power to critical security, tech, lighting, and climate control systems even in the event of a prolonged power failure.



## WASTE DISPOSAL PLAN

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OCT 18 2023

COMMUNITY DEVELOPMENT  
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### QUARANTINE PRACTICES

In the event that Recall Procedures are initiated, or a product must be quarantined due to mislabeling, broken tamper seal, expiration, by request of the manufacturer or state departments, or for any other reason, the designated Quarantine Coordinator will oversee all digital and physical quarantine practices and procedures. All products requiring quarantine, whether due to a recall, expiration or any other reason, will first be physically segregated from all other products in the dispensary in a designated quarantine bin within the secure vault.

After segregation, the Recall Coordinator will designate the products as quarantined in the POS, and record the quarantine date, quantity to be quarantined, and the reason for the quarantine. After this digital designation, the Recall Coordinator will physically move the segregated products to the Vault and immediately secure them into Quarantined Storage.

All quarantined products will be placed into a segregated, tamper evident container or unit designated for Quarantined Storage in the Vault. This Quarantined Storage unit will be secured with a tamper evident seal and a quarantine log will detail any access to the products. The Recall Coordinator will record every item placed in Quarantine Storage including a product label printed by the POS which specifies the product name and batch number, the total weight of the container, the initials of the Recall Coordinator who quarantined the product, and the date and time the product was moved into quarantine. These processes provide both digital and physical recordkeeping of all quarantined products.

### DESTRUCTION PRACTICES

When a product is designated for destruction and disposal, the Agent in Charge will first designate the products ready for destruction and disposal which will require the Agent in Charge to include disposal date, quantity to be disposed, and reason for the disposal. All destruction activities will take place during a regularly scheduled date and time on a weekly basis.

After the digital designation, the Agent in Charge will physically transfer the products ready for destruction and disposal to the dedicated destruction area of the facility under direct video surveillance. At least two agents will be present for any destruction activity with an Agent in Charge as the designated Destruction Lead. Key information regarding the destruction including product name, batch number, reason for destruction, and the AIC responsible will be recorded on the hard copy destruction log.

After products have been rendered unusable, the Agent in Charge will place all destroyed items into the secure designated area for waste management pick-up. We will contract with an approved waste management services provider to pick up and dispose of all facility waste, which will be scheduled for the same day as destruction whenever possible.

All destroyed products will be promptly disposed of by a method approved by the Department that will involve sorting all items and contracting for pick-up with local facilities that can



dispose of the products via the most environmentally sustainable methods, as approved by the Department as follows: when feasible, green waste will be taken to a facility capable of composting; recyclable materials from packaging or other sources will be recycled; and non-compostable waste will be taken to a landfill, incinerator or other waste management facility.

### **SECURITY PLAN AND PERSONNEL**

Due to the sensitive nature of the business' security plan, this SUP submission provides a narrative version of a general overview of the secure systems that will be in place. Additional detailed information is available upon request. The following are key aspects of the security plan to be implemented at the adult use dispensary.

The applicant is working with SilverStar Protection, a licensed security company in the state of Illinois. SilverStar will provide the security systems and physical on-site security during business hours as required for all dispensaries under the Cannabis Regulation and Tax Act.

We will partner with two SilverStar Protection(SSP) to provide ongoing security services to protect the dispensary, Purchasers, Agents, and the Village of Carol Stream . In accordance with Division regulations, we will only work with SSPs that are licensed under Section 10-5 of the Private Detective, Private Alarm, Private Security, Fingerprint Vendor, and Locksmith Act of 2004.

- **Security Guard Provider (SGP)** – SSP Security has been contracted to provide unarmed Security Agents, to be on duty at the dispensary facility during all operating hours. The Lead Guard will be stationed in the Security Office or front vestibule, with direct visual access to the Lobby and surveillance monitor access to all dispensary security cameras.
- **Security Monitoring Provider (SMP)** – SSP or alternative licensed vendor will install, maintain, and monitor all dispensary security, alarm, and video surveillance systems and to serve as our Security Monitoring Provider (SMP), providing 24/7 monitoring of our alarm system and surveillance network. All alarms will instantly notify the SMP, who will contact designated dispensary management and the local authorities for immediate response.

### **Alarm Equipment**

Our SMP will install, monitor, maintain, and respond to, a comprehensive alarm system. The alarm system has been designed to provide perimeter security, deter and prevent unauthorized entry, include a variety of hard-wired and wireless alarms that efficiently contact the Public Safety Answering Point or designated local law enforcement, and failure notification systems for all equipment. This integrated system of alarms builds a defense against any potential safety, security, or diversion threats in accordance with all applicable Illinois rules and regulations.

- **Unified Control System:** This system provides a multi-zoned dedicated backup internet communicator that connects to all Alarm Keypads within the dispensary,

creating a unified management solution that is easy to operate and has communication redundancies to ensure against failure. The system functions on a dedicated network LAN with an uninterruptable power supply of at least 4 hours.

- **Perimeter/Intrusion Detection Alarm:** Our Perimeter Detection Alarm provides a complete unauthorized intrusion detection matrix. This detection matrix monitors all interior facility areas, exterior security vestibules, access- controlled doors, exterior windows, contact switches, motion and shock sensors, glass break detectors as well as the Vault and IT/ Secure Records Room. When armed during non-operational hours, any detection of unauthorized entry will immediately alert the SMP.
- **Silent Holdup Alarm:** All Agents will be provided with a duress alarm code. When the duress alarm code is entered into the Alarm Keypads, the system will trigger a silent alarm that transmits an emergency message to the SMP. The silent alarm can also be initiated via panic buttons located at key spots throughout the facility, including but not limited to, the Front Desk and Security Office. Hand-activated alarms will be located along the Transaction and Dispensing Counter. All Security Agents will be provided with mobile panic alarms.
- **Audible Panic Alarm:** All Agents will be provided with panic alarm code. When the panic alarm code is entered into the Alarm Keypads, the system will trigger an exterior panic siren and transmit an emergency signal to the SMP, local authorities and senior management.
- **Smoke and Fire Alarm:** Each area of the dispensary will be equipped with a photo-electronic smoke and heat detector.
- **Photo Color Laser Printer:** The Security Office, or alternatively accessible from the security office, will be equipped with a high- quality color printer that is wirelessly connected to all computer and POS terminals. The printer will be capable of producing a clear, color still photo from live or recorded surveillance video at 9600 dpi and will be used to print any hard-copy forensic documentation as needed.

### Surveillance Equipment

The dispensary will be protected by a comprehensive video surveillance system. All interior and exterior areas of the dispensary (except restrooms) will be under constant 24-hour per day video surveillance. Real time footage with date and time stamps will be remotely accessible to dispensary senior management and to the Division, or law enforcement authorities acting within their jurisdiction, upon request.

Cameras will run continuously at 8 fps and store all data on a local server, located in the IT/ Secure Records Room, with enough storage capacity for a minimum of 90 days. This data will be remotely accessible to authorized personnel, including to persons at the Division, 24-hour per day, seven day a week. In the event of any failure in the system, an audible alarm will sound and pop-up windows on security monitors will provide immediate notification.

- **Cameras:** The dispensary will utilize securely mounted HD video cameras recording images with a minimum 1080p resolution, high dynamic range to automatically adjust between low and high light, and internet-transmitted date and time on

continuous display without obscuring the picture image. Camera type will be optimized for 3 different use cases including:

- Panoramic observation of general areas;
  - General observation set to 105 degree viewing angle for wide coverage; and
  - Narrow viewing angle for detailed coverage including facial recognition at each Point of Sale (POS) terminal and all access and egress points.
- **Storage:** Video and still images will be saved to open-source formats and played on standard operating systems. Video surveillance storage will be in three parts: At least 90 days of footage will be stored on a Network Attached Storage or alternative cloud storage device using RAID redundancy to prevent data loss in case of any drive failure.
  - **Monitors:** Performance LED monitors will provide live surveillance footage of the entire facility to key personnel throughout the facility, positioned so that no Purchasers are capable of ever gaining visual access. A bank of monitors in the Security Office and the GM's Office will enable the Security Guard and General Manager to survey all cameras at once. Single monitors behind the Front Desk and the Transaction Counter in the Retail Room will allow staff to gain instant visual access to select areas of the facility to facilitate their work and knowingly and effectively respond to any incident or emergency.

### Additional Security Equipment

In addition to the alarm and video surveillance systems, the following security equipment will protect our dispensary:

- **Security Lighting:** The entire dispensary, both interior and exterior, will be equipped with commercial grade, high-intensity LED security lighting. All lighting will be kept in good working order with wattage sufficient for security cameras. Exterior lighting will be downward directed and shielded, located above cameras to mitigate camera blooming, and will illuminate access points, walkways, and parking areas. Specific wattage will be calculated based on the U.S. Department of Energy exterior power allowance guidelines, with a consideration for safety.
- **Firewall:** Digital assets will be protected by commercial grade firewall unified threat management system, a real-time anti-virus, anti-malware database system.
- **Auxiliary Power:** The access control, video surveillance, smoke/fire, and alarm systems will have a two-part auxiliary power system; battery and backup generator. The Uninterruptible Power Supply (UPS) in the IT/ Secure Records Room will supply immediate uninterruptible power service in the event of a momentary power outage for a minimum of 4 hours to all security systems. For any outage lasting more than 4 hours, the dispensary will utilize a backup, non-grid tied power generator, to provide uninterrupted power to the facility in the event of an extended power loss.
- **Controlled Access Doors with Secure Readers:** A unified system of electronic controlled access will control, monitor, and record all facility areas. Software will

control each door and personalized user access, and will determine when to lock and unlock doors, levels of access, and when access is valid.

- All doors will use secure readers triggered by access cards programmed per Agent on an access-required, daily basis, allowing tracking of all personnel movement throughout the dispensary.
- In the event of a power outage, backup batteries will support the system for a minimum of 4 hours to ensure that locks are not released. However, doors may be opened by key, which will be on the person of the General Manager and the Shift Lead (both Agents in Charge) at all times. In the case of a power outage, a path of egress will be maintained according to any fire or life safety codes.
- **Motion Sensors:** Motion detection devices will be placed in every exterior room throughout the dispensary, as well as in the Vault and IT/ Secure Records Room.
- **Contact Switches:** Critical internal and external doors will be monitored and controlled by industrial grade magnetic contact switches. All doors except for bathroom and non-restricted doors will be monitored by the access control system. A record of each entry will be created, and an alarm will be triggered in the event of unauthorized entry.
- **Exterior Window Security:** In order to deter and prevent unauthorized damage or entry, any exterior facing glass windows at the dispensary will be protected by both **Glass Break Detectors** and **Shatterproof Tinted Security Film** covering 100% of the windows.
- **Shock Sensor:** Critical rooms will be protected by vibration sensors, which will trigger an alarm as soon as any force is applied to the walls, ceiling or floor of those rooms.
- **Multi-Zoned Alarm:** An integrated alarm system can be divided into multiple zones. All code entries will be logged.

### Access Control System

Public exterior access and egress points of the dispensary will be protected by double-door Access Control Vestibules (“Mantraps”) and all exterior and key interior doors will be protected by access control systems. The secure exterior Mantrap will be outfitted with Request-to-Exit detectors, integrated locking mechanisms that prevent both vestibule doors from opening at the same time. The public will only be allowed access via the main Entrance Vestibule and will exit via the Exit Mantrap. Product deliveries will all be conducted through the secure, fenced Loading Area and through the rear access door.

A unified system for electronic controlled access will monitor, manage, and record all facility access and movement within the facility. All interior facility doors will remain closed and locked at all times and will require a programmed keycard entry; high security doors protecting the Vault and IT/ Secure Records Room will require additional security credentials restricted to Agents in Charge on an as-needed basis.

Software will control each door and user to determine when to lock and unlock doors, the level or access granted, and when that access is valid. Certain areas of the facility will be

accessible to authorized employees only, and the following facility access procedures, uniquely coded access cards, commercial locks throughout the facility and the alarm and video surveillance systems will help limit employee access to those areas of the dispensary necessary to complete job duties and functions.

### **Safe Cannabis Storage**

All cannabis products will be stored in our climate-controlled Vault during non- operating hours, where an electronic log of entry will log and record all access. During operations, our dispensary will utilize Vault Check In/Out procedures to ensure strict inventory management. Only Agents in Charge will be allowed access into the Vault – any other Agents inside the Vault must remain under the direct, unbroken supervision of the Agent in Charge.

Products designated as that day's Working Inventory will be transferred to the Restricted access, Climate controlled working inventory Processing Room, where only Agents in Charge, Fulfillment Agents and Dispensing Agents will have access. Products not designated at that day's Working Inventory will remain in the Vault designated as Bulk Inventory.

All storage areas will be securable, regularly cleaned and sanitized, and environmentally controlled. Products will be stored on stainless steel or similar shelving to keep products off of the floor, currency will only be stored in the Cash Safe.

### **Vault**

The dispensary will be outfitted with a Vault, where all cannabis products will be stored during non-operating hours. The Vault will be constructed as a fortified, independent, fire and burglary resistant room within the dispensary, housed within the Restrict Access Areas, separated from general access areas by controlled access doors with categorical access controls. Access Control Permissions will be restricted only to Agents in Charge and senior management (Principal Officers) who alone may authorize access to the Vault. Authorized personnel will be required to open the Vault using their unique access control card. During operating hours, the Shift Lead and Inventory Manager (both Agents in Charge) will have access privileges, as well as any other key personnel designated by the Shift Lead, Inventory Manager, or General Manager.

Every time the Vault is opened, the electronic entry will be logged in the Access Control System. Electronic access records will be maintained on- and off-site for a minimum of 5 years. The cannabis product storage vault will require the following specifications, including but not limited to, with final determinations based upon security experts and final dispensary location and feasibility:

### **Currency Procedures**

All currency will be carefully tracked at the dispensary using the POS system, constant video surveillance, and cash handling policies. All POS terminals will be outfitted or assigned with a locking cash drawer that will start and close each day with a regular register till amount. These

drawers will only be accessible via unique keys carried by authorized Agents in Charge, and downward viewing cameras will be placed above each POS terminal.

All currency will be stored in a dedicated Cash Safe located in the Vault. All currency will be counted in a dedicated Currency Counting Room, Vault, or secure processing area on dedicated currency counting machines whose readouts will be plainly visible to overhead surveillance cameras. Each POS Agent will be assigned to use a single POS terminal throughout the shift and will be responsible for that terminal's cash drawer. Any discrepancies in amount will result in disciplinary action up to and including termination. Agents will be specifically responsible for the following:

- Accurately performing all accounting and transactions;
- Counting the cash drawer at the opening and closing of each shift, logging the amounts, and waiting for Shift Lead approval;
- Checking for counterfeit bills with provided scanners and/or detector pens;
- At each transaction, counting change back to Purchasers by placing bills on the counter one at a time;
- If a register needs change, the Agent will notify the Shift Lead, who will create change as needed by accounting for and exchanging currency;
- At the end of each shift, bringing their drawers to the assigned Currency Reconciliation Area, counting down their drawers, getting Agent in Charge approval of the amount, and then bundling the currency into a sealed envelope with the Agent's name, register number, amount of cash deposited, the drawer reconciliation print-out from the POS, and the Shift Lead's signature.

All currency will be housed in a dedicated front-loading depository safe made of solid steel plate and bolted to the ground in the Vault. Only the General Manager and authorized senior management with currency privileges will know the code to unlock the safe. The safe will be designed with an "anti-fish" hopper to prevent any access through the drop and will be outfitted with a programmable electronic lock or mechanical lock.

## **CUSTOMER EXPERIENCE NARRATIVE**

The dispensary includes a variety of education points for Purchasers. Education occurs from the moment a Purchaser walks into the Lobby until the moment they leave the dispensary, continuing through their experience on the Retail Floor, in Agent interactions, and through printed and online hosted informational materials they are encouraged to take with them.

Educational materials will focus on required regulatory information including:

- The illegality of cannabis under federal law;
- Current educational information issued by the Illinois Department of Public Health (IDPH) about the health risks associated with the use or abuse of cannabis;
- IDPH material about health risks associated with abuse and use of cannabis;
- Information about possible side effects of cannabis, including a differentiation of side effects by product type, consumption quantity and strain;

- Notice of the prohibition on smoking cannabis in public places;
- Other appropriate purchaser education or support materials;
- All of this information will be presented to Purchasers:
  - In the Vestibule, on an Information Table or brochure stand;
  - On the Sales Floor, on tablets in digital form;
  - As an optional cardstock linking to online hosted digital materials.

The Front Desk Agent will ask all persons who enter the dispensary and wish to access Limited Access areas to present a valid, government-issued ID. The agent will verify the ID using a dedicated ID-scanner, which will confirm the ID is valid, and confirm that the person is over the age of 21. The ID-scanner will simply respond with whether the ID is valid. We will not retain, use, share or disclose any of the Purchaser's personal information from this scan, as required by state law under the CRTA.

The presentation of this ID will occur in full view of surveillance monitors in order to provide evidence that proof of identification was requested and supplied. No person who fails to present a current, valid government-issued ID will be allowed entrance into Limited or Restricted Access Areas.

The following types of valid, unexpired IDs that contain a name, photograph and date of birth will be accepted:

- State-issued driver's license;
- State-issued identification card;
- Passport;
- Registration certificate issued under the Military Selective Service Act;
- Identification issued to a member of the Armed Services.

The Front Desk Agent will perform a visual check to ensure that the photograph on the ID matches the Purchaser. In the event that the Agent has cause to believe the ID does not match the Purchaser the Agent will ask certain questions to provide an additional assessment, such as, "What is your address?", "What is your Zodiac sign?", or "What year did you graduate high school?" We reserve the right not to admit a person whom we have credible evidence to have presented an ID that is not their own and to alert the local police of potential fraud.

If the Purchaser is eligible to enter the Retail Room, the Front Desk Agent will enter the Purchaser's first name, last initial and state of residence into the POS queue along with a uniquely generated queue number. The Front Desk Agent will advise any waiting Purchasers to read and take informational and educational materials from the Information Table.

### **Approved Vendors**

Only vendors who are listed on the pre-approved Service Professionals List may enter the Restricted Access Area. We will submit this list of all service professionals who will work

at the dispensary to the Department and will include a description of the type of business or service provided. Our Director of Compliance will promptly communicate any changes to the service professional list. No service professional will work in the dispensary until the name is provided to the Department on the service professional list.

Upon entering the dispensary, approved Vendors will be required to present a valid, government-issued ID that will be scanned, to sign-in the Vendors Log upon entry, and to note the purpose of their visit and will be given a visitor badge upon sign in. While in Restricted Access Areas, Vendors will be accompanied by an Escort Agent at all times and will be required to display their visitor badge for the entirety of their time inside the dispensary.

Vendors completing deliveries will enter and leave through the Secure Loading Door, where they will need to present their Department-issued Agent badges to an Agent prior to being allowed entry, and then sign-in to the Vendors Log once in the Secure Loading Area. All other Vendors will enter and leave through the Entrance Vestibule. All Vendors will be required to sign-out upon exit. The dispensaries will abide by all occupancy regulations and will maintain compliance with all State and local building, fire and zoning requirements or regulations.

### **Queue Management**

We are committed to ensuring that at any point in which both the Retail Room and the Vestibule reaches capacity, the following protocols will be in place to prevent overcrowding:

- Subsequent Purchasers waiting outside will be asked by the Front Desk Agent to sign up for the loyalty program.
- Purchasers without cell phones or who do not wish to register into the system will be provided with an estimate of the expected wait time.
- All Purchasers on the waitlist will be advised of local businesses to visit while they wait if they wish to return at a later time instead of waiting in line.
- As the Front Desk Agent lets waiting Purchasers into the Retail Room, per Capacity Protocols listed above, the Agent will allow entry from into the facility on a one-to-one basis.
- Once a Purchaser who has been waiting is called to enter into the Retail Room, the Sales Agent will re-check the Purchaser's identification, as described above, before allowing entry.

Upon entering the Retail Room, an Agent will meet each Purchaser and provide guidance in response to the Purchaser's goals for the visit. The Agent will direct Purchasers to either the Pre-order or Quick Order Lines at the Transaction Counter or into the Sales and Product Information area to be helped by a Sales Floor Agent.

### **Pre-Order Queue**

Our website and dedicated mobile app will integrate a pre-order system for Purchasers



registered into our Loyalty Program. This system will allow these pre-registered Purchasers to place orders before entering the facility, as long as those orders are picked up no later than the end of the same day of business. Any orders not picked up by that time will be voided and the products re-integrated into Working Inventory. (This will not constitute a Denial of Sale because pre-orders will place a hold on Working Inventory without completing a transaction. Transactions can only occur within the dispensary.)

At the pre-order line, Sales POS Agents working with Purchasers will request a loyalty number, or look up the Purchasers info using the name and phone number and verify IDs. The POS Agent will find the associated pre-order and complete the financial component of the transaction.

### **Processing Customer Purchases**

Purchasers are never allowed to purchase cannabis products in excess of their allotted amount through dual-verification processes involving both Agents and our POS. Additionally, the separation of Pre-Order, Quick Order and Sales Floor POS's allows our dispensary to process multiple customer purchases simultaneously, with the number of POS stations flexing with customer demand.

#### **Agent Re-Verification of Purchaser Identification and State of Residence**

All Sales Agents will re-verify the Purchaser's identification and age prior to engaging in a transaction. Any Adult-Use Purchaser seeking to purchase an amount of cannabis greater than 15 grams of flower, 250 mg of THC in a cannabis-infused product, or 2.5 grams of cannabis concentrate (cumulative) will be required to present an Illinois-issued identification card again to the Sales Agent to verify their status as an Illinois resident. If such proof of residency is provided, the Purchaser will be allowed to purchase a quantity up to (cumulatively) 30 grams of flower, 500 mg of THC in a cannabis-infused product, or 5 grams of cannabis concentrate.

#### **POS Verification and Automated Denial Records**

Our POS tracks Purchaser limits and ensures transactional compliance. To add items to a customer cart, the Sales Agent will select from a product menu of working inventory in the POS. Upon addition to the cart, inventory is reserved, and the cannabis limit is tracked. If the addition of a product exceeds the Purchaser's cannabis limit, the POS will not allow the product to be rung out and will present a denial message to the Agent.

#### **Payment Processing**

Upon order completion, the Sales Agent will collect payment from the customer and enter the payment into the POS. The POS will send the transactions to the State for approval and posting. If the transaction is approved by the State, a customer receipt is printed, and a duplicate receipt is sent to the Working Inventory Room for the Fulfillment Agent to process the order. The POS will record the transaction number for each individual product.

### Anticipated Transaction Payment Options

All POS terminals, including those on the Sales Floor, will have a dedicated, secure cash drawer. In order to best accommodate Purchasers, we will have an ATM available for Purchaser use in the Retail Room. Additionally, the dispensary will utilize cashless ATM payments or similar to accept card-based payments.

## **Dispensing Procedures**

### Fulfillment Agent

Within the Working Inventory area under constant surveillance and monitoring, the Fulfillment Agent will use the duplicate receipt printed by the POS to pick and compile the products from Working Inventory carts. The Fulfillment Agent will then place the products in a basket, along with the receipt, and move the basket through the Secure Dispensing Window to the Dispensing Agent processing the transaction at the sales station.

### Dispensing Agent

A Dispensing Agent, in the Restricted Access area of the Retail Room behind the Dispensing Counter, will take the order basket from the Fulfillment Agent and use the receipt to call over the waiting Purchaser to the Dispensing Counter. The Dispensing Agent will verify the Purchaser's ID, confirm each product in the basket against the receipt, and confirm in direct view of surveillance cameras that the batch number, product, and quantities match the Purchaser's receipt before placing the products into a single Exit Bag. The Dispensing Agent will also ensure the Purchaser has the option to obtain education materials detailing safe and legal storage, usage and possession of cannabis products.

### Exit

Once the purchase transaction and product dispensing are complete, the Purchaser will be directed to the Mantrap Exit. Purchasers are not allowed to remain in the Retail Room after the transaction and dispensing are complete, except in case of emergency preventing such a route. Purchasers are only allowed to exit through the dedicated Exit Mantrap, outfitted with a two-door system and Request-to-Exit detector.

In instances where, after receiving product but prior to exiting the facility, a Purchaser realizes that the wrong product or wrong product quantity was dispensed, or if the Purchaser wishes to make a change in the order in some way, or in instances in which the POS has accidentally run a sale multiple times, then the sale will need to be voided, constituting a Denial of Sale. In such instances, the following will occur:

- Only the Shift Lead will be authorized to execute a Denial of Sale
- The Shift Lead will only accept back product from the Purchaser after confirming that the product package is intact and has not left the facility. If the package is no longer compliant then the product and package must be immediately placed into Quarantine.

- In instances in which Agent error is the cause, the Shift Lead will confirm the error on the surveillance monitor and will ensure that Purchaser malfeasance is not the cause.
- The Shift Lead will execute the Denial of Sale in the POS, thereby creating a permanent record, and will detail whether the product is being returned to Working Inventory or set for Disposal in the POS and then placed into Quarantine.

All records of voided sales will be maintained in the POS system and will be available to the Department for review.

## Delivery & Storage

### Delivery Receipt Protocols

At the beginning of each Operational Day, the Shift Lead will review that day's scheduled deliveries and ensure that an Agent in Charge Inventory Manager is assigned responsibility. If not, the Shift Lead will take responsibility for conducting intake activities. The following protocols must be adhered to:

- The delivery vehicle must provide 30 minutes' notice by phone prior to arrival.
- An Agent will conduct an exterior patrol 10 minutes in advance of the vehicle's arrival to ensure that there is no suspicious activity in the area and that the delivery area is clear, either physically or utilize camera systems.
- An Agent will oversee all activity on the bank of surveillance monitors in the and remain in constant cell communication and within reach of a panic button during deliveries.
- When the delivery vehicle arrives, the Agent will corroborate the delivery vehicle's make, model and license, and the Delivery Vendors' Agent ID's, against the electronic Manifest. They will then open the fenced and secure delivery area before closing the gate behind the vehicle.
- Once verified, the Agent will provide the "all-clear" for the exterior delivery door to be opened from the inside by the Agent in Charge receiving the delivery.
- Once inside the dedicated delivery processing area, Delivery Vendors will sign into the Service Professional Log before being instructed to transfer delivered products into the designated receiving area.
- Upon delivery from a cultivator, each product will be individually counted to ensure that every product has the matching product name, strain name, weight, and identification number on the Digital Manifest as on the cannabis product label, package batch number and product label. Any products improperly labeled will be rejected, as detailed below. Additionally, any individual products not in sellable condition, for whatever reason, will also be rejected.
- Only an Agent in Charge will accept delivery from a cultivator and sign for the shipment. Only an Agent in Charge will be authorized to accept the electronic manifest in the Point-of-Sale System (POS).
- Manifests will be signed both by the Agent in Charge and the Delivery Vendor. After signing, manifests will be copied before the original is given to the Delivery Vendor.

- The manifest copy will be retained and stored on site for a minimum of 5 years. These Manifests will also be available to the Department for review at any time upon request or through required reporting.
- Upon exit, Delivery Vendors will include their sign-out time in the Service Professional Log and will be allowed to exit only after verifying it is safe to open any exterior doors.

Product Intake Rejections

- If an entire batch must be rejected, then the rejection will be noted on the Manifest before a copy is made and the original returned to the Delivery Agent. This is most often done by marking the checkbox corresponding with the item rather than placing the Agent in Charge's initials on that line.
- If individual items within an otherwise accepted batch are rejected, then the new quantity will be noted on the Manifest before being copied and returned to the Delivery Agent.
- In both instances, only the exact quantity of physically accepted products may be digitally accepted into the Inventory Tracking System. Entire batches will not be accepted at all. Partial batches will only be accepted once the delivering licensee has adjusted the quantity of the shipment and has resent the Digital Manifest.

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on December 20, 2023 and the last publication of the notice was made in the newspaper dated and published on December 20, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on December 20, 2023.

Examiner Publications, Inc.

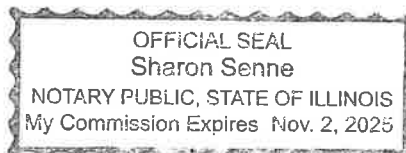
By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 20 day of December, A.D. 2023.

Notary Public



## LEGAL NOTICE PUBLIC NOTICE FILE #23-0040

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, January 8, 2024 at 6:00 p.m. to consider an application from Green & Bransford LLC (Allius Dispensary) for the following actions:

A Special Use Permit for an Adult Use Cannabis Dispensary, as outlined in Section 16-4-9 of the Carol Stream Unified Development Ordinance, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance

For the property located at 506 S. Schmale Road (PIN 05-04-304-066)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/https://us02web.zoom.us/join/register/WN\\_umqdVg8nTAuaNSvKc4PIZA](https://us02web.zoom.us/join/https://us02web.zoom.us/join/register/WN_umqdVg8nTAuaNSvKc4PIZA)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+13126266799, 87894632473 or  
+13092053325, 87894632473

Webinar ID: 879 9463 2473

International numbers available:  
<https://zoom.us/j/adsnXEZQIK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Bravo Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [bberisha@carolstream.org](mailto:bberisha@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* December 20, 2023. 1220



2200 CAROL DRIVE  
SUITE 325  
LISLE, IL 60532  
P. 630.598.0007  
WWW.CAGEOIL.COM



DRAWING ISSUED

12/06/23 REVISED PER VILLAGE COMMENTS  
11/15/23 REVISED PER VILLAGE COMMENTS

ISSUE FOR PERMIT

**ALTUS DISPENSARY**

2316 N MAIN ST  
CAROL STREAM, IL

PROJECT: 230264  
ENR: BPH  
DATE: 12/06/23

SHEET TITLE

EXISTING CONDITIONS & DEMOLITION PLAN

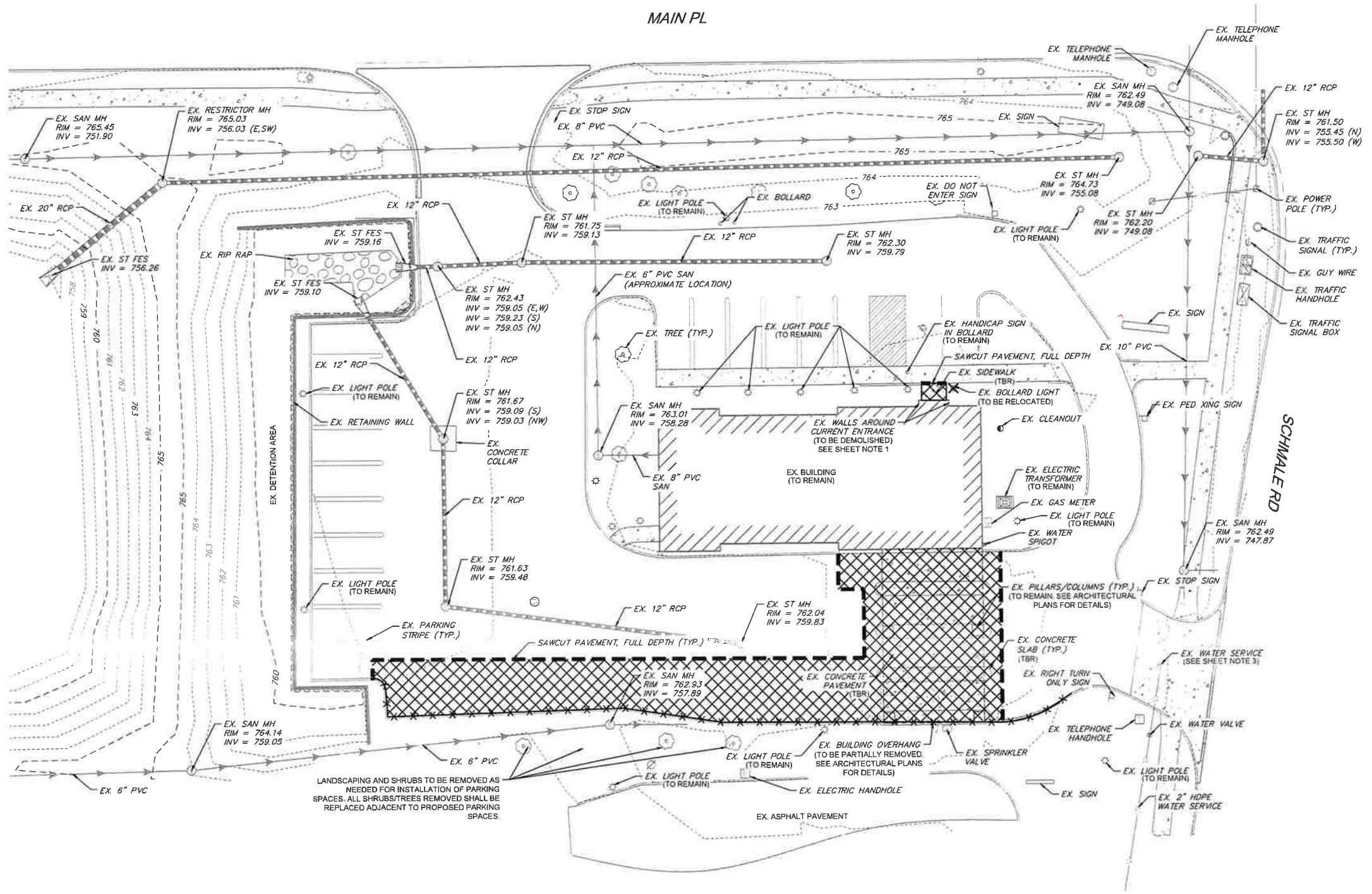
SHEET NUMBER

**C1.0**

**DEMOLITION LEGEND**

	PAVEMENT REMOVAL, FULL DEPTH
	SAWCUT PAVEMENT, FULL DEPTH
	CURBS & GUTTER REMOVAL
(TBR)	TO BE REMOVED

- SHEET NOTES**
- ALL DEMOLITION TO EXISTING STRUCTURE TO BE COORDINATED WITH ARCHITECT PER ARCHITECT'S PLANS.
  - CONTRACTOR SHALL ASSESS EXISTING SIGNAGE WITH VILLAGE INSPECTOR AND MAINTAIN OR REPLACE AS NECESSARY.
  - CONTRACTOR SHALL COMPLETE UTILITY LOCATE TO CONFIRM THAT THERE ARE NO ACTIVE UTILITIES UNDER THE PROPOSED BUILDING EXPANSION. IF THE UTILITIES ARE DISCOVERED TO BE UNDER THE PROPOSED BUILDING EXPANSION, CONTRACTOR SHALL COORDINATE WITH CAGE, ARCHITECT, AND OWNER TO DETERMINE A PLAN FOR REROUTING UTILITIES.



LANDSCAPING AND SHRUBS TO BE REMOVED AS NEEDED FOR INSTALLATION OF PARKING SPACES. ALL SHRUBS/TREES REMOVED SHALL BE REPLACED ADJACENT TO PROPOSED PARKING SPACES.

**EXHIBIT A**



JULIE  
CALL BEFORE  
YOU DIG  
**811**



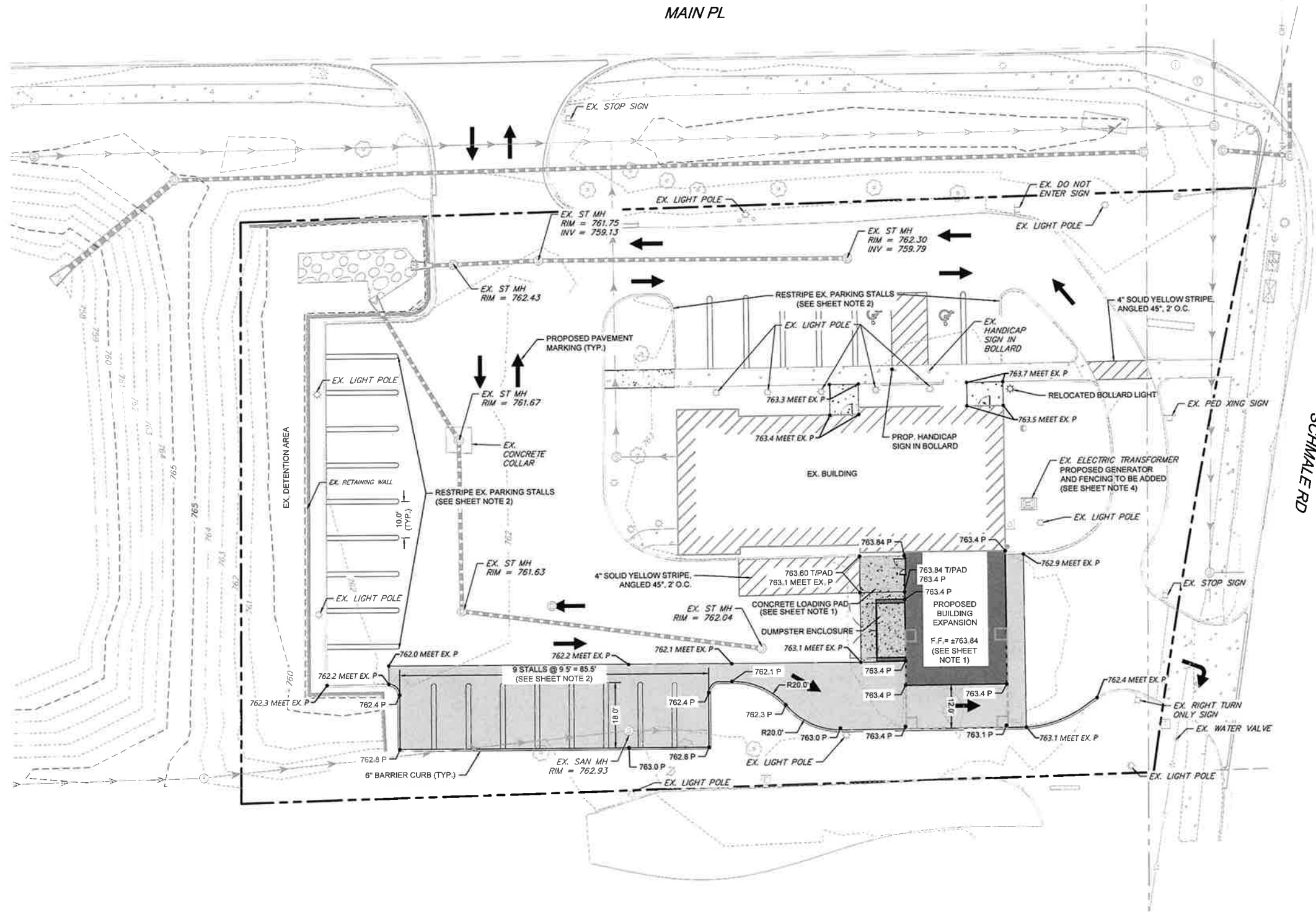


EXHIBIT B

**PAVEMENT LEGEND**

- STANDARD DUTY ASPHALT PAVEMENT
- BASE BID : CRACK FILL & SEAL COAT ALTERNATIVE #1: 2" MILL & OVERLAY ALTERNATIVE #2: MAINTAIN EXISTING PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- 6" BARRIER CURB
- 100.00 P SPOT ELEVATION

**SITE DATA TABLE**

ZONING CLASS:	B-2 (NEIGHBORHOOD BUSINESS)
SITE AREA:	±0.97 AC
PARKING SUMMARY:	
REQUIRED	
NET FLOOR AREA REQUIREMENT	6,200 SF
NET FLOOR AREA	1/250 NET FLOOR AREA
TOTAL SPACES	25 SPACES
PROPOSED	
STANDARD SPACES	25 SPACES
ADA SPACES	2 SPACES
TOTAL SPACES	27 SPACES

- SHEET NOTES**
- FINISHED FLOOR ELEVATION FOR PROPOSED BUILDING EXPANSION AND CONCRETE LOADING PAD DETERMINED AS AN AVERAGE OF TOPOGRAPHIC SURVEY VALUES. CONTRACTOR TO VERIFY IN FIELD. SEE CONCRETE LOADING PAD IN DETAILS FOR DETAILED PAVEMENT SECTION.
  - PARKING SPACES SHOULD BE SEPARATED BY 4" DOUBLE SOLID YELLOW STRIPES SPACED 16" O.C. WITH A LOOP AT THE END. PARKING SPACE DIMENSIONS ARE MEASURED FROM CENTER OF DOUBLE STRIPE.
  - CONTRACTOR SHALL ASSESS EXISTING SIGNAGE WITH VILLAGE INSPECTOR AND MAINTAIN OR REPLACE AS NECESSARY.
  - CONTRACTOR TO COORDINATE LOCATION OF PROPOSED GENERATOR WITH ARCHITECT AS WELL AS LOCATION OF PVC FENCING AROUND THE EXISTING ELECTRIC TRANSFORMER AND PROPOSED GENERATOR. FENCING SHALL BE 4 FT IN HEIGHT AND SHOULD BE LOCATED A MINIMUM OF 3 FT AWAY FROM THE GENERATOR AND TRANSFORMER. THE COLOR OF FENCING SHOULD BE DARK BROWN AND SHOULD BE COORDINATED WITH THE ARCHITECT. SOD SHOULD BE REMOVED SURROUNDING THE CONCRETE PAD AND REPLACED WITH MULCH TO MATCH SURROUNDING LANDSCAPING. AN OPENING SHOULD BE LEFT IN THE FENCING BETWEEN THE BUILDING AND THE EQUIPMENT FOR ACCESS. THE FENCING SHALL BE LOCATED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM THE R.O.W. TO THE NORTH AND EAST OF THE PROPERTY.

2200 CABOT DRIVE  
SUITE 325  
LISLE, IL 60532  
P: 630.598.0007  
WWW.CAGECIVIL.COM



DRAWING ISSUED

12/06/23 REVISED PER VILLAGE COMMENTS  
11/17/23 REVISED PER VILLAGE COMMENTS

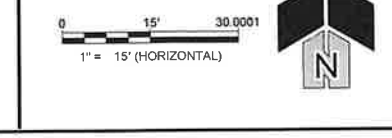
ISSUE FOR PERMIT

**ALTUS DISPENSARY**

2316 N MAIN ST  
CAROL STREAM, IL

**811** JULIE CALL BEFORE YOU DIG  
811

PROJ. NO. 230284  
ENG. BPH  
DATE 12/06/23  
SHEET TITLE  
SITE DEVELOPMENT PLAN  
SHEET NUMBER  
**C2.0**  
4 OF 6





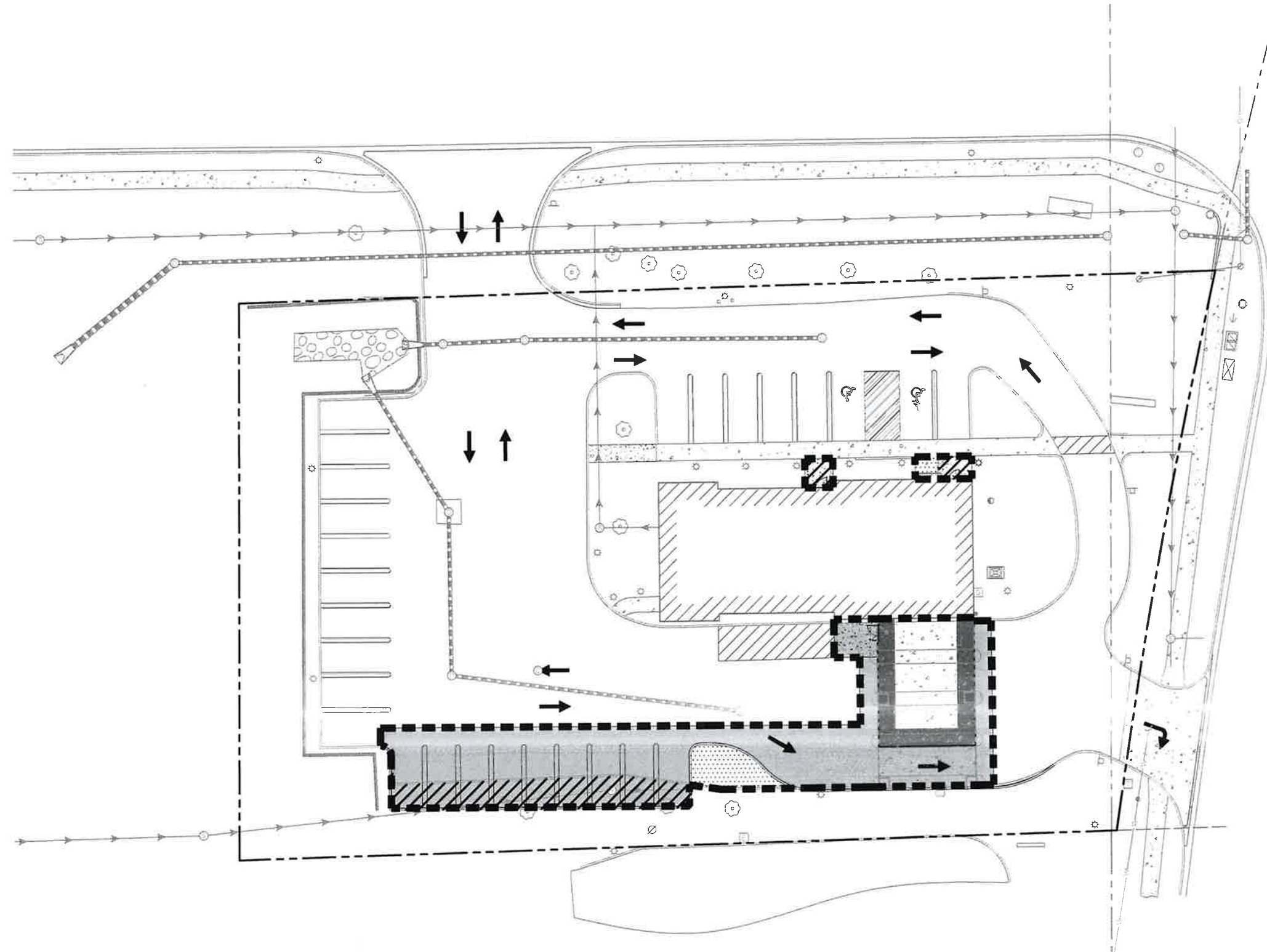


EXHIBIT C

<p><b>LEGEND</b></p> <p>  LAND DISTURBING AREA   NEW IMPERVIOUS AREA   NEW PERVIOUS AREA         </p> <p>           NET NEW IMPERVIOUS AREA = 555.14 SF            DEVELOPMENT AREA = 4,605.82 SF         </p>		<p>2200 CABOT DRIVE SUITE 325 LISLE, IL 60532 P: 630.598.0007 WWW.CAGECIVIL.COM</p> <p><b>CAGE</b> CIVIL ENGINEERING</p> <p> </p> <p>DRAWING ISSUED </p> <p> <small>           12/06/23 REVIEWED PER ALL AIDE COMMENTS            12/06/23 REVIEWED PER ALL AIDE COMMENTS            12/06/23 REVIEWED PER ALL AIDE COMMENTS         </small> </p>
<p><b>STORMWATER SUMMARY</b></p> <p>THE DUPAGE COUNTY POST CONSTRUCTION BEST MANAGEMENT PRACTICES WILL NOT BE TRIGGERED SINCE NET NEW IMPERVIOUS AREA IS LESS THAN 2,500 SF.</p> <p>ADDITIONALLY, THE LAND DISTURBING AREA IS LESS THAN 5,000 SF SO OBTAINING DUPAGE COUNTY STORMWATER MANAGEMENT CERTIFICATIONS WILL NOT BE NECESSARY.</p>		
<p>ISSUE FOR PERMIT</p> <p><b>ALTUS DISPENSARY</b></p> <p>2316 N MAIN ST CAROL STREAM, IL</p>		<p>PROJECT: 230264</p> <p>BY: BPH</p> <p>DATE: 12/06/23</p>
<p> </p> <p>JULIE CALL BEFORE YOU DIG <b>811</b></p>		<p>SHEET TITLE</p> <p><b>IMPERVIOUS AREA EXHIBIT</b></p>
<p>             1" = 15' (HORIZONTAL)         </p> <p> </p>		<p>SHEET NUMBER</p> <p><b>EX-1</b></p> <p>6 of 6</p>

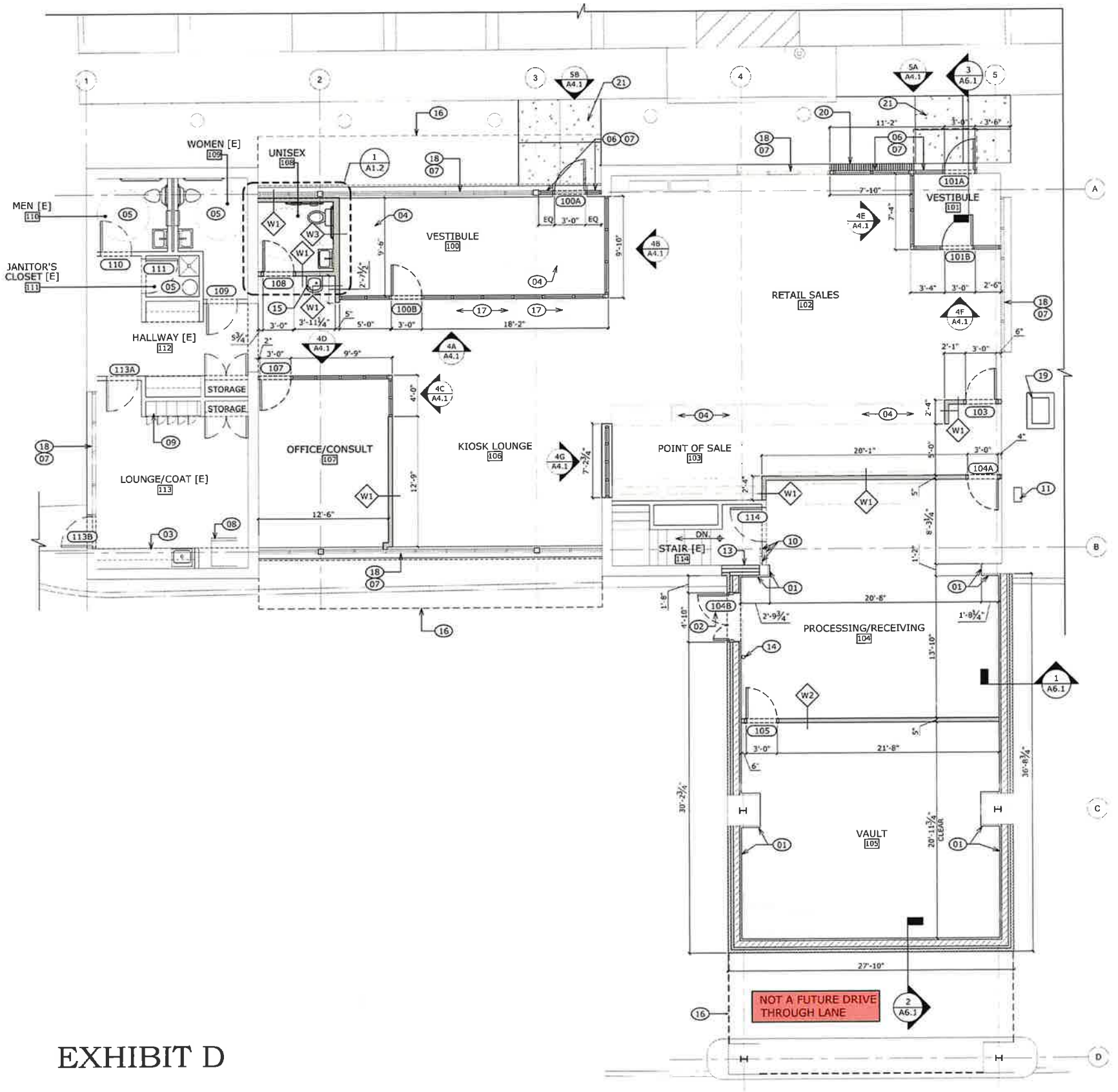


EXHIBIT D



SCALE: 3/16" = 1'-0"

**GN GENERAL NOTES**

- DO NOT SCALE DRAWINGS. DIMENSIONS ARE FOR CONSTRUCTION REFERENCE. ALL DIMENSIONS SHOULD BE FIELD VERIFIED AT TIME OF BID AND PRIOR TO CONSTRUCTION, ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO ARCHITECT.
- ALL PARTITION DIMENSIONS ARE TO FACE OF GYPSUM BOARD AND/OR NOMINAL FACE OF MASONRY UNLESS NOTED OTHERWISE.
- GYPSUM BOARD CONTROL JOINTS 30'-0" O.C. MAX.
- PROVIDE METAL CORNER BEAD AT ALL GYP. BD. OUTSIDE CORNERS.
- PROVIDE METAL J-BEAD AT ALL EXPOSED GYP. BD. ENDS.
- ALL WOOD, WOOD BLOCKING AND PLYWOOD TO BE FIRE TREATED.
- ALL FURRING TO RUN VERTICAL.
- ALL PIPE, DUCT, AND JOIST PENETRATIONS SHALL BE SEALED.
- FINISH FLOOR ELEVATION (0'-0") IS FOR REFERENCE ONLY.
- CAULK ALL PENETRATIONS AND OPENINGS TO PREVENT WATER AND AIR INFILTRATION.
- WET WALLS SHALL HAVE WATER RESISTANT GYPSUM BOARD.
- ALL GYPSUM BOARD, WHERE EXPOSED TO CUSTOMER, SHALL HAVE LEVEL 5. THIS INCLUDES EXISTING GYPSUM BOARD TO REMAIN ON SALES / RETAIL SIDE. LEVEL 4 ELSEWHERE. REFER TO MEP SHEETS FOR WORK REQUIRING CUTTING AND PATCHING OF EXISTING GYPSUM BOARD.
- DURING CONSTRUCTION PORTABLE FIRE EXTINGUISHERS SHALL BE ON SITE IN EVERY STORAGE AND CONSTRUCTION SHED AND WHERE SPECIAL HAZARDS EXIST.
- PRIOR TO PREPARING GYPSUM BOARD FOR FINAL FINISH, CONFIRM ALL REQUIRED BLOCKING HAS BEEN INSTALLED FOR TV MONITORS, SCREEN, RESTROOM FIXTURES, ETC.
- REFER TO ROOM FINISH SCHEDULE FOR SCOPE OF ROOM FINISHES. FINISHES MUST BE APPROVED BY OWNER PRIOR TO PURCHASING OF MATERIAL.
- ALL METAL STUD PARTITIONS THAT EXTEND UP TO ROOF SHALL BE INSTALLED WITH SLIP TRACK FOR DEFLECTION.
- REFER TO MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS FOR THE ENTIRE WORK SCOPE.
- PATCH CONCRETE SLAB WHERE PREVIOUSLY CUT FOR UNDERGROUND CONSTRUCTION. MATCH EXISTING SLAB THICKNESS AND PROVIDE 10 MIL VAPOR BARRIER OVER 95% COMPACTED FILL. DOWEL INTO EXISTING SLAB AT PERIMETER. SEE DETAIL 9/A1.3. REFER TO PLUMBING AND/OR ELECTRICAL FOR ALL UNDERGROUND SCOPE.
- PROVIDE AND INSTALL CORNER GUARDS AT ALL OUTSIDE GYPSUM BOARD CORNERS. PROVIDE 48" HIGH 2x2 STAINLESS STEEL CORNER GUARDS AREAS EXPOSED TO CUSTOMER AND 48" 2x2 POLYCARBONATE CORNER GUARDS IN EMPLOYEE AREAS.
- CUT DOWN MASONRY WINDOW SILL/BULKHEAD AT MASONRY OPENINGS, WHERE APPLICABLE. GRIND AND PATCH TOP OF FOUNDATION WALL FOR LEVEL/SMOOTH SURFACE AND PREPARE FOR NEW STOREFRONT FRAMES.

**KN KEYED NOTES**

- INTERIOR 5/8" GYP. BD. OVER 1 1/2" METAL FURRING WITH RIGID INSULATION UP TO UNDERSIDE OF ROOF DECK.
- NEW EXTERIOR DOOR IN NEW MASONRY OPENING. SEE STRUCTURAL FOR REQUIRED LINTEL. PROVIDE MASONRY INFILL ONCE LINTEL IS SET, GROUT AS REQUIRED.
- EXISTING KITCHENETTE, COUNTER, & SINK TO REMAIN.
- NEW FIXTURES AND/OR MILLWORK. MILLWORK TO BE DESIGNED, BUILT, DELIVERED AND INSTALLED BY MILLWORK CONTRACTOR. COORDINATE SCOPE AND RESPONSIBILITY OF FINAL CONNECTIONS WITH INTERIOR DESIGN COORDINATOR; SCOPE SUBJECT TO CHANGE/INCREASE.
- EXISTING PLUMBING FIXTURES AND ACCESSORIES TO REMAIN AS IS.
- PROVIDE STOREFRONT FRAMING AND GLAZING. CAULK BOTH SIDES OF PERIMETER JOINT. REFER TO ELEVATIONS AND SCOPE REFERENCED ON SHEET A4.1.
- SUPPLY AND INSTALL FROSTED PRIVACY/SAFETY FILM "SOLYX ULTRA SAFE 0 - WHITE MATTE MAX SAFETY FILM" AT ALL EXTERIOR WINDOWS AND GLASS DOORS.
- NEW PROVIDED REFRIGERATOR IN PLACE OF OLD.
- EXISTING EMPLOYEE LOCKERS TO REMAIN.
- EXISTING ELECTRICAL SERVICE TO REMAIN. SEE ELECTRICAL DRAWINGS FOR FULL SCOPE.
- EXISTING GAS SERVICE. REFER TO MECHANICAL FOR SCOPE.
- EXISTING WATER SERVICE AND METER TO REMAIN. VERIFY WORKING CONDITION AND HAVE BACKFLOW PREVENTOR INSPECTED AND CERTIFIED.
- OPENING TO BE IN-FILLED WITH 3-5/8" STUD FRAMING AND 5/8" GYP. BD. ON STAIR SIDE AND 5/8" FIRE TREATED PLYWOOD ON OTHER SIDE. PREP AND PAINT TO MATCH ADJACENT FINISH ON STAIR SIDE.
- FINAL LOCATION AND QUANTITY OF FIRE EXTINGUISHERS SHALL BE CONFIRMED BY LOCAL FIRE MARSHALL PRIOR TO INSTALL.
- NEW DRINKING FOUNTAIN WITH BOTTLE FILLER MOUNTED AT LOW ADA HEIGHT WITH CANE APRON. CUPS AND/OR BOTTLES TO BE PROVIDED BY OWNER FOR PERSONS WITH BACK DISABILITIES.
- EXISTING ROOF OVERHANG TO REMAIN.
- NEW KIOSK LOCATION. REFER TO ELECTRICAL FOR POWER AND DATA. VERIFY FINAL LOCATION WITH INTERIOR DESIGN COORDINATOR PRIOR TO PULLING POWER AND DATA.
- EXISTING STOREFRONT GLAZING TO REMAIN. CLEAN, REPAIR, AND RE-CAULK INTERIOR & EXTERIOR PERIMETERS. REFER TO KEYED NOTE #07 FOR NEW WINDOW FILM.
- NEW EMERGENCY GENERATOR WITH 4" HIGH HOUSE KEEPING PAD. REFER TO ELECTRICAL PLANS FOR INFORMATION AND SIZE.
- NEW ROWLOCK COURSE BASE UNDER STOREFRONT TO MATCH EXISTING.
- NEW CONCRETE SIDEWALK; SEE CIVIL PLANS.

**PARTITION SCHEDULE**

- 4" MODULAR FACE BRICK OVER 8" CMU WITH 2 3/4" AIR SPACE. 5/8" GYP. BD. OVER 1 1/2" METAL FURRING @ 24" O.C. WITH RIGID INSULATION ON INTERIOR SIDE FROM FLOOR TO UNDERSIDE OF ROOF DECK.
- 3-5/8" MTL. STUDS, 16" O.C. TO ROOF DECK (SECURED TO ROOF FRAMING) WITH 5/8" TYPE X GWB UP TO ROOF DECK ON BOTH SIDES- TAPED, SANDED, AND READY FOR PAINT. SEE SHT. A1.3 FOR ADDITIONAL DETAILS.
- 6" MTL. STUDS, 16" O.C. TO ROOF DECK (SECURED TO ROOF FRAMING) WITH 5/8" TYPE X GWB UP TO ROOF DECK ON BOTH SIDES- TAPED, SANDED, AND READY FOR PAINT. SEE SHT. A1.3 FOR ADDITIONAL DETAILS.

**SIGNAGE REQUIREMENTS**

- REMOVE AND REPLACE EXISTING GENDER SPECIFIC TOILET ROOM SIGNAGE. REPLACE WITH "ALL GENDER RESTROOM" SIGNS. THESE ROOMS ARE NOT ACCESSIBLE AND SHOULD NOT BE NOTED AS SUCH VIA SIGNAGE.
- NEW PUBLIC RESTROOM SHALL BE PROVIDED WITH REQUIRED "ALL GENDER RESTROOM / ADA" SIGNAGE PER STATE REQUIREMENTS. RE: TL 3 SHEET.
- PROVIDE "RESTRICTED ACCESS" SIGNAGE ADJACENT TO DOOR #102A PER ILLINOIS ADMINISTRATIVE CODE SECTION 1290.410 SUBSECTION f).

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**ALTIUS DISPENSARY**

506 S. SCHMALE RD.  
 CAROL STREAM  
 ILLINOIS, 60188

REVISION DATES

NO.	DATE	DESCRIPTION

ISSUE DATES

TYPE	DATE
ISSUE FOR PERMIT	11-13-23

DRAWN BY: AB  
 CHECKED BY: NUJ/BE

PROJECT NUMBER: 23-60003  
 DATE: 10-30-2023  
 SHEET TITLE: FLOOR PLAN

SHEET NUMBER: **A1.1**



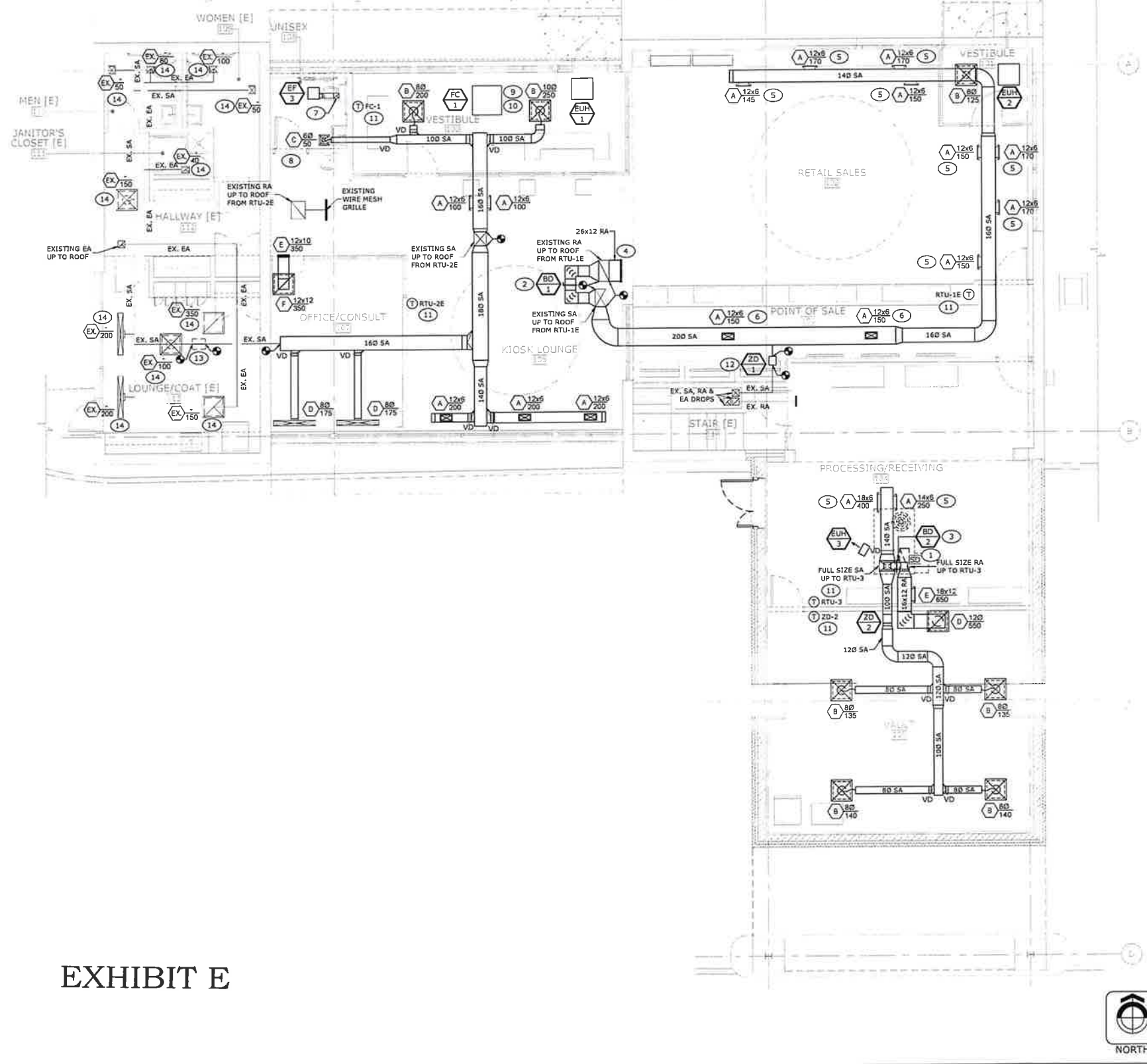
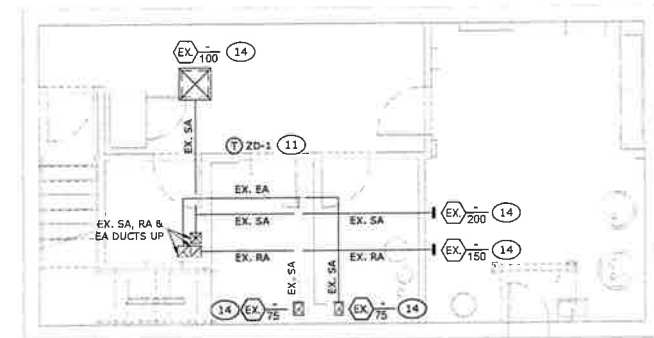


EXHIBIT E

KN KEYED NOTES

- 01 PROVIDE RETURN DUCT MOUNTED SMOKE DETECTOR, HARDWIRED, INTERLOCK SMOKE DETECTOR TO SHUT DOWN UNIT UPON DETECTION OF SMOKE.
- 02 12x12 RA FROM SUPPLY DROP TO RETURN DROP WITH BY-PASS DAMPER.
- 03 8x8 RA FROM SUPPLY DROP TO RETURN DROP WITH BY-PASS DAMPER.
- 04 PROVIDE 1/2" X 1/2" WIRE MESH GRILLE.
- 05 INSTALL GRILLE ON DUCT AT 60 DEGREES DOWN FROM HORIZONTAL.
- 06 INSTALL REGISTER ON DUCT AT 90 DEGREES DOWN FROM HORIZONTAL, I.E. BOTTOM OF DUCT.
- 07 6x6 EXHAUST DUCT UP THRU ROOF, SEE MECHANICAL ROOF PLAN FOR CONTINUATION. TERMINATE WITH EXHAUST CAP AT A MINIMUM OF 14" ABOVE ROOF AND A MINIMUM OF 10 FEET FROM ALL SOURCES OF FRESH AIR INTAKE.
- 08 PROVIDE DOOR WITH 1" UNDERCUT. MC TO COORDINATE WITH GC AND DOOR PROVIDER.
- 09 ROUTE REFRIGERANT PIPING FROM OUTDOOR UNIT TO INDOOR UNIT, TIGHT TO DECK. SIZE AND ROUTE PIPING PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. MINIMIZE REFRIGERATION PIPING AND KEEP EQUIPMENT AS CLOSE TO INTERIOR UNIT AS POSSIBLE. MAINTAIN CLEARANCE FROM OTHER EQUIPMENT, VERIFY IN FIELD. COORDINATE ROOF FLASHING AND PATCHING WITH G.C. PROVIDE INSULATION AS PER LOCAL CITY ADOPTED ENERGY CODE.
- 10 ROUTE CONDENSATE PIPE FROM INDOOR UNIT AT 1/2" PER FOOT SLOPE TOWARDS MOP SINK. DISCHARGE CONDENSATE PIPE AT MOP SINK WITH 2" MINIMUM AIR GAP. PROVIDE ESCUTCHEONS AT ALL FINISHED WALL/CEILING PENETRATIONS.
- 11 PROVIDE THERMOSTAT AT 4'-0" A.F.F. COORDINATE FINAL LOCATION OF THERMOSTAT WITH OWNER AND CONSTRUCTION MANAGER.
- 12 REPLACE EXISTING ZONE DAMPER WITH NEW AS SCHEDULED AND RECONNECT WITH EXISTING THERMOSTAT, RECONNECT EXISTING AND NEW BRANCH DUCTWORK TO SAID ZONE DAMPER.
- 13 REMOVE EXISTING ZONE DAMPER IN BREAK ROOM, PROVIDE AND CONNECT NEW SUPPLY DUCT TO EXISTING OF SIZE MATCHING EXISTING DUCT.
- 14 REBALANCE AIR TERMINAL TO AIRFLOW RATE SHOWN

NOTE:  
PROPOSED VENTILATION TO USE A CARBON ACTIVATED FILTRATION SYSTEM.



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STATE OF ILLINOIS  
JON-PA  
BRIDGEWAY  
001-0300  
LICENSED ARCHITECT

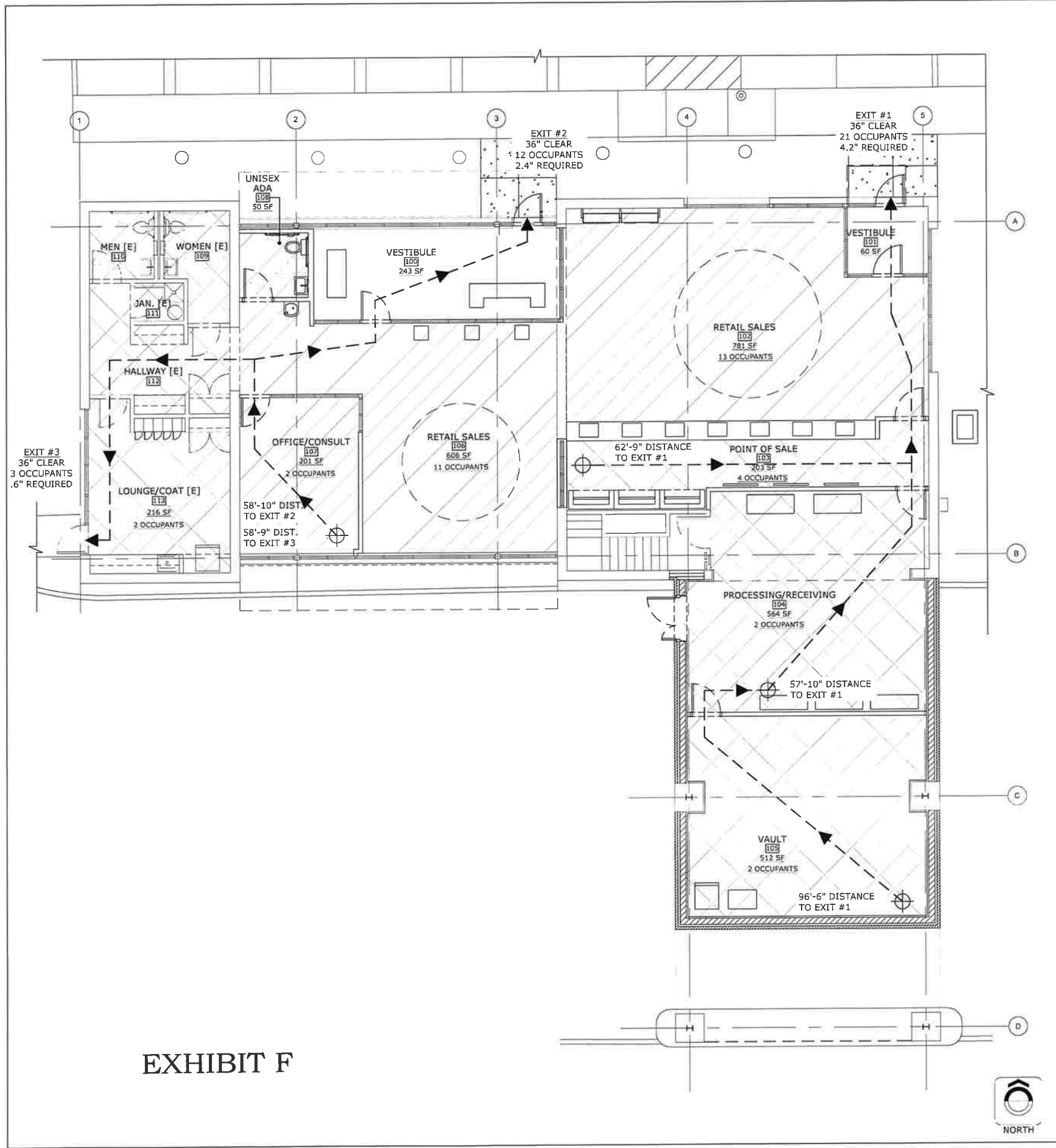
EXPIRES: 02/28/2024  
CURRENT SITE  
11/19/2023

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CAROL STREAM  
ILLINOIS, 60188

REVISION DATES	
NO.	DATE
ISSUE DATES	
TYPE	DATE
ISSUE FOR PERMIT	11-13-23
DRAWN BY	AM
CHECKED BY	J. JB 3
PROJECT NUMBER	23-60003
DATE	10-30-2023
SHEET TITLE	
MECHANICAL FLOOR PLAN	
SHEET NUMBER	
<b>M1.1</b>	



**EXHIBIT F**

**CODE ANALYSIS**

ZONING: B-3  
 USE: AN ADULT-USE CANNABIS DISPENSARY FACILITY

**BUILDING STATISTICS:**  
 OCCUPANCY TYPES: 'M' MERCANTILE

**CONSTRUCTION TYPES:** TYPE IIB (UNPROTECTED)  
 HEIGHT/AREA (STORY/S.F.): ALLOWED 2/ 12,500 S.F.  
 ACTUAL 1/ 4,472 S.F.

SPRINKLERED: NO  
 FIRE ALARM: YES

**OCCUPANT LOAD CALCULATION:**  
 MERCANTILE AREA: 1,387/60 24 OCC.  
 BUSINESS AREA: 417 /150 3 OCC.  
 POS (SALES) AREA: 203 /60 4 OCC.  
 STORAGE & UTILITY: 1,076/300 4 OCC.  
 TOTAL: 35 OCC \*

**EXIT WIDTH CALCULATION:**  
 (35 OCCUPANTS) X (0.20 EGRESS) = 7'  
 EXIT #1 = 36" (CLEAR)  
 EXIT #2 = 36" (CLEAR)  
 EXIT #3 = 36" (CLEAR)  
 108" (COMPLIES)

MAXIMUM TRAVEL: ALLOWED: 200 FEET  
 ACTUAL: 96'-6" FEET (COMPLIES)

**PLUMBING FIXTURE COUNT:**  
 PLUMBING OCCUPANT LOAD = 35 PEOPLE  
 PLUMBING FIXTURE COUNT:

SALES (PUBLIC AREA): 21 PERSONS / 2 = 11 MEN + 11 WOMEN \*  
 SEPARATE FACILITIES REQUIRED PER 7.21.4

EMPLOYEE (RESTRICTED AREA): 15 PERSONS / 2 = 8 MEN + 8 WOMEN \*  
 SEPARATE FACILITY NOT REQUIRED PER 7.21.4(4)

**OCCUPANT LOAD ON PLAN WAS ROUNDED UP IN EACH AREA AND USE,  
 (PER ILLINOIS PLUMBING CODE)**

MENS		WOMENS	
WC REQ'D	1: 1-50	WC REQ'D	1: 1-50
WC PROVIDED	1 PROVIDED	WC PROVIDED	1 PROVIDED
UR REQ'D	---	UR REQ'D	---
UR PROVIDED	---	UR PROVIDED	---
LAV REQ'D	1: 1-50	LAV REQ'D	1: 1-200
LAV PROVIDED	1 PROVIDED	LAV PROVIDED	1 PROVIDED

DRINKING FOUNTAIN = 1 REQ'D x 1 PROVIDED  
 MOP SINK = 1 REQ'D x 1 PROVIDED

PROVIDE: ONE (1) MENS' TOILET, ONE (1) WOMEN'S TOILET, ONE (1) UNISEX TOILET.

**BUILDING REQUIREMENTS**

- GENERAL NOTES:**
- REFER TO SEPARATELY ATTACHED SECURITY PLAN SHOWING HOLD-UP, PANIC, GLASS BREAK SENSORS, AND MOTION DETECTORS, AND LOCATIONS OF ALL CAMERAS.
  - CANNABIS DESTRUCTION IS PERFORMED IN THE PRODUCT VAULT. VAULT AREAS ARE REINFORCED WITH THE FOLLOWING:  
 18-GAUGE STRUCTURAL STUDS MADE OF GALVANIZED SHEET METAL MEETING REQUIREMENTS OF ASTM A1003, (II) 9-GAUGE, TYPE II, CLASS 1 CARBON STEEL SECURITY MESH AND ATTACHMENT CLIPS MEETING ASTM F1267 ON EITHER SIDE OF THE STUDS, AND (III) AN INTERIOR COVERED BY UL AND UL-C CLASSIFIED, TYPE X (PER ASTM C1658), IMPACT RESISTANT, MOISTURE RESISTANT, NONCOMBUSTIBLE GYPSUM BOARD TESTED TO ASTM E13618 GA STUDS AND 9 GA MESH PER ILLINOIS STATE REQUIREMENTS.
  - CARBON ACTIVATED FILTERS SHALL BE UTILIZED TO REDUCE PRODUCT RELATED ODORS. GC TO LEAVE EXTRA FILTERS ONSITE FOR FUTURE MAINTENANCE.

**LIFE SAFETY NOTES**

- TRAVEL DISTANCE PLAN IS FOR REFERENCE AND IS INTENDED TO SHOW CODE REQUIRED EGRESS DISCHARGE AT ALL OCCUPANT OCCURRENCES. ALL OTHER LIFE SAFETY ELEMENTS, NOT QUALIFIED ON THIS SHEET, IS COVERED ON REMAINING CONSTRUCTION DOCUMENTS HEREIN.
  - ALL ITEMS INCLUDING BUT NOT LIMITED TO EMERGENCY LIGHTING, EXIT SIGNAGE, FIRE EXTINGUISHERS, FIRE ALARM DEVICES, ETC ARE SUBJECT TO LOCAL AUTHORITY FIELD INSPECTION. ALL LIFE SAFETY ITEMS REQUESTED BY FIRE DEPARTMENT OR BUILDING OFFICIAL SHALL BE COMPLIED WITH. GC TO COORDINATE WITH ALL TRADES, ARCHITECT, AND CAPUTOS CONSTRUCTION MANAGER.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE EXTINGUISHERS MODEL #2A10BC ABC RATING PER QUANTITY AND LOCATIONS AS FOLLOWS (OR WHERE SHOWN ON PLAN):
- | 5.2.1 FIRE EXTINGUISHER SIZE AND PLACEMENT FOR CLASS A HAZARDS CRITERIA | ORDINARY (MODERATE) HAZARD |
|---|----------------------------|
| MIN. RATED SINGLE EXTINGUISHER  | 2-A                        |
| MAX. FLOOR AREA PER UNIT OF "A"   | 1500 FT.                   |
| MAX. FLOOR AREA FOR EXTINGUISHER  | 11,250 FT.                 |
| MAX. TRAVEL DISTANCE TO EXTINGUISHER                                    | 75 FT.CO                   |
- FINAL FIRE EXTINGUISHER QUANTITY AND LOCATIONS SUBJECT TO LOCAL FIRE AUTHORITY REQUESTS OR ADJUSTMENTS AT TIME OF INSPECTION. GC RESPONSIBLE FOR ADDITIONAL EXTINGUISHERS REQUIRED BY FIRE AUTHORITY.  
 COMPLY WITH NFPA 10.
- THE EXTINGUISHER SHALL BE MOUNTED SO THAT THE TOP OF THE EXTINGUISHER IS NOT MORE THAN 5 FEET ABOVE THE FINISH FLOOR AND THE BOTTOM NO LESS THAN 4 INCHES OFF THE FINISHED FLOOR. CODE SECTION 906.1 AND NFPA 10 1-6.9 TABLE 3-3.1

**ACCESS LEGEND**

- PUBLIC ACCESS
- LIMITED ACCESS
- RESTRICTED ACCESS

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STATE OF ILLINOIS  
 JONAH BRADSHAW  
 LICENSED ARCHITECT  
 LICENSE NO. 17167/2024  
 EXPIRES: 03/31/2025

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REVISION DATES	
NO.	DATE

ISSUE DATES	
TYPE	DATE
ISSUE FOR PERMIT	11-13-23

DRAWN BY: AB  
 CHECKED BY: NJUJB

PROJECT NUMBER: 23-60003  
 DATE: 10-30-2023  
 SHEET TITLE: EGRESS PLAN  
 SHEET NUMBER: T1.2





**GENERAL NOTES**

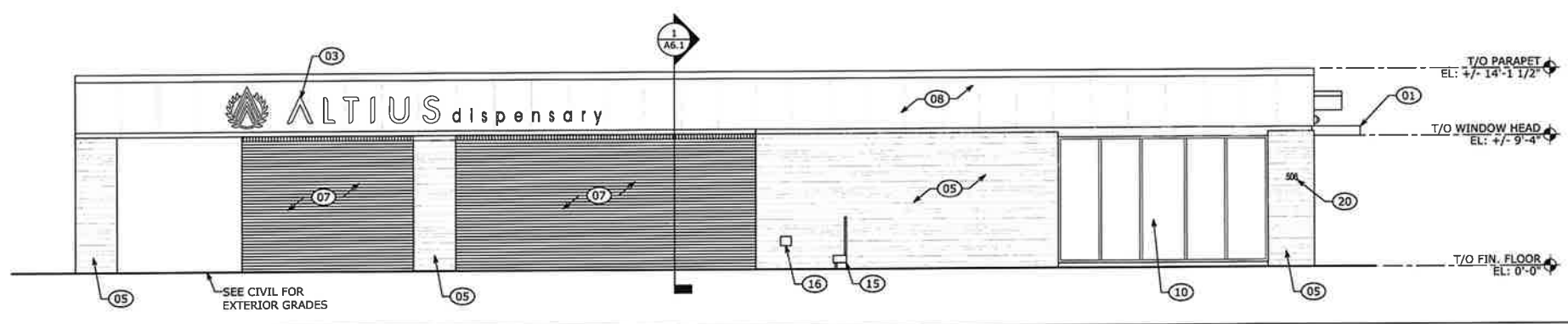
1. PROVIDE CONTINUOUS SEALANT BEAD BETWEEN ALL UNLIKE MATERIALS. REPLACE ALL EXISTING EXTERIOR SEALANTS EVEN ON ELEVATIONS WHERE NEW SCOPE IS NOT INDICATED. FILL ALL INFILTRATION POINTS AND MAKE BUILDING AIR AND WATER TIGHT.
2. DO NOT SCALE PLANS. ALL MEASUREMENTS SHALL BE VERIFIED IN FIELD.
3. ALL EXTERIOR PLYWOOD SHEATHING USED IS TO BE FIRE-TREATED RETARDANT, UNLESS NOT REQUIRED BY LOCAL AUTHORITY. REGARDLESS, ALL EXTERIOR WOOD BLOCKING TO BE PRESSURE TREATED.
4. TNEPEC EPOXY PRIMER AND TNEPEC EPOXY FINISH COAT ON ALL EXPOSED STEEL. TYPICAL FOR EXPOSED LINTELS & COLUMNS. SAND & PREP EXISTING STEEL PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATE STEEL COATING SYSTEMS WILL BE REVIEWED.
5. SUBMIT FOR REVIEW ALL EXTERIOR MATERIALS OF BUILDING TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
6. ALL PROPOSED FINISHES SHALL BE APPLIED ON PREPARED SURFACES PER MANUFACTURER'S INSTALLATION SPECIFICATIONS. SAME APPLIES TO INSTALLATION OF MATERIALS. VERIFY MINIMUM TEMPERATURE REQUIREMENTS FOR APPLICATION.
7. EXTERIOR SIGNS ARE OMITTED FROM THE BUILDING PERMIT. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL EXTERIOR SIGNAGE BY SIGN VENDOR.



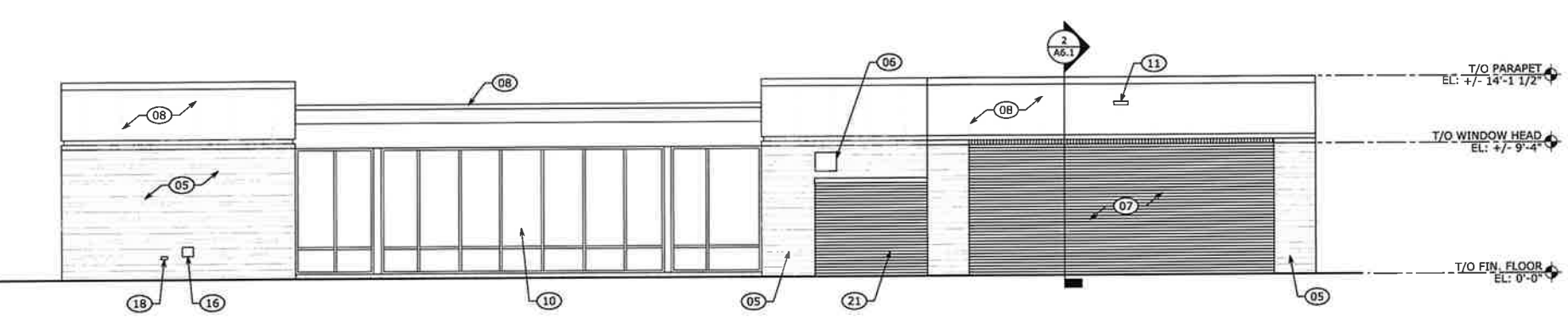
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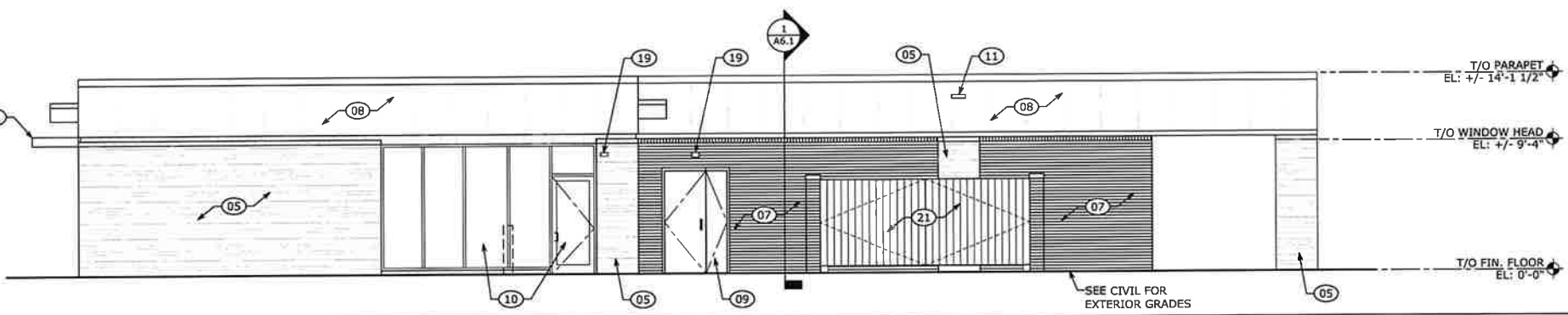
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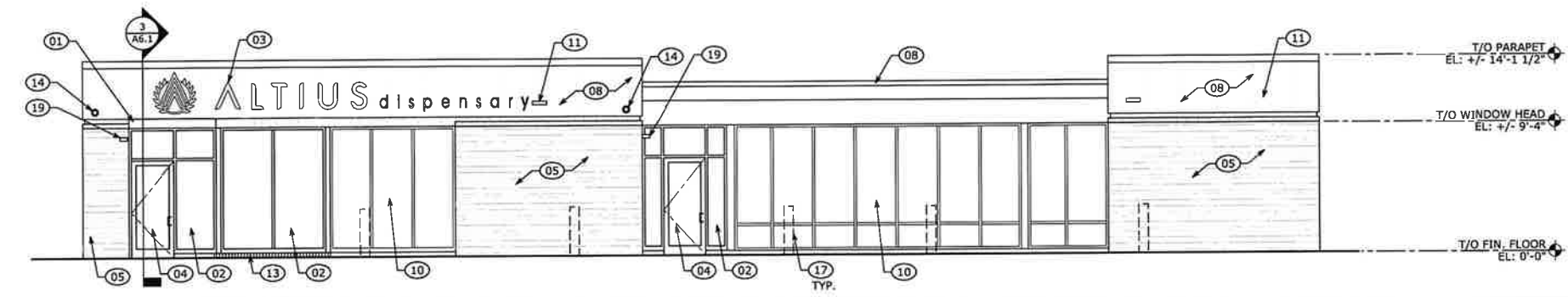
**1 EAST ELEVATION** SCALE: 3/16" = 1'-0"



**2 SOUTH ELEVATION** SCALE: 3/16" = 1'-0"



**3 WEST ELEVATION** SCALE: 3/16" = 1'-0"



**4 NORTH ELEVATION** SCALE: 3/16" = 1'-0"

**KEYED NOTES**

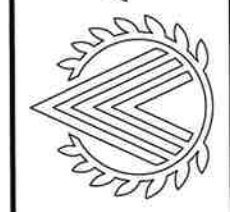
- 01 PREFABRICATED FLAT CANOPY. MANF: AYNEX COLORADO SYSTEM.
- 02 NEW STOREFRONT SYSTEM (COLOR TO MATCH EXISTING). TRANSPARENT GLASS SHALL HAVE AN OPAQUE FILM APPLIED TO OBSCURE THE VIEW TO THE INTERIOR. GC TO PROVIDE AND INSTALL SOLYX ULTRA SAFE - WHITE MATTE MAX SAFETY FILM
- 03 PROPOSED WALL SIGNAGE. SEE SIGNAGE PACKAGE FOR DETAILS. (BY OTHERS, SEE ELECTRICAL FOR FEED)
- 04 NEW STOREFRONT DOOR (COLOR TO MATCH EXISTING). TRANSPARENT GLASS SHALL HAVE AN OPAQUE FILM APPLIED TO OBSCURE THE VIEW TO THE INTERIOR. GC TO PROVIDE AND INSTALL SOLYX ULTRA SAFE - WHITE MATTE MAX SAFETY FILM
- 05 ALL EXISTING MASONRY TO BE PAINTED. SEE SCHEDULE FOR COLOR.
- 06 EXISTING EQUIPMENT FIXTURE TO REMAIN.
- 07 PROVIDE NEW MODULAR FACE BRICK INFILL AND TOOTH WHERE EXISTING DOOR/STOREFRONT AND SILL/BULKHEAD WAS DEMOLISHED. MATCH EXISTING ROWLOCK TRIM AND ALIGN AS REQUIRED. PAINT ALL BRICK. SEE SCHEDULE. BRICK HTS. TO ALIGN W/ EXISTING.
- 08 EXISTING METAL FASCIA AND COPING TO REMAIN. (NO PAINTING)
- 09 NEW HOLLOW METAL DOOR AND FRAME. PREP AND PAINT TO MATCH BRICK COLOR. SEE DOOR SCHEDULE.
- 10 EXISTING STOREFRONT & DOOR SYSTEM TO REMAIN. TRANSPARENT GLASS SHALL HAVE AN OPAQUE FILM APPLIED TO OBSCURE THE VIEW TO THE INTERIOR. GC TO PROVIDE AND INSTALL SOLYX ULTRA SAFE - WHITE MATTE MAX SAFETY FILM
- 11 EXISTING BUILDING MOUNTED LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL FOR ADDITIONAL SCOPE.
- 13 NEW ROWLOCK BASE WHERE EXISTING STOREFRONT ARE REMOVED. PREPARE OPENING FOR NEW STOREFRONT CONSTRUCTION. MATCH EXISTING.
- 14 EXISTING SECURITY CAMERA TO REMAIN.
- 15 EXISTING GAS TO REMAIN.
- 16 EXISTING WALL HYDRANT TO REMAIN.
- 17 EXISTING LIGHT BOLLARDS TO REMAIN.
- 18 EXISTING EXTERIOR OUTLET TO REMAIN.
- 19 NEW WALL LIGHTING, SEE ELECTRICAL DRAWINGS.
- 20 EXISTING ADDRESS NUMBER TO REMAIN.
- 21 NEW 7H MASONRY WALL TRASH ENCLOSURE AT RECEIVING AREA WITH BOARD-ON-BOARD CEDAR SWING GATES. BRICK SIZE AND PAINT COLOR TO MATCH ADJACENT WALL.

**PAINT SCHEDULE**

- PT-1 BENJAMIN MOORE GREEN LEAF (2045-30)
- PT-2 BENJAMIN MOORE VINE GREEN (2035-20)
- PT-3 BENJAMIN MOORE BLUEBERRY (2063-30)
- PT-4 BENJAMIN MOORE CALM (OC-22 - WHITE)

**EXHIBIT H**

**ALTIUS DISPENSARY**



506 S. SCHMALE RD.  
 CAROL STREAM  
 ILLINOIS, 60188

**REVISION DATES**

NO.	DATE	TYPE

**ISSUE DATES**

TYPE	DATE
ISSUE FOR PERMIT	11-13-23

DRAWN BY AB  
 CHECKED BY NUJUB

PROJECT NUMBER  
**23-60003**

DATE  
**10-30-2023**

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A3.1**



RECEIVED  
DEC 12 2023  
COMMUNITY DEVELOPMENT  
DEPT

 **ALTIUS** dispensary



EXHIBIT I-1



RECEIVED

DEC 12 2023

COMMUNITY DEVELOPMENT  
DEPT



EXHIBIT I-2



REC

DEC 12 2023

COMMUNITY DEVELOPMENT  
DEPT

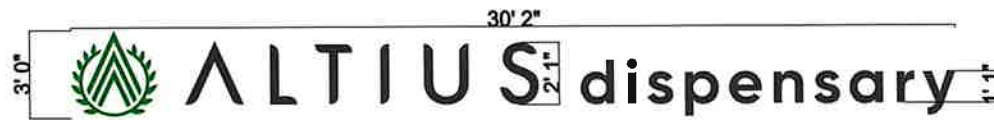
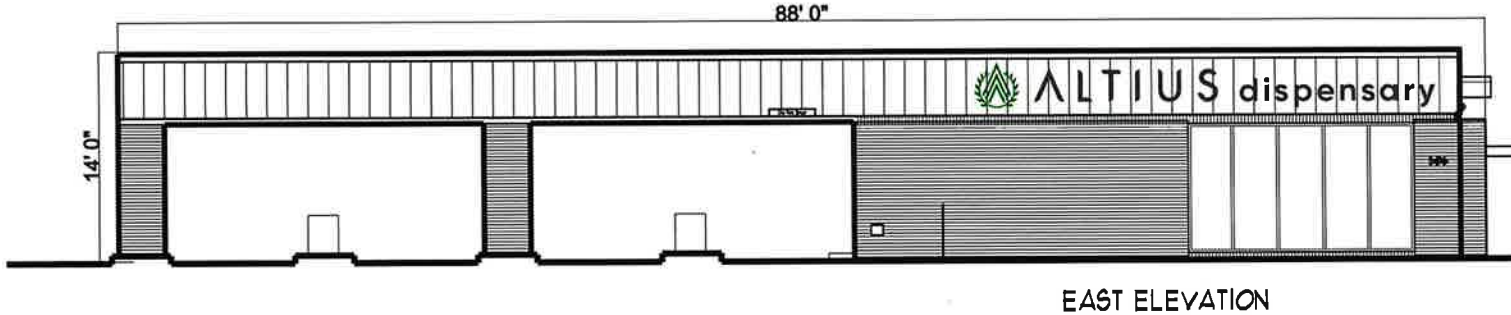
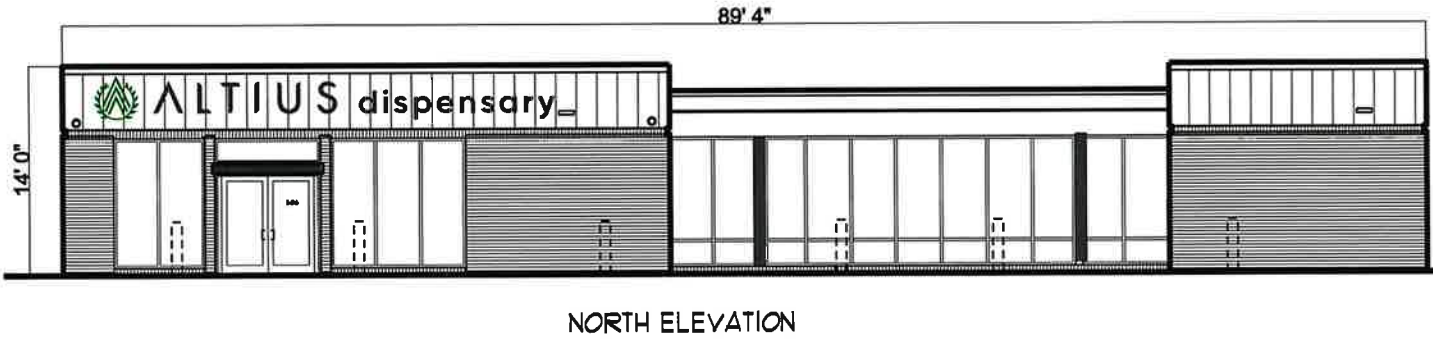


**ALTIUS** dispensary

506

EXHIBIT I-3

# ALTIUS DISPENSARY - CAROL STREAM



BUILDING SIGNS  
HALO LIT CHANNEL LETTERS  
MOUNTED TO STANDING SFAM WALLS

## EXHIBIT J



MONUMENT SIGN



MONUMENT SIGN  
2-SIDED LIGHT BOX W/ ACRYLIC FACES

RECEIVED

DEC 12 2023

COMMUNITY DEVELOPMENT  
DEPT



Elevate Sign Group  
1120 N. Ridge Ave.  
Lombard, IL 60148  
T: 630-656-1085  
www.elevatesigngroup.com

SUBMITTED TO:

ALTIUS DISPENSARY  
2316 N. MAIN ST.  
CAROL STREAM, IL

PROJECT:

ALTIUS DISPENSARY  
CAROL STREAM

DATE:



## Bravo Berisha

---

**From:** Carol Stream, IL - The Goddard School® <CarolStreamIL@goddardschools.com>  
**Sent:** Tuesday, January 2, 2024 2:37 PM  
**To:** Bravo Berisha  
**Subject:** Altius Dispensary Opposition

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To Whom It May Concern:

My name is Martin Gjini and I am the owner operator of the Goddard School located at 502 S Schmale R, in Carol Stream. Recently I was notified that a cannabis dispensary is being discussed to be licensed to operate less than 100 feet from my school which I strongly oppose for moral, safety and business reasons.

Since the hearing notice went out, I have been swamped with phone calls from families that either attend or are planning to attend my school. They have bringing up a couple of good point including:

- The parental dilemma on how to explain to their kids what marihuana is.
- A gun shop or a liquor store is not allowed to open less than 100 feet from a school, why is a marihuana store ok?
- Since it will not be allowed within 100 feet from a public school, why would you permit it 100 feet from my school

In addition, they are bringing up the safety side, as well. Since , the drivers to and from the dispensary, who are more likely to be under influence of marihuana than normal drivers, they feel uncomfortable to will the same road with their children in the back of their cars. Please, put yourself in the shoes of those parent for a minute. How would you feel if you new that you are sharing the same access road with someone who is likely High?

If the dispensary is permitted to open next to my school, it will have a negative impact on my business. As I mentioned earlier, I have had a number of phone calls from the current and prospective families that have made it clear to me that they are my comfortable to drive by the cannabis store to come to my school and a number of them have made it clear that they will look for alternative schools for their children. Since there is a dispensary already under construction less than a mile from my school, the village will not lose any tax revenue, but my school will be affected significantly by allowing the it to operate next door to my school.

We worked very hard to build our school and we are an asset to the community. Please, let's preserve it!

Respectfully,

Martin Gjini – The Goddard School Owner

(630)614-1212

[carolstreamil@goddardschools.com](mailto:carolstreamil@goddardschools.com)



# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

January 8, 2024

**TO:**  
Chairperson and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

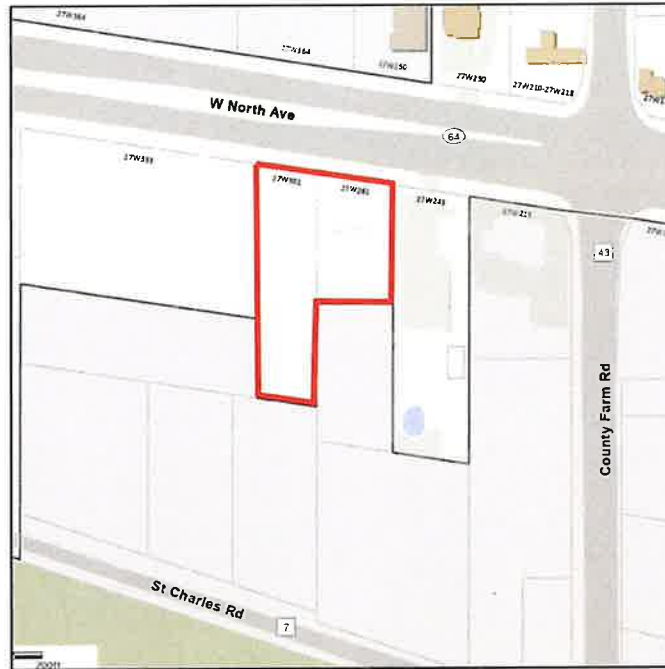
- A Special Use Permit for an Adult Use Cannabis Dispensary as outlined in Section 16-4-9 of the Carol Stream Unified Development Ordinance, in accordance with Section 16-3-11 of the UDO
- North Avenue Corridor Review, in accordance with Sections 16-3-7 and 16-15-16 (E) of the UDO

**APPLICANT/ CONTACT:**

Mr. Joseph Riccelli  
CannaCloud LLC  
27W261 North Avenue  
West Chicago, IL 60185



**CASE #:** 23-0041  
**LOCATION:** 27W261 and 27W301 North Avenue  
**PROJECT NAME:** CannaCloud LLC



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	B-3 General Business District	Commercial (Chicago Motor Cars)	Corridor Commercial
North	Unincorporated DuPage County B-2 General Business District	Commercial (DuPage Water Conditioning)	Commercial
South	Unincorporated DuPage County B-2 General Business and O Office Districts	Commercial (Storage Yards)	Commercial
East	B-3 General Business District	Commercial (AT&T Store)	Corridor Commercial
West	B-3 General Business District	Commercial (Affinity Auto Sales)	Corridor Commercial

The property highlighted above is located on the south side of North Avenue and west of County Farm Road.

---

## Site Assessment

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### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for corridor commercial uses according to the Village's 2016 Comprehensive Plan. The proposed cannabis dispensary fits within this designation.

### AERIAL PHOTOGRAPH:



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## Project Summary

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### ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Introductory Cover Letter received October 30, 2023, Public Notice, CannaCloud Presentation Information received December 22, 2023, Streamlined Responses to Special Use Permit Requirements received December 22, 2023 (Exhibit A), Site Plan and Fire Apparatus Turning Study (Exhibit B), Floor Plan (Exhibit C), Building Elevations and Signage Plan (Exhibit D), and Landscape Plan (Exhibit E).

**BACKGROUND:**

Mr. Joseph Riccelli, Managing Member of CannaCloud LLC, requests approval of a Special Use Permit for an adult-use cannabis dispensary and North Avenue Corridor (NAC) Review for CannaCloud, proposed to be located at 27W261 and 27W301 North Avenue. The subject property currently contains a division of Chicago Motor Cars, which handles detailing, repair, and sales of semi-truck front cabs. The property contains an approximately 8,800 square foot building, and the proposed dispensary will occupy 2,600 square feet on the north end of the building facing North Avenue. The remainder of the building will be utilized for the truck cab repair/sales business. In addition, four cabs are proposed to be stored at the northwest corner of the property along North Avenue for display purposes, with the remainder of the cabs to be repaired and stored in the rear of the property.

On January 1, 2020, The Cannabis Regulation and Tax Act (CRTA) went into effect, and legalized and regulated the production, consumption, and sale of cannabis in Illinois. In late 2019 and prior to the CRTA going into effect, the Plan Commission reviewed, and the Village Board approved, zoning text amendments to also allow adult-use (recreational) cannabis dispensaries as a special use in the B-4 District.

In November and December 2022, the Village Board discussed possible zoning changes for dispensaries in Carol Stream given recent changes approved by the DuPage County Board for unincorporated areas. At the January 9, 2023 PC/ZBA meeting, a text amendment to amend the UDO and allow adult-use cannabis dispensaries as a special use in the B-3 General Business District was recommended for approval, and was subsequently approved by the Village Board on January 16, 2023. A provision was also adopted which updated location requirements for cannabis dispensaries, and stated that a dispensary cannot be located within a 1,500 foot radius of any other dispensing organization located within or outside the village, or be located within 100 feet of any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station.

In May 2023, a special use permit was granted to Veltiste IL, for a dispensary to be located at 720 E. North Avenue (Fuego Cannabis, now known as Bisa Lina Cannabis). It is anticipated that Bisa Lina will be opening shortly, and the property owner/operator of Bisa Lina has submitted a text amendment request to limit the number of dispensaries in Carol Stream to two dispensaries, and to increase the buffer between dispensaries from 1,500 feet to 2.5 miles (Case No. 23-0045). This application will also be reviewed by the PC/ZBA at their January 8, 2024 meeting.

Finally, the applicant has submitted a letter from Attorney Adam Koscielski, dated November 20, 2023, which describes the process in which CannaCloud will obtain a State of Illinois license for the proposed dispensary. According to the November 20, 2023 letter, the equity of an existing conditional license-holding entity will be transferred to CannaCloud LLC. The ownership of the license-holding entity cannot change until a special use permit has been approved, dispensary construction has been completed, and the dispensary has passed all inspections by the Illinois Department of Financial and Professional Regulation (IDFPR). Once all of these steps have been



achieved, the conditional State license can be converted to an annual State license and transferred to CannaCloud.

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### Staff Analysis

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#### **SPECIAL USE FOR AN ADULT USE CANNABIS DISPENSING ORGANIZATION**

The following information, as required in accordance with Section 16-4-9 of the UDO, has been submitted for review of the proposed cannabis dispensary:

##### Site Plan/Landscape Plan

The applicant has submitted a site plan and landscape plan denoting proposed modifications to the subject property.

- The building and property will be updated, with the parking lot along North Avenue modified to accommodate additional parking spaces. A six-foot tall wood fence and gate are also proposed on the east and west sides of the property, to separate the dispensary parking area from the truck cab parking area in the rear of the property. It should be noted that the property would maintain its existing driveway along North Avenue. Only eastbound traffic is able to access the property due to the landscaped median on North Avenue, and adequate space needs to be maintained in the front parking area for both truck cabs and emergency vehicle access to the site (see submitted fire apparatus turning plan).
- Landscaping is proposed along the North Avenue frontage, around the monument sign, and along the north foundation of the building.
- The parking lot will be resurfaced and restriped accordingly.
- It should be noted that the property is located on two parcels. 27W261 North Avenue contains the building and a portion of the parking lot, and 27W301 North Avenue to the west of the building contains the remainder of the parking area, storage building, and storage lot for the truck cab business. Both parcels are currently under common ownership, but staff recommends that a shared parking and cross access agreement be prepared to allow for the sharing of parking and access between both parcels. Staff recommends that the agreement be submitted prior to issuance of a building permit, and that said agreement be recorded against both parcels.

##### Floor Plan

The applicant has submitted a floor plan depicting how the interior of the existing building will be modified for the dispensary business.

- As proposed, the existing front entrance area will be maintained on the north side of the building, but will include a secured front entry vestibule/check-in area for customers (more information on check-in and other procedures associated with the business will be described under the Operations section of the report).

- From there, customers will be buzzed into the sales area through the controlled entrance, which will account for approximately 950 square feet of space and include product display areas. Public restrooms will also be provided.
- Areas restricted to employees only will include the sales processing/cash register area, the vault and storage areas where products will be stored, the receiving area on the west side of the building, and employee office/break areas. Restricted areas account for approximately 1,200 square feet of the space.
- As previously noted, approximately 6,200 square feet of space on the south side of the building will be utilized for truck cab repair and sales. No access will be provided between the dispensary area and the truck cab repair/sales area, and both will function as separate businesses within the building.

#### Dispensary Product Disposal

The applicant has submitted information regarding the disposal of products at the dispensary, whether products have expired or are deemed unusable.

- The applicant will utilize methods approved by the IDFPR to ensure proper destruction and disposal of such products. Likewise, the applicant proposes to contract with a private waste hauler to pick up product waste, to ensure that no cannabis waste is accessible to the public (i.e. product waste will not be stored in the dumpster on the west side of the property with regular refuse materials).

#### Dispensary Ventilation

The applicant has provided information regarding ventilation of the dispensary.

- The dispensary will utilize a Packaged Terminal Air Conditioning (PTAC) system within its vault area, which will prevent air from the vault area to mix with the rest of the dispensary and from being exhausted to the exterior of the building. A HEPA and carbon filtering system will also be utilized, in both the vault area and the rest of the dispensary space.
- A separate PTAC system will be utilized in the entry vestibule, which will further mitigate potential odors permeating outside of the dispensary.
- It should be noted that all items coming to the facility are sealed and pre-packaged, and there will be no unpacking or unsealing of contents in the store or on premise.
- All cannabis items will only be located in the restricted vault area, until sold to a customer. Therefore, there should be no odor transmission occurring outside of the building.
- In addition, customers are prohibited from opening and utilizing cannabis products on-site, which should alleviate odors in the parking lot.

#### Dispensary Security

The applicant has submitted security-related information regarding facility access controls, surveillance systems, and on-site security personnel.

- A third-party security company will provide on-site security during all hours of operation. They will be responsible for securing the premises before opening, and after closing, conducting patrols in and around the dispensary, monitoring deliveries and the filling of ATMs, and in any other security related manner as needed. Security personnel will also monitor customer counts within the dispensary.
- The dispensary will install and maintain a comprehensive 24/7 camera surveillance system, covering both the interior and exterior of the facility, along with a silent alarm system with motion detectors, glass break switches, and panic alarms.
- The facility will maintain an industry standard locked vault room for all cannabis inventory. No cannabis will be present within sales cases on the display floor (the product boxes displayed within the cases are empty). CannaCloud will also maintain a statutorily required secure inventory management and point of sale system, which allows the tracking all cannabis products from seed to sale. Upon dispensing cannabis to a purchaser, sales data will be recorded including which specific product was dispensed.
- It should be noted that all dispensary staff will wear photo identification badges, and will be trained to notify local law enforcement if they observe suspicious activity and/or emergency events with the assistance of third-party security staff. Staff will also be trained in how to assist purchasers and handle emergency events, such as active shooter, robbery, and medical emergencies.
- Carol Stream's Police Department has reviewed the submitted security plan, along with all other submitted documents for the dispensary proposal, and deems it acceptable.

#### Dispensary Operations

The applicant has submitted a plan of operations for the proposed dispensary, and asserts that all operations will comply with the CRTA. The plan addresses personnel, management and operational procedures, dispensing procedures, inventory and mandated audits, information protection and system security, and operational technology software.

- Proposed hours of operation for the dispensary will be 9:00am to 9:00pm Monday through Thursday, 9:00am to 10:00pm Friday and Saturday, and 10:00am to 6:00pm on Sunday. It should be noted that the CRTA prohibits dispensaries from being open between 10:00pm and 6:00am. The proposed hours of operation will meet regulatory requirements.
- There will be approximately 25 full-time and part-time employees, including managers, retail sales personnel, and security.
- The applicant has prepared and submitted standard operating procedures for product deliveries, sales transactions, inventory control measures, and opening and closing of the dispensary.
- Products for sale, including usable cannabis flowers, edibles, and other infused products, will be ordered from fully licensed cultivation centers.
- Products will be tracked, managed, packaged and labeled in accordance with all State regulations.
- In addition, product deliveries will only be received at the delivery area on the west side of the building, and deliveries will be made twice a week with dispensary staff (including security

staff) present in all instances. All products that are received will be accounted for in the inventory control system when they are placed into the vault area from the receiving area.

The submitted plan of operations also provides the process in which a customer enters the facility and purchases products.

- Customers will gain access to the proposed dispensary through the single main entrance on the north side of the building, and will enter the vestibule and waiting area.
- As they enter the check-in room, customers will be greeted by a security guard who will verify their age and government ID.
- Once a customer is allowed to enter the sales area, they will work with a sales representative to purchase products (utilizing cash or debit cards only). When an order is being placed, sales personnel will use the dispensary's computerized system to verify customer age and determine that purchasing limits have not been exceeded for each customer. Please note that the CRTA limits purchases to no more than 30 grams of cannabis flower, 500 milligrams of THC contained in cannabis-infused products (edibles, tinctures), and/or five grams of cannabis concentrate (vape cartridges, resin) per transaction for Illinois residents (non-Illinois residents can purchase half of the amount of each of the listed categories per transaction).
- Once a transaction has been finalized and recorded using the dispensary's computerized system, sales personnel will bring the customer to the sales processing area, retrieve specified products from the vault area, verify and authenticate all customer and product information in their computerized system, and package all cannabis products into the appropriate final packaging for the customer.
- From there, sales personnel will bring customers back to the entrance vestibule, have the customer enter the vestibule from a different door than the one used to enter the sales area, and exit the facility.
- It should be noted that a first-time customer spends approximately 20 minutes in a dispensary, whereas a returning customer spends less than 10 minutes in a dispensary, and said timeframe includes all processes (check-in, working with sales personnel to obtain products, purchase of products, and exiting the facility).
- In addition, online ordering will be allowed for customers. Products can be selected and packaged ahead of time, and stored in the vault area until the customer comes to pick the products up. The customer will still need to go through all security measures, but will bypass product selection with sales personnel. Online ordering will also minimize time spent in the store for the customer.
- It should be noted that the IDFPR oversees inspection and compliance requirements for the proposed dispensary. IDFPR will send investigators to audit the premises, and make sure it is in adherence to all code regulations for cannabis operations. These inspections include at a minimum, floor plan inspection, signage inspection, vault inspection, camera layout, and cash and record storage inspection.
- It should also be noted that the UDO does not allow the on-site consumption of cannabis products, and as noted in the submitted plan of operations, dispensary staff will make sure that consumption does not occur in and around the facility or within the parking lot.

Dispensary Location

- The UDO requires that a dispensary be located at least 1,500 feet away from any other dispensary, and be located at least 100 feet away from any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station within or outside the village.
- The proposed dispensary location at 27W261/27W301 North Avenue will meet these criteria.

Dispensary Parking/Traffic

- As previously mentioned, access to the site is provided by an existing driveway along North Avenue, and only eastbound traffic is able to access the driveway due to the existing landscaped median along North Avenue.
- The subject property will contain 47 parking spaces. Required parking for the building is calculated as follows:

<b>Business</b>	<b>Code Requirement</b>	<b>Spaces Required</b>
Proposed Dispensary 2,600 S.F. GFA 2,020 S.F. NFA	4 spaces / 1,000 S.F. NFA	8 spaces
Truck Cab Repair/Sales 6,200 S.F. GFA and two service bays	0.5 / 250 NFA, plus 1 / service bay	14 spaces
<b>Parking Spaces Required:</b>		<b>22 spaces</b>
<b>Parking Spaces Provided:</b>		<b>47 spaces</b>
<b>Parking Surplus:</b>		<b>25 spaces</b>

The proposed dispensary will be comprised of approximately 2,020 square feet of net floor area, which is utilized to calculate parking requirements. Staff does not have a floor plan of the truck cab repair/sales portion of the building; therefore, gross floor area was utilized to determine its parking requirements. Given that the average time spent at a dispensary is 10 minutes per customer, a large number of customers will order products online that could further reduce time spent inside the store, and the truck cab business has a limited number of employees and customers, staff believes that there will be adequate parking to meet the needs of both the dispensary and the truck cab business.

Dispensary Exterior Appearance and Signage

- The exterior of the existing building contains gray split-face concrete block and corrugated metal panels, with a storefront system along the north side of the building facing North Avenue. Upgrades include installing a black metal panel system and white metal accent bars

along the front of the building. The installation of the metal panel system will provide a more contemporary appearance to the older building along North Avenue.

- The remainder of the concrete block and corrugated metal panels will be painted white, to provide a cleaner look to the rest of the building.
- Wall signage is proposed on the north side of the building facing North Avenue, and will include channel letters with the words “CannaCloud” and “Cannabis Dispensary.” Wall signage is allowed to be no larger than 10% of the square footage of the building façade it will be placed on, and the proposed wall signage will meet this criteria.
- The existing pole sign along North Avenue will be modified to meet monument sign standards in the UDO. The lower portion of the sign will be enclosed with metal panels to match building materials, and will include landscaping around the sign base. The upper portion of the sign will include panels for business names, and the existing electronic message board will remain. Please note that the UDO regulations for dispensaries does not allow signage that, among other requirements, displays cannabis or contains any slang or colloquial term for cannabis or cannabis paraphernalia. The applicant has agreed to this provision for the electronic message board portion of the monument sign and for any window or building signage, but staff recommends that a condition of approval be included for the special use permit that reiterates this requirement.
- The PC/ZBA should note that the existing billboard along the North Avenue frontage of the property will remain at this time. When the subject parcels were annexed into the Village in 2017, an annexation agreement amendment was also approved which allowed the billboard to remain on the property for 20 years from the time of annexation. Therefore, the billboard is allowed to remain on the property until 2037.

#### Performance and Other Standards

The applicant has agreed to or has acknowledged the following stipulations per the UDO:

- All uses shall provide evidence of conformity to the performance standards for noise, vibration, smoke, dust, odor, heat, glare, fire hazard and other objectionable influences established by the State of Illinois and administered by the Illinois Environmental Protection Agency, the United States of America and administered by the federal environmental agency, and any ordinance of DuPage County or the Village of Carol Stream.
- All dispensing organizations shall abide by all other applicable state and village regulations and requirements. The facility may not conduct any sales or distribution of cannabis other than as authorized by the Act, and shall obtain and maintain at all times valid licensing, certification, and/or accreditation by appropriate, local, state and national bodies charged with the regulation of adult-use or medical cannabis business establishments and shall adhere to all governing local, state and national codes and regulations.

Staff has reviewed the various plans and documents that have been submitted by the applicant, and believe the proposed dispensary will meet all of the regulations outlined in Section 16-4-9 of the UDO pertaining to dispensaries. As such, staff supports the special use request.

## SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4(L)(3) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Is deemed necessary for the public convenience at the location.

The proposed dispensary will provide a legal retail use to the community, and will be considered a public convenience at the subject location.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Overall, the proposed project has been designed to allow for safe traffic patterns and customer interactions. Likewise, odor control and security measures have been carefully designed and extensively examined.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed use should not have negative impacts on surrounding properties, as the applicant has described measures that will be taken to ensure so that all performance standards pertaining to items such as noise, odor, and other objectionable influences will be abided by.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Staff does not believe the proposed dispensary should have an impact on the normal and orderly development and improvement of surrounding properties. Traffic and parking demand should be met on-site, and the submitted plan of operations outlines all operational needs and procedures for the business.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are either in place or will be designed and constructed in accordance with State and Village regulations.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.



The project is expected to conform to all applicable codes and requirements.

### **NORTH AVENUE CORRIDOR REVIEW**

NAC regulations are applicable to properties abutting North Avenue, and Plan Commission review of the proposed development is required to ensure that the proposal is in conformance with the NAC regulations. The Plan Commission has the authority to make the final determination of conformance with the NAC regulations and Village Board consideration is not required. The sections of the NAC regulations that apply to this project include site, landscape and architectural design, and signage.

As noted, the applicant proposes the following upgrades to the building and site:

- Additional parking will be provided to accommodate dispensary customers and employees.
- Landscaping is proposed along the property frontage, around the monument sign, and along the north building foundation.
- Upgrades to the building include the installation of black metal panels and white metal bands to modernize the front building façade, and painting the rest of the building white for a neutral building color palette.
- Wall signage has been tastefully designed, and the existing pole sign will be reconfigured as a monument sign to meet UDO regulations.

Overall, staff is supportive of the building/signage upgrades and the site/landscaping modifications, and believes it will provide for an attractive and more modern-looking property along the NAC.

### **RECOMMENDATION**

Staff has reviewed the proposed requests and supports the dispensary as it meets all regulations set forth in Section 16-4-9 of the UDO. Therefore, staff recommends approval of a Special Use Permit for an adult-use cannabis dispensing organization and North Avenue Corridor Review for CannaCloud LLC at 27W261 and 27W301 North Avenue, Case No. 23-0041, subject to the following conditions:

1. That all improvements, including but not limited to the building, elevation upgrades, parking lot resurfacing, and landscaping, must be built and installed prior to opening of the dispensary, and maintained in accordance with the attached plans and exhibits;
2. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
3. That all trash, refuse and recycling containers must be kept within the dumpster enclosure on the west side of the property, that the gates to the enclosure must be kept closed at all times except when employees are accessing the enclosure or when the waste hauler is servicing the property, and that the applicant shall separate out and make special arrangements for the pickup of cannabis product waste;

4. That the applicant must obtain the required sign permits prior to the installation of any new signage, and that the electronic message board on the monument sign or any wall or window signage not have the display of cannabis or contain any slang or colloquial term for cannabis or cannabis paraphernalia;
5. That a cross access and shared parking agreement between the 27W261 North Avenue parcel and the 26W301 North Avenue parcel be submitted for staff review prior to the issuance of a building permit, and said agreement shall be recorded prior to the opening of the dispensary;
6. That a maximum of four truck cabs shall be displayed in the northwest corner of the property, and the remainder of truck cabs shall be stored in the rear of the property and shall not be stored in customer or employee parking spaces or in drive aisles;
7. That should parking demand routinely exceed the number of parking spaces available on the property once the facility opens, Staff will retain the discretion to require additional parking;
8. That a Knox padlock shall be provided on any security gates, and the Carol Stream Fire Protection District shall be provided keys to said padlock for access onto the property;
9. That a copy of the approved State of Illinois adult use cannabis dispensing organization license shall be provided to the Village of Carol Stream prior to the opening of the dispensary;
10. That if any additional ground-mounted or roof mounted mechanical and utility equipment is installed, said equipment shall be screened per requirements of the UDO; and
11. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations, including Section 16-4-9 of the Village's Unified Development Ordinance and the State of Illinois' Cannabis Regulation and Tax Act.



RECEIVED

OCT 30 2023

COMMUNITY DEVELOPMENT DEPT

Do Not Write in This Space	
Date Submitted:	<u>10-30-23</u>
Fee Submitted:	<u>\$800.00</u>
File Number:	<u>23-0041</u>
Meeting Date:	<u>11/8/24</u>
Public Hearing Required:	<u>Y</u>

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

**FORM A**

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant CannaCloud LLC Phone 630-681-9173  
 Address 27w261 North Avenue, West Chicago, IL 60185 Fax 630-729-3141  
 E-Mail Address riccellilaw@gmail.com  
 (required)  
 Name of Attorney John Zemenak Phone 630-220-9748  
 (if represented)  
 Address john@zemenaklaw.com Fax \_\_\_\_\_  
 Name of Owner Suburban Development Group LLC Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect \_\_\_\_\_ Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 27w261 North Avenue, West Chicago, IL 60185  
 (PIN 01-36-400-013 only)

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision – Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation – Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation – Sign (requires Form B-2)
<input type="checkbox"/> Planned Development – Final	<input type="checkbox"/> Variation – Fence (requires Form B-3)
<input type="checkbox"/> Planned Development – Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Fee Schedule: (Check all that apply) Total Application Fee: \$ \_\_\_\_\_

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
x	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

\_\_\_\_\_  
Print Name

Joseph A. Riccelli, Managing Member

\_\_\_\_\_  
Signature

10-30-2023

\_\_\_\_\_  
Date

Revised 11/22





FORM C

RECEIVED

OCT 30 2023

COMMUNITY DEVELOPMENT DEPT

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.  
One other licensed cannabis retail site has so far been approved by Carol Stream. We intend to provide consumers age 21 and older  
\_\_\_\_\_ an alternative site to purchase lab tested, licensed cannabis for recreational use on the west side of the Village in a convenient, secure and safe location.
2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.  
Applicatn will minimize any adverse impacats to the health, safety, and welfare of the inhabitants in the Village by following all state and local regulations including 24 hour security, and selling licensed, lab tested cannabils to consumers 21 and over.  
\_\_\_\_\_
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.  
Appllicant intends to substantially improve the appearance of the one story building on the property and the special use for commercial retail will line up with neighboring properties and increase property values in the area.  
\_\_\_\_\_
4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.  
Applicant intends to comply with all requirments of the B-3 zoning district, and all condiitons established by the Village  
\_\_\_\_\_ to ensure an orderly development of this property.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Applicant will provide any community facilities and  
comply with all state and local regulations in regard to the dispensing of  
cannabis, including all zoning regulations and Municipal Code Section 16-4-9.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

Applicant intends to meet and exceed the expectations of the Village and will comply  
with all applicable regulations or conditions or modifications made by the Village Board

7. Other pertinent information or reason for request.

RECEIVED  
OCT 30 2023  
COMMUNITY DEVELOPMENT  
DEPT

Village of Carol Stream Introduction Letter

Re: Adult Use Dispensary located at 27w261 North Avenue, West Chicago, IL 60185

Dear Village of Carol Stream,

My name is Joe Riccelli, I am a local attorney and the Managing Member of CannaCloud LLC.

The purpose of my letter is to request a Special Use Permit from the City of Carol Stream in order to open and operate an Adult Use Dispensary.

Enclosed you will find all the necessary documents requested for the application.

Our goal is to provide a safe and compliant facility.

We are excited to partner with the Village of Carol Stream and look to be a great business partner throughout the years to come.

Please feel free to contact me with any questions or concerns.

Respectfully,



Joseph Riccelli

P: 630-681-9173

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# Certificate of the Publisher


Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on December 20, 2023 and the last publication of the notice was made in the newspaper dated and published on December 20, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on December 20, 2023.

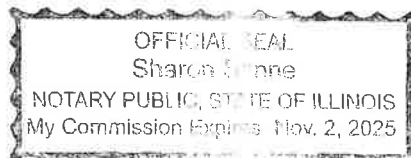
Examiner Publications, Inc.

By: Publisher

  
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 20 day of December, A.D. 2023.

Notary Public





## LEGAL NOTICE PUBLIC NOTICE FILE #23-0041

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, January 8, 2024 at 8:00 p.m. to consider an application from CannaCloud LLC for the following actions:

A Special Use Permit for an Adult Use Cannabis Dispensary as outlined in Section 16-4-9 of the Carol Stream Unified Development Ordinance, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance

For the properties located at 27W261 and 27W301 North Avenue (PIN 01-36-400-013 and 01-36-400-011)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

<https://us02web.zoom.us/j/8191234567890>

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 879 9463 2473

International numbers available:  
<https://zoom.us/j/8191234567890>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.illinois.gov> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, AICP, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* December 20, 2023. 1220

RECEIVED

DEC 22 2023

COMMUNITY DEVELOPMENT  
DEPT

# APPLICATION FOR SPECIAL USE

# CANNA CLOUD

cannabis dispensary  
Carol Stream, IL





## REQUEST

### Proposed Use Defined

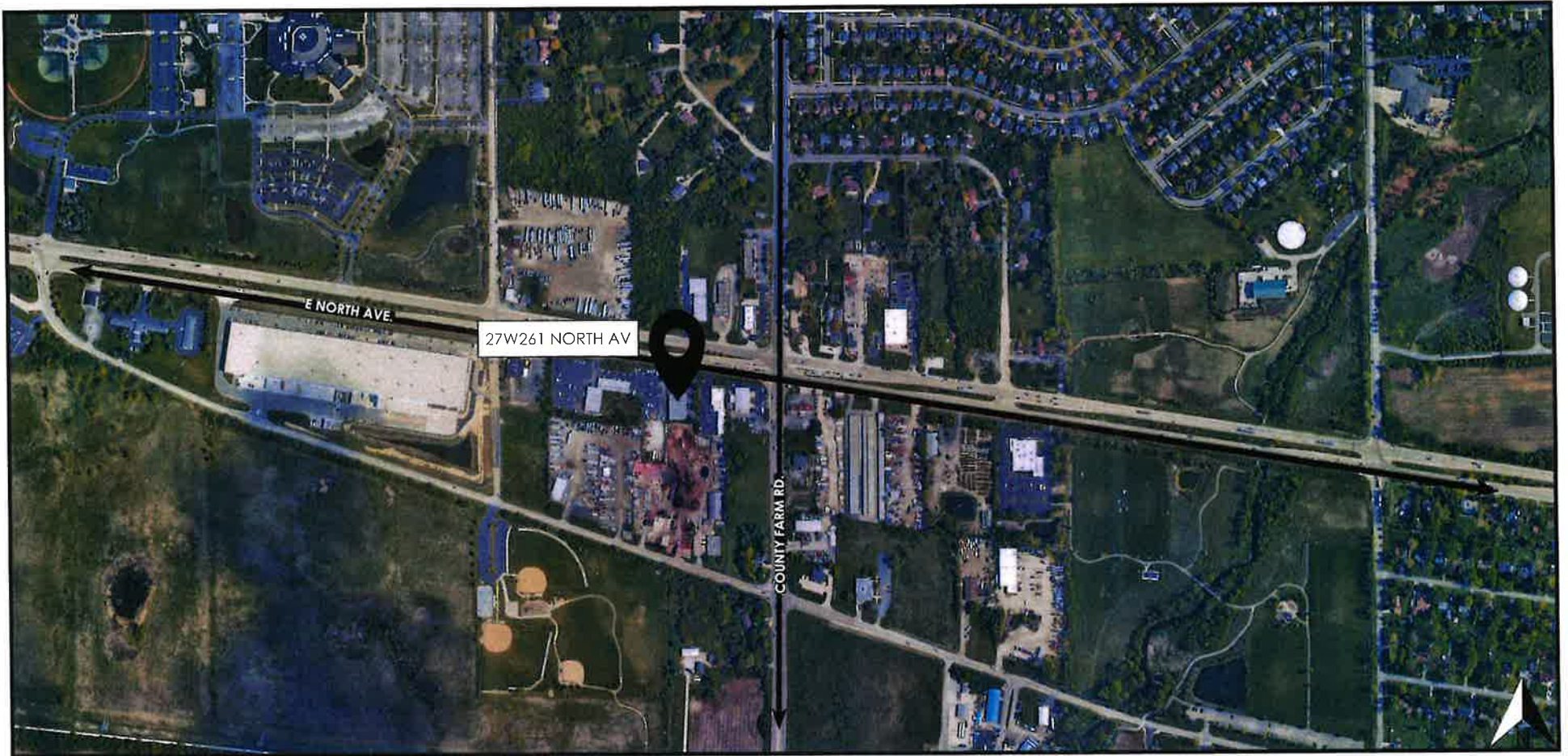
"A facility operated by an adult-use cannabis business organization that is licensed by the Illinois Department of Financial and Professional Regulation to acquire cannabis from licensed adult-use cannabis organizations for the purpose of selling or dispensing cannabis, cannabis-infused products, cannabis seeds, paraphernalia or related supplies to purchasers or to qualified registered medical cannabis patients and caregivers, per the Adult-Use Cannabis Act."

**The Applicant is requesting Special Use approval to establish an Adult-Use Cannabis Dispensary at 27W261 North Ave**



# CANNA CLOUD

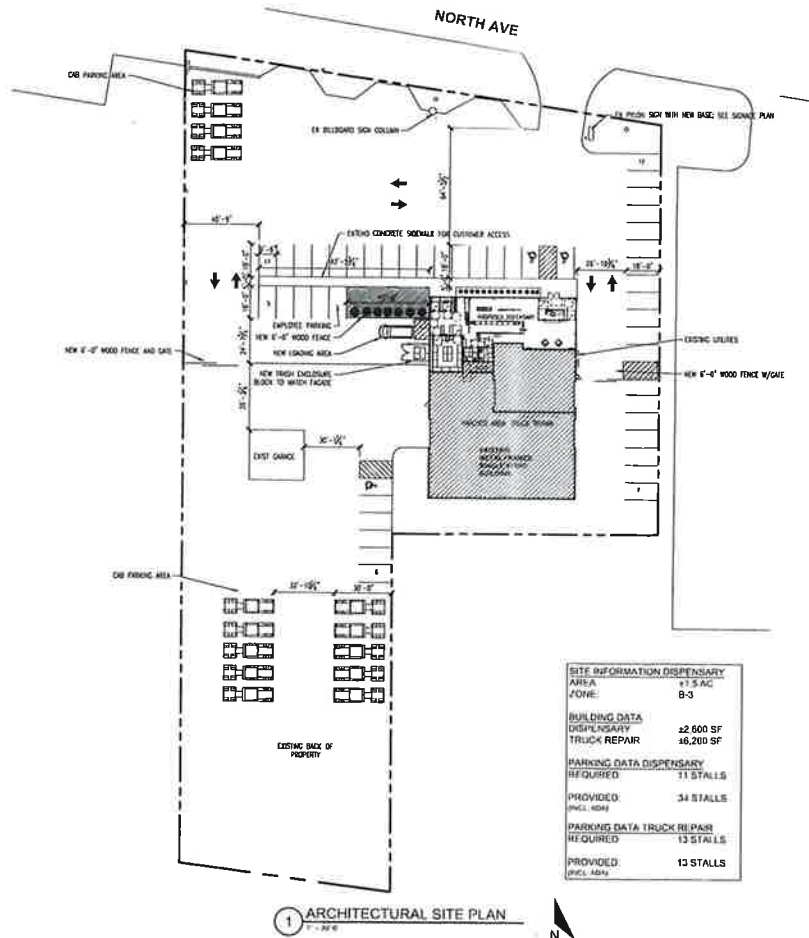
cannabis dispensary





# CANNA CLOUD

cannabis dispensary



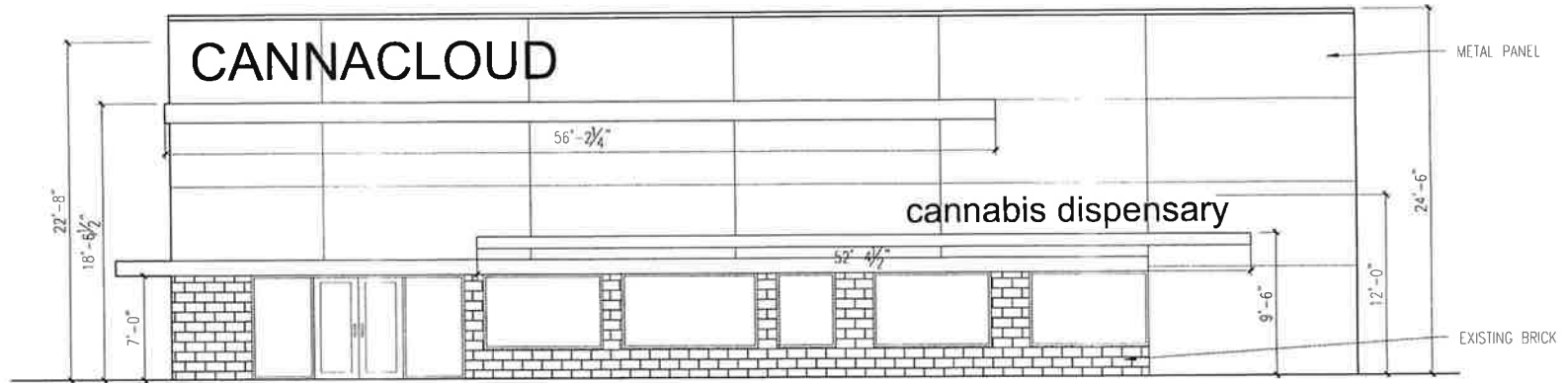
## Zoning Compliance

- » No structural improvements or modifications are proposed to the existing building footprint. There will be a few changes to the Facade and Parking as part of the application for special use.
- » The site will remain compliant with existing standards in the B-3 district standards including those standards pertaining to yard, bulk, and density

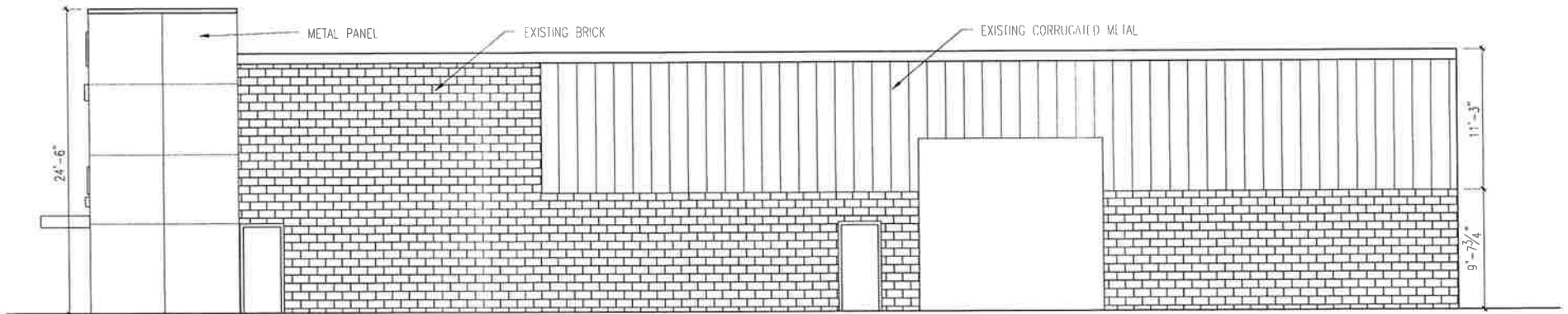


# CANNA CLOUD

cannabis dispensary



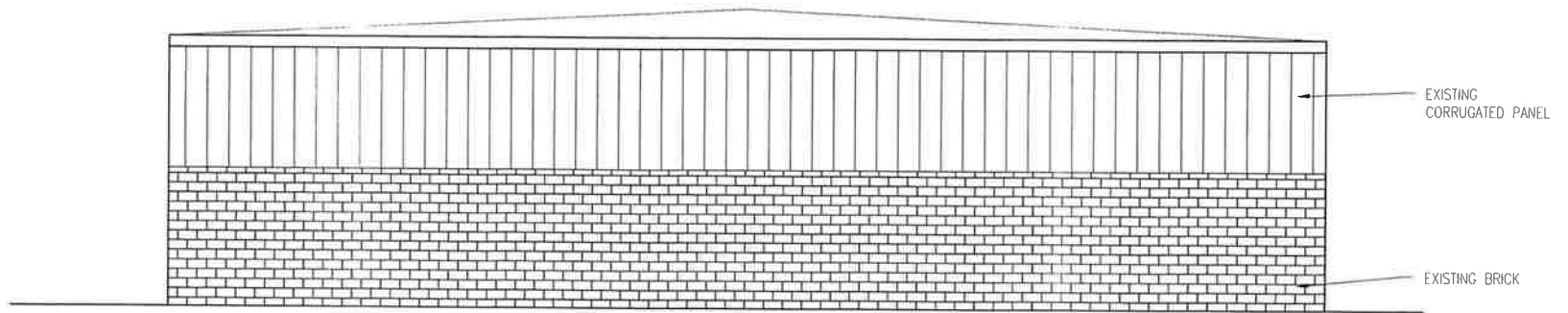
1 NORTH ELEVATION (FRONTAGE)  
1/8"=1'-0"



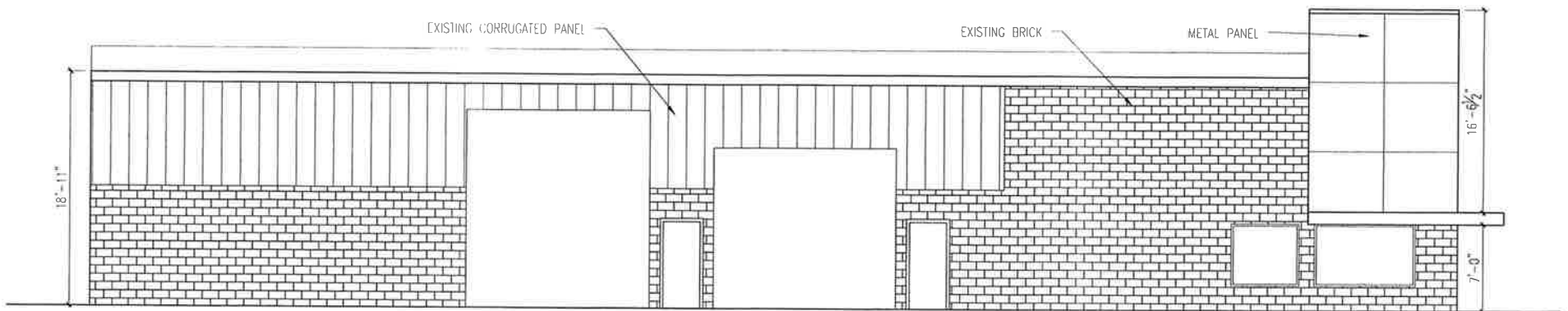
2 WEST ELEVATION  
1/8"=1'-0"

# CANNA CLOUD

cannabis dispensary

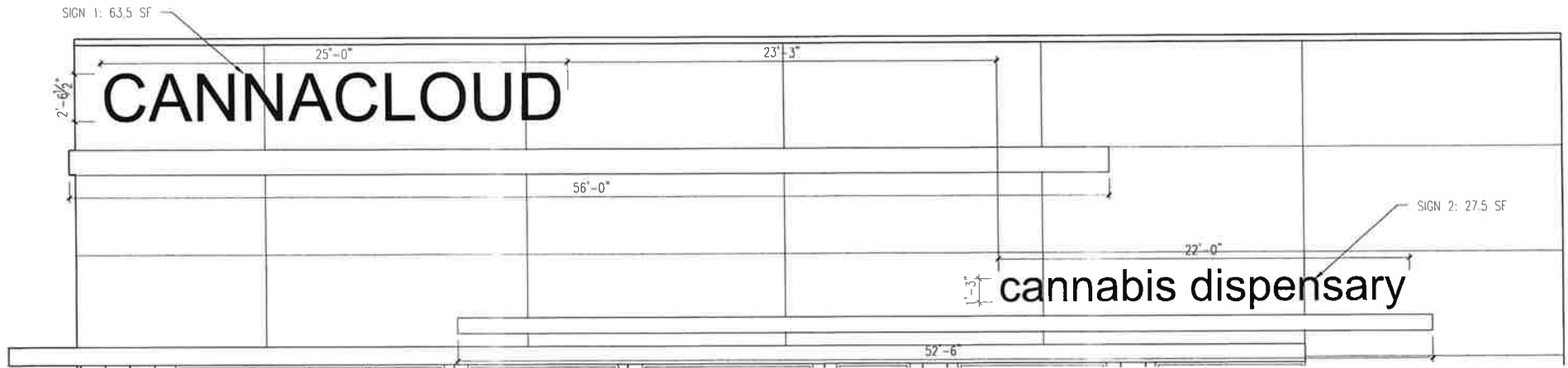


3 SOUTH ELEVATION (REAR)  
1/8"=1'-0"



4 EAST ELEVATION  
1/8"=1'-0"

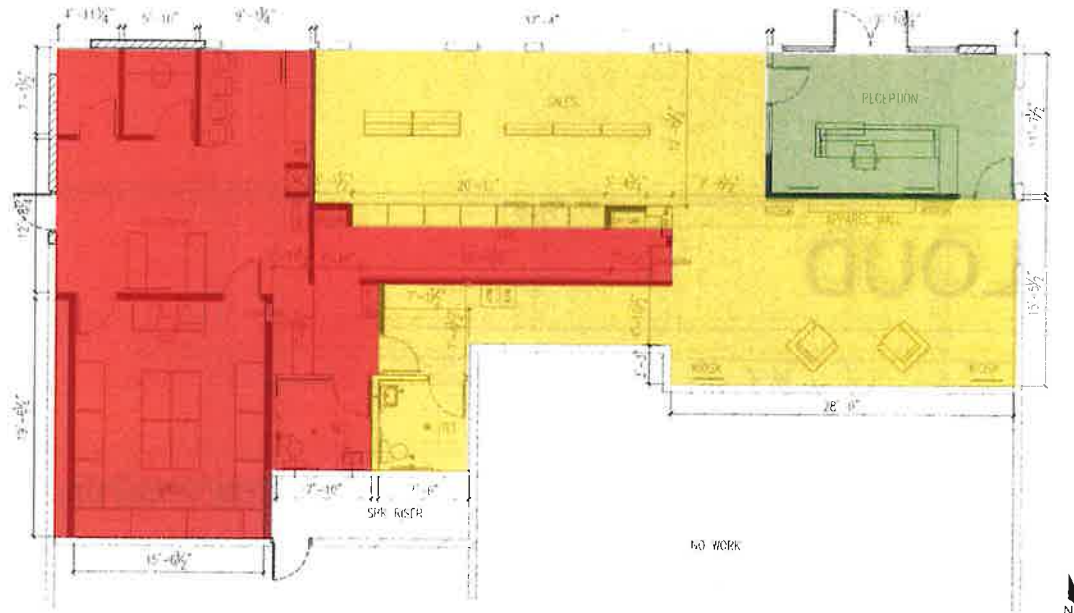




1 BUILDING SIGN: Proposed North Elevation  
3/16"=1'-0"

# CANNA CLOUD

cannabis dispensary



## Floor Plan

### Public Access

- » Includes entry vestibule/waiting room.
- » Employee will welcome visitors and check their photo identification to confirm that he/she is 21 years of age or older before allowing them to proceed onto the sales floor.

### Limited Access

- » Includes the sales floor, points of sale, and public restrooms.
- » Access is limited to guest/visitors 21 years and older who have provided a photo identification in the entrance vestibule/waiting room.

### Restricted Access

- » Includes product vault, order fulfillment, product delivery, employee break and restroom, janitorial closets, and IT room.
- » Accessible to staff only.

## **SECURITY Technology**

- » Building will be outfitted with enhanced security features:
  - Perimeter alarms on all entry points.
  - Glass break and shatterproof displays.
  - Panic alarms and buttons.
  - High-resolution cameras installed on the building and surrounding site to provide unobstructed video surveillance of all enclosed dispensary areas and outside areas.

## **Plans and Procedures**

- » Comprehensive security plan will be in effect as required and approved by the State of Illinois.
- » Third-party, armed security on-site, during hours of operation and when employees are on-site.
- » Security guards will occasionally perform sweeps of the exterior of the building to ensure no one is caught loitering and that no other security threats are present.
- » On-site security and proprietary security standard operating procedures are available to be reviewed with the Village of Carol Stream Police.
- » Data backup of all video footage is maintained according to State of Illinois requirements with on-demand access provided to the Illinois State Police.



## **BUSINESS OPERATIONS**

### **Hours of Operation**

» Typical standard retail hours:

- 9a to 9p Monday through Thursday
- 9a to 10p on Friday & Saturday
- 10a to 6p on Sundays

### **Professional Staff**

» Subject to State and Federal background checks.

» Responsible Vendor Training

- State-mandated 10 hours of training per year
- Led by third party trainers

» 25 full and part-time employees:

- General Manager
- Assistant general manager
- Retail sales personnel
- On-site security

» Competitive salaries and training and leadership programs that promote opportunities to grow within the organization.



## LOCAL IMPACT

### Job Creation

- » 25 full/part time positions
  - \$30,000 to \$65,000 annual salary
  - Competitive benefits package

### Prior Experience

- » Management team has decades of experience owning and operating successful businesses throughout Illinois

### Community Involvement

- » Good stewards and active members in the community.
- » Partnership could include local chamber of commerce and other community organizations

### Community Benefit

- » Significant contributor to local sales tax base



**CannaCloud Streamlined responses to SUP Submission requirements**

**§ 16-4-9 ADULT USE AND MEDICAL CANNABIS DISPENSING ORGANIZATION.**

Adult use and medical cannabis dispensing organizations shall be permitted as special uses and shall meet the following provisions:

*Submission requirements and criteria.*

(1) An accurately dimensioned site plan indicating buildings, building entrances, parking, sidewalks, adjacent streets and immediately surrounding uses. The site plan shall include a statement that the location of the cannabis dispensing organization is not in violation of the distance requirements set forth in this section.

***Please refer to site plan. The location of this proposed dispensary is not in violation of the distance requirements set forth in this section.***

(2) A floor plan of the interior of the facility indicating the principal uses on the floor plan, including retail areas and storage areas.

***Please refer to Floor Plan.***

(3) A plan for disposal of any cannabis or byproducts.

**Disposal**

**Introduction**

All expired products are to be handled in strict accordance with this standard operating procedure to prevent diversion or unintentional access to cannabis, cannabis-infused products, or other cannabis products. Following proper policy will also ensure that no contaminated, expired, recalled, or otherwise faulty cannabis is dispensed.

**Scope and Purpose**

This policy and procedure applies to AICs and upper management. It requires one AIC. The purpose is to provide clear instruction for the proper handling and disposal of cannabis and cannabis-infused products.

**Abbreviations and Definitions**

- Division: The Department of Financial and Professional Regulation – Division of Professional Regulation
- ISP: the Illinois State Police
- Compostable Mixed Waste: Waste to be disposed of as compost feedstock or any other organic waste method.
- Non Compostable Waste: Waste to be disposed of by landfill or by any other method. It can also include paper waste, soil, or other waste materials approved by the Division.
- AIC: agent-in-charge

### **Guidance and Policy**

- Any cannabis required to be disposed of shall be destroyed on Tuesdays at 10:00am, and disposed of immediately afterward. This is scheduled and standard.
- Any change in the day, time, or manner of destruction must be communicated to both the division and the ISP at least 3 days before implementing the procedure.

### **General Disposal Procedure**

- 1) The company will destroy all outdated, damaged, deteriorated, mislabeled, or contaminated products, as well as all products whose containers or packaging have been opened or breached.
  - a) Any cannabis products that must be destroyed will be placed in a bin labeled “quarantine” until the destruction procedure is carried out.
- 2) Cannabis and cannabis-infused products must be destroyed in a manner which renders it unusable.
- 3) To render cannabis unusable, an AIC must grind the cannabis with other ground materials, so the resulting waste is at least 50% non-cannabis waste by volume.
- 4) The permissible ground materials fall within 2 categories:
  - a) Compostable Mixed Waste may be destroyed by compost, anaerobic digester, or other material with the approval of the jurisdictional health department.
  - b) Non-Compostable Mixed Waste may be destroyed by landfill, incinerator, or other facility with approval of the jurisdictional health department.
  - c) Vegetable oil should never be used as a mixer.
- 5) Cannabis waste rendered unusable may be delivered to a permitted solid waste facility for final disposition.
- 6) The destruction area is located in the vault.
- 7) When destruction is planned, a removable table with all the equipment for destruction and the cannabis products to be destroyed is placed in the middle of

the room to be visible from all camera angles.

### **Product Specific Disposal Procedures**

- 1) Flower
  - Grind flower using the grinder located in the disposal area, ensuring the finest grind possible when mixing with appropriate mixing media to render cannabis unusable.
- 2) Concentrate
  - Melt concentrate products in the microwave then mix with appropriate mixing media to render cannabis unusable.
- 3) Vape Pens/RSOs
  - Vape pens and RSOs in syringes must be cracked with a hammer and mixed with appropriate mixing media to render cannabis unusable.
- 4) Patches
  - Patches must be cut into small pieces, then mixed with appropriate mixing media to render cannabis unusable.
- 5) Gummies
  - Gummies must be melted in the microwave, then mixed with appropriate mixing media to render cannabis unusable.
- 6) Non-Gummies/Non-liquid Edibles
  - Melt non-gummy and non-liquid edibles in the microwave, then mix with appropriate mixing media to render cannabis unusable.
- 7) Liquids
  - Pour liquids into mixing media and add mixing media to an empty bottle.
- 8) Topicals
  - Mix with appropriate mixing media to render cannabis unusable.

### **Recordkeeping**

- 1) All waste and unusable products shall be recorded on paper, electronically, and entered into BioTrack prior to rendering it unusable.
  - i) Sublot the product in POS/BioTrack if only a portion of the inventory lot is being destroyed.
  - ii) Detail a reason for the destruction.
  - iii) Add documentation for the division's records.
- 2) Verification of this event shall be performed by an additional AIC. The second AIC will confirm the destruction using surveillance equipment and verifying all documentation has been completed.
- 3) Electronic documentation of destruction and disposal shall be maintained for a period of at least 5 years.

Corrective Action

**If any employee is found not following these procedures:**

- Instruct the employee to use the proper procedures immediately.
- Retrain the employee on correct procedures.
- Visually observe the employee follow waste disposal processes to ensure that the employee correctly follows the proper procedures.
- If failure to comply with the policy and procedure continues: Begin disciplinary action processes.

**Recalls**

**Introduction**

All recalled products are to be handled in strict accordance with this standard operating procedure to prevent diversion of or unintentional access to cannabis and cannabis-infused products. Following proper policy will also ensure that no recalled cannabis is dispensed.

**Scope and Purpose**

This policy and procedure applies to all employees. The purpose is to provide clear instruction for proper handling of recalled products.

**Abbreviations and Definitions**

- Purchaser: an adult use customer who is at least 21 years old and who intends to purchase cannabis.
- Division: The Department of Financial and Professional Regulation – Division of Professional Regulation
- SKU: stock-keeping unit
- ISP: the Illinois State Police

**Guidance and Policy**

- Voluntary returning of cannabis products is strictly prohibited. All sales are final.
- Upon being informed of the need for a product recall, the AIC implements these recall procedures.

### **Recall Procedures**

#### **Notification**

- 1) The dispensary maintains a record of contact information for all cultivators who sell products to the dispensary.
- 2) The inventory management system provides full traceability of affected items from seed-to-sale.
- 3) Any impacted or suspected impacted purchasers will be notified via phone and email, if applicable, within 24 hours of any product recall affecting public safety.
- 4) In addition, the division and the cultivator involved are notified within 24 hours of product recalls affecting public safety.

#### **Affected Product Removal**

- 1) All reasonable efforts will be made to remove the affected products from inventory.
- 2) Affected products in inventory will be quarantined then destroyed. The ISP will be notified about the destruction immediately and advised of the date and time of the planned destruction.
- 3) All quantities and identifying codes/SKUs must be documented to assist in the reconciliation of product amounts.

#### **Affected Product Control**

- 1) All affected product returned must be clearly marked "quarantined," stored, and disposed of as described in the waste disposal standard operating procedures.
- 2) All quantities and identifying codes/SKUs must be documented in the inventory management system to assist in the reconciliation of product amounts.

#### **Affected Product Recall Termination**

- 1) Termination of a recall occurs when the division has confirmed that all products have been recovered and has approved the redirection or destruction of all recalled products.

#### **Corrective Action**

If any employee is found not following these procedures:

- Instruct the employee to use the proper procedures immediately.
- Retrain the employee on correct procedures.
- Visually observe the employee follow appropriate processes to ensure that the



- employee correctly follows the proper procedures.
- If failure to comply with the policy continues: Begin disciplinary action processes

(4) A plan for ventilation of the dispensing organization that describes the ventilation systems that will be used to prevent any odor of cannabis off the premises of the business.

### **Ventilation**

The dispensary uses a separate PTAC system to treat and condition the air in the vault. This prevents air mixing with the rest of the dispensary, and from being exhausted to the exterior of the building. This keeps the air in the vault, the greatest odor source in the store, restricted to the vault. A HEPA and carbon filter in the filtration system of the PTAC unit's air handling. A separate carbon Filter, independent, is also included in the vault for added odor abatement.

The rest of the dispensary uses a standard packaged rooftop unit(s) to condition and ventilate the air. The packaged rooftop unit is also filtered by HEPA and activated carbon to eliminate any odors that do escape the vault.

The result is minimal odor in the sales area of the dispensary, and no odor leaving the dispensary. A separate PTAC unit is located in the entry vestibule. Such that mixing of entry vestibule air with retail floor air is limited. This further mitigates the flow of odor from the interior of the dispensary to the exterior.

(5) A security plan that includes facility access controls, surveillance systems, on-site security personnel, and other security measures required by state or local regulations. Security arrangements must deter and prevent unauthorized entrance into areas containing cannabis or cannabis products and the theft of cannabis or cannabis products, and ensure the safety of employees and customers, as well as the surrounding area, and include no less than the minimum security and lighting measures required by state law. The security plan shall be reviewed and approved by the Chief of Police.

### **Security**

All cannabis dispensaries in Illinois must implement certain specific security measures, as provided by state law. Security is a paramount concern for Applicant. As such we have developed a security and operational protocol that exceeds the statutory requirements.

**Security Personnel.** A third-party security company will provide on-site security during all hours of operation; as well as assist with managing all security and compliance requirements and best practices. They will be responsible for securing the premises before opening, and after closing, maintaining order, conduct patrols, monitoring deliveries, preventing on site consumption of cannabis, filling of ATM's, and in any other security related manner as needed.

**Comprehensive Surveillance & Alarm Systems.** CannaCloud will install and maintain a comprehensive 24/7 camera surveillance system, covering both the interior and exterior of the Dispensary, along with a silent alarm system with motion detectors, glass break switches, and panic alarms. The Camera Surveillance system will maintain 90-day cloud backup in compliance with State Law and will have a 4-hour battery back up in the event of a power outage. Should an outage occur after hours, this gives the 3<sup>rd</sup> party security ample time to arrive and secure the building.

**Customer Flow Protocol.** Upon entering the Dispensary through the Building's main entrance, purchasers will be greeted by a reception desk and attendant specialist, who will verify proper credentials in compliance with Illinois State law for qualified purchasers. Only upon verification of identification will purchasers be allowed access to the Limited Access sales floor. The Public Access to the Limited Access Sales Area will be separated by a locked door. Staff will press the door release button to allow Purchasers in the Limited Access Sales Area from the main vestibule. In the event the Limited Access Sales Area has met capacity as defined by the Fire Department, purchasers shall wait in the vestibule and proceed in a one-in-one-out fashion. Should the vestibule also fill up, Purchasers shall queue along the building sidewalk. With the number of Dispensaries now open in Illinois, we do not anticipate this taking place at any time.

**Point of Sale & Inventory Management.** The facility will maintain an industry standard bolted, locked vault room for all cannabis inventory. No cannabis is present within sales cases on the display floor (the product boxes displayed within the cases are empty). CannaCloud will also maintain a statutorily required secure inventory management and point of sale system, which allows us to track all cannabis products from seed to sale. Upon dispensing cannabis to a purchaser, we record sales data including which specific product was dispensed.

**Professional Staff.** All Dispensary staff wear photo identification badges and are trained to immediately notify local law enforcement if they observe suspicious activity and/or emergency events with the assistance of 3<sup>rd</sup> party security staff. All staff needs to complete a state and federal background check. Staff is also trained in how to assist purchasers and handle emergency events, such as active shooter, robbery, and medical emergencies.

(6) A proposed plan of operations. The proposed plan of operations of the dispensing organization must demonstrate the intent of the organization to operate in full compliance with the Cannabis Regulation and Tax Act and/or Medical Cannabis Act, as applicable.

### **Operations**

#### ***Hours of Operation***

Typical standard retail hours:

9a to 9p Monday through Thursday

9a to 10p on Friday & Saturday

10a to 6p on Sundays

#### ***Professional Staff***

Subject to State and Federal background checks.

Responsible Vendor Training State-mandated 10 hours of training per year.

Led by third party trainers.

~25 full and part-time employees: General manager.

Assistant general manager.

Retail sales personnel.

On-site security.

Competitive salaries and training and leadership programs promote opportunities to gain experience within the organization.

### **SOP-01: Receiving Product**

#### **Introduction**

A product receiving procedure is needed to make sure all cannabis products are delivered and received in the condition in which they were ordered and contain the required information per the state of Illinois.

#### **Scope and Purpose**

This policy and procedure applies to all employees. It is intended to provide clear instructions on how to properly receive all cannabis products into the dispensary.

#### **Abbreviations and Definitions**

- SKU: stock-keeping unit.
- POS: the point-of-sale system.
- FIFO: First-in, First-Out; inventory model. Products are sold on a first arrived, first sold basis. If the same product is received over multiple deliveries, the products that have been received first will be sold. They will also have different barcodes.
- Purchaser: a person seeking to purchase cannabis that is at least the legal age of 21.

### Guidance and Policy

- Deliveries require 2 employees.
- Each employee is given a radio to communicate with the other employees before opening the door.
- A dedicated workspace is needed to efficiently receive products with a clear view of the employees who are counting inventory on the surveillance system.

### Product Receiving Procedures

#### Entry

- 1) Delivery drivers will call the dispensary to alert staff that they are enroute. We anticipate deliveries will occur approximately twice per week, but of course will vary based on sales volume.
- 2) An AIC will exit the WEST rear end receiving area of the building accompanied by a security guard while another employee waits in the receiving area.
- 3) The AIC and security guard will make sure the area is secure for entry and verify the driver and the delivering cultivation company before allowing the driver to enter the receiving area. Deliveries typically come via a Sprinter style van, with a driver who always stays with the vehicle and a passenger who makes the delivery into the dispensary.
- 4) There are 2 possible scenarios:
  - a) AIC confirms delivery and radios an open command to the employee in the receiving area.
  - b) AIC does not confirm.
    - i) Employee in the waiting area keeps the door closed.
    - ii) Employee alerts upper management.
    - iii) Police are called if required.
    - iv) AIC requests that the driver leaves the premises and re-enters the dispensary when it appears safe.

#### Intake

- 1) Driver signs the vendor log as soon as they enter the dispensary.
- 2) Driver will give the AIC a manifest of the products.
- 3) Driver will unload cannabis products in the receiving area.
- 4) All staff participating will count all product SKUs and verify that the amount received matches the amount on the manifest.
- 5) Staff will verify that each product SKU contains the correct name of the receiving dispensary, a scannable barcode, and an expiration date.
- 6) Products will be neatly batched together according to barcode within view of surveillance equipment.
- 7) AIC and driver will both sign the manifest once all products are counted and verified.
- 8) AIC will make a copy of the signed manifest and give the original to the driver.
- 9) Driver signs out "time left" on the vendor log.

If there are any delivery errors, notify the driver to remedy the order. If the driver is unable, contact the cultivator wholesale representative to obtain an updated manifest that matches the delivery received. Complete any required paperwork.

#### **Exit**

- 1) AIC and the security guard exit the building and the employee waits in the receiving area.
- 2) AIC will signal an open command to the employee inside once the area is safe for the driver to exit.
- 3) Driver exits the dispensary.
- 4) AIC and security guard re-enter the dispensary.

#### **New Inventory and Vault/Storage Organization**

- 1) Receive new inventory into the POS system immediately.
- 2) Move new inventory into the vault immediately.
- 3) Organize shelves by product-type or cultivator, depending on vault setup.
- 4) Write the last 4 digits of barcode on a post-it or white-board strip in front of the product.
- 5) Line up products in rows of 5 or 10.
- 6) Stack products if possible to maximize space.
- 7) Follow above FIFO model.
- 8) Vault should be inspected daily to ensure the room is free from insect or pest manifestation.
  - a. Any dirt, insect, or pest droppings should be attended to immediately. Agents should wear gloves and a mask if necessary to clean the vault.
  - b. If there is an indication of a pest problem, the AIC will contact a local pest removal company.

#### **Day and Night Storage**

- 1) Long term storage of all cannabis and cannabis products must be held in the restricted access area.
- 2) Inventory needed for the day's estimated demand should be moved by an AIC from the vault to the day storage cabinets before the dispensary opens.
  - a) Day storage cabinets are in an enclosed, locked rolling cabinet behind the POS which is only accessible by authorized personnel.
  - b) All inventory at the end of the day will be placed back in the vault for overnight storage.

#### **Products from Various Cultivators**

- 1) Purchasers will be provided an assortment of products from various cannabis business establishment licensees. Inventory available for sale from any single cultivator will exceed more than 40% of the total inventory available for sale.
- 2) These inventory percentages are continually monitored through the POS system.



## **Corrective Action**

If any employee is found not following these procedures:

- Instruct the employee to use the proper procedure immediately.
- Retrain the employee on the correct procedures.
- Visually observe the employee receiving the product to ensure that the employee correctly follows the procedure to comply with this policy.
- If incorrect procedure continues, begin disciplinary action processes.

## **SOP-02: Open and Close Procedures**

### **Introduction:**

Properly opening and closing a dispensary ensures security and employee safety.

### **Scope and Purpose:**

This policy and procedure applies to all employees. It is intended to provide clear instructions on how to properly open and close the facility for business. It is intended to comply with legal requirements and promote security.

### **Guidance and Policy:**

#### **Before Entering:**

- Check for physical damage to the outside of the dispensary or for any signs of forced entry. Alert the AIC on duty if damage is observed.

#### **Exiting the Dispensary:**

- Check security cameras before exiting the dispensary.
- Leave together or in groups if possible.
- Be aware of unusual activity and inform the security guard or AIC if required.

### **Open and Close Procedures:**

#### **Opening**

- 1) AIC unlocks the door with a key.
- 2) AIC enters code on the alarm system to disable it.
- 3) AIC turns on the lights and security monitors.
- 4) Verify the security system, video surveillance, internet, and state database are all operating.
- 5) Walk through the dispensary to ensure no unusual activity has occurred overnight.
- 6) AIC removes the cash drawer money bags from the vault safe.
- 7) AIC gives a money bag to each employee working at a register and has them count the cash to ensure there is a starting amount of \$300. Alert the AIC on duty if there is a cash variance.
- 8) Load drawers with cash.
- 9) Check phone messages, emails and respond accordingly.
- 10) Clean and organize the dispensary.
- 11) Unlock the front door at opening time.

### **Closing/Cash Handling**

- 1) Lock doors at closing time.
- 2) Count the cash and close the drawers
  - a) Each employee counts their own cash drawers, separating the starting amount \$300 and the remainder for deposit.
  - b) Employee hands the AIC the money bag containing the starting \$300, a debit receipt containing all debit transactions, the cash for deposit, and a printed POS closing report (if applicable).
  - c) Closing AIC confirms the deposit amount, the debit amount, and the money bag with \$300 to confirm the deposit is accurate.
- 3) There are 2 scenarios from here:
  - a) If the amount is correct: AIC confirms and prepares the cash to be consolidated with other cash drawers.
  - b) If there is a cash variance: AIC alerts the employee and attempts to resolve the discrepancy with an investigation. If AIC cannot resolve discrepancy, they will alert upper management and accounting department. If no upper management is available, AIC will separate the money bag, all printed slips, and the cash for deposit for further investigation by upper management the following morning. AIC emails upper management and accounting department about discrepancy.
- 4) AIC consolidates all the cash together, fills out a cash drop tamper-proof bag, and places all the cash in the tamper-proof bag before dropping the bag in the vault safe.
- 5) AIC will email the daily report to the required personnel and print out a version for the daily cash logs binder.

### **Cashless ATMs**

- The cashless ATM should be connected to power and assigned to a specific POS terminal. Labeling the device is required.

### **Operating the cashless ATM device**

- 1) Power on the terminal
- 2) To process a transaction, click the orange box icon that has the green 'payauth' circle in the middle.
- 3) Click start transaction.
- 4) Type in the value for total cost of goods from the cashier.sweedpos.com into the cashless ATM. Make sure to use a decimal point to separate the dollars and cents. The total rounded value can be found by selecting debit (reverse ATM) as the payment method.
- 5) The terminal will show the typed in value, a cash back value, and a total value of withdrawal. The total will always be in five-dollar increments.
- 6) Insert or swipe the card.
- 7) The guest will enter their PIN and select which account they would like to withdraw from.
- 8) If a transaction is declined, you can try again or point them towards one of the traditional ATM machines.
- 9) If you are unsure if a transaction has gone through, you can swipe from the left to the right side of the screen to open another screen. Here you can reprint the last transaction, view a shift report, or view the day report.

- 10) Once the transaction is approved and the receipt prints, you can then hit 'Pay' on the Debit (reverse ATM) page on cashier.sweeapos.com.
- 11) If there is cash back it will show up as 'change' on the receipt, which you then give to the customer.

**Closing procedures:**

- 12) When closing a register for the day you will need close out the cashless ATM by printing out the shift report and day report from the cashless ATM to save for cross reference.
- 13) The total amount of debit (reverse ATM) transactions will show up under the 'Cash Reconciliation' tab under 'Reports'. You will add this amount to your 'Daily Cash Counts' spreadsheet under the Sweed Debit Option.
- 14) The total amount of cash back from the rounded cashless ATM withdraws should be displayed on the Cash Reconciliation as 'Reverse ATM Change' as well as your portal (<https://portal.payauth.io/> under ATM-S Reports -> Group Day -> subtracted from the total amount)
- 15) More details as well as full day reports on <https://portal.payauth.io/>
- 16) If employees accurately select the correct payment method, everything should be accurate on the 'Cash Reconciliation' report. If they select 'cash' for a Debit (reverse ATM) transaction there will be no automated round up and the ending numbers will make it look like we have cash missing, when it was collected as a debit payment.

**Tips:**

CannaCloud Dispensary Tip Sharing Policy Objective:

To establish a fair and transparent policy for sharing tips among non-salaried employees at CannaCloud Dispensary in compliance with Illinois state laws.

**Policy:**

1. All non-salaried employees who work their entire shift will be eligible for shared tips. Employees in training for another location will not be part of the tip pool until they get to their Home Store.
2. Employees who do not complete their full shift will not be eligible for that day's tips.
3. Tips will be shared equally among eligible employees and distributed daily.
5. The dispensary manager will be responsible for collecting and distributing tips to eligible employees.
6. Any disputes or concerns regarding tip sharing should be brought to the attention of the dispensary manager for resolution.
7. CannaCloud Dispensary will maintain a record of tip distributions for auditing purposes in compliance with Illinois state laws.
8. This policy may be revised or updated at any time at the discretion of the dispensary manager in accordance with Illinois state laws.

**Implementation:**

1. All non-salaried employees at CannaCloud Dispensary will be informed of this tip sharing policy during their onboarding process.
2. The policy will be posted in a visible location within CannaCloud Dispensary and also provided to employees in writing.
3. The dispensary manager will ensure that all employees are aware of their eligibility for tip sharing

4. Any changes or updates to the policy will be communicated to employees in a timely manner.
  5. CannaCloud Dispensary will maintain accurate records of tip distributions and will ensure that all eligible employees receive their fair share.
  6. CannaCloud will not report any monetary information for tax purposes.
- By adhering to this SOP, CannaCloud Dispensary aims to create a fair and equitable work environment for our employees.

#### **End of Day Inventory**

- 1) Print inventory report.
- 2) Count the inventory to ensure physical inventory matches traceability inventory.
- 3) Alert the AIC on duty if there is an inventory variance.
- 4) Sign and date each page of the inventory report and place it in the daily inventory binder.
- 5) End of Day Reports and Data Input:
  - a) Run all applicable end of day reports.
  - b) Export reports and email to required personnel.
  - c) Update daily cash sheet with the day's totals.
- 6) Turn off all equipment.
- 7) Arm the alarm.
- 8) Exit the facility.

#### **Sanitation**

- The dispensary will be cleaned by dispensary agents on a nightly basis.
- The exterior will be cleaned of debris on a daily basis and the vegetation surrounding will be trimmed frequently (if applicable).
- Floors, walls, and ceilings are constructed in such a manner that they may be adequately kept clean and in good repair.
- There will be sufficient space for placement of equipment and storage of materials as is necessary for the maintenance of sanitary operations.
- All contact surfaces, including utensils and equipment, will be maintained in clean and sanitary conditions. Such surfaces will be cleaned and sanitized daily to protect against contamination, using a sanitizing agent.
- The company will use equipment and utensils that are designed and constructed of such material and workmanship as to be adequately cleanable.

#### **Corrective Action**

If any employee is found not following these procedures:

- Instruct the employee to use the proper procedures immediately. Retrain the employee on correct procedures.
- Visually observe the employee open and close the facility to ensure that the employee correctly follows the proper procedures.

- If there is failure to comply with the policy and procedures: begin disciplinary action processes.

### **SOP-03: Diversion**

#### **Introduction**

The company has a zero-tolerance policy for any employee that engages in theft or diversion of cannabis products. Engaging in diversion can lead to safety issues, possible legal action, and loss of state dispensary agent credentials. The company may face regulatory and legal risk, decreased business, and loss of community confidence.

#### **Scope and Purpose**

This policy applies to all employees. It is intended to protect our customers, employees, organization, and the overall community. Employees must be aware of theft and diversion, and how to respond and report. Our organization is responsible for developing techniques to detect diversion and theft. This strategy complies with applicable federal and state laws, and also applies technology and surveillance to review compliance with company processes.

#### **Abbreviations and Definitions**

- Diversion: the act of acquiring a product or service by means of deception.
- Division: the Department of Financial and Professional Regulation. The Division of Professional Regulation.
- Purchaser: An adult-use customer who is at least 21 years old and intends to purchase cannabis.

#### **Guidance and Policy**

- All employees have three responsibilities: prevent, detect, and respond.
- The prevention and detection of diversion is the responsibility of all employees.
- Employees must also know how to respond to suspected or detected diversion and theft.
- Dispensary security has additional responsibility in prevention and detection.

#### **Corrective Action**

If any employee is found not following these procedures:

- Response will be the responsibility of security, supervisors, and/or upper management appropriate for the circumstances.

### **SOP-04: Inventory Control System**

#### **Introduction**

The dispensary will utilize a web-based POS to track and account for all cannabis products that are received, purchased, and sold. Per state of Illinois law, this system must be accessible by the division and ISP at all times.

#### **Scope and Purpose**

This policy applies to all employees, except where noted that some procedures apply to only AICs or upper management. Proper use and maintenance of this system will ensure that the dispensary is in accordance with all state laws, that cannabis products are successfully being tracked from seed to sale, and that no theft or diversion is occurring within the dispensary.

#### **Abbreviations and Definitions**

- POS: Point of Sale System



- Division: The Department of Financial and Professional Regulation. The Division of Professional Regulation.
- ISP: Illinois State Police

#### **Guidance and Policy**

- 1) The inventory system will be web-based, real-time, and will be accessible by upper management, the division, and ISP 24 hours a day, 7 days a week.
  - a) Inventory must be audited every day by employees.
  - b) Management shall conduct and document an audit of the dispensary's daily inventory reports once every 30 days.
- 2) The inventory system allows complete inventory control:
  - a) Each day's beginning inventory, deliveries, sales, disposals, and ending inventory.
  - b) The system provides for input of delivered cannabis products, including: quantity, strain, batch number, identification number of cultivation center of origin, identification number of the registered cultivation agent, identification number of the agent who received the delivery, and the date.
  - c) The inventory system records the description of all cannabis products being disposed of, the quantity, strain, batch number, and reason for disposal. It records the method of disposal, the address, the phone number of the disposal company, and the date of disposal.

#### **Inventory Audits**

- 1) Inventory audits will be conducted on a daily basis.
- 2) There will also be an overall monthly audit, completed no later than 30 days after the previous audit.
- 3) Agents performing the audits will input their findings into a device that interfaces with the POS/inventory software. The inventory will be maintained in electronic format and will include:
  - a) The date of the audit.
  - b) A summary of the inventory findings.
  - c) The names, electronic signatures, and titles of the employees who conducted the audit.
- 4) A monthly audit will be conducted on the POS to ensure unauthorized software has not been installed. Any changes made to the POS/inventory system must be reviewed and approved by upper management.

#### **Morning Reconciliation**

- 1) At the beginning of each shift, all cannabis products will be counted by the staff. This will be led by an AIC ensuring that inventory in the POS and BioTrack matches with the amount of physical product at the dispensary.
  - a) Sync POS with BioTrack.
  - b) Print inventory sheets from POS which include product names, barcodes, vendor names, package quantities and number of units.
  - c) Agents will match barcodes with products in stock to get a total count.
  - d) Only the AIC on duty will see the total number of units before inventory begins.

- e) Employees will provide counts to AIC. If accurate, both the AIC and the agent will initial, date and sign the inventory sheet.
    - i) If the numbers do not match, the agent will redo the count.
    - ii) If there is a discrepancy, the AIC will proceed to step 2 below.
  - f) The AIC will print the inventory report from BioTrack containing product names, barcodes, vendor names, package quantities and number of units.
  - g) The AIC will compare BioTrack inventory with POS inventory to ensure all counts match.
- 2) Management will initiate procedures to identify and correct any variances of product counted:
- a) Prior approval must be received from the division prior to completing any inventory adjustments:
    - i) A detailed reason for the adjustment will be provided to the division via an inventory adjustment form.
    - ii) All documentation will be maintained at the dispensary for at least 2 years from the date performed.
    - iii) If a discrepancy is identified during the daily inventory reconciliation, management will determine how the issue occurred and immediately take and document corrective action.
  - 3) If the reason for the mistake cannot be identified within 2 days after discovery, management will inform the division in writing about the imbalance and the corrective action taken.
  - 4) If after the daily inventory reconciliation, an imbalance is identified due to theft, criminal activity, or suspected criminal activity, management will immediately determine how the reduction occurred and take and document corrective action.
    - a) Management will inform the division and ISP in writing within 24 hours after the initial discovery of any imbalance due to theft, criminal activity, or suspected criminal activity.
  - 5) No cannabis products will be stored in the dispensing area after the dispensary is closed.

**Transportation Policy**

- The dispensary will only receive cannabis purchase orders from Illinois state licensed cultivators.
- The dispensary will not transport any cannabis from this location.

**Corrective Action**

If any employee is found not following these procedures:

- Instruct the employee to use the proper procedures immediately. Retrain the employee on correct procedures.
- Visually observe the employee open and close the facility to ensure that the employee correctly follows the proper procedures.
- If there is failure to comply with the policy and procedures: begin disciplinary action processes.

**SOP-05: Sales Interaction**

**Introduction**

Our objective is for new or experienced cannabis consumers to experience our sensory dispensary experience, focused on educating consumers on the importance of terpenes, how these terpenes can lead to desired effects, and other aspects of the plant. The sale of these cannabis products to our customers requires us to use a point-of-sale system that is accessible to the division and the Illinois State Police.

### **Scope and Purpose**

This policy and procedure applies to all employees. It is intended to provide clear instruction on how to use the POS, equipment, conduct transactions, customer service, and the dispensing of cannabis.

### **Abbreviations and Definitions**

- POS: the point-of-sale system
- Purchaser: an adult use customer who is at least 21 years old and who intends to purchase cannabis.

### **Guidance and Policy**

#### **Dispensing**

- The dispensary does not acquire, possess, deliver, transfer, transport, supply, or dispense cannabis for any purpose other than for the sale to legal purchasers per the state of Illinois law, and for purposes of laboratory testing.

#### **Business Hours**

- Business hours are 9:00am – 9:00pm Monday through Thursday, 9:00am – 10:00pm Friday and Saturday, and 10:00am- 6:00pm on Sunday. This is subject to change based on holidays, state law, regulation, and municipal ordinance.

#### **Purchaser Education Materials**

- 1) Throughout the sales interaction processes the dispensary will have available and provide education materials in printed form. The dispensary will also provide educational materials through the company website, social media, and email when appropriate.
- 2) Purchaser education includes:
  - a) Product Information.
  - b) Whether possession of cannabis is illegal under federal law.
  - c) Current educational information issued by the Illinois Department of Public Health about the health risks associated with the use or abuse of Cannabis.
  - d) Information about possible side effects.
  - e) Prohibition on smoking cannabis in public places.
  - f) Updated information about the purported effectiveness of various forms and methods of cannabis administration.
  - g) Updated information about the purported effectiveness of the strains of cannabis on specific conditions.
  - h) Any other appropriate purchaser education and supporting materials.
  - i) Current educational information issued by the Illinois Department of Public Health about the health risks associated with the abuse of cannabis.

#### **Illinois Resident Sales – Adult Use**

- No purchaser who is an Illinois resident shall purchase more than 30g of flower
- No purchaser who is an Illinois resident shall purchase more than 500mg of THC in cannabis infused product
- No purchaser who is an Illinois resident shall purchase more than 5g of concentrate

#### **Non-Illinois Resident Sales – Adult Use**

- No purchaser who is **not** an Illinois resident shall purchase more than 15g of flower
- No purchaser who is **not** an Illinois resident shall purchase more than 250mg of THC in cannabis infused product

- No purchaser who is **not** an Illinois resident shall purchase more than 2.5g of concentrate

#### **Acceptable Identification – Proof of Age**

- 1) The dispensary may not sell cannabis or cannabis products without first obtaining adequate evidence of age and identity through an acceptable form of identification.
- 2) Upon entering the dispensary, the receptionist will request the purchaser's identification and the purchaser will be required to show identification every visit.
- 3) Acceptable government-issued identification includes a document issued by a federal, state, county, or municipal government, including, but not limited to:
  - a) A motor vehicle operator's license
  - b) A registration certificate issued under the Military Selective Service Act;
  - c) A U.S. Passport
  - d) An identification card issued to a member of the U.S. Armed Forces
- 4) Identification must be valid, unexpired, and contain a photograph and the date of birth of the purchaser.
  - a) The receptionist will scan the ID card.
  - b) Purchasers who have valid, up-to-date Illinois identification card will be identified in the POS system as an Illinois resident.
  - c) All other purchasers will be determined as out-of-state residents.

#### **Scanning ID cards**

- The dispensary will use an electronic reader or electronic scanning device to scan the purchaser's government-issued identification to determine the purchaser's age and the validity of the identification.
- Any identifying or personal information of the purchaser obtained or received shall not be retained, used, shared, or disclosed for any purpose.

#### **Personal Information**

- 1) The company will not obtain or record personal information about a purchaser without consent. All information obtained will be used strictly for internal purposes and in no way will be shared, sold, or used without the purchaser's consent. The company may collect and hold personal information about purchasers that can identify the purchaser and the services or products they are seeking. Personal information may include details such as:
  - a) Name
  - b) Age
  - c) Gender
  - d) Contact Information
  - e) Product and services of interest

#### **Limited Access Areas**

- 1) Dispensary security is very important. The facility is divided into limited and restricted access areas that only specific individuals and personnel may access.
- 2) Access to the limited access areas is restricted to agents, purchasers, and authorized visitors. Areas include:
  - a) Sales floor

- b) Dispensing area
  - c) Purchaser restroom
- 3) The limited access area is entered through the main entrance. A security officer will be on duty in the reception office near the main entrance vestibule by a bulletproof glass window.
  - 4) Purchasers and visitors must present a valid, government-issued photo ID to be admitted to the limited access area.
  - 5) The intake receptionist will enter any necessary information into the POS. Once the individual is cleared, they will be granted access to the sales floor.
  - 6) On the Sales Floor, Purchasers may order products via 4 self-serve kiosks, with or without the assistance of a sales associate. Alternatively, upwards of 50% of purchasers are anticipated to have made their selections via the mobile app and will proceed directly to the Dispensing area for payment and fulfillment.

#### **Point of Sale - Purchasers**

- 1) Verify the purchaser's limit with another review of the identification.
- 2) Recall the Purchaser's order that was placed via kiosk or the app, and confirm what was ordered with the purchaser.
- 3) Bring the requested cannabis products from the vault to the counter.
- 4) Take each item out separately and scan them while telling the purchaser what the items are and then placing them on the counter.
- 5) Do not allow the purchaser to handle cannabis products. Products must stay in employee's possession at all times.
- 6) Apply any discounts, promotions, and inform the purchaser of the total before completing the transaction.
- 7) The purchaser exchanges cash or debit for the products.
- 8) Count all cash from the largest to smallest bill on the countertop in clear view of the purchaser and a security camera.
- 9) Enter the amount of cash received into the POS. If the purchaser is paying debit, enter the amount to charge in the debit terminal as well as the POS.
- 10) Complete transaction and print receipt. If the transaction is debit, print and store the merchant copy in the cash drawer. Print a customer copy.
- 11) Give any change due to the purchaser.
- 12) Initial, highlight, or underline each product on the receipt and place the products into the exit bag.
- 13) Place the receipt into the exit bag, include the customer copy of the debit receipt if applicable, and hand the exit bag to the purchaser.
- 14) All transactions must utilize an exit bag.

#### **Employee Purchasers**

- Employee sales should be performed by an AIC at the end of the employee's shift. If an employee makes a purchase during their shift, an exit bag labeled with their name and containing the contents of the purchase will be placed in the vault in view of a security camera until the employee's shift has ended. All receipts will be included in the exit bag.



- It is against company policy for any agent other than an AIC to dispense to an employee.
- If an AIC wishes to make a purchase, another dispensary agent must conduct the sale. AICs cannot complete their own purchases.
- Any agent not following this procedure will be subject to disciplinary action.

#### **Right to Refuse**

- Purchasers will be denied product if the total amount of the purchase is over their legal possession limit.
- The company also has the right to refuse purchasers who do not provide valid and current identification.
- If a sale would put the purchaser or the public at risk, the company may refuse to conduct a transaction. This decision is under the discretion of upper management. (For example: If the purchaser is attempting to purchase more than their legal limit or if an employee senses there is a risk of diversion.)

#### **Corrective Action**

If any employee is found not following these procedures:

- Instruct the employee to use the proper procedures immediately.
- Retrain the employee on correct procedures.
- Visually observe the employee follow sales interaction processes to ensure that the employee correctly follows the proper procedures.
- If failure to comply with the policy and procedure continues: Begin disciplinary action processes

(7) A signage plan shall be submitted. The proposed signage plan shall comply with the following standards. No sign shall contain any logo, name, wording, statement or illustration that is:

- (a) False or misleading;
- (b) Promotes the overconsumption of cannabis;
- (c) Displays cannabis;
- (d) Shows someone under 21 consuming cannabis;
- (e) Includes the image of the cannabis leaf or bud;
- (f) Includes any image that is likely to appeal to minors; or
- (g) Contains any slang or colloquial term for cannabis or cannabis paraphernalia.

***Please refer to signage plan. There will be no violations of the above criteria.***

(8) A parking and/or traffic study may also be requested to determine parking adequacy or traffic circulation.

***Please refer to parking counts on the site plan, which exceeds the retail requirements for our proposed space. The total employee count will be about 25 people at this location, with an average of 8-10 working at any given time.***

(9) *Exterior appearance.* The exterior appearance of the building of a dispensing organization shall be compatible with commercial structures already constructed or under construction within the immediate neighborhood, to ensure against blight, deterioration, or substantial diminishment or impairment of property values in the vicinity.

***Please refer to our proposed renderings, which significantly improve the exterior appearance of both the building and site.***

(10) *Performance standards.* All uses shall provide evidence of conformity to the performance standards for noise, vibration, smoke, dust, odor, heat, glare, fire hazard and other objectionable influences established by the State of Illinois and administered by the Illinois Environmental Protection Agency, the United States of America and administered by the federal environmental agency, and any ordinance of DuPage County or the Village of Carol Stream.

***The nature of this business should have no impact on the surrounding environment from noise, vibration, smoke, dust, heat, glare, fire hazard, or other environmental impacts. Odor concerns covered extensively above.***

(11) *Location.*

(a) A dispensing organization shall not be located within a 1,500 foot radius of any other dispensing organization located within or outside the village, or be located within 100 feet of any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station within or outside the village.

***The Nearest Dispensary currently open is located at 2130 Bloomingdale Rd, Glendale Heights, IL. This is 6.1 Miles from our proposed location. The nearest approved dispensary under construction is 720 North Ave, Carol Stream IL. This is 3.0 miles away from our proposed location. There is no place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station within 100 feet of our proposed location.***

(b) A dispensing organization shall not contain a drive-up service window.

***Our application does not contain a drive-up window.***

(12) *Exterior lighting.* Lighting shall illuminate the exterior of the building and all entrances and exits to the facility. Exterior lighting shall be one foot-candle and shall remain on until at least one hour after the closing of the dispensing organization. In addition, all exterior lighting shall be inwardly directed so that no direct lighting is cast off-premises.

***Please refer to Photometric plan and elevations. Automated lighting system will ensure lighting complies per code.***

(13) *Entrance.* A dispensing organization may have more than one means of egress from the interior so as to meet building codes and public safety concerns; however, it shall have a single secure public entrance and shall implement appropriate security measures to deter and prevent the theft of cannabis and unauthorized entrance into areas containing cannabis. The entrance shall be located and maintained clear of any barriers, landscaping and similar obstructions that may block the view so that the entrance and pedestrian access is clearly visible from the public street, sidewalk and parking area.

***Please refer to the Site plan.***

(14) *Cannabis paraphernalia and product display.* No cannabis or paraphernalia shall be displayed or kept in a dispensing organization so as to be visible from outside the premises.

***Windows will have a frosted, translucent film per regulations to prevent views inside the restaurant.***

(15) *On-site use prohibited.* No cannabis shall be smoked, eaten or otherwise consumed or ingested within any dispensing organization.

***Consumption will be prohibited on site, prevented by ample signage and on-site security.***

(16) *Other standards.*

(a) All dispensing organizations shall abide by all other applicable state and village regulations and requirements. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act, and shall obtain and maintain at all times valid licensing, certification, and/or accreditation by appropriate, local, state and national bodies charged with the regulation of adult-use or medical cannabis business establishments and shall adhere to all governing local, state and national codes and regulations.

*Noted and agreed.*

(b) Principal use. The cannabis dispensing organization is allowed as a principal use only and not allowed as an accessory use or temporary use as defined within the Unified Development Ordinance.

*Noted and agreed.*

(Ord. 2021-05-15, passed 5-3-2021; Ord. 2023-01-01, passed 1-16-2023)

RECEIVED

DEC 22 2023

GreenspoonMarder<sub>LLP</sub>

COMMUNITY DEVELOPMENT  
DEPT

Adam Koscielski  
227 W. Monroe Suite 3950  
Chicago, IL 60606  
adam.koscielski@gmlaw.com

November 20, 2023

To: Joey Ricely

Re: *Plan Commission/Zoning Board of Appeals Case #23-0041 CannaCloud LLC – 27W361  
North Avenue / Special Use Permit for an Adult Use Cannabis Dispensary*

Dear Mr. Ricely,

Thank you for forwarding the Village of Carol Stream's November 16, 2023, letter *re* the above. After reviewing the letter I wanted to bring your attention to paragraph 1(c) therein. Specifically, it appears that the Village of Carol Stream is suggesting that the "transfer" of the conditional license is a condition precedent to the approval of the special use permit for the dispensary. That is problematic for at least three reasons.

First, Illinois Department of Financial and Professional Regulation ("IDFPR") does not permit the transfer of a conditional license or an annual license. Instead, changes of license ownership involves the purchase and sale of the license-holding entity's equity. In your case, the equity of the license-holding entity will be transferred to Cannacloud LLC, such that Cannacloud LLC will become the 100% owner of the license-holding entity. Second, under Illinois law, the ownership of the license-holding entity cannot change until the conditional license is converted into an annual license. Finally, the conditional license cannot be converted into an annual license until the dispensary is ready for business and passes an inspection performed by IDFPR and any other required government or law enforcement agency.

In other words, the special use permit must be the first of the above to occur so that the dispensary can complete its construction and buildout, submit the proper documentation to IDFPR, pass inspection, and receive its annual license.

Please do not hesitate to contact me with any questions, comments, or concerns.

Adam Koscielski

Adam Koscielski, Esq.

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DEC 22 2023

COMMUNITY DEVELOPMENT  
DEPT

Co-Tenant Overview

Chicago Motor Cars

Hours of operation – Monday – Friday 9am-6pm and Saturday 9am-2pm

Operations: This division of the Chicago Motor Cars handles light detailing, small repair and sales of semi-trucks front cabs. Typically staffed by up to 5 people. Customer flow is minimal, typically less than 10 per day.

They will occupy the south half of the building and will utilize the south lot plus a small roadside display area in the Northwest corner. Please refer to updated site plan.

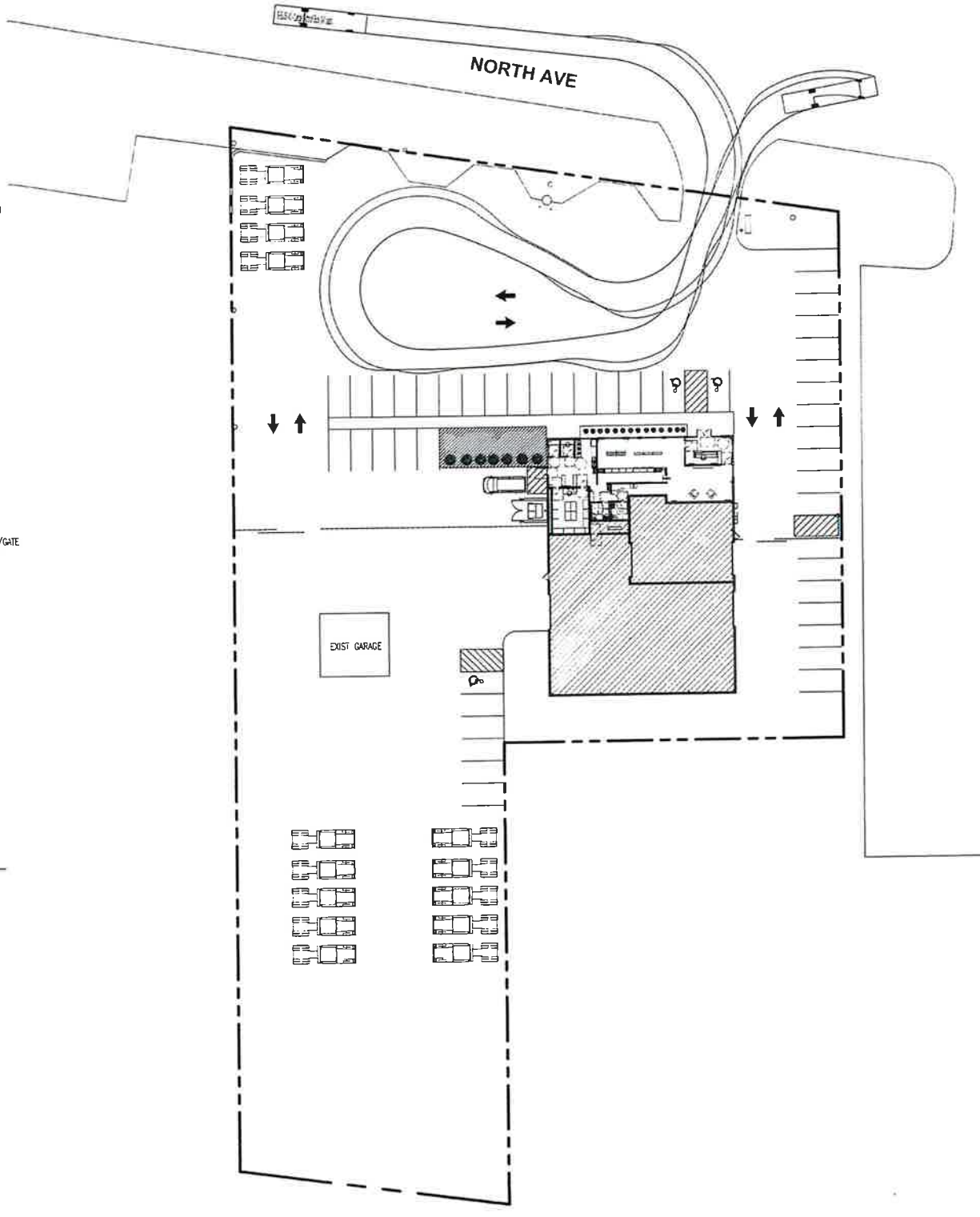
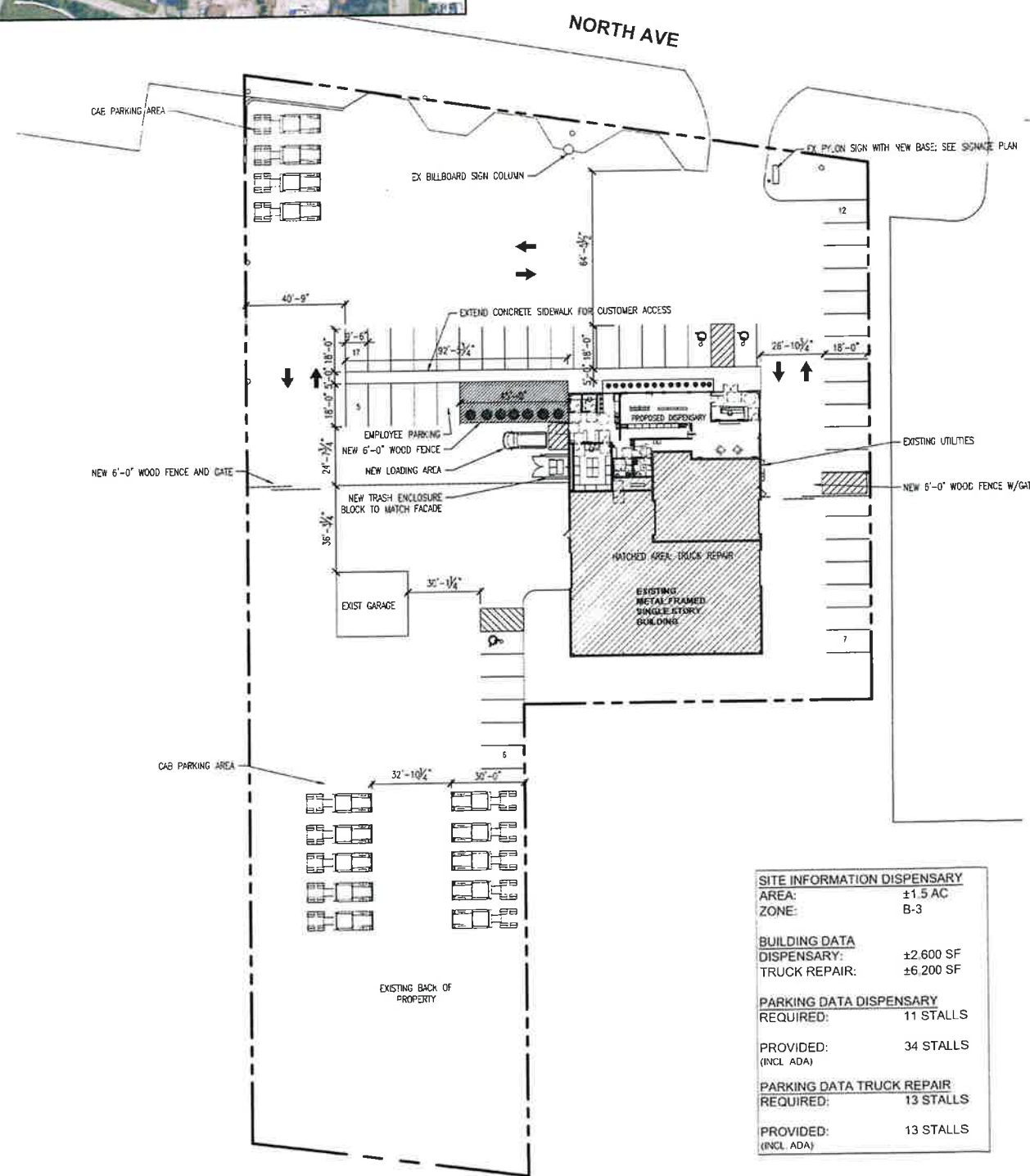
There will be no interior sharing of space or common areas. Customers will have clear and concise information for the division of parking and retail use.





# EXHIBIT B

RECEIVED  
 DEC 22 2023  
 COMMUNITY DEVELOPMENT  
 DEPT



<b>SITE INFORMATION DISPENSARY</b>	
AREA:	±1.5 AC
ZONE:	B-3
<b>BUILDING DATA</b>	
DISPENSARY:	±2,600 SF
TRUCK REPAIR:	±6,200 SF
<b>PARKING DATA DISPENSARY</b>	
REQUIRED:	11 STALLS
PROVIDED:	34 STALLS
(INCL ADA)	
<b>PARKING DATA TRUCK REPAIR</b>	
REQUIRED:	13 STALLS
PROVIDED:	13 STALLS
(INCL ADA)	

1 ARCHITECTURAL SITE PLAN  
 1" = 30'-0"

2 FIRE APPARATUS TURNING STUDY  
 1" = 30'-0"

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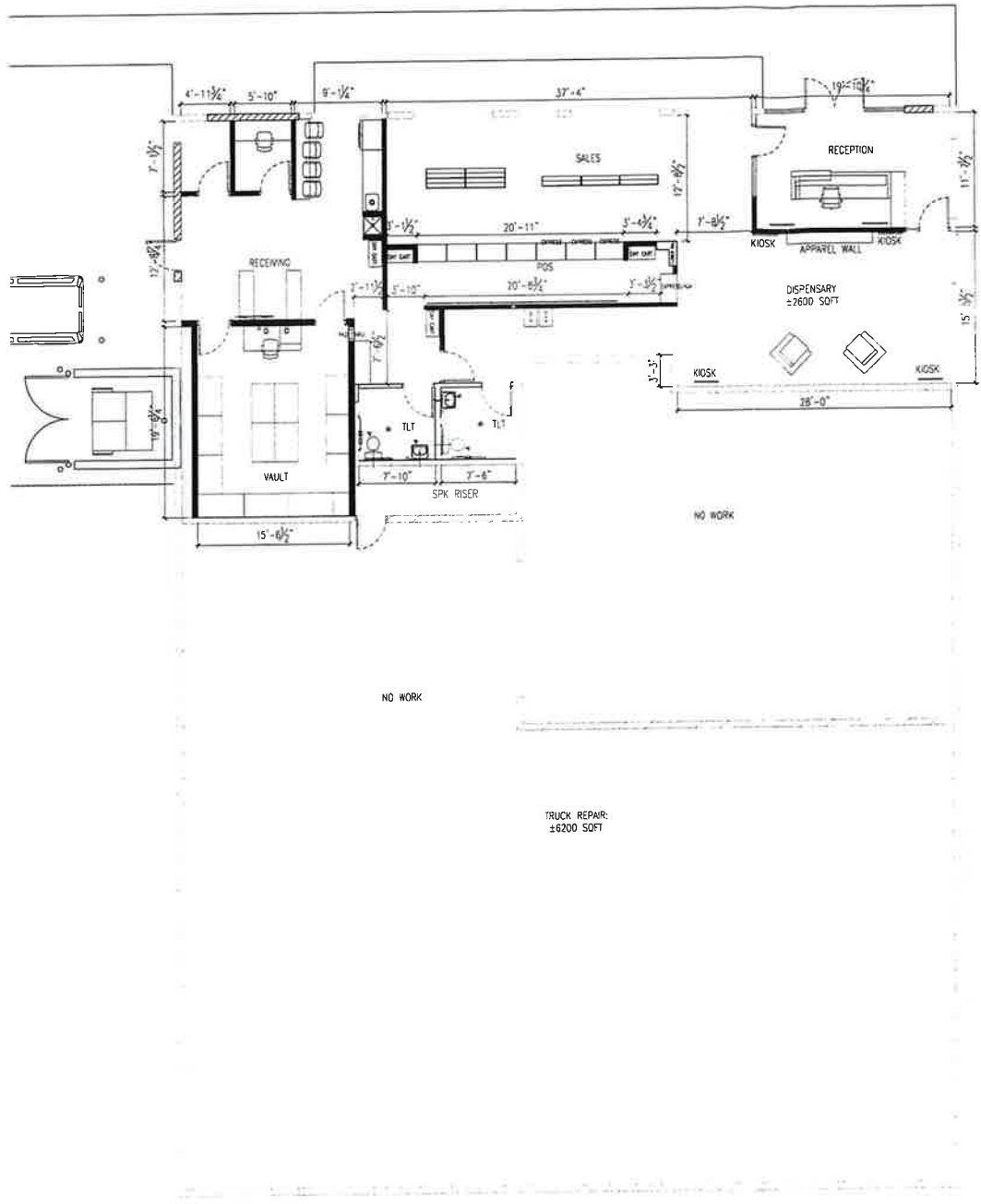
**CANNA CLOUD**  
 PROJECT DESCRIPTION  
 27 W 261 NORTH AVE WEST CHICAGO, IL

DATE	12/07/2023
PROJECT	3252
SHEET	

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 www.jtsarch.com

**JTS** Architects

Professional seal of the Engineer/Architect, and for any other professional seal or stamp. The Engineer/Architect shall be responsible for the design and construction of the project. The Engineer/Architect shall be responsible for the design and construction of the project. The Engineer/Architect shall be responsible for the design and construction of the project.



1 PROPOSED FLOOR PLAN  
1/8" = 1'-0"

---	EX CMU BLOCK WALL
▨	NEW CMU BLOCK WALL
---	EX PARTITION
▨	NEW PARTITION

RECEIVED  
DEC 22 2023  
COMMUNITY DEVELOPMENT  
DEPT

EXHIBIT C

NOT FOR CONSTRUCTION

**CANNA CLOUD**  
PROJECT DESCRIPTION  
27 W 261 NORTH AVE WEST CHICAGO, IL

450 E. Higgins Road - Suite 202  
Elk Grove Village, IL 60007  
P 847.952.9970  
F 847.574.8075  
www.jsarch.com

**JTS** Architects

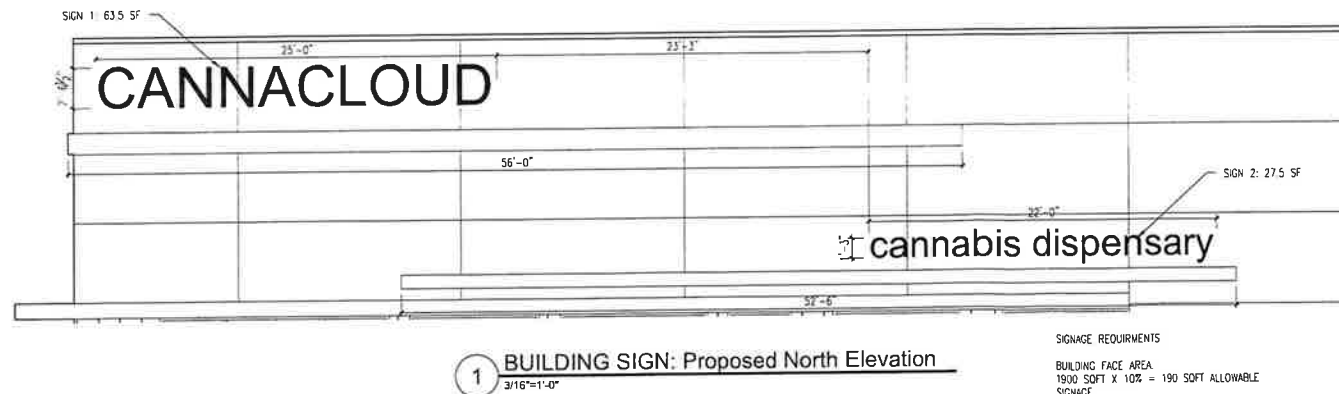
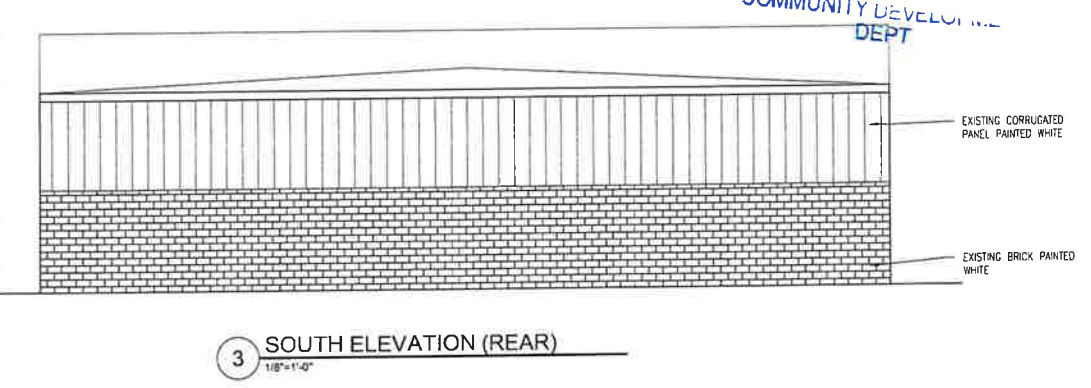
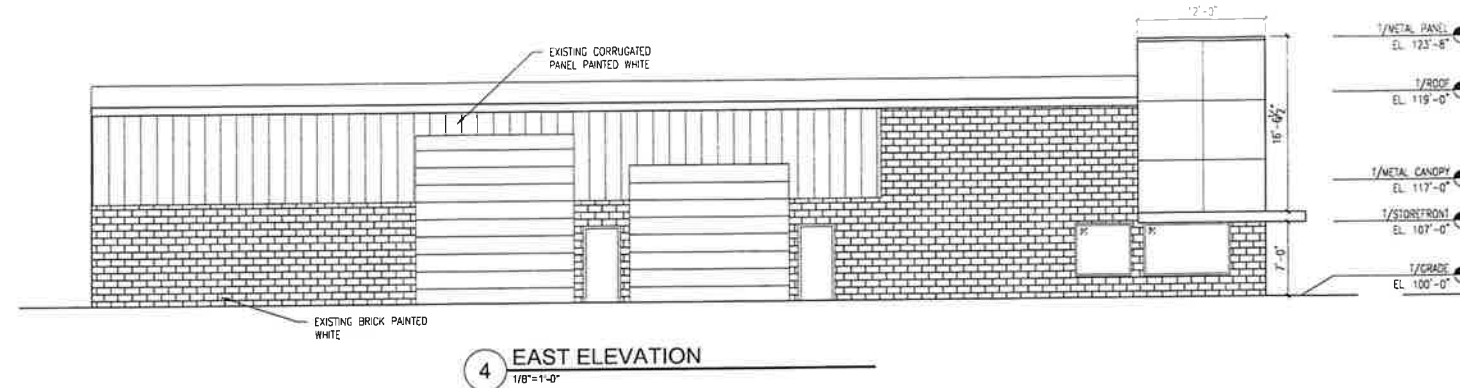
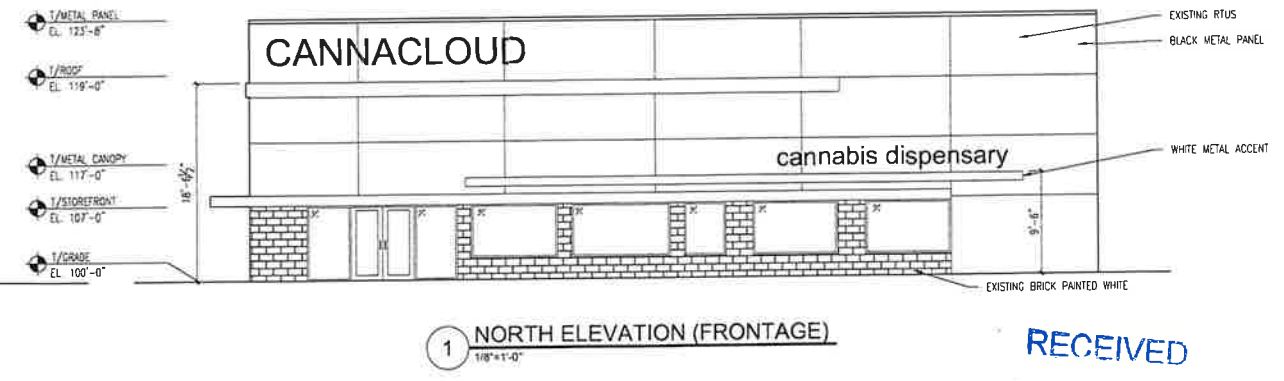
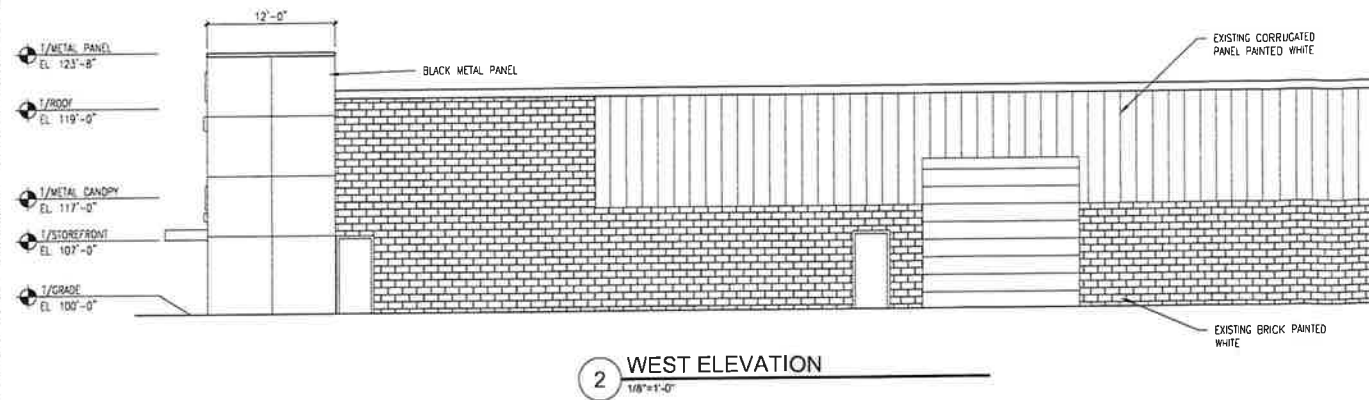
DATE	SUBMITTED FOR
12/07/2023	CLP SUBMITTAL

SHEET TITLE

DATE: 12/07/2023  
JOB NO: 3252  
SHEET:



These drawings shall be submitted to the City of Chicago for review and approval. The information provided is intended for informational purposes only and does not constitute a contract. The City of Chicago reserves the right to require changes to these drawings at any time. The City of Chicago shall not be responsible for any errors or omissions on these drawings. The information provided is intended for informational purposes only and does not constitute a contract. The City of Chicago reserves the right to require changes to these drawings at any time. The City of Chicago shall not be responsible for any errors or omissions on these drawings.



**SIGNAGE REQUIREMENTS**  
 BUILDING FACE AREA  
 1900 SQ FT X 10% = 190 SQ FT ALLOWABLE SIGNAGE  
 PROPOSED 92 SQ FT TOTAL

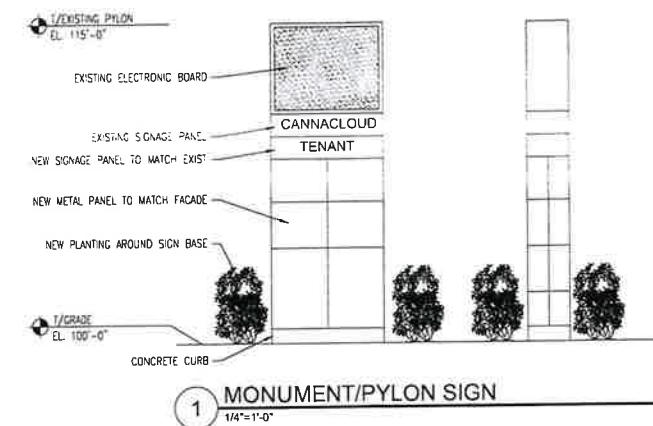
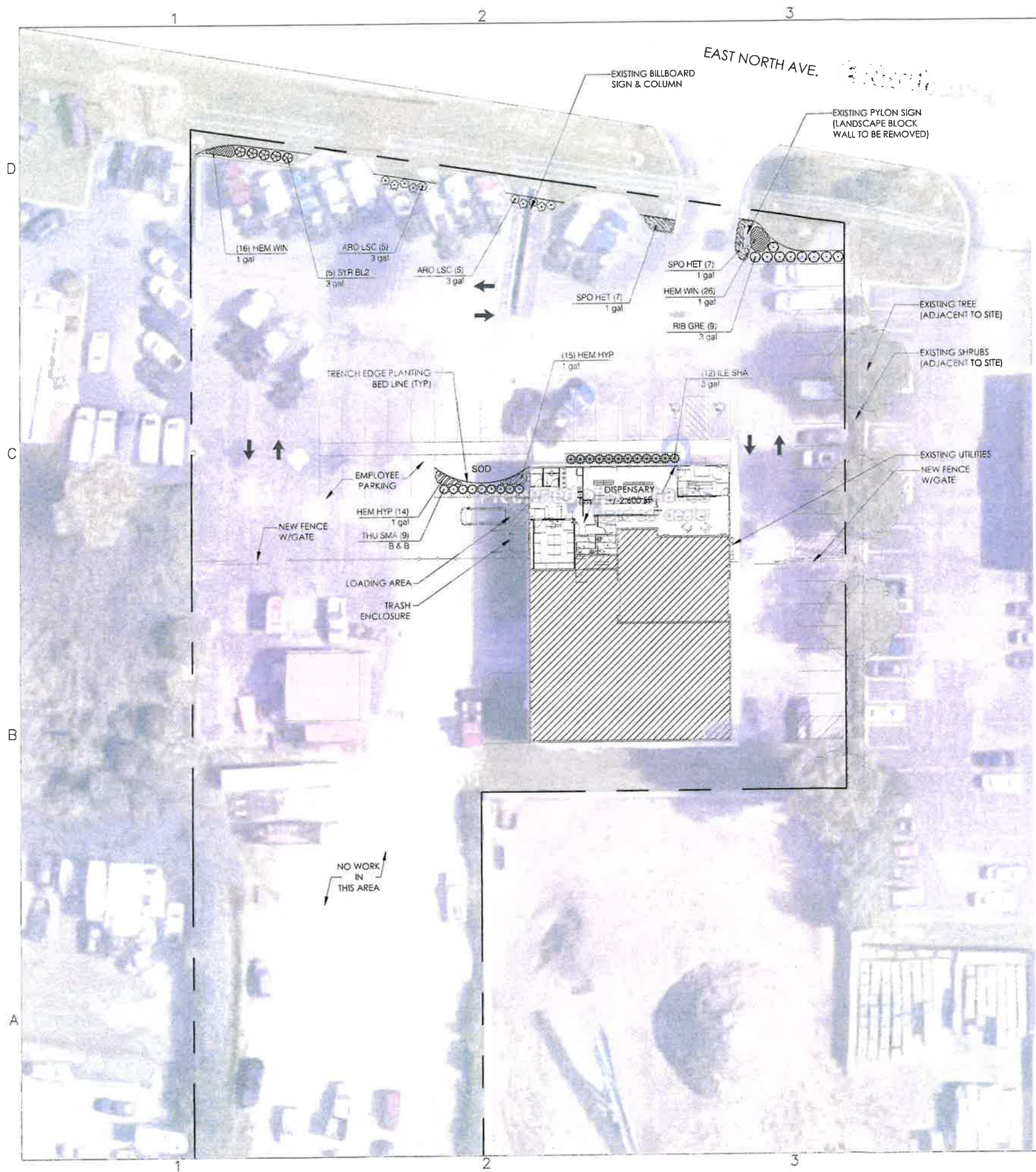


EXHIBIT D





**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	REMARKS
ARD LSC	<i>Aronia melanocarpa</i> 'UCONNAM165' / Low Scapo Mound® Black Chokeberry	3 gal	12" H	10	
ILE SHA	<i>Ilex glabra</i> 'Shamrock' / Inkberry	3 gal	15" H	12	
RIB GRE	<i>Ribes alpinum</i> 'Green Mound' / Green Mound Alpine Currant	3 gal	15" H	9	
SYR BL2	<i>Syringa</i> x 'Bloomerang' / Bloomerang Syringa Lilac	3 gal	15" H	5	
THU SMA	<i>Thuja occidentalis</i> 'Smaragd' / Emerald Green Arborvitae	8 & 8	6" H	8	

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	REMARKS
HEM HYP	<i>Hemerocallis</i> x 'Hyperion' / Hyperion Daylily	1 gal	18" o.c.	29	
HEM WIN	<i>Hemerocallis</i> x 'Little Wine Cup' / Little Wine Cup Daylily	1 gal	18" o.c.	42	
SPO HET	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	38" o.c.	14	

SOD	QTY	REMARKS
Premium Bluegrass	500 SF	

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 COMMUNITY DEVELOPMENT  
 DEPT

CANNA CLOUD  
 27W261 NORTH AVENUE  
 WEST CHICAGO, IL 60185



1167 Hobson Mill Drive  
 Naperville, Illinois 60540  
 Telephone: (630) 606-0776  
 www.design-perspectives.net

REV.	COMMENT	DATE

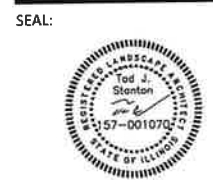
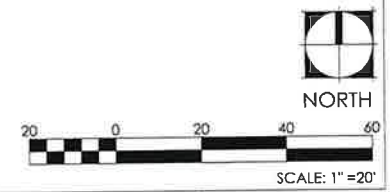


EXHIBIT E

DATE: 12/8/2023  
 JOB NO.: 24-828  
 DRAWN BY: TS  
 CHECKED BY: TS

DRAWING TITLE:  
 LANDSCAPE PLAN

SHEET NO.:  
 LP-100



**Village of Carol Stream  
Plan Commission/Zoning Board of Appeals**

**STAFF REPORT**

January 8, 2024

**TO:**  
Chairperson and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- Amendments to the Unified Development Ordinance (UDO) text to limit the number of adult use cannabis dispensaries and increase the distance between dispensaries as set forth in Section 16-4-9 of the UDO, in accordance with Section 16-8-4 (M) of the UDO

**APPLICANT/ CONTACT:**

Mr. Dev Patel  
Veltiste IL  
414 Parkview Place  
Burr Ridge, IL 60527



**CASE #:** 23-0045

**PROJECT NAME:** Veltiste IL

A request has been submitted from the owner and operator of the recently approved adult-use cannabis dispensary at 720 E. North Avenue, to amend the text of the Unified Development Ordinance to limit the number of cannabis dispensaries in Carol Stream to no more than two dispensaries, and to increase the distance between dispensaries from 1,500 feet to 2.5 miles.

Please review the staff report and submitted documents for additional information.

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## Project Summary

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### **ATTACHMENTS:**

Attached for review is the General Application, Text Amendment Application, Public Notice, and Articles from the Applicant (Exhibit A), and Presentation from Larry Kling with Newmark pertaining to concerns with the proposed text amendments.

### **BACKGROUND:**

Mr. Dev Patel, Chief Executive Officer with Veltiste IL, requests approval of a zoning text amendment to the Unified Development Ordinance (UDO), to limit the number of adult-use cannabis dispensaries in Carol Stream to no more than two dispensaries, and to increase the buffer between dispensaries from 1,500 feet to 2.5 miles. In May 2023, Mr. Patel received approval of a Special Use Permit for a dispensary at 720 E. North Avenue in the former Playoff's building (Fuego Cannabis, now known as Bisa Lina Cannabis). Renovations continue on the property, and it is anticipated that the dispensary will be opening shortly.

At its meeting on November 13, 2023, the PC/ZBA reviewed a somewhat similar request from the applicant. Case No. 23-0038 specifically sought to limit the number of dispensaries in Carol Stream to no more than one. In the presentation to the PC/ZBA, the applicant presented the dispensary limit request, but stated that he would also be agreeable to an alternative option, which was to amend the UDO to allow a maximum of two dispensaries in Carol Stream provided the dispensaries were a minimum of 2.5 miles apart. By a 3-1 vote, the PC/ZBA recommended approval of a UDO amendment that would allow a maximum of two dispensaries in Carol Stream, and that no two dispensaries could be closer than 2.5 miles from one another.

The public notice for Case No. 23-0038 did not include language notifying the public that the PC/ZBA would be considering a change to the distance requirement between dispensaries, because the applicant's text amendment application did not reference such a change. The Village Attorney determined that, since the public notice for Case No. 23-0038 did not include language notifying the public that the PC/ZBA would be considering a change to the distance requirement between dispensaries, the Village Board should take no action on the request to amend the UDO. If the applicant were still interested in amending the UDO to limit the number of dispensaries and change the allowable distance between dispensaries, a new application with such requests would need to be submitted. The applicant has submitted such a request with this petition (Case 23-0045).

It should also be noted that Village staff received information from Larry Kling with Newmark, who represents the operator proposing a dispensary at 506 S. Schmale Road (Case No. 23-0040), with concerns regarding the proposed text amendments. Mr. Kling has submitted a short



presentation that he would like to review with the PC/ZBA during the public comment portion of the hearing.

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**Staff Analysis**

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**ZONING TEXT AMENDMENT**

In 2019 the PC/ZBA and Village Board approved special use code language for cannabis dispensaries, and in 2023, additional code language was approved including updated use-specific standards for dispensaries and distance requirements. While a brief discussion occurred on placing a “cap” or limit on the number of dispensaries allowed in Carol Stream, the PC/ZBA and Village Board decided to not include a dispensary limit in the use-specific standards and allow the market to dictate the number of dispensaries that may wish to open in the community. Likewise, a 1,500-foot distance requirement between dispensaries was included to match the requirement found in the State of Illinois Cannabis Regulation and Tax Act.

As described in the submitted zoning text amendment application, the applicant believes a limit to the number of dispensaries and an increase in the distance between dispensaries will be a proactive measure to “guard against inherent market forces associated with the cannabis industry.” The applicant has provided several articles regarding the cannabis industry in other states, including California, Colorado, and Michigan, which report that dispensaries have closed due to a saturated market. In addition, the applicant states that other communities in Illinois have approved dispensary limits and increased distance requirements to deter a proliferation of dispensaries.

While staff understands the applicant’s concerns, we do not believe that a dispensary limit or increased distance requirement is warranted, and that competition allows for stronger and more robust business enterprises. There are other types of businesses that are regulated by the State of Illinois, including businesses that serve alcohol, businesses with video gaming devices, and daycare centers, which are subject to market demands and seem to be able to survive the competition. Staff has also discussed the proposed dispensary limit and expanded distance requests with the Village Attorney, who advises against such amendments since the Village does not impose restrictions on other special uses. Therefore, staff does not support the request to limit the number of dispensaries and to increase the distance requirement between dispensaries.

Staff wishes to point out the following additional information to the PC/ZBA:

- Several communities surrounding Carol Stream currently prohibit adult-use cannabis dispensaries, including Wheaton, Bloomingdale, and Glen Ellyn. These prohibitions may partially explain why Carol Stream has received several inquiries for dispensaries.
- The PC/ZBA is also reviewing special use permit applications for two additional adult-use cannabis dispensaries at its January 8, 2024 meeting. One dispensary is proposed near the

northwest corner of Geneva Road and Schmale Road (Altius Dispensary, Case No. 23-0040), and the other dispensary is proposed near the southwest corner of North Avenue and County Farm Road (CannaCloud, Case No. 23-0041). Both proposed locations are more than 1,500 feet away from the Bisa Lina property on North Avenue, or any other dispensary in nearby communities or in unincorporated DuPage County. However, the proposed Altius dispensary is approximately 1.24 miles away from Bisa Lina property, less than the 2.5-mile separation requested in Mr. Patel's application.

- There are commercial properties in the Village of Glendale Heights that are in close proximity to the Bisa Lina property on North Avenue where a dispensary could locate in the future. Dispensaries in Glendale Heights require review and approval of a conditional use permit (similar to a special use permit), with restrictions on the zoning districts (C-2, C-3, BP, and I Districts) and roadways (Army Trail Road and North Avenue) where dispensaries can be located. In addition, Glendale Heights limits the number of dispensaries to no more than two dispensaries. One dispensary, Ivy Hall, recently opened at the southwest corner of Army Trail and Bloomingdale Roads. Commercial developments at the southwest corner of North Avenue and Bloomingdale Road, which include a Tony's Fresh Market, Popeye's, Burger King, and Chase Bank, are zoned C-2, and are located less than one mile from the Bisa Lina property (but more than 1,500 feet away). In addition, commercial developments at the northwest corner of North Avenue and Glen Ellyn Road, which include La Rosita Fresh Market, Bowlero bowling alley, and Freddy's Restaurant, are zoned C-3, and are located less than two miles away from the Bisa Lina property. A dispensary could be approved in Glendale Heights at either of these locations, both of which are less than 2.5 miles away from the Bisa Lina property. Mr. Patel's requested 2.5-mile separation between dispensaries would not apply to dispensaries located outside of Carol Stream, so a potential consequence of the requested text amendment, if approved, would be to encourage a dispensary to locate just outside of the Village, in accordance with the State's 1,500-foot separation requirement.

#### TEXT AMENDMENT FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested text amendment must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4 (M) of the UDO, no text amendment shall be recommended by the Plan Commission nor approved by the Village Board unless the text amendment:

1. Will be consistent with the purpose of the UDO and the village comprehensive plan.

An economic development directive of the Comprehensive Plan is to "support existing and attract new commercial development." The applicant is concerned that multiple dispensaries in Carol Stream will negatively affect his dispensary on North Avenue. However, staff believes that market factors and existing use-specific regulations for dispensaries in the UDO, including distance requirements, will appropriately regulate potential dispensary locations (both in town and within surrounding areas).

2. Will not adversely affect the public health, safety, or general welfare.

Staff does not believe a limit of two cannabis dispensaries separated by at least 2.5 miles will adversely affect the public health, safety, or general welfare of the community, but limits or increased distance requirements have not been the standard practice for business enterprises or special uses in Carol Stream.

3. Will be necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.

The applicant states that the cannabis industry is highly regulated, and a limit to the number of dispensaries in Carol Stream will control the potential number of vacant storefronts in the community. Staff does not wish for any business to close, but we also believe that competition is a regular component of business operations. Staff believes that multiple dispensaries in the community may be acceptable as long as the existing use-specific regulations are adhered to.

## RECOMMENDATION

Staff has reviewed the proposed request and does not believe that a limit or increased distance requirement for dispensaries in town is warranted. Therefore, staff recommends denial of a zoning text amendment to limit the number of adult-use dispensaries to two and to increase the distance between dispensaries from 1,500 feet to 2.5 miles for Veltiste IL, Case No. 23-0045. However, should the PC/ZBA wish to recommend approval of the text amendment as proposed by the applicant, the language shown in red text below would be appropriate.

### **§ 16-4-9 ADULT USE AND MEDICAL CANNABIS DISPENSING ORGANIZATION.**

Adult use and medical cannabis dispensing organizations shall be permitted as special uses and shall meet the following provisions:

(11) *Location.*

(a) A dispensing organization shall not be located within a ~~1,500-foot~~ **2.5 mile** radius of any other dispensing organization located within or outside the village, or be located within 100 feet of any place of worship, school, hospital, home for aged or indigent persons or for veterans, their spouses or children, or any military or naval station within or outside the village.

(b) A dispensing organization shall not contain a drive up service window.

(16) *Other standards.*

(a) All dispensing organizations shall abide by all other applicable state and village regulations and requirements. Facility may not conduct any sales or distribution of cannabis other than as authorized by the Act, and shall obtain and maintain at all times valid licensing, certification, and/or accreditation by appropriate, local, state and national bodies charged

with the regulation of adult-use or medical cannabis business establishments and shall adhere to all governing local, state and national codes and regulations.

(b) Principal use. The cannabis dispensing organization is allowed as a principal use only and not allowed as an accessory use or temporary use as defined within the Unified Development Ordinance.

**(c) A maximum of two (2) adult-use cannabis dispensing organizations may operate within the village pursuant to a special use permit.**



**Do Not Write in This Space**  
 Date Submitted: 11-20-23  
 Fee Submitted: \$640.00  
 File Number: 23-0045  
 Meeting Date: 01-08-24  
 Public Hearing Required: Y

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

**FORM A**

**GENERAL APPLICATION  
 PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Veltiste IL Phone 630.345.0847  
 Address 414 Parkview Pl Burr Ridge, IL 60527 Fax \_\_\_\_\_  
 E-Mail Address dev@veltise.com  
 (required)  
 Name of Attorney N/A Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner N/A Phone \_\_\_\_\_  
 (required if other than applicant)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Architect N/A Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 720 E. NORTH Avenue

3. Requested Action: (check all that apply)
- |  |   |
|--|---|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                    |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances          |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)       |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)         |
| <input type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)        |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C)         |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)            |
| <input type="checkbox"/> Site Plan Review                  | <input checked="" type="checkbox"/> Text Amendment (requires Form D2) |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)           |



Describe requested action Adoption of a text amendment to limit the permissible number of adult use and medical cannabis dispensing organizations to no more than 2. And no two Cannabis dispensaries within the Village of Carol Stream can be 2.5 miles from one another.

4. Fee Schedule: *(Check all that apply)*

Total Application Fee: \$ 640

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
X	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

Dev Patel

Print Name



Signature

November 17, 2023

Date

Revised 11/22

## FORM D-2 TEXT AMENDMENT REQUEST

**1. The amendment must be consistent with the purpose of this UDO and the Village Comprehensive Plan.**

The proposed amendment is consistent with both of the UDO and the Village Comprehensive Plan. As to the UDO, the proposed amendment is intended to benefit the public health, safety, and general welfare of the community by placing a limitation on the number of cannabis adult use and medical dispensing organizations that can operate within the Village. Applicant will expand on the benefits of this limitation in items 2 and 3 below. Further, the proposed amendment is consistent with the Village Comprehensive Plan because it is a minor adjustment to ordinances that were recently passed. This is not an overhaul of marijuana zoning or a request to place marijuana operations in areas not already approved by the Village. Instead, this is a request for an express limitation on the number of retail stores permitted, which is a long-term plan to ensure the stable, continued operations of the retailers that have invested into Carol Steam, which in turn will create higher property value, a safer overall environment, and increased municipal revenue.

**2. The amendment must not adversely affect the public health, safety, or general welfare.**

Limitation on the number of retail cannabis stores or a buffer will not adversely affect the public, safety or general welfare of the community. Lowering the number of stores will limit the risk of empty storefronts. The reality is that cannabis is a highly regulated, and therefore highly expensive, business to operate. As a result, these businesses are forced to operate on thin margins. Further, these businesses operate in an unpredictable market that is subject to great fluctuations in supply and demand. These inherent business risks can result in stores being unable to continue operations. If Carol Steam does not limit the number of permitted stores, there will be a rush of applicants that will end up self-cannibalizing each other, leaving empty storefronts in their wake. The proliferation of empty commercial storefronts is believed to encourage further civil disobedience and create the potential for crime. But at a minimum, it has the potential to lower property values and be an eyesore for the community.

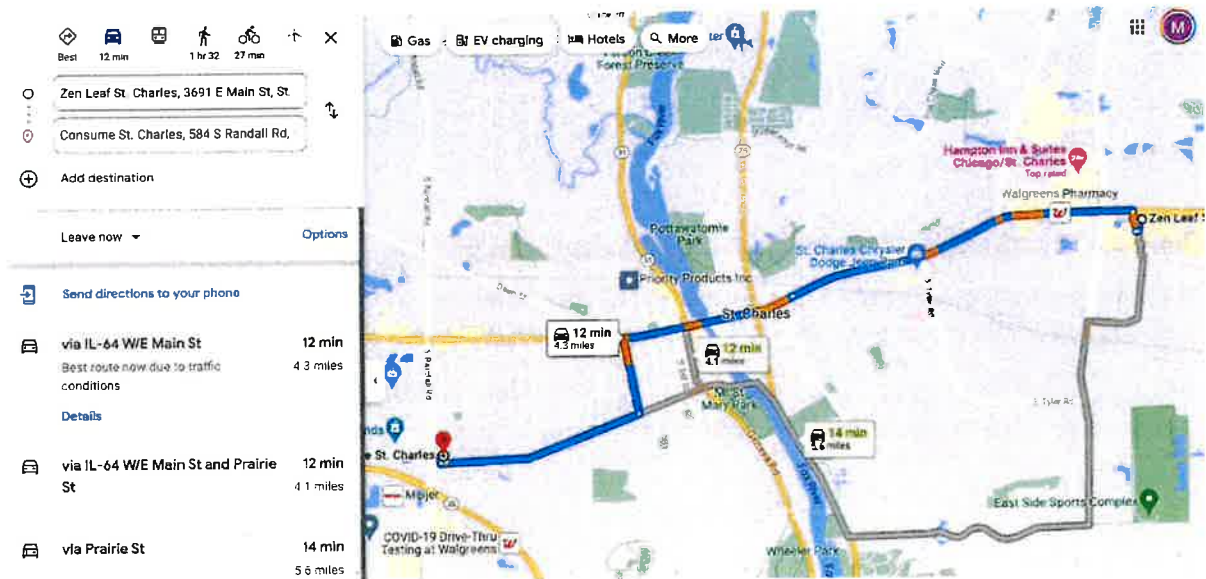
**3. The amendment is necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.**

The proposed text amendment believes is a proactive measure to guard against the inherent market forces dominating this regulated industry specifically designed to protect Carol Steam's economic interests and overall commercial environment. This change would be proactive in Carol Stream, but as explained below, a similar change in other states is now too late.

Given that cannabis is the most regulated industry in America and the lack of of federal legalization a buffer around each site will increase the probability of businesses being able to stay in business long term. This will also decrease black market activity because when price compression occurs many bad operators do not remain compliant.

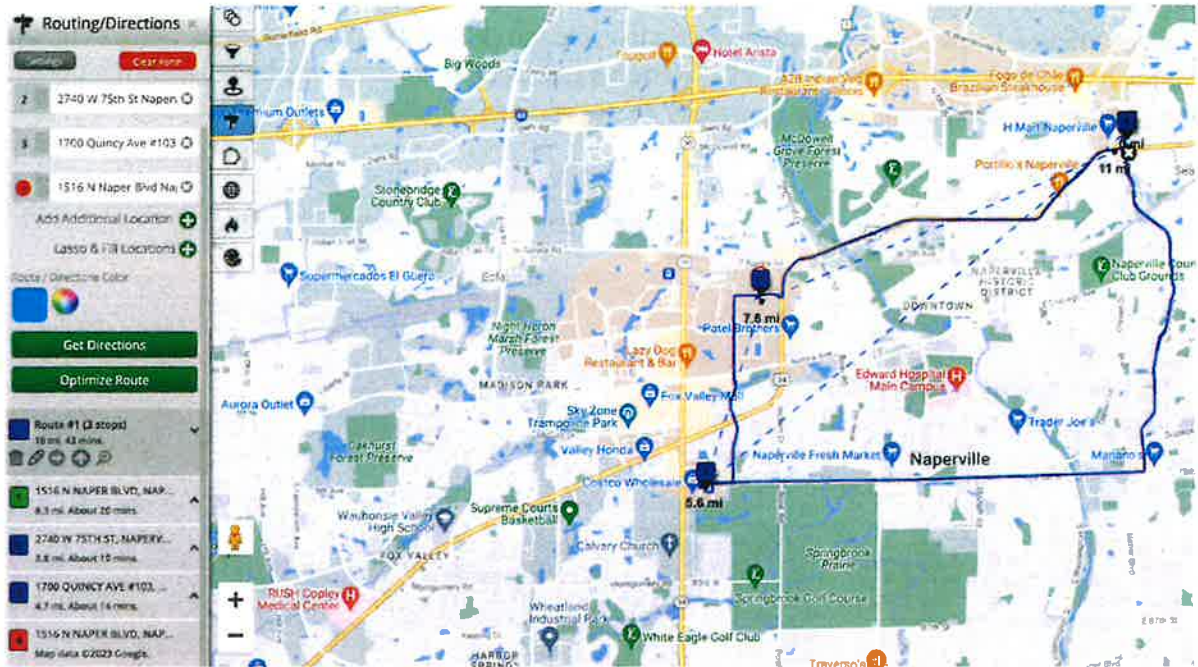
Please refer to St Charles as a case study:

### St. Charles Dispensary Buffer



By limiting total dispensaries to 2, placing them on either side of the river and 4 miles apart, St. Charles has ensured their entire population can access legally regulated lab-tested cannabis. This is a mindful approach that will provide legal cannabis to a larger percentage of the community and will promote a conservative approach on a new roll out. This will foster long term stability which is critically important.

## Naperville's Dispensary Placement



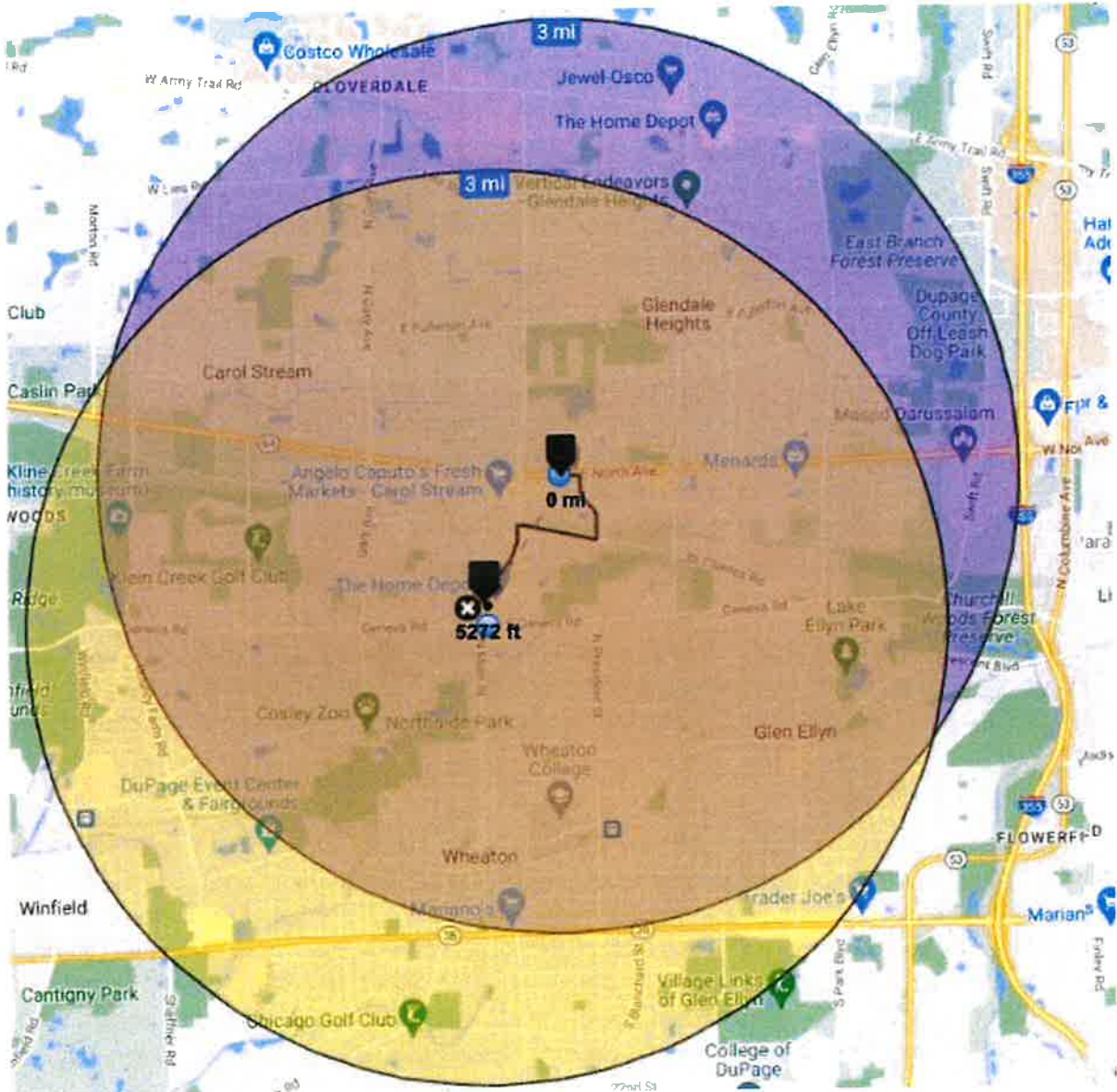
By limiting total dispensaries to 3 and having them spread out throughout town, Naperville has also ensured the entire population can access legal regulated lab-tested cannabis.

Note, that these locations in Naperville are not the leading performers in the state. You need substantial population in order for a cannabis dispensary to stay in business.



### 3 Mile Radius for Bisa Lina and Proposed Site on 506 Schmale Rd

- Having 2 stores this close to each other puts the town at a disadvantage for local tax revenue because both stores will essentially be serving the same population.
- Having a greater distance between stores will allow more residents of Carol Stream to have access to safe legalized cannabis and increase the probability of staying in business long-term



Several states adopted legalized cannabis before Illinois and the experience in these locations provides a roadmap of expectations. In Michigan, store closings are a common occurrence. For example, one of Michigan's largest retailers, [closed 4 stores due to market saturation](#),<sup>[1]</sup> including a store in Southfield, Michigan, which has a population of nearly double Carol Stream. A smaller city, Big Rapids, Michigan, saw [5 stores close in less than a year](#).<sup>[2]</sup> And the Applicant's attorney is a resident of Kalamazoo, Michigan, and has personally witnessed several stores close, rebrand, or simply never finish development.

In Colorado, retail sales of cannabis have dropped 17% from 2022 and stores have been closing ["left and right"](#).<sup>[3]</sup> The perfect storm of too much supply, not enough demand, plunging prices, and increased competition has simply created too much of a burden for these business to continue. Closings were so common that Colorado media published an article called ["Denver's Saddest Dispensary Closings of 2022"](#).<sup>[4]</sup>

In California, industry experts are predicting an ["extinction event"](#)<sup>[5]</sup> that will likely close hundreds of retail stores. This event is likely based on a change in tax law that requires California retail stores to be current in taxes to continue operations. Currently, it is estimated that over \$600 million in back taxes are owed. And these taxes are owed because the retailers simply cannot generate sufficient revenue given the market conditions, including oversaturation.

On August 22, 2023, the Boston Globe published an article title ["Pot prices have tanked. Dispensaries are closing. Is a great crash coming?"](#)<sup>[6]</sup> As expected, the article tells the story of the pressures retailer face from all angles that simply makes continued operations impossible.

Applicant acknowledges that a hard cap on a specific land use is rare. For example, there is no hard cap on the number of bookstores or ice cream parlors. But those are not regulated industries. Cannabis retailers face specific, real, and inherent pressures that cannot be ignored. But, when these licenses are first available, entrepreneurs throw caution to the wind and believe they can beat the odds. And as a result, without a cap, too many stores will open. Those stores will create intense competition, spreading out the available revenue to an amount so low that continued operations are impossible. This is not a "protection" of a business more than the acknowledgement that supply and demand of a regulated product, one that is subject to high barriers to entry and extremely unfavorable tax treatment, creates a unique business environment.

And while a cap on traditional land uses is rare, caps are common on cannabis retail operations, including within Illinois. It permits a municipality to take a "wait and see" approaching to a new land use. This approach lets the regulated market mature without negative consequences to the municipality. And Illinois municipalities such as Woodridge, Bollingbrook, Naperville, North Riverside, and Orland Hills have each adopted a cap.

Applicant respectfully requests Carol Steam adopt the proposed text amendment and limit the number of cannabis retail operations within its limits.

---

[1] Attached as Exhibit 1.

[2] Attached as Exhibit 2.

[3] Attached as Exhibit 3.

[4] Attached as Exhibit 4.

[5] Attached as Exhibit 5.

[6] Attached as Exhibit 6.

RECEIVED

NOV 21 2023

EXHIBIT 1

COMMUNITY DEVELOPMENT  
DEPT

EXHIBIT A

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# Giant Michigan marijuana retailer closes 4 stores in realignment

By [MJBizDaily Staff \(https://mjbizdaily.com/about-us/staff\)](https://mjbizdaily.com/about-us/staff)



July 12, 2022 - Updated July 12, 2022

Lume employees reportedly were told that the shuttered stores – in Bay City, Cheboygan, Christmas and Southfield – had experienced sales declines.

“This realignment is a key part of our strategy to maintain and strengthen our position as Michigan’s leading cannabis retailer,” Lume President Doug Hellyar told Marquette TV station WLUC, which serves the state’s Upper Peninsula.

“We remain absolutely committed to growing and deepening our retail footprint in communities across Michigan,” Hellyar added.

The Troy-based company, which employs roughly 1,000, said its stores would number 32 after the closures and additional openings.

Employees who worked at the Lume stores being closed will have the opportunity to apply for positions at other company stores in Michigan.

One Lume employee told Michigan News Time that employees were notified (<https://michigannewstime.com/a-major-marijuana-retailer-in-michigan-has-closed-four-stores/54156/>) Monday of the store closures and told it was because of lower sales.

A Lume retail executive told MJBizMagazine last year that his mandate was to help increase the number of stores to 100 (<https://mjbizdaily.com/digital-issues/july-2021/?page=62>) by 2025.



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Giant Michigan marijuana retailer closes 4 stores in re-ignition



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1:53

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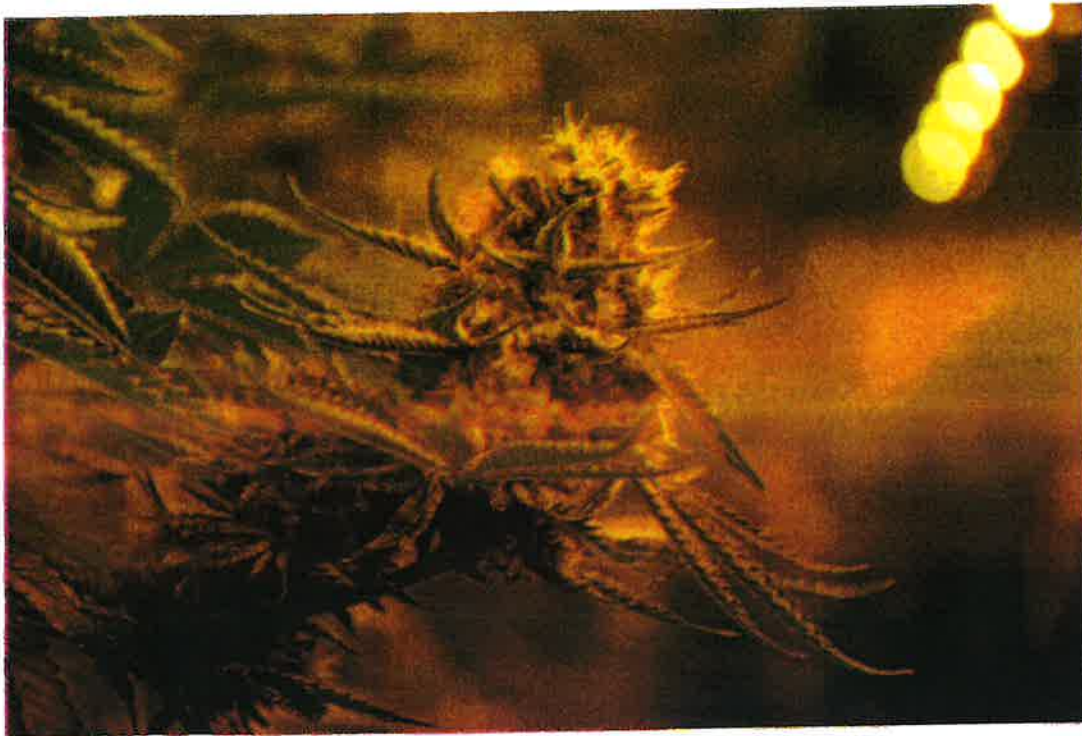
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# EXHIBIT 2

# BURNED OUT: Big Rapids cannabis market shows signs of oversaturation

Kate Carlson - January 29, 2023

3:57



Reshma Saujani. **Courtesy Calvin College**

## ***5 dispensaries close in city within last 12 months***

*5 dispensaries close in city within last 12 months*

BIG RAPIDS — Five cannabis dispensaries have closed in the city of Big Rapids over the past year, raising questions about whether the city of nearly 9,000 people is an early example of market oversaturation.

City officials have adopted an open policy for cannabis retailers by avoiding capping the number of cannabis businesses that can operate within the city limits. As a result, the number of dispensaries in the city blossomed to as many as 14 retail storefronts since cannabis sales first started in the city in March 2020.

However, the local market has experienced its share of churn.

The latest to exit was Grand Rapids-based, vertically integrated cannabis company **Fluresh LLC**, which closed a dispensary at 520 S. Third Ave. in Big Rapids earlier this month, only three months after opening. Other dispensaries to close their doors in the city over the past year include **Wellflower**, **Mother Nurtures**, **KKind** and **Alluvion Cannabis Co.**

3:57

Shoran Reid Williams, general counsel and chief regulatory officer at Fluresh, said the decision to shutter the Big Rapids location so quickly stemmed from the local market saturation and several other contributing factors.

"Five other retail locations opened their doors at the same time we did, and the market could not sustain that much supply — it just could not," Reid Williams said.

retail location in Big Rapids proved to be a "logistical nightmare" and wasn't profitable, Reid Williams said.

Fluresh purchased the Big Rapids building from Mother Nurtures, a dispensary that operated in the location before closing in January 2022. According to a statement at the time, Mother Nurtures closed the business because of the effects of inflation and COVID-19, the competitive nature of the local cannabis industry and high cost of owning a dispensary.

For Fluresh, the short-lived foray into the Big Rapids retail market helped the company adjust its market strategy, Reid Williams said.

"At the end of the day, what we decided is we are a wholesale flower company. In order to effectively do that, we didn't really want to compete with our customers," Reid Williams said. "We decided to have just one retail location. We were going to open another one in Adrian by our grow operation, but instead we are focusing on our singular (Grand Rapids) location to better decide what customers want."

Building a brand was not as important when recreational cannabis was first legalized, but it has become an essential factor for companies to remain in business, said Ben Wrigley, partner at Cascade Township-based **CannaLex Law**.

As well, many of the early entrants in the industry likely did not understand all the risks, which led to a string of dispensaries closing across the state, Wrigley said.

"Many of the early operators overpaid for the location they're at, and maybe they were not top business people," Wrigley added. "Everyone complains there aren't enough communities opted in, but if you're open right now, the last thing you want is those surrounding places to opt in."

Wrigley contends that if more neighboring states start legalizing recreational cannabis, the rate of Michigan dispensaries closing will only increase.

Despite the market challenges in Big Rapids, the city has experienced a steady stream of interest from people wanting to open up new cannabis businesses, said Paula Priebe, the city's former community development director. Before taking a position at the city of Walker at the end of 2022, Priebe worked for Big Rapids for five years and oversaw much of the cannabis licensing process during her tenure.

3:57

"We see some of the businesses close, and usually a new business will come in those spaces. That has happened a few times," Priebe said. "These are primarily vacant storefronts to start with and they have been renovated very nicely. They're in most cases phenomenal renovations that are activating buildings in disrepair. That makes it more likely that a new business could come, even in another industry."

Aside from one instance, Priebe said all of the cannabis businesses in Big Rapids renovated older buildings to open in the city.

She thinks Big Rapids' uncapped market for cannabis businesses still makes sense, despite the current uncertainty.

"Ultimately, it's not the city's role to decide what businesses do and do not move forward," Priebe said. "The city doesn't limit the number of hair salons you can open. It's up to you or people in the industry to decide whether it's a good option to take. That held true my whole time there."

#### Kate Carlson

Kate Carlson is a reporter covering commercial real estate and development trends across West Michigan for Crain's Grand Rapids Business. She has been covering the commercial real estate market in the region since 2020. Email Kate at [kate.carlson@crain.com](mailto:kate.carlson@crain.com).



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# EXHIBIT 3

NEWS > MARIJUANA • News

6:20

# Colorado's cannabis industry has fallen on hard times. What does the future hold?



Too much supply, not enough demand, plunging prices, a lack of cannabis tourism and more put pressure on marijuana market



Akta hashishins CJ Polk, left, and Michael Marrero prepare rosin in the marijuana infused products manufacturing hash lab in Carbondale on Thursday, May 18, 2023. The rosin, converted without solvents like butane, is used to make the gummies, vape cartridges, and dab oil that is sold by the akta brand. "It really is the purest way to consume cannabis," said Renee Grossman, owner of akta and High Q. (Kelsey Brunner/Special to The Denver Post)



By MEGAN HILLIANT ROYANTON | mroyanton@denverpost.com | The

6:20



The heyday of marijuana sales in Colorado — back in 2020 when recreational and medical sales topped out at a combined \$226 million — is a distant memory, as the state's dispensaries struggle through an economic downturn, with sales plummeting and small businesses foundering.

"The market's just bad. It's bad right now," said 29-year-old Val Tonazzi, who works in cannabis sales. "There's businesses closing, left and right."

In March, Colorado's [total medical marijuana sales](#) were about \$17 million — around \$5 million less than last March. Retail marijuana sales racked up to \$122 million, but that's still a \$17 million drop from March 2022.

It's an improved outlook from February when medical marijuana sales dipped to their lowest point since retail sales began — around \$15 million. And sales for both recreational and medical weed totaled to over \$139 million, which is the highest it's climbed to since last October.

But times have changed since the COVID-19 pandemic — [now officially over](#) — which gave the cannabis industry a boost as customers stocked up on edibles and joints to enjoy under lockdown.

Instead, in 2023, Colorado's cannabis entrepreneurs face a perfect storm of problems: too much supply, not enough demand, plunging prices, heightened competition in other states, the allure of black market weed, a lack of cannabis tourism and more. That's on top of the shaky economic forecast for the rest of the year, even though [inflation is steadily slowing](#).



6:20



Calie Clark smokes cannabis from a bong with her husband, left in glasses, and friends at JAD's Mile High Smoke, the first cannabis lounge in the state, in Denver on Friday, April 29, 2022. (Photo by Eli Imadali/Special to The Denver Post)

In recent years, several of Colorado's neighbors have legalized [recreational marijuana](#), including New Mexico in 2021, Montana in 2020 and Arizona that same year.

With weed sales plummeting, career opportunities in the industry are growing scarce. Colorado ranked as the No. 2 state for [cannabis job losses](#) in the past year, with more than 10,000 eliminated, according to the Vangst Jobs Report.

As of February, Colorado only occupied the No. 6 spot on the list of America's top cannabis job markets, with almost 28,000 related positions. It fell behind California, Michigan, Illinois, Florida and Massachusetts.

Earlier this year, marijuana giant [Curaleaf](#) shuttered its operations in Colorado, along with California and Oregon. "We believe these states will represent opportunities in the future, but the current price compression caused by a lack of meaningful enforcement of the illicit market prevent us from generating an acceptable return on our investments," CEO Matt Darin said.

Nationwide, the marijuana industry's [share of real estate acquisitions](#) is taking a hit. Realtors "are seeing a decline in commercial property purchases by marijuana industry-related businesses and a corresponding increase in leasing





6:20

↳

Renee Grossman, owner of High Q, in her Carbondale location on Thursday, May 18, 2023. "This industry right now has too much of everything," explained Grossman. "There's too much marijuana, too much product, and it just has to rationalize." (Kelsey Brunner/Special to The Denver Post)

And business owners of smaller chains, like Renée Grossman, find themselves especially at risk. In 2013, she founded High Q: five retail stores in the Colorado mountain towns of Silt, Carbondale, Snowmass Village, Parachute and Cedaredge.

Eventually, she merged the businesses into Hava Companies, and expanded into cultivation and manufacturing in 2020. Now, Grossman is watching the state's industry grapple with an oversupply, softening demand and lack of capital.

6:20

"There's too many stores, there's too much cultivation, there's too many products," she said in a phone interview. "Right now, all the investors are sitting on the sidelines, and kind of waiting to time the bottom — and nobody knows exactly when that's going to happen."

As she and other entrepreneurs have tried to weather the storm, Grossman was forced to move forward with a significant round of layoffs last year. She said other businesses in "cash crunches" can't pay their bills.

"Most companies I know are losing money, or they've shut down and scaled back," she said. "A lot of companies that are my size or smaller are really feeling the burn."

Grossman anticipates that mergers may eventually need to take place, "so we can compete more effectively with the larger chains."







6:20



Beth Bice of Charlotte, N.C., smokes a joint on the bus during a marijuana tour hosted by My 420 Tours in Denver on Dec. 6, 2014. Bice saw a video advertising the tours and said, "lets go to Colorado." During the day, tourists visited La Conte's grow facility, La Conte's Clone Bar & Dispensary, Native Roots dispensary and Illuzions Glass Gallery. (Photo By Craig F. Walker / The Denver Post)

## Big marijuana brands

Even some of the big players in Colorado's cannabis industry aren't immune to the changing tides.

As Americans brace for a potential recession this year, "the general public is pinching pennies, and we've seen it firsthand," said Buck Dutton, vice president of marketing at Native Roots Cannabis Company.

For example, performance in April — a traditionally strong month for cannabis, according to Dutton — fell flat.

As Colorado contends with new legal markets in other states, "people don't see the need to travel here to spend their 4/20 with us," he said. "The only expectation that it lived up to is that we thought it was going to be bad."

At Native Roots, he described the average basket order as down, with customers buying fewer products and visiting less often.



6:20



Packaged cannabis is ready for the upcoming opening of Verts Neighborhood Dispensary in Golden on Tuesday, March 28, 2023. (Photo by Hyoung Chang/The Denver Post)

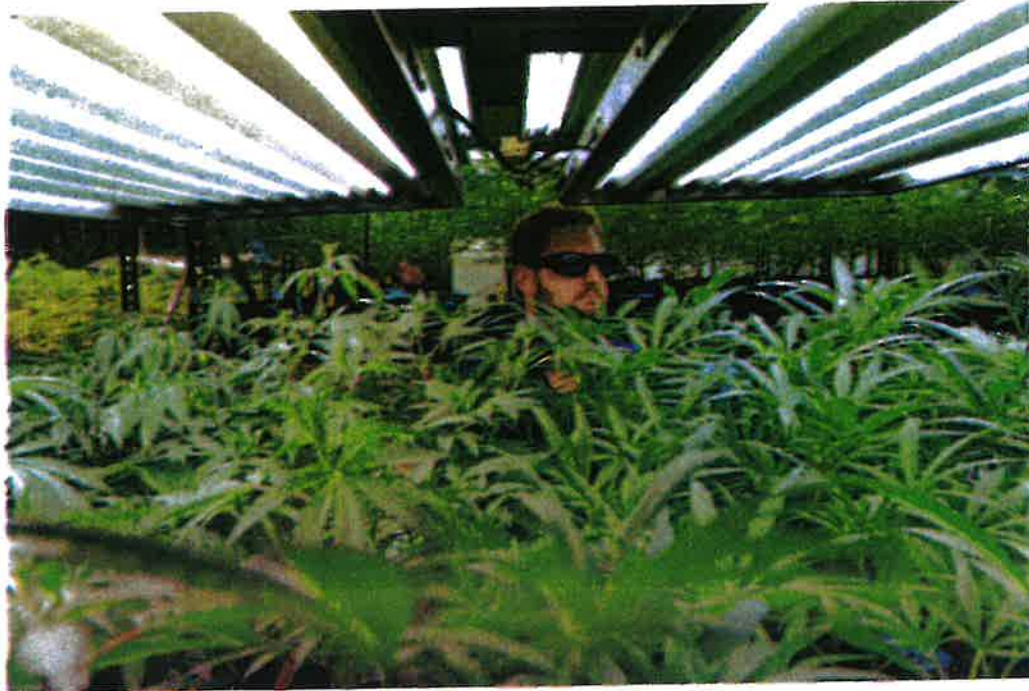
Meanwhile, edibles company Wana Brands is running business as usual, with expansions set in new states and no layoffs, said chief marketing officer Joe Hodas. He largely attributes that to the company never taking on debt or outside investment.

But the broader Colorado market is facing problems right now because it's competing within three separate industries, Hodas said. The first is the regulated marijuana industry and its issue of price compression, while the second is the black market, which doesn't tax consumers.

Finally, there's the gray market, which consists of hemp products, along with Delta-8 and Delta-9 products — unregulated, hemp-derived cannabinoids.

A [measure](#) heading to the governor's desk would empower the regulation of intoxicating hemp-derived products in the Colorado market, with Chuck Smith of cannabis business alliance Colorado Leads calling it a "major policy issue that many states will be grappling with for years to come."

Hodas acknowledged the bill as "a good step in the right direction, but we're still competing with Delta-8 and Delta-9 products."



6:20



Matt Eidson, cultivation technician at Fat Face Farms cultivation facility, checks on marijuana plants in the vegetative room in Denver on Jan. 14, 2020. At the time, prices had hit a 3-year high, but sales across the state have dropped since. (Photo by Helen H. Richardson/The Denver Post)

## “Colorado is the ghost of Christmas future”

In Denver, Excise and Licenses Executive Director Molly Duplechian pointed to another potential problem.

The agency, which regulates Colorado’s largest cannabis market in terms of stores, is “working hard to educate the industry on the importance of our safe storage rules for product and cash to be in a locked safe overnight to reduce opportunities for burglaries, which can be especially devastating to smaller operators.”

The city is home to [319 stores](#), as of Wednesday.

For Truman Bradley, executive director of the Marijuana Industry Group, “Colorado is the ghost of Christmas future.”

When cannabis is first legalized in a state, it starts with a boom, with demand initially outweighing supply, he said in a phone interview. As the market matures, then equilibrium is reached.

In a message to Colorado legislators, Bradley said, "It's critical that lawmakers understand that decade No. 2 of legalization needs to look fundamentally different from decade No. 1."

On the federal level, nationwide legalization could remedy some of these challenges by easing hefty tax burdens, he added.

6:20

Bradley sees a bright spot for the industry: the consumers. And some of them aren't immediately jarred by the trouble facing the marijuana industry.



"I just know weed is cheap right now — like, really cheap," said 23-year-old Caroline Smith, whose favorite dispensary is Golden Meds. Even with the unpredictability of the economy, "I'd buy it either way."

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Megan Ulu-Lani Boyanton - Staff portraits in The Denver Post studio on October 6, 2022. (Photo by Eric Lutzens/The Denver Post)

## Megan Ulu-Lani Boyanton | Business Reporter

Megan Ulu-Lani Boyanton joined The Denver Post in January 2022 as a business reporter, focusing her coverage on social inequities in business.



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# EXHIBIT 4

## Denver's Saddest Dispensary Closings of 2022

Some store closures hurt more than others.

By Thomas Mitchell December 27, 2022



The Clinic's four dispensaries, all located in the Denver area, are now LivWell stores. The Clinic

Colorado's marijuana industry had a rough go in 2022, with prices and dispensary sales dropping at rates not seen since recreational sales began almost nine years ago. The tough times led to a number of business takeovers over the past year, with **Colorado cannabis business acquisitions crossing \$600 million** by the fall, even before several more big deals were announced.

**The Clinic, Colfax Pot Shop, Drift, Emerald Fields, Eufloa, Green Man Fine Cannabis, Green Tree Medicinals, LivWell Enlightened Health, Lightshade, Smokin Gun Apothecary and Urban Dispensary were just some of the metro dispensaries to close or change hands in 2022.** There were more deals involving growing operations, extractors or infused-product manufacturers.

Fewer independent owners and more consolidation are sad developments across the board, but some business closures hurt more than others. Here are the five dispensary closings that hit the hardest in 2022:

### The Clinic

#### Four metro locations

The Clinic was one of Colorado marijuana's stars when recreational sales began in 2014, when it already operated multiple dispensaries; a genetics company, the Bank; and an extraction firm, the Lab. Strains like Tangie and Kosher Kush were mainstays in stashes across the state as the Clinic racked up awards and lucrative partnerships. In recent years, however, the Clinic's public presence quieted, with rumors of a sale surfacing on social media in the fall.

The rumors were true. **PharmaCann Inc.**, the company that owns **LivWell Enlightened Health** dispensaries, announced it was buying the Clinic and its four remaining stores in September. All of the dispensaries have since been rebranded as LivWell locations, which now total 26 across the state.

4:12

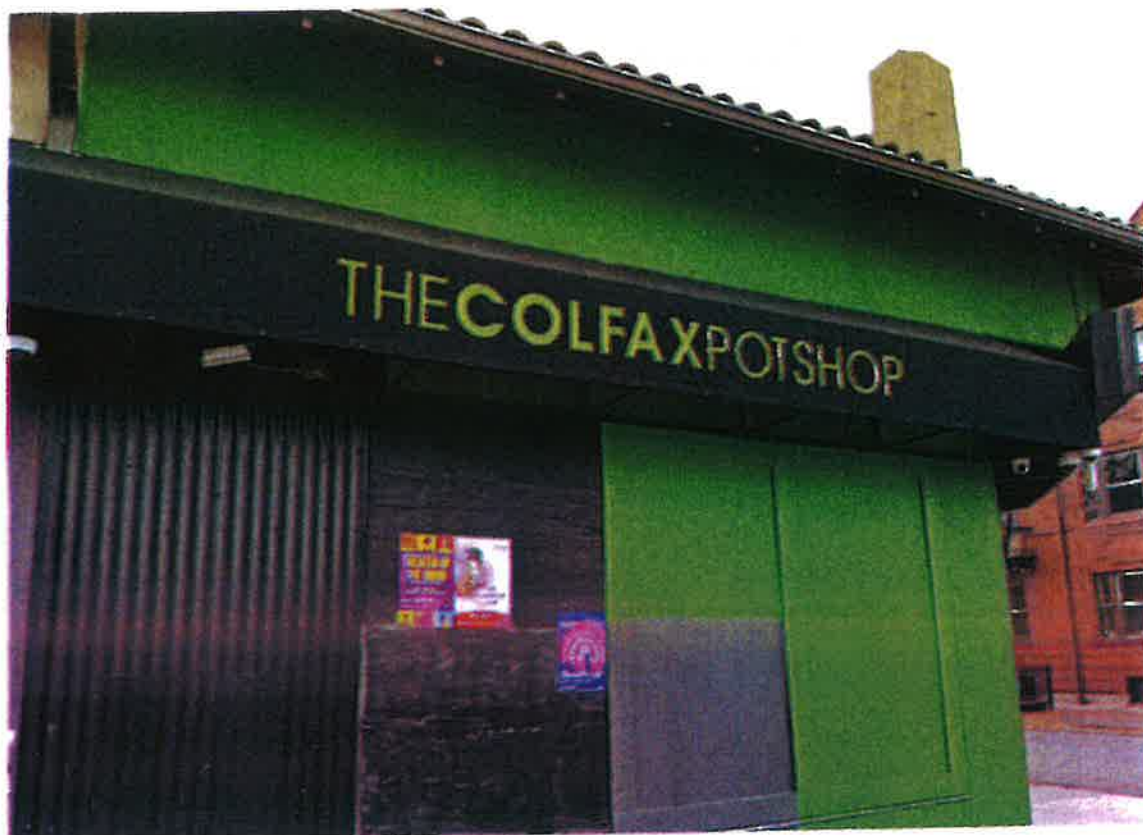


Urban Dispensary reopened as Emerald Fields in June. Scott Lentz

### Urban Dispensary

2675 West 38th Avenue

Another longtime dispensary open since the medical-only days, Urban Dispensary sold to **Schwazze**, a multi-state marijuana ownership group based in Denver, after thirteen years of marijuana sales in the Sunnyside neighborhood. The \$3.2 million package included the store, as well as a 7,200-square-foot indoor growing warehouse. After the purchase took place in June, Schwazze quickly converted the old Urban Dispensary into an Emerald Fields, **another dispensary brand that Schwazze acquired** at the beginning of 2022.



The Colfax Pot Shop was open on East Colfax Avenue since 2010, Thomas Mitchell

### **The Colfax Pot Shop** **1500 East Colfax Avenue**

We were never huge fans of the Colfax Pot Shop, where the prices and selection were average, at best. But even so, the store's simple, blunt name always held a soft spot in our hearts, and the green building was something of a mainstay on the corner of East Colfax Avenue and Humboldt Street. The Colfax Pot Shop had operated there for over twelve years before its owners sold the business over the summer to Cannabis Corp, a marijuana business group that also owns the **Joint by Cannabis**, a northwest Denver dispensary.





Mile High Green Cross, closed in May after thirteen years on Broadway, Thomas Mitchell

### Mile High Green Cross

#### 852 Broadway

You could always count on a good flower selection and daily deals at Mile High Green Cross, which had operated in Capitol Hill since 2009. But then the dispensary alerted customers that it would be closing in May. Unlike other dispensary closures, this wasn't from an acquisition: The store's owner, a Salida-based marijuana ownership group named **Pure Greens**, decided to shut down Mile High Green Cross in order to focus on **La Conte's Clone Bar & Dispensary**, another dispensary that Pure Greens owns blocks away at 105 East Seventh Avenue.



TweedLeaf operated seven stores across Colorado before shutting down. Thomas Mitchell

### Buddy Boy and TweedLeaf Seven locations each

Buddy Boy and TweedLeaf each had seven stores, as well as a lot of employees. Within two months of each other, both companies abruptly closed with little notification to their workers. According to Denver and state tax officials, both Buddy Boy and TweedLeaf had been shut down without public warning because of six-figure bills owed for outstanding sales taxes. Buddy Boy closed all of its stores in June, and TweedLeaf did the same in August, with owners of both businesses blaming declining sales. Neither business has reopened, although dispensaries with different names have opened at former TweedLeaf-owned locations in Boulder and Denver.

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**THOMAS MITCHELL** has written about all things cannabis for *Westword* since 2014, covering sports, real estate and general news along the way for publications such as the *Arizona Republic*, Inman and Fox Sports. He's currently the cannabis editor for westword.com.

**CONTACT:** Thomas Mitchell

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# EXHIBIT 5

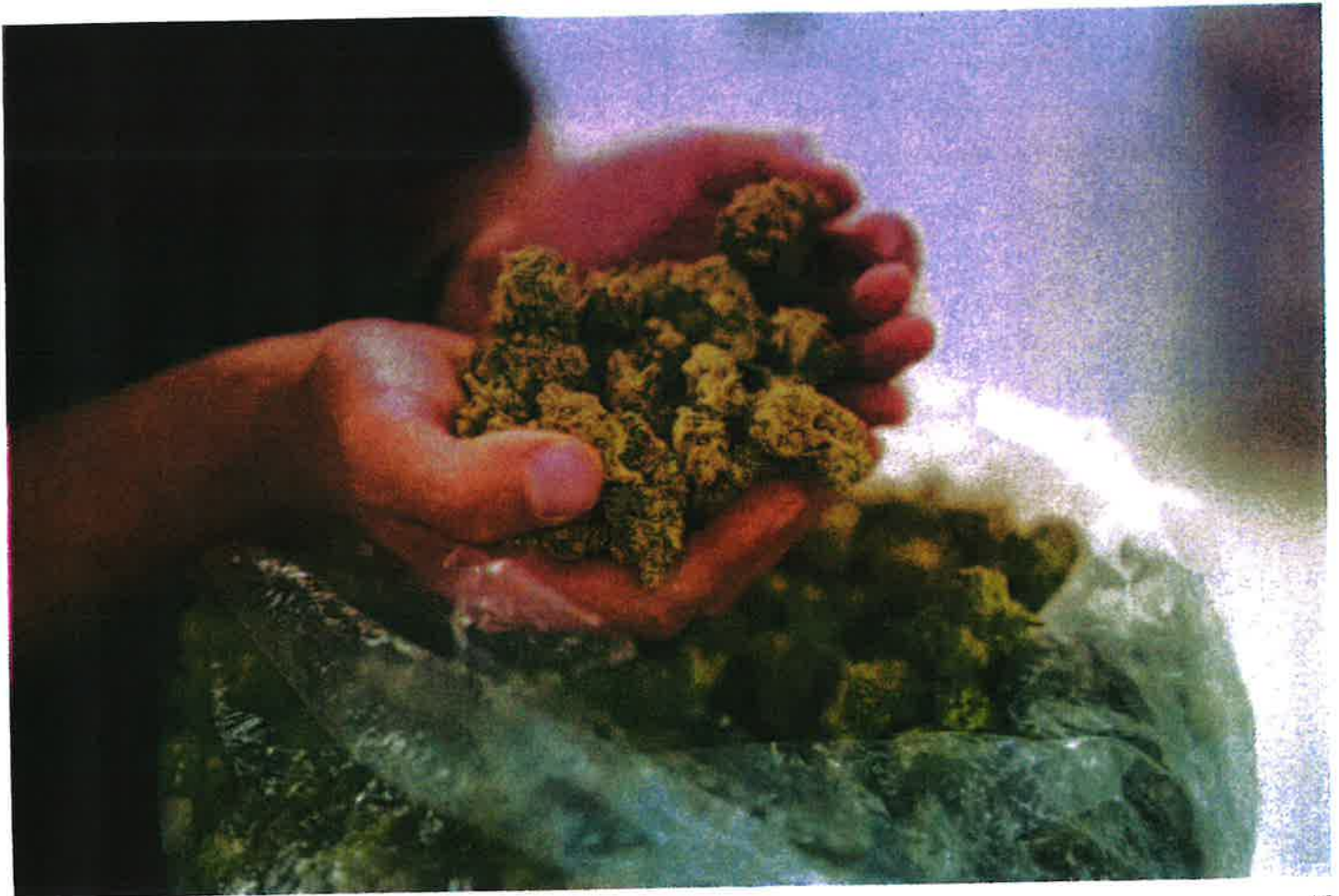
**CANNABIS**

# California pot industry facing 'extinction event'

Industry insiders are warning that hundreds of pot shops could go out of business this year

By **Lester Black**

Updated May 23, 2023 1:02 p.m.



FILE: Legal cannabis pictured at a Southern California cannabis farm.  
The Washington Post / Contributor

California's pot industry could be on the verge of an "extinction event," with pot shops going out of business as they miss tax payments and sink under millions of dollars of debt.

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Debt problems have plagued the industry for years — a 2022 report estimated that the industry was collectively sitting on over \$600 million in debt — but a change in tax law that took effect this year has stakeholders worried the mounting debt bubble will finally become fatal. A San Francisco politician introduced a law this year in the state legislature that would crack down on pot businesses that don't pay their debts.

State law recently shifted the burden for paying cannabis excise taxes from distributors to retailers, with the first tax payments due May 1. Retailers have historically had the most trouble paying their bills, and it appears that many shops lack the cash to pay their state excise taxes, according to new state tax data obtained by SFGATE.

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"I've seen more weed games so I've seen a lot of cycles. But this will have a real impact. The extinction event is when the government wants its taxes, and no one can pay it," Jamalian said.

The entire cannabis supply chain has faced a chronic debt problem: Farmers report never getting paid for thousands of dollars in product, distributors say retailers don't pay them and have started blacklisting some shops, and even the federal government is getting stiffed. An analysis done last fall by Green Market Report found that 10 of the largest pot companies in the country owed over \$500 million combined in unpaid taxes.

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These debt problems have attracted scrutiny from lawmakers. Assemblymember Phil Ting, a Democrat from San Francisco, proposed a bill this year that would require pot businesses to pay

Over 13% of California's retailers, or 265 pot shops, failed to make any tax payment by the May 1 deadline, according to the California Department of Tax and Fee Administration. Those businesses are now facing a 50% penalty on the taxes they owe, which could be a death blow to many shops.

And the number of shops affected could climb higher. The state agency said it's still processing 581 tax returns, which could include retailers that failed to pay.

Michelle Mabugat, a cannabis attorney at the Greenberg Glusker firm in Los Angeles, told SFGATE she expects debt problems to shut down many shops in the state.

"There's a debt bubble that's been building over the last few years that's getting close to bursting," Mabugat said. "I do anticipate a lot of retailers going out of business this year, just like we saw a lot of cultivators go out of business last year."

Ali Jamalian, the owner of Sunset Connect, a cannabis manufacturer in San Francisco, said he's seen pot shops with over \$500,000 in unpaid bills, and he expects the new tax structure to cause an "extinction event" for pot shops in the state.



their cannabis suppliers for any transactions worth \$5,000 or more within 15 days or face a penalty. Ting blamed the problem on federal prohibition, which blocks pot entrepreneurs from accessing the loans that are typically used to maintain cash flow at other businesses.

"For years, restrictions at the federal level have left our state's legal cannabis operators with limited options for financing and capital. This has led to a severe debt bubble across the supply chain from cultivators all the way through to the retailers," Ting said in a news release.

The proposed law is supported by associations representing distributors and manufacturers but has been opposed by some cannabis retailers in the state. It's on the agenda for the House Appropriations Committee's May 18 meeting

Without traditional bank loans, pot companies have turned to issuing loans to each other by selling products on credit. Pot farms often give products to distributors and retailers with no money down but with the expectation that they will be paid later, usually within 30 or 60 days.

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California's pot retailers are struggling to pay their bills.  
Denise Truscello/Getty Images for MedMen

But the retailers frequently take months to pay — if they pay at all. Some California retailers are holding more than a million dollars in debt to other pot businesses, according to Brett Gelfand, the managing partner of CannaBiz Collects, a cannabis-focused debt collection agency.

"We're seeing the same debtors over and over again. Sometimes we have 20 different clients submitting their claims against the same debtor, so the debtor is drowning in debt," Gelfand said.

Ting's bill would specifically target these repeat offenders by creating a system that tracks and penalizes companies that don't pay their cannabis suppliers.

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These debt-ridden retailers are now at risk of going out of business thanks to the state's recent tax payment change. The state's decision to shift tax payments from distributors to retailers both removed a form of financing — retailers were using excise tax collections as a way to finance their businesses — and created a big penalty for cash-strapped retailers.

Mabugat said retailers had been "hoping and praying" that they would come up with more cash before they had to pay the excise taxes. But with the May 1 deadline past, hundreds of pot shops were unable to come up with the money and could be headed toward failure.

As Mabugat said: "That kind of financing model, if you can even call it that, is a really easy way to go upside down fast."

May 18, 2023 | Updated May 23, 2023 1:02 p.m.



By **Lester Black**



Lester Black is SFGATE's contributing cannabis editor. He was born in Torrance, raised in Seattle, and has written for FiveThirtyEight.com, High Country News, The Guardian, The Albuquerque Journal, The Tennessean, and many other publications. He was previously the cannabis columnist for The Stranger.

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# EXHIBIT 6

GLOBE MAGAZINE

18:00

# Pot prices have tanked. Dispensaries closing. Is a great crash coming?

It's been five years since Massachusetts' first recreational marijuana shops opened. All hasn't been going entirely according to plan.

By Erick Trickey Updated August 22, 2023, 5:40 a.m.



IMAGES FROM ADOBE STOCK; GREG KLEE/GLOBE STAFF ILLUSTRATION

**T**o Kobie Evans, one year in the marijuana business can seem like seven. “In the industry, we talk about cannabis in dog years,” he says, “because things change so quickly.”

It's been five years (but seems like more) since [Massachusetts' first recreational marijuana shops opened](#) in November 2018, leading to traffic jams and two-hour waits. And it's been 3½ years since the winter of 2020, when Evans opened [Pure Oasis](#) on Blue Hill Avenue in Dorchester. "We were the [first recreational cannabis dispensary open](#) in a major city on the East Coast," he says proudly, and "the first minority [recreational] dispensary on the East Coast." 18:00

A lot has changed since those early days. This June, when Evans and his co-owner opened a second Pure Oasis in Boston's Financial District, the vibe was totally different than all those dog-years ago. And he's nervous

"It's actually very, very scary," Evans says. "When everyone was speculating about the industry, back in 2016, '17, '18, we all had these high hopes and all these grand expectations." Now, he says, "The reality is setting in that there isn't this pot of gold at the end of the rainbow."

For one, [retail marijuana prices in the state have plummeted](#) by more than half over the past two years, from an average \$13.92 per gram in July 2021 to \$6.21 this summer. Meanwhile, retail licenses in Boston — super-hard to get in the early years of legalization, requiring acrobatic twirls through a web of red tape — are now flying out the doors at the rate of about one every month, according to figures from the state's Cannabis Control Commission, which oversees the industry.

"Customers have a lot of options," Evans says. "You're selling a commodity, meaning that they can go to five different dispensaries and get the exact same product." Pure Oasis is getting as much foot traffic as it ever has — but where a customer might've spent \$60 per visit in 2020, that total is now more like \$45.

Pure Oasis spent \$1 million building out its new, high-rent location. "Where we are downtown, I can expect five to nine dispensaries to open," Evans says. "With competition, high rents, and a lot of options, as well as not as many people working in

Downtown Crossing [post-pandemic], you're going to start to see retail establishments in areas like this close, because it's just not sustainable."

All across the state, marijuana businesses are feeling the squeeze. Competition is fierce. The state now has more than 300 recreational marijuana stores, with more than 18:00 would-be businesses in the pipeline.

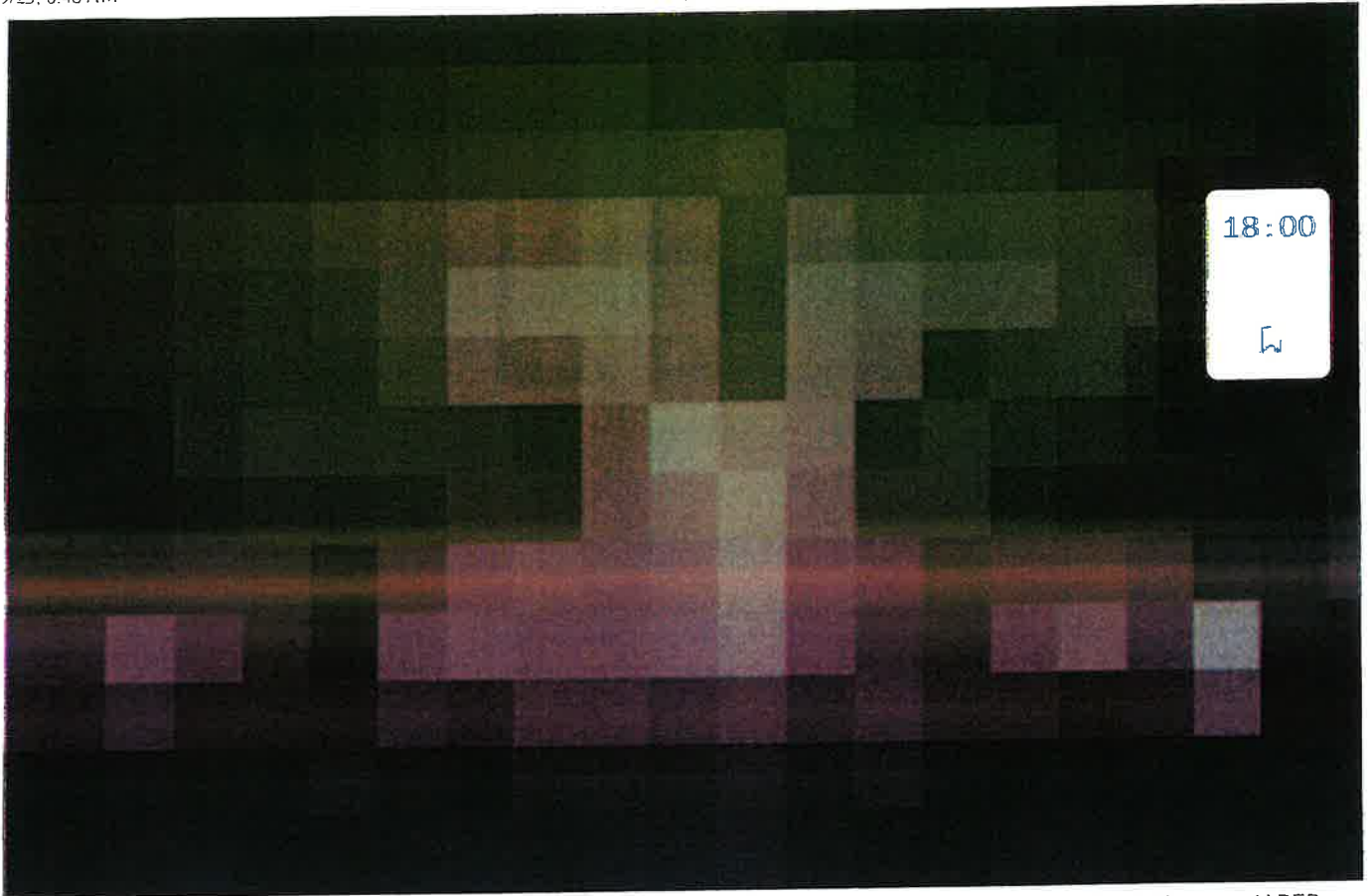
Low prices and intense competition are great news for customers, of course — they're enjoying a stoner's market, full of cheap, varied ways to get high. But Massachusetts' pot price plunge is part of a national trend scuttling some entrepreneurs' hopes of prosperity. *Cannabis Business Times*, a national trade magazine, is filled with dire headlines, such as ["Dispatches From the Failing Cannabis Economy"](#) and ["California Cannabis Operators in Peril as American Dream Turns to Nightmare."](#)

In Massachusetts, the industry is still growing overall. But a national cannabis company called Trulieve announced it was pulling out of the state this year, citing, in part, market pressures. Those pressures show no sign of easing up, and the challenges may be even worse for small businesses, newcomers getting licenses years after their competitors, and minority-owned businesses.

The 2016 ballot measure that legalized pot made a bold promise: that the state would "promote and encourage full participation" in the industry by those harmed in the war on drugs. But efforts to help "social equity" applicants took a long time to launch, giving bigger companies a head start.

A drug that promises a carefree high now means high anxiety for its growers and sellers. "So what you can do is work very hard to eke out our own niche in the market, and have our own brand identity, and fight for every client," Evans says. "And then just cross our fingers."





Kobie Evans at Pure Oasis on Blue Hill Avenue. In 2020, it became the first recreational dispensary to open in Boston. JARED CHARNEY/FOR THE BOSTON GLOBE

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“Doctors smoke it, nurses smoke it, judges smoke it, even lawyers too,” Peter Tosh sang in 1976, after leaving Bob Marley and the Wailers, “so you’ve got to legalize it.” Massachusetts did just that, and now we’re living Tosh’s dream — and the long-held dream of every ganja-lover, joint-clipping hippie, giggling Cheech & Chong fan, weed-celebrating hip-hop star, green-thumbed grower, Amsterdam cafe tourist, and joker-smoker-midnight-toker.

Marijuana is now on sale from city storefronts, suburban strip malls, and small-town main streets, from North Adams to Provincetown (plus on the islands). The options are overwhelming: pre-rolled joints, loose flower, vapes, tinctures, gummies, candies, concentrates, lotions, and THC-infused sparkling water. Your friendly neighborhood

budtenders are more than happy to talk you through all of them, to match a product to your intended mood.

In 2020-21, an estimated 1.5 million Massachusetts adults used marijuana at least once a year, according to the federal government's National Survey on Drug Use and Health. That's 27 percent of adults — up from 19 percent in 2015-2016, just before legalization. It's still a lot less than the 56 percent who'd had at least one alcoholic drink in a year, but the numbers are growing.

One couple I know keeps a jar of edibles on their liquor shelf. Another friend buys vape cartridges, for walking her dog and relaxing. Another stashes a rainbow of edibles in a kitchen cupboard, including a dark chocolate sea salt bar and six types of gummies for a range of target moods, such as “bliss,” “uplift,” and “excite.”

Highway billboards across the state hawk cannabis dispensaries; on stretches of the Massachusetts Turnpike, it can feel like it's all that's being advertised. “Why not? It's legal!” says an ad along VFW Parkway, for a West Roxbury shop called UpTop. Stores seem to vie with each other for the most creative names, from pot puns (The Verb is Herb in Easthampton, Seagrass in Salem, and Hadleaf Cannabis in Hadley) to hints at the bliss that awaits (Dazed Cannabis in Holyoke and OMG Cannabis in Fitchburg). One store name, Kush Groove in Cambridge, crosses a marijuana strain with the name of a 1985 hip-hop film.

Step inside a cannabis dispensary, and you'll likely see bright white walls, tasteful pastels, blond wood, and glassy minimalism. They typically look simple and uncluttered — so legitimate, so legal. (“Where are the crunky pot shops?” a friend asked.)

At Pure Oasis' new downtown store, on the ground floor of an office tower from 1905, the entryway's wall looks like a hanging garden, completely covered with bright-green plastic leaves, clover, and long grass. A security guy checks my ID with decidedly un-Bostonian friendliness.



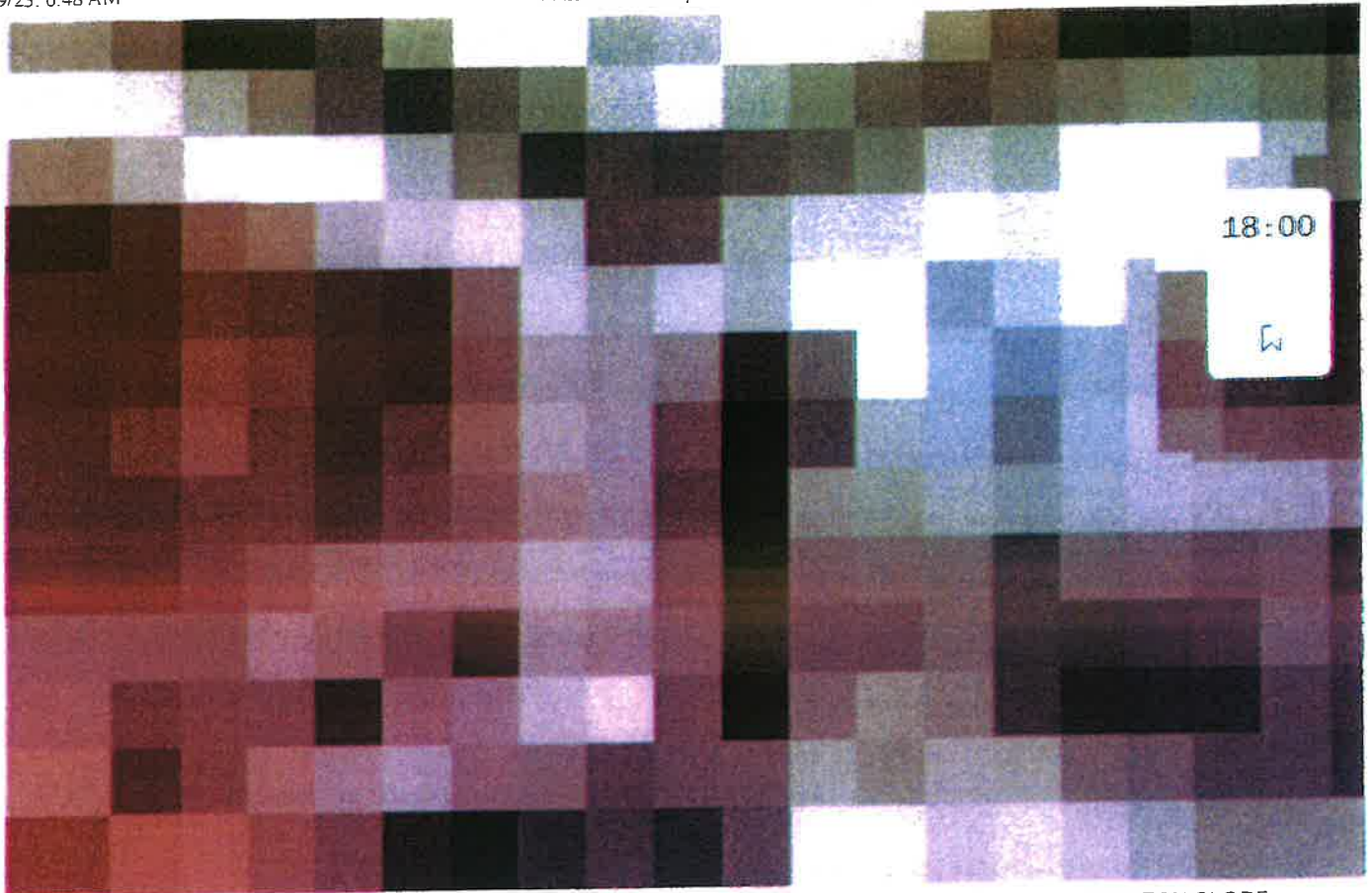
Inside, an equally friendly saleswoman greets me and asks what I'm looking for. Something to help me sleep, I say. She leads me to a touchscreen and talks me through the menu.

The saleswoman recommends Bedtime Betty's, a cannabis fruit chew, with dose <sup>18:00</sup> cannabinoids THC, CBD, and CBN. It's part of the Betty's Eddies line from the <sup>↳</sup> Massachusetts-based company MariMed. The saleswoman says she has insomnia, <sup>well</sup> when she takes a Bedtime Betty and goes to bed 30 minutes later, she's "out like a light in 10 minutes, until morning." I choose the raspberry creme chews and head for the counter. There, about 10 workers, each in a black T-shirt adorned with the Pure Oasis logo, are chatting, mostly among themselves. I'm one of only three customers — although it is 3 p.m. on a Monday — and my cashier tells me the rush is around 7 p.m.

She rings up my 10-chew package: \$16.99, plus \$3.40 in state and local taxes — that works out to a low, low price of \$2.04 per high. Before the cashier staples the Bedtime Betty's into a discreet paper bag, she lets me know I have chosen wisely.

"Betty's a great lady," she says.

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Tito Jackson in the rooftop area of his new Boston dispensary, Apex Noire. JARED CHARNEY/FOR THE BOSTON GLOBE

Tito Jackson, the former Boston city councilor, greets me on the ground floor of [Apex Noire, his new recreational cannabis dispensary](#) on State Street, near Faneuil Hall. Six years out of office, Jackson has translated his political skill into savvy marketing. “We are Boston’s — as well as the world’s — first seven-story, full-service, experiential cannabis dispensary, edible factory, and roof-deck bar and lounge,” he says with a smile.

Behind the first-floor counter, boxes of product — Jedi Kush 1G Dablicator, Bubby’s Choco Chip Bites, Hashables Tropical Typhoon — lie in plastic bins. Up the stairs, a digital screen announces registration for “Follow the Bliss,” a “cannabis-infused improv class” offered with nearby Improv Asylum. The building used to house the Japanese restaurant Kamakura, a victim of the pandemic. The kitchen in the basement will soon start producing edibles. Jackson bought the restaurant’s liquor license and plans to open a bar on the sixth and seventh floors.

Jackson and his employees wear black baseball jerseys with “Apex” stitched in red across the chest, in the Red Sox font. “Apex” for the pinnacle, “the top tier” of service, he says; and “Noire” for Black, because, “in the state of Massachusetts, people of color have been disproportionately jailed” for marijuana. 18:00

Jackson says he was the first Massachusetts elected official to [endorse marijuana legalization](#) (in a *Boston Business Journal* story that, coincidentally, ran on 4/20/2018). He also cites an American Civil Liberties Union study that found that in 2014, six years after the state decriminalized possession of small amounts of marijuana, Black people in Massachusetts were still more than three times more likely than white people to be arrested for possessing marijuana, and seven times more likely to be arrested for selling it.

“

‘If you allow your cannabis business to look, feel, and approach this industry like a liquor store, and you’re a smaller operator, then you’ve lost.’

**Tito Jackson, a former Boston city councilor and owner of a new downtown dispensary**



Now, 80 percent of Apex Noire’s employees are people of color, Jackson says, and about 25 percent have a criminal record. “We give opportunities for those folks to participate in an industry [where] they may have been an early adopter,” he says. “Now it’s legal, and those who got locked up should not be locked out.”

Even with all of Jackson’s political savvy, it took years to open Apex Noire. Jackson got a hold of this building in 2020, but Apex Noire didn’t debut until this year, with a January soft opening and an April grand-opening block party that attracted more than 2,000 people. The logo on his jersey’s sleeve says “Est. 2020” because he wants to commemorate how hard it was to acquire financing, navigate Massachusetts and Boston cannabis regulations, and actually open.

Jackson began exploring cannabis entrepreneurship [after losing the 2017 Boston mayor's race](#) to Marty Walsh. A financial partnership with an out-of-state company fell through, so he pieced together additional financing slowly, from family and friends. He says he had host community agreements — local licenses from the city — in three places before opening on State Street. 18:00

Raising capital is the toughest part for cannabis entrepreneurs, Jackson says, especially for entrepreneurs of color. Another challenge is identifying a building — and paying rent, maybe for years, while seeking licenses and making no sales. To open Apex Noire, Jackson needed a host community agreement, a state provisional license, state approval of architectural drawings, building permits, a “post-provisional license inspection,” a “final” state license granting permission to bring product on site, a “post-final-license inspection,” and, finally, permission to commence operations.

“It’s a walk in the valley of death,” Jackson says, “and a walk of faith.”

Now that other shops have opened, Apex Noire has to thrive in a competitive downtown market. Three other dispensaries, including Evans’ new Pure Oasis store, are within an eight-minute walk. That’s why Jackson aims to sell Apex Noire as a destination with its own character. He needs to.

“The lifeblood is being able to create your own brand, your own experience and value, beyond simply the offer of the product,” he says. “If you allow your cannabis business to look, feel, and approach this industry like a liquor store, and you’re a smaller operator, then you’ve lost.”

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“

‘It’s a little bit of an arms race. We all carry similar products. Some folks will drive past you if they can get it a dollar or two cheaper. So, people are price matching or trying to beat each others’ prices.’

**Matt Yee, COO of a Northampton dispensary**

If you judge only by the billboards, you might think Massachusetts is saturated with pot shops. But that's only true in some places: Parts of the state have lots of dispens <sup>18:00</sup> other parts have relatively few.

Cities and towns that wrote pot-friendly rules right away now host lots of competition, and the market is figuring out who'll survive. But places like Boston slow-walked their cannabis regulations at first. That's why the downtown market is only really heating up now.

By contrast, Northampton, one of the state's 420-friendliest towns, originally put no cap on the number of marijuana dispensaries it approved. At times, the city has chosen not to levy a community impact fee, which can reach as high as 3 percent of sales.

Now, Northampton is the first Massachusetts city to see multiple recreational dispensaries close. Two multistate operators, The Source and Trulieve, shuttered their stores there in the past year. The Source, based in Nevada, cited the "specific business environment in Northampton." [Trulieve closed all three of its Massachusetts dispensaries](#), and will close its Holyoke manufacturing plant (where a [worker died in 2022 from occupational asthma](#) due to exposure to ground cannabis). The Florida-based company said its assets were "impaired due to the competitive environment" in Massachusetts.

Enlite Cannabis Dispensary opened in Northampton in November 2021. The company's chief operating officer, Matt Yee, says competition there is fierce. "In our downtown core, we have about six dispensaries all within walking distance," he says. "It's a little bit of an arms race. We all carry similar products. Some folks will drive past you if they can get it a dollar or two cheaper. So, people are price matching or trying to beat each others' prices."



As marijuana prices have fallen nationwide, the cannabis market in some Western states has crashed. Colorado, which legalized pot in 2012, lost 28 percent of its cannabis jobs in 2022, according to the [Vangst Jobs Report](#), an industry analysis. California, which approved legalization in 2016 (like Massachusetts), lost 13 percent last year. 18:00

That hasn't happened yet in Massachusetts. The cannabis industry added 1,158 last year, for a total of 28,370 — the fifth-most cannabis jobs of any state, according to the Vangst report. But that's a much smaller increase than in 2021, when Massachusetts added 11,112 jobs. The slowdown points to a question: Could an actual crash happen here?

“No, not to the degree you're seeing elsewhere,” says Frank Colombo, the director of data analytics for [Viridian Capital Advisors](#), a cannabis investment firm. One reason, he says, is that some national cannabis companies have either pulled out of Massachusetts or reduced their presence here. “That's probably why you see stabilization of pricing in Massachusetts,” he says. In fact, recently, it's even “up a little bit.”

Each state's marijuana market is different, because each state has set very different rules for the industry, Colombo explains. While California has allowed nearly unlimited cultivation, leading to a massive oversupply, Massachusetts has set limits on how much any one cultivator can grow. Also, no single company can operate more than three recreational dispensaries here, which means it's harder for big, multistate operators to dominate the market.

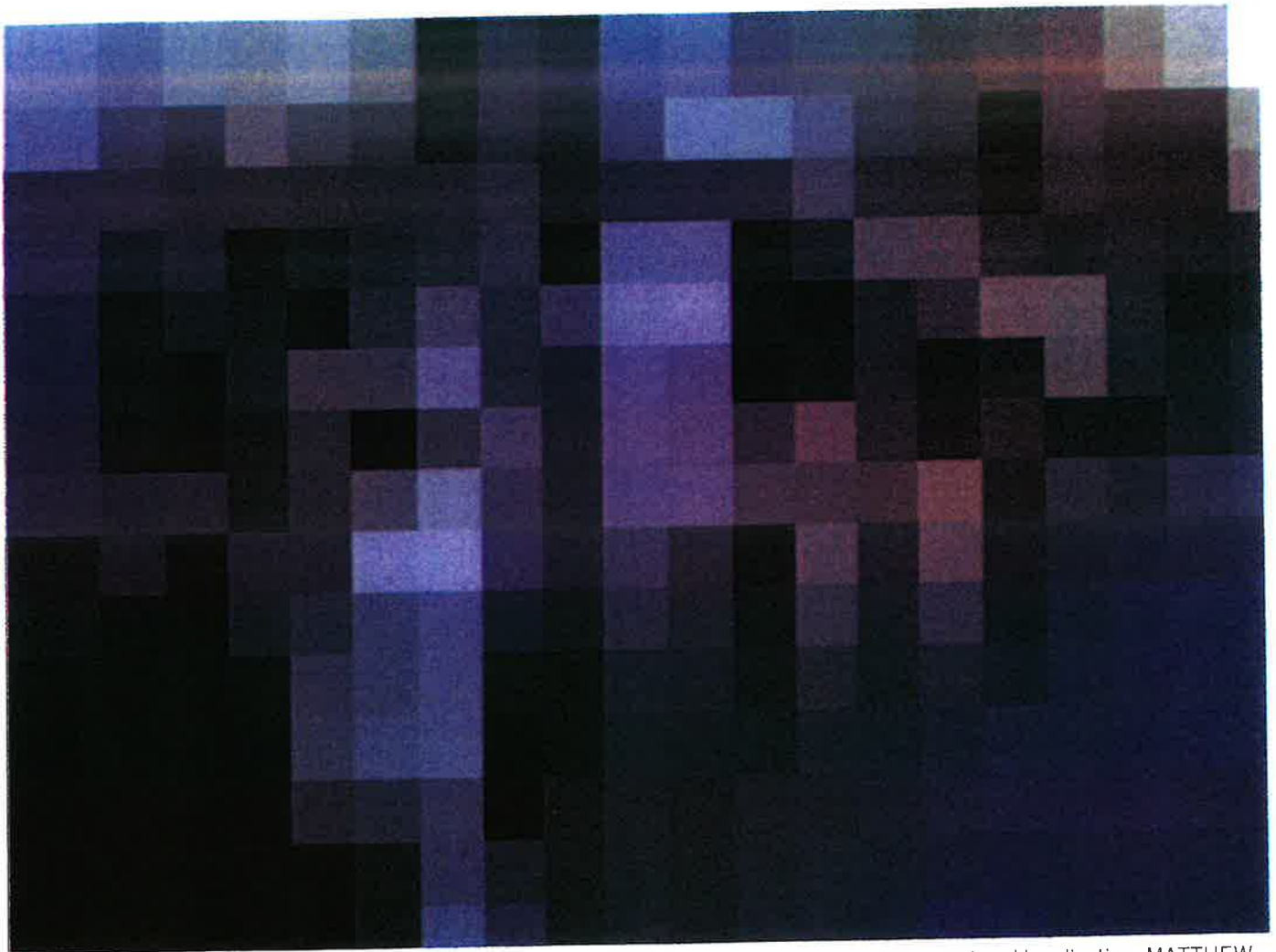
“Because of the three-dispensary limit, Massachusetts is under-dispensaried,” says Colombo, who lives on Cape Cod. Colorado now has more than 600 recreational dispensaries to Massachusetts' more than 300, even though Colorado's population is slightly smaller. By the end of 2022, Denver alone had 178 cannabis retail stores; as of this summer, Boston has 24.

“The dispensaries in Massachusetts that are doing the best are in locations where there's only one or two dispensaries,” Colombo says, “so they have much less pricing pressure on

them.”

Still, with prices low and inflation driving up the cost of doing business, marijuana companies will have to be lean to survive here. “I think that it’s going to require careful management of costs,” Colombo says. “You need to be pretty brutal about how many people do we really need to have [working] at this dispensary?”

18:00



A line outside Brookline’s New England Treatment Access in 2019, during the early days of recreational legalization. MATTHEW J. LEE/GLOBE STAFF

Success in Massachusetts’ marijuana industry has been hard to achieve for the people legalization was supposed to help most: residents of places harmed by the war on pot and people with drug convictions. Though that goal was in the law from the beginning,

disadvantaged applicants didn't get much support in the early years. Now, they're entering a market where pressure is building and profit margins have thinned.

The Cannabis Control Commission has created equity programs, intending to give disadvantaged populations a boost. But the state rolled out the programs slowly. Meanwhile, bigger companies got a head start in Massachusetts by opening dispensaries after the 2012 legalization of medical marijuana. They were among the first to add recreational dispensaries in 2018 and 2019, while local entrepreneurs were just getting started.

Payton Shubrick opened [6 Brick's](#), now one of four recreational dispensaries in Springfield, in September 2022. The shop leans into its status as a local, minority-owned business, selling T-shirts that read, "Support Black-owned businesses" and "Buy weed from Black women."

Shubrick's competitors so far are multistate operators, including one less than a mile away. "They were able to market themselves with a ton of billboards that line the highways," she says. "We had to figure out more grass-roots efforts, as I didn't have a large budget."

Shubrick sent team members out around town wearing 6 Brick's T-shirts. Marijuana companies aren't allowed to pass out fliers — what if they left one on a car of someone under 21? — but if someone asks about the store, Shubrick says, then employees can offer information.

The state did give social-equity candidates a head start in marijuana delivery, setting aside the first round of licenses for people from historically disadvantaged populations. But delivery companies have complained that the state's strict regulations have made it extremely hard for their businesses to succeed.

Chris Fevry cofounded [Your Green Package](#), which began marijuana deliveries in the Boston area in July 2021. "There's been multiple times during that two-year journey

where we almost went out of business,” he says. Your Green Package has survived by cutting staff, trimming its delivery areas, and going into wholesale distribution services for other cannabis companies. “If we hadn’t expanded to provide distribution services,” he says, “we wouldn’t exist today.”

18:00

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The last frontier for the state’s marijuana industry is “social consumption”: Amsterdam-style pot cafes and other places where people could use marijuana in public.

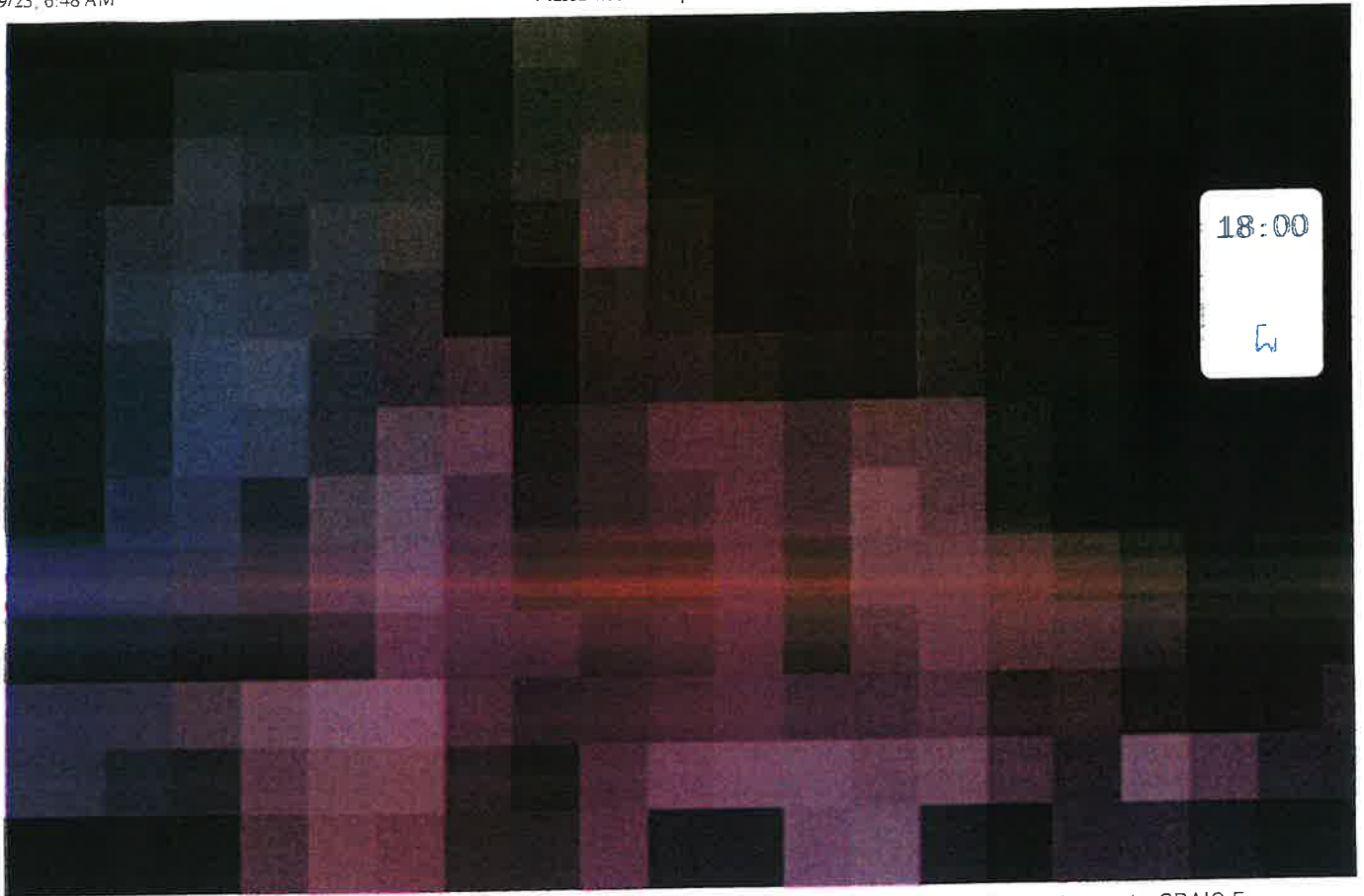


Fevry, like other delivery operators, wants the state to repeal its rule [that two drivers have to go out on every marijuana run](#). Since delivery vehicles carry cash and pot, the fear was they’d be targets of thefts, but that’s proven to be an overblown anxiety, he says. “In most cases, the driver is not carrying much product or cash at all.” Most of Your Green Package’s transactions are made with debit cards and the delivery cars are unmarked.

A state law passed last year, meanwhile, aims to help social-equity marijuana companies: It requires cities and towns to consider equity questions when approving local licenses. It also calls for establishing a loan fund to help companies run by people from disenfranchised backgrounds. This money would come from the state marijuana tax, which collected \$157 million in 2022. But the fund isn’t up and running yet.

Critics say such help, seven years after legalization and still counting, is coming too late. “They can never make that up,” says Shaleen Title, a former Cannabis Control Commission member who often advocated for disadvantaged businesses. “It’s not really fair competition when one segment started years later.”

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Dinner at Mary's owner Sam Kanter, photographed in 2020, wants to open a social-consumption restaurant. CRAIG F. WALKER/GLOBE STAFF

The last frontier for the state's marijuana industry — and perhaps its last big chance to include people harmed by the war on drugs — is “social consumption”: Amsterdam-style pot cafes and other places where people could use marijuana in public. Proponents envision restaurants with cannabis-infused sauces and meals, movie theaters and concert clubs, and canna-yoga.

The first shot at social consumption licenses would also go to disadvantaged entrepreneurs. But many fear a repeat of the delivery dilemma. They think the state's draft regulations for consumption sites will make it hard to succeed. For instance, the draft rules would prohibit smoking indoors, though they would allow vaping.

“We live in New England,” says Matt Yee, of [Enlite Cannabis](#), who'd like to open a cannabis consumption lounge. “To ask people to smoke a joint outside in January is not a very favorable look.”



Sam Kanter operates [Dinner at Mary's](#), a Boston-based [catering and meal-kit company](#) that offers cannabis-infused olive oil with its meals. Kanter officially only sells the food, offering the olive oil free of charge; state law allows people to give small amounts of marijuana as a gift. She wants to open a social-consumption restaurant in Cambridge 18:00 Somerville. Though she doesn't qualify as a social-equity entrepreneur, she has lined up who does: a man who served time for marijuana trafficking. ↪

"It will be New England-inspired fare," Kanter says. "It will be American, very seasonal. We will have traditional appetizers and entrees. We'll have full dosage control" — from cannabis-infused sauces served on the side

But the draft regulations (which the Cannabis Control Commission is still considering) don't allow a cannabis-related restaurant, Kanter says: They would only allow the serving of shelf-stable edibles. She says she's talking with the CCC commissioners about rewrites to the proposed rules.

If social consumption rules prove workable, Tito Jackson could be well positioned to start a cannabis lounge at Apex Noire, even if the requirement to only smoke outside sticks. The building he's leasing came with a retractable glass roof.

Up on the seventh floor, Jackson presses a button, and the roof hums and rolls back, revealing a gorgeous, up-close view of the Custom House Tower. For now, the space is earmarked for Apex Noire's forthcoming bar serving beer, wine, and cocktails. In the future, it could instead be an ideal spot for smoking a joint with friends. "I don't think there's any location in this state that has the kind of foresight that this place actually has," he says.

Jackson says he's interested in opening a social consumption lounge, though "it depends on the regulatory environment." If social consumption doesn't prove workable, he can stick with alcohol. (He doesn't expect Massachusetts, or any state, to allow alcohol and pot consumption in the same space.)

“There’s something called a third place,” Jackson says, as a breeze and seagull cries enter the lounge. “You’ve got your home, you’ve got your work. But now, especially in this hybrid environment, a lot of deals and connectivity happen at a lounge, at a bar, or coffee shop. I really look at this as being the premier third place in the cannabis sphere banking on it. 18:00



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Erick Trickey is enterprise editor at the nonprofit newsroom The New Bedford Light and a lecturer in the Boston University department of journalism. Send comments to [magazine@globe.com](mailto:magazine@globe.com).

*Correction: Because of reporting errors, an earlier version of this story undercounted recreational marijuana dispensaries in Massachusetts. More than 300 are open, and more than 180 are in the pipeline. It has also been updated to correct the number of recreational stores in Boston; there are 24. The Globe regrets the errors.*

**Show 239 comments**

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5-10-2013

COMMUNITY DEVELOPMENT  
DEPT

# EXHIBIT 7

# Adult Use Cannabis Sales Figures Released for April 2023

News Release – Tuesday, May 2, 2023

## Adult Use Cannabis Sales Figures Released for April 2023

**2023**

MONTH	UNITS SOLD	IN STATE RESIDENT SALES	OUT OF STATE RESIDENT SALES	SALES TOTAL
January	3,079,621	\$91,820,903.30	\$36,117,116.55	\$127,938,019.85
February	2,911,925	\$89,724,533.02	\$30,764,036.89	\$120,488,569.91
March	3,289,301	\$101,080,949.24	\$33,709,432.53	\$134,790,381.77
April	3,367,602	\$99,561,394.90	\$32,429,107.93	\$131,990,502.83

**2022**

MONTH	UNITS SOLD	IN STATE RESIDENT SALES	OUT OF STATE RESIDENT SALES	SALES TOTAL
January	2,645,046	\$81,991,809.30	\$35,259,950.43	\$117,251,759.72
February	2,586,830	\$79,750,084.46	\$34,242,961.60	\$113,993,046.06
March	3,007,699	\$90,391,353.23	\$40,568,767.43	\$130,960,120.66
April	3,102,233	\$90,928,278.73	\$40,854,378.54	\$131,782,657.26

May	3,044,806	\$88,824,672.00	\$40,979,345.72	\$129,804,017.72
June	3,023,145	\$86,685,388.39	\$40,123,518.63	\$126,808,907.02
July	3,251,062	\$92,155,002.40	\$43,503,289.06	\$135,658,291.46
August	3,063,423	\$88,309,118.85	\$41,132,196.95	\$129,441,315.80
September	3,092,880	\$89,501,115.33	\$41,184,007.26	\$130,685,122.59
October	3,102,804	\$90,884,540.32	\$40,662,490.54	\$131,547,030.86
November	3,068,223	\$91,250,864.09	\$39,241,860.83	\$130,492,724.92
December	3,446,978	\$102,460,209.38	\$41,439,616.92	\$143,899,826.30
Totals:	36,435,129	\$1,073,132,436.48	\$479,192,383.91	\$1,552,324,820.37

## 2021

MONTH	ITEMS SOLD	IN-STATE RESIDENT SALES	OUT-OF-STATE RESIDENT SALES	SALES TOTAL
January	1,898,064	\$63,745,077.18	\$25,068,795.60	\$88,813,872.78
February	1,724,610	\$57,907,195.55	\$22,834,446.29	\$80,741,641.84
March	2,317,315	\$75,744,092.53	\$33,405,263.45	\$109,149,355.98
April	2,463,056	\$79,909,284.92	\$35,052,383.30	\$114,961,668.22
May	2,512,093	\$79,559,545.00	\$36,820,803.01	\$116,380,348.01
June	2,513,676	\$79,190,074.69	\$36,384,666.58	\$115,574,741.27
July	2,802,124	\$85,426,028.21	\$42,368,192.28	\$127,794,220.50



August	2,702,230	\$81,275,830.72	\$40,657,711.51	\$121,933,542.23
September	2,702,260	\$81,686,864.69	\$40,030,844.82	\$121,717,709.51
October	2,757,354	\$81,212,423.15	\$42,162,949.29	\$123,375,372.44
November	2,769,211	\$81,722,303.46	\$39,026,643.26	\$120,748,946.72
December	3,180,944	\$95,634,565.57	\$42,363,394.54	\$137,896,859.11
Totals:	30,342,937	\$943,013,285.67	\$436,176,093.93	\$1,379,088,278.61

## 2020

MONTH	ITEMS SOLD	IN-STATE RESIDENT SALES	OUT-OF-STATE RESIDENT SALES	SALES TOTAL
January	972,045	\$30,611,632.22	\$8,636,208.61	\$39,247,840.83
February	831,600	\$25,615,371	\$9,189,701.01	\$34,805,072.01
March	812,203	\$27,096,931.23	\$8,805,611.99	\$35,902,543.22
April	818,954	\$29,735,650.41	\$7,524,847.47	\$37,260,497.89
May	989,179	\$34,095,756.45	\$10,221,629.26	\$44,317,385.72
June	994,545	\$35,256,165.45	\$12,390,271.80	\$47,646,437.25
July	1,270,063	\$44,749,787.69	\$16,207,193.72	\$60,956,981.41
August	1,359,311	\$46,749,971.04	\$17,213,875.86	\$63,963,846.90
September	1,426,166	\$49,790,699.44	\$17,857,662.70	\$67,648,362.14
October	1,557,880	\$54,708,538.09	\$20,569,662.06	\$75,278,200.15

November	1,556,817	\$54,536,551.74	\$20,662,793.59	\$75,199,344.33
December	1,896,941	\$63,490,405.77	\$23,367,492.50	\$86,857,898.27
Totals:	14,485,704	\$496,437,460.53	\$172,646,950.57	\$669,084,410.12

*\*These figures do not include taxes collected. Those figures will come from the Illinois Department of Revenue.*

## Related Articles

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### [Pritzker Administration Expands Access to Self-Administered Contraceptives](#)

Thursday, May 11, 2023

### [April 2023 Enforcement Report](#)

Tuesday, May 9, 2023

### [Updated IDFPR Statement on Recent Court Rulings About Mifepristone](#)

Monday, May 1, 2023

### [March 2023 Enforcement Report](#)

Thursday, April 27, 2023

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# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on December 20, 2023 and the last publication of the notice was made in the newspaper dated and published on December 20, 2023. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on December 20, 2023.

Examiner Publications, Inc.

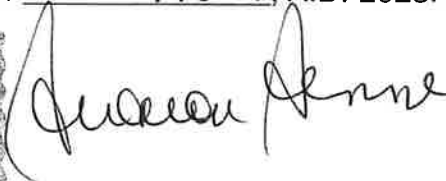
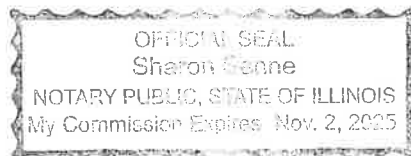
By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 20 day of December, A.D. 2023.

Notary Public



## LEGAL NOTICE PUBLIC NOTICE FILE #23-0045

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, January 8, 2024 at 6:00 p.m. to consider an application from Velliste IL for the following actions:

A Zoning Text Amendment to limit the number of adult use cannabis dispensaries and increase the distance between dispensaries as set forth in Section 16-4-9 of the Carol Stream Unified Development Ordinance, in accordance with Section 16-8-4 (M) of the Carol Stream Unified Development Ordinance

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:  
[https://us02web.zoom.us/join/registrant/WN\\_umqdVg8nTAuaNSvKc4PIZA](https://us02web.zoom.us/join/registrant/WN_umqdVg8nTAuaNSvKc4PIZA)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 878 9463 2473

International numbers available:  
<https://zoom.us/j/adsnXEZQfK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.org/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, AICP, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* December 20, 2023. 1220

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1/4/24

# 506 SCHMALE ROAD REVIEW

Prepared By Newmark

January 2024

**LARRY KLING**

Managing Director

[larry.kling@nmrk.com](mailto:larry.kling@nmrk.com)

312-758-4908

**NEWMARK**



## **NEWMARK BIO**

### **Larry Kling Managing Director of Real Estate**

Larry has over 30 years of retail real estate experience and specializes in tenant and owner representation in the Chicago Market and several market across the country.

Currently based in Chicago, Larry joined Newmark in November of 2017. Previous to Newmark he was Vice President of Real Estate at Metro Commercial Real Estate, Vice President / Team Lead of the Bank of America Account at Jones Lang LaSalle, Sr. Director of Real Estate Midwest at Gap Inc. and Sr. Vice President of Real Estate at Signet Corporation.

In his corporate Real Estate roles, Larry managed large real estate teams and brokerage networks for several national retailers. These include; Jared the Galleria of Jewelry and Kay Jewelers while at Signet Corporation, Gap, Banana Republic and Old Navy at Gap Inc., and Bank of America with Jones Lang LaSalle. Highlights include the national launch of the Jared Galleria of Jewelry brand, over 100 new locations annually for Gap, Banana Republic and Old Navy, and the first 50 De novo locations for Bank of America in the Chicago Market.

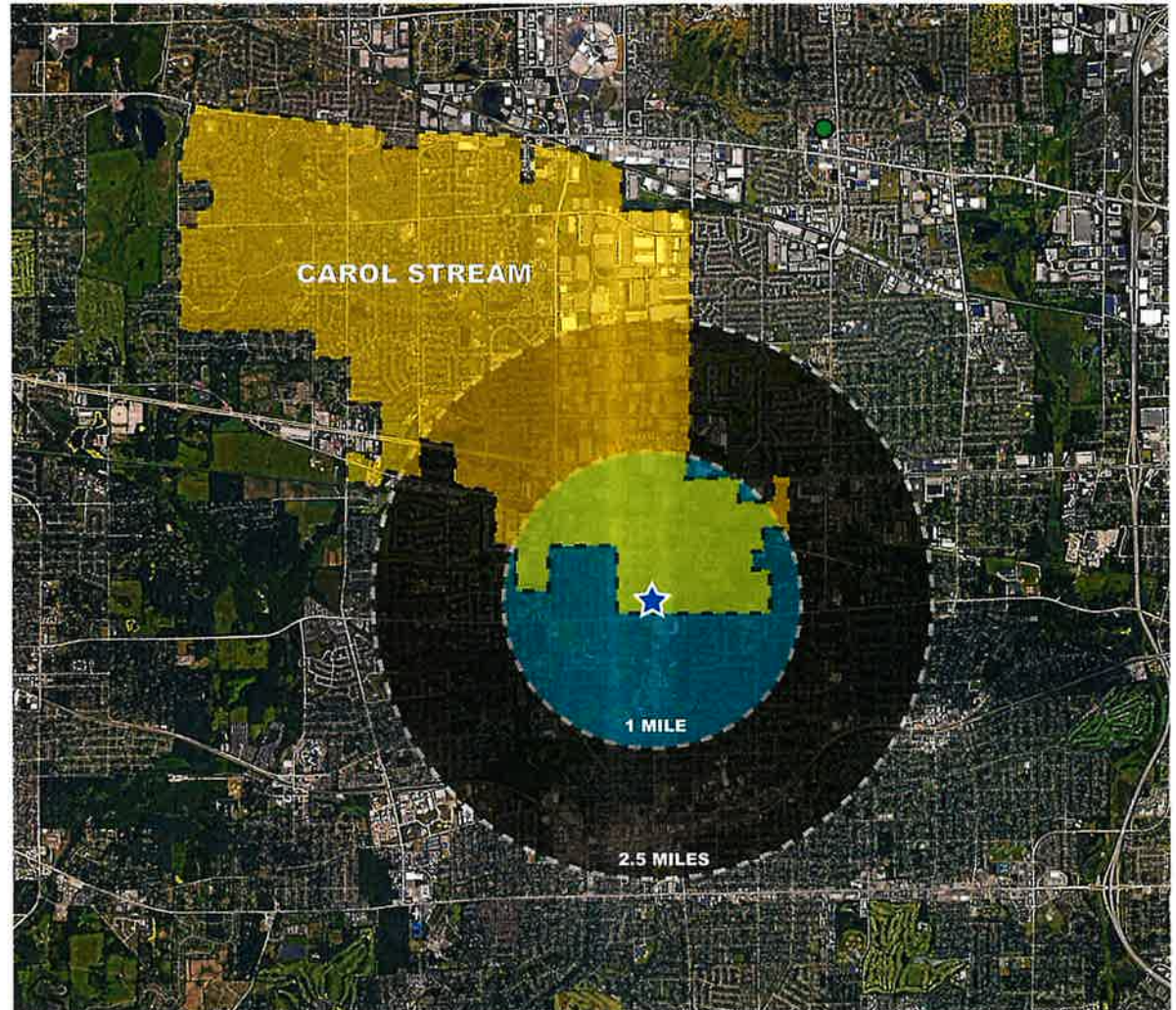
As a Real Estate Broker since 2011, Larry has represented several national brands including; Pandora, Planet Fitness, Orangetheory Fitness, Kay Jewelers, Jared the Galleria of Jewelry, American Family Care, Altitude Trampoline, The Melting Pot, Crumbl Cookies, Deka Lash and Apricot Lane to name a few. Other highlights include completed transactions with several national brands on behalf of his Landlord clients including; Starbucks, Banana Republic, Athleta, and Filson.



# MARKET AREA MAP

Carol Stream, IL

★ **PROPOSED DISPENSARY LOCATION A**  
506 Schmale Road, Carol Stream, IL



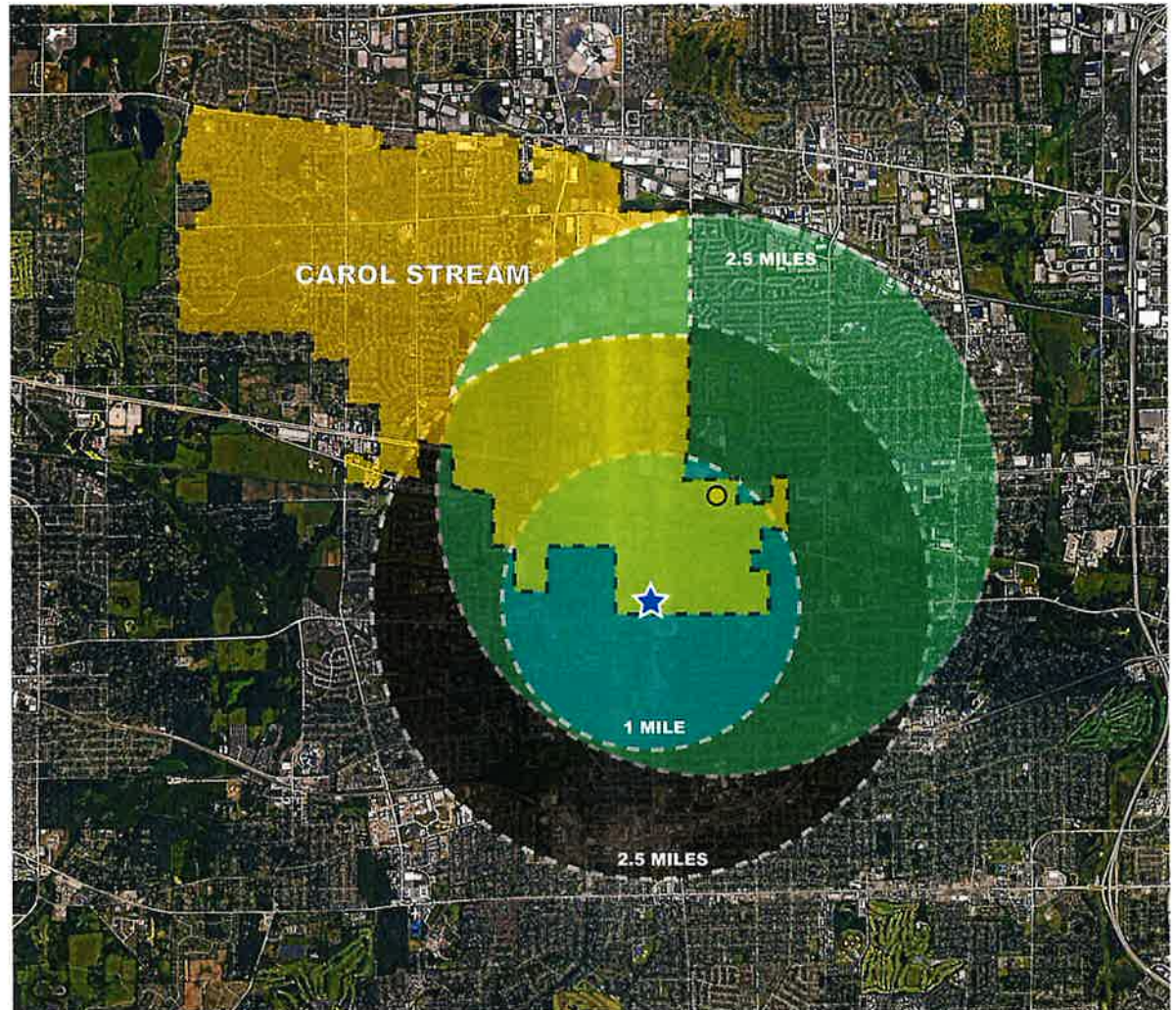


# DISPENSARY RESTRICTION

Carol Stream, IL

★ **PROPOSED DISPENSARY LOCATION A**  
506 Schmale Road, Carol Stream, IL

● **PROPOSED DISPENSARY LOCATION B**  
720 East North Avenue, Carol Stream, IL





# TRADE AREA MAP

Carol Stream, IL



**PROPOSED DISPENSARY LOCATION A**  
506 Schmale Road, Carol Streams, IL



## LIQUOR STORES

- Dini Liquors
- BeernWine ToGo
- Liquor & Tobacco Depot
- S&K Liquor
- Gary Liquor and Food
- Bobby's Liquor Warehouse
- Eagle Wine & Liquor
- NBC Liquor & Tobacco



## GROCERS

- Ali Baba Grocery Store
- Corner Pantry Inc
- Angelo Caputo's Fresh Markets
- Phan Thiet Oriental Market
- Carol Stream Marketplace
- Mashallah Mart
- Saigon Oriental Market
- Kim Te Asian Grocery Store



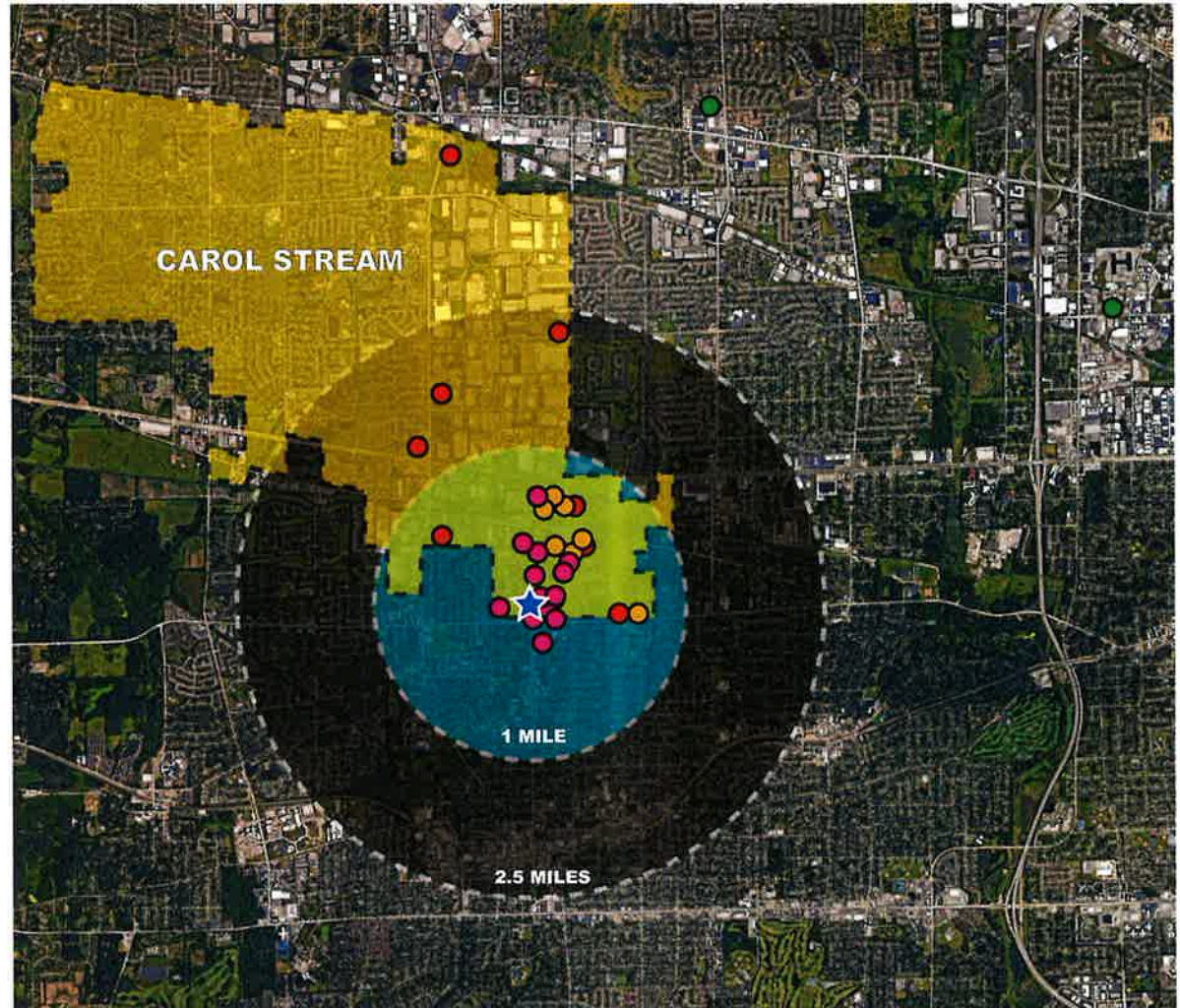
## RETAIL STORES

- Starbucks
- Dennys
- 7-Eleven
- ALDI
- Jersey Mikes
- Orangetheory Fitness
- Tropical Smoothie Café
- The Home Depot
- Arbys
- Jewel-Osco
- Culvers
- Dunkin
- Wendys
- T-Mobile
- McDonalds



## DISPENSARIES

- Hatch Dispensary Addison
- Ivy Hall Dispensary Glendale Heights

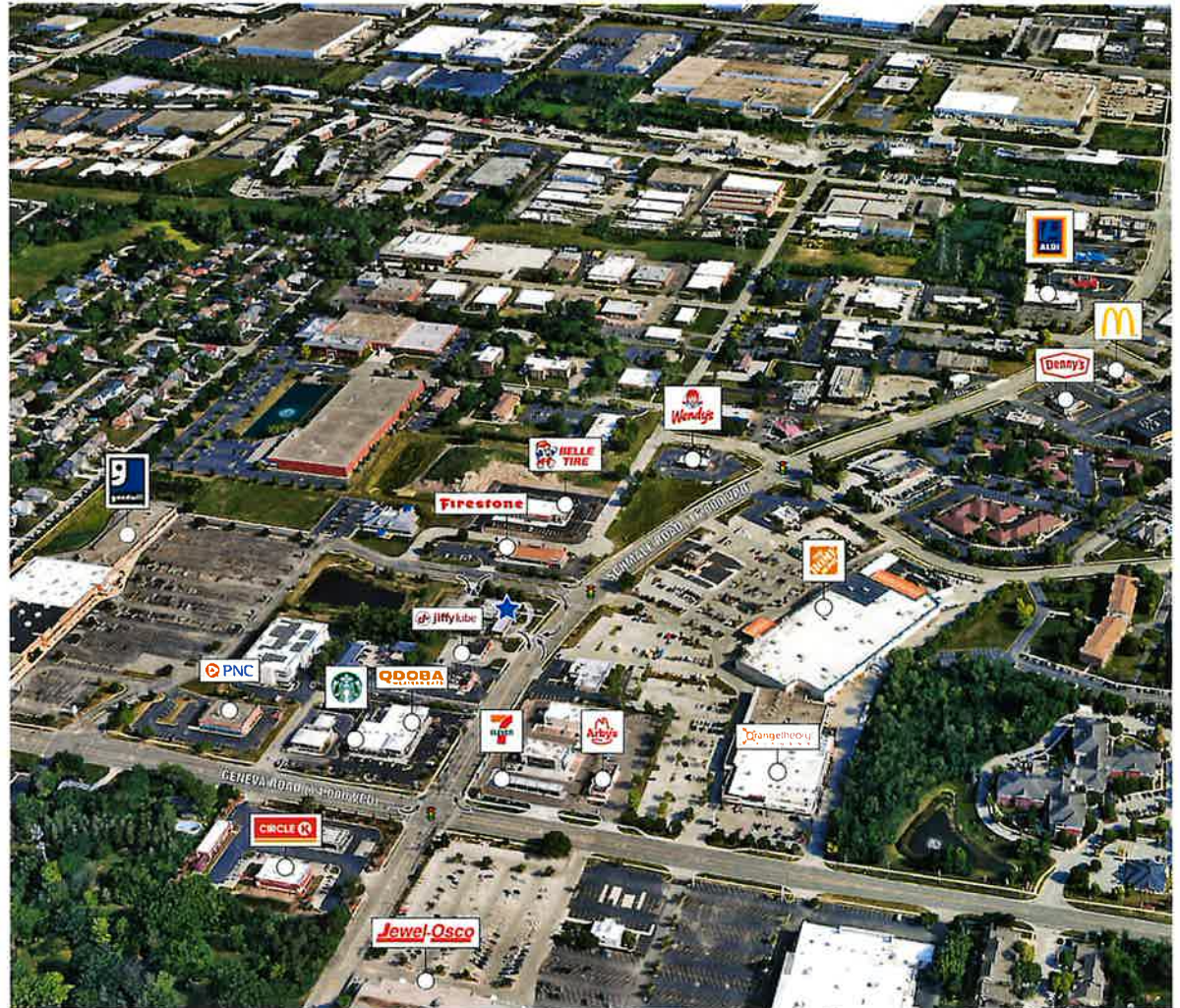




# STREET MAP

Carol Stream, IL

★ **PROPOSED DISPENSARY LOCATION A**  
506 Schmale Road, Carol Stream, IL





# STREET MAP

Carol Stream, IL

★ **PROPOSED DISPENSARY LOCATION B**  
720 East North Avenue, Carol Stream, IL

