

Village of Carol Stream

AGENDA

REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

Tuesday, May 28, 2024 AT 6:00 P.M.

ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON

I. Roll Call: Present:
Absent:

II. Approval of Minutes: April 22, 2024

III. Public Hearing

24-0019 – Safeway Transportation Services Corporation– 250 N. Schmale Rd
Special Use Permits – Outdoor Vehicle Storage and Repair and Service

24-0024 –Village of Carol Stream – 500 N. Gary Ave.
Text Amendment – Unified Development Ordinance (UDO)-Miscellaneous Modifications

IV. Presentation:

24-0006 – Bridge Street Properties/Villas of Fair Oaks – 1475 W. Lies Rd.
Final Plat of Subdivision

V. Old Business:

VI. New Business:

VII. Report of Officers:

VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon
April 22, 2024.***

Mr. Farace stated since Chairman Parisi was absent an Acting Chairman would need to be nominated. Commissioner Petella made a motion to nominate Commissioner Tucek and Commissioner Christopher seconded the motion. The motion passed by a unanimous vote.

Commissioner Tucek called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Sara Van Winkle, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Christopher, Meneghini, Morris, Petella, and Tucek

Absent: 2 Chairman Parisi, Commissioner Battisto

Also Present: Tom Farace, Planning and Economic Development Manager, and Sara Van Winkle, Planning and Permitting Assistant

MINUTES:

Commissioner Petella moved and Commissioner Morris seconded the motion to approve the minutes of the Regular Meeting held on March 25, 2024

The results of the roll call vote were:

Ayes: 4 Commissioners Meneghini, Morris, Petella, and Tucek

Nays: 0

Abstain: 1 Commissioner Christopher

Absent: 2 Chairman Parisi, Commissioner Battisto

The motion passed by a majority vote.

PUBLIC HEARING:

Commissioner Tucek asked for a motion to open the Public Hearing. Commissioner Morris moved and Commissioner Meneghini seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Meneghini, Morris, Petella, and Tucek

Nays: 0

Abstain: 0

Absent: 2 Chairman Parisi, Commissioner Battisto

The motion passed by unanimous vote.

Case #24-0011 North Ave TH LLC Mainfreight - 27W364 North Ave.

Sign Variation (Continued from the March 25, 2024 meeting.)

Commissioner Tucek swears in James Defily, petitioner and representative from Mainfreight, 10701 Franklin Ave, Franklin Park, IL 60131. Mr. Defily gives a brief description on what happened at the previous meeting and are returning back with a new sign concept, location for the sign, and lighting information. Mainfreight will move the sign and change the mounting to a ground mounted sign with additional landscape with minimal attachment to the side of the building rather than it mounted to the top of the building. Mr. Defily describes the look of the sign and gives a history of how the company utilizes the sign as a symbolic structure for their employees. He talks briefly, about how many bulbs the sign will hold and information on the amount of lumens the sign will project. He describes and gives examples comparing it to parking lot lighting and household lighting. He believes these concepts and information will be a good compromise that meets the criteria that the community is looking for and achieves what they are doing as well.

Commissioner Tucek asks if there are any questions from the audience. A resident steps forward to the podium. Commissioner Tucek swears in Anne Peduzzi, 2N665 Morton Rd, West Chicago, IL 60185. She states she has some concerns on the height of the new sign they are proposing. She is wondering why the sign cannot be the same height as the building. She also has some concerns about parking lot lighting and how long and hours of the night the lights will be on for and concerns of how bright the lighting will be. She continues with a brief comparison and information from the neighboring church.

Commissioner Tucek has Tom Farace read the staff report. Mr. Farace gives a brief background on the first proposed sign from the previous meeting. He states that the company is there today with a sign variation request. He gives information on what the new proposal includes. He states that the height has changed since last presentation along with style being on a pole and that the sign will be moved to a new location on the building facing more towards North Ave instead of Morton Rd where more residents reside. He said the sign does not fit one specific variation, height requirements and landscaping will be required now. Mr. Farace brings up a few important points about flashing lights and movement of the sign that staff will not be allowing that. Mr. Farace concludes staff can support the installation of the modified monument sign and staff recommends the design and location given some recommendations.

Commissioner Tucek asks if the board has any questions.

Commissioner Meneghini has no further questions

Commissioner Morris asks on original renderings the pole was not straight up and down but more on an angle. The new renderings show up and down and he is now wondering is that making the monument stand taller by doing that. If they change on an angle, it could be more level with the building.

Mr. Farace states the sign does project out from the building. Keeping the pole angled will make the sign project further out and will need more bracing to stabilize it.

Commissioner Christopher has no further questions

Commissioner Petella asks what time will the parking lots will go off.

Mr. Defily states that Mainfreight has not decided what time the parking lot lights will be off in the evening. He gave a comparison to their other location and stated the lights are typically off after 11pm when the last employee leaves.

Commissioner Petella then comments on how it looks from the pictures in their slide show that the lights look low voltage even dimmed looking and that it will not be bright to disturb the surrounding residents.

Commissioner Meneghini asks what time do the employees typically work until and asks what the hours of operation for the business are.

Mr. Delfily states Mainfreight will not conduct business 24 hours or even 7 days a week. He continues to talk about that the company is always concerned about emissions and keeping with their partnership with helping the earth and continuing to have a low level of light pollution.

Commissioner Tucek reminds the board and audience that the purpose of the meeting is about the sign and not the parking lot lighting and these are concerns that we can discuss with Mainfreight as time goes by and any issues arise.

Commissioner Tucek does bring up that painting the pole that connects the sign may have issues down as paint chips and peels. He suggests leaving it the steel or metal color to match the actual sign may be a cleaner look with less maintenance.

Mr. Farace reminds the commission that the parking lot lighting is not part of the variation proposal

Commissioner Petella moved with staff recommendations Commissioner Morris seconded the motion that the conditions are the pole is not painted, the height at 49 feet was ok, the landscaping around the pole needs to be complete, and if the lighting is too bright Mainfreight can work with staff to come up with a resolution.

The results of the roll call vote were:

Ayes:	5	Commissioners Christopher, Meneghini, Morris, Petella, and Tucek
Nays:	0	
Abstain:	0	
Absent:	2	Chairman Parisi, Commissioner Battisto

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, May 6, 2024, at 6:00 PM for review.

PUBLIC HEARING:

Commissioner Tucek asked for a motion to close the Public Hearing. Commissioner Petella moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes:	5	Commissioners Christopher, Meneghini, Morris, Petella, and Tucek
-------	---	------------------------------------------------------------------

Nays: 0
Abstain: 0
Absent: 2 Chairman Parisi, Commissioner Battisto

The motion passed by unanimous vote.

NEW BUSINESS:

OLD BUSINESS:

OTHER BUSINESS:

Mr. Farace provided a brief update on upcoming commission meetings for May and asked if members would be available for both planned meeting dates scheduled for May due to upcoming projects that may be ready for presentation.

ADJOURNMENT:

At 6:28 p.m. Commissioner Tucek moved and Commissioner Meneghini seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Meneghini, Morris, Petella, and Tucek
Nays: 0
Abstain: 0
Absent: 2 Chairman Parisi, Commissioner Battisto

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

Sara Van Winkle
Planning and Permitting Assistant
Minutes approved by Plan Commission on this ____ day of _____, 20____.

Acting Chairman

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

May 28, 2024

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Bravo Berisha, Assistant Planner

ACTION REQUESTED:
The applicant is requesting approval of a Special Use Permit for Outdoor Vehicle Storage and Repair and Service of school buses in accordance with Sections 16-3-11 and 16-4-18 of the Unified Development Ordinance (UDO).

APPLICANT/ CONTACT:

Robert McNees
McNees & Associates, LLC
195 Hiawatha Drive
Carol Stream, IL 60188



CASE #: 24-0019

LOCATION: 250 N. Schmale Road

PROJECT NAME: Safeway Transportation Services



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	I Industrial District	Industrial	Industrial
North	I Industrial District	Industrial (Loma Systems)	Industrial
South	I Industrial District	Industrial (Multi-Tenant Industrial/Office Bldgs)	Industrial
East	Village of Glendale Heights Industrial Planned Development	Industrial (Glendale Lakes Business Park)	Industrial
West	I Industrial District	Industrial (Com2)	Industrial

The 3.2 acre industrial property highlighted above is located on the west side of Schmale Road and south of Kehoe Boulevard.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses according to the Village's 2016 Comprehensive Plan. The proposed outdoor storage and servicing of school buses is compatible with this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application, Special Use Application, Public Notice, Cover Letter received April 19, 2024, Safeway Transportation Information Letter received April 19, 2024, Owner's Consent Letter, Alta Survey (Exhibit A), Site Plan (Exhibit B).

BACKGROUND:

The applicant, Robert McNees with McNees & Associates, on behalf of Safeway Transportation Services, requests approval of a Special Use Permit for the outdoor storage and repair and service of school buses at the property at 250 N. Schmale Road. Safeway Transportation was recently awarded contracts from Glenbard Township High School District 87 and Glen Ellyn District 41 to provide busing services for the students in those districts. The subject property is a 3.2 acre lot on the west side of Schmale Road, owned by Dynamic MD. Dynamic MD will continue as the owner of the property, with Safeway Transportation leasing the property for the aforementioned uses.

Staff Analysis

SPECIAL USE PERMIT FOR OUTDOOR VEHICLE STORAGE AND REPAIR AND SERVICE

As described in the submitted cover letter, Dynamic MD is a trucking company and freight carrier that currently owns the property at 250 N. Schmale Road. Dynamic MD consents to allowing Safeway Transportation Services to lease the property for the outdoor storage and maintenance and repair of school buses.

The existing 11,600 square foot building, which includes office space and five service bays for vehicle repairs, will not undergo any alterations and will be used for the same purpose as currently used. Employee parking will also remain in front of the building. There will be a total of eight full-time employees, including three mechanics. Bus parking spaces are proposed on the north, south and west sides of the property. There will be a maximum of 10, 40-foot long school buses and 42, 20-foot long school buses stored on the property at one time. The office will schedule bus arrivals and departures accordingly to avoid congestion. Bus drivers will park their personal vehicles in the bus stalls when leaving. Excluding the front parking area for employee/visitor parking, the remainder of the property is secured by seven-foot tall fencing and a security gate at the entrance to the bus parking lot for screening/security purposes. No alterations are proposed for the fencing as the existing fencing is adequate for screening purposes. A landscape plan was previously approved for Dynamic MD with Ordinance 2019-08-25, and Safeway Transportation agrees to maintain the existing landscaping in a healthy condition. Finally, no signage alterations for wall signs or monument signs are proposed.

Staff is supportive of the Special Use request for Safeway Transportation Services, and believes that the proposed use will be similar to the existing use on the property.

SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4(L)(3) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Are deemed necessary for the public convenience at the location.

Safeway Transportation is adding a school bus base to provide busing transportation to Glenbard Township High School District 87 and Glen Ellyn District 41.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The storage lot is already screened with fencing and landscaping for larger vehicles, semi tractors and trailers. The driveway is long enough to allow tractor trailers to not encroach on the roadway while entering the storage lot, so the driveway can accommodate school buses. The outdoor storage will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. Bus repair services shall be conducted completely within the maintenance building.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Other properties within the Industrial District have received Special Use approval for outdoor activities and operations, and for repair and service of vehicles, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding industrial properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding industrial properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements already exist for the proposed storage lot.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing already exists on the property, and procedures will be put in place to ensure that the storage lot and the buses within the lot are maintained and confined appropriately.

Recommendation

Staff has reviewed the applicant's submittal and can support the Special Use request. Therefore, staff recommends approval of a Special Use Permit for Outdoor Vehicle Storage and Repair and Service of school buses, for Safeway Transportation Services at 250 N. Schmale Road, subject to the following conditions:

1. That buses shall not be allowed to back into the property from Schmale Road;
2. That only automobiles shall park in the front automobile parking lot along Schmale Road, and no buses or equipment shall be allowed to be parked or stored in said lot;
3. That the landscape materials shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with Ordinance 2019-08-25 on an annual basis;
4. That buses shall be parked in the parking spaces designated on the site plan only and not block access nor be parked in drive aisles;
5. That only Safeway Transportation buses shall be stored on the property;
6. That the fencing shall be maintained in good condition so as to provide effective solid screening of the bus storage area; and
7. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.



RECEIVED

APR 19 2024

Community Development Department

Do Not Write in This Space	
Date Submitted:	<u>4.19.24</u>
Fee Submitted:	<u>800.00</u>
File Number:	<u>24-0019</u>
Meeting Date:	<u>5.28.24</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188
PHONE 630.871.6230 ▪ FAX 630.665.1064
www.carolstream.org

FORM A

GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Safeway Transportation Services Corp Phone 847-204-2406
 Address 2450 Lunt Avenue Elk Grove Village IL 60007 Fax _____
 E-Mail Address jack@safewayfirst.com
 (required)
 Name of Attorney Robert McNees Phone 630-665-8811x13
 (if represented) Address 195 Hiawatha Drive Carol Stream, IL 60188 Fax _____
 Name of Owner Dynamic Investments LLC/ Vasile Sorocean Phone 630-230-5100
 (required if other than applicant) Address 250 N Schmale Road Carol Stream, IL 60188 Fax _____
 Name of Architect _____ Phone _____
 (if applicable) Address _____ Fax _____

2. *Common Address/Location of Property 250 N Schmale Road Carol Stream, IL 60188

3. Requested Action: (check all that apply)

<input type="checkbox"/> Annexation	<input type="checkbox"/> Subdivision – Minor/Major
<input type="checkbox"/> Courtesy Review	<input type="checkbox"/> Temporary Waiver/Code of Ordinances
<input type="checkbox"/> Development Staff Review	<input type="checkbox"/> Variation – Zoning (requires Form B-1)
<input type="checkbox"/> Gary/North Avenue Corridor Review	<input type="checkbox"/> Variation – Sign (requires Form B-2)
<input type="checkbox"/> Planned Development – Final	<input type="checkbox"/> Variation – Fence (requires Form B-3)
<input type="checkbox"/> Planned Development – Preliminary	<input checked="" type="checkbox"/> Special Use Permit (requires Form C)
<input type="checkbox"/> Shared Parking Facility	<input type="checkbox"/> Map Amendment (requires Form D-1)
<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Text Amendment (requires Form D2)
	<input type="checkbox"/> Staff Adjustment (requires Form E)

Describe requested action Special use permit to allow for outdoor storage of school buses, ancillary to school bus base facility containing general offices and vehicle maintenance and repair garage

4. Fee Schedule: *(Check all that apply)*

Total Application Fee: \$ 800

	Annexation approvals:	
	New development	\$2,000
	Other	\$800
	Annexation Agreement Amendment	\$800
	Appearance fee for approvals required by the UDO but not listed herein	\$500
	Courtesy Review	\$240
	Development Staff Review	\$640
	Easement Encroachment	\$300
	Gary/North Avenue Corridor Review:	
	New or replacement monument sign	\$500
	One discipline (site design, architecture or landscaping)	\$500
	Two disciplines	\$1,000
	Three disciplines	\$1,500
	New development	\$1,500
	Outdoor Dining Permit	\$120
	Planned Development:	
	Existing Planned Development, minor change	\$500
	Existing Planned Development, major change	\$1,000
	New Planned Development	\$1,500
	Rezoning (Zoning Map Amendment)	\$640
	Shared Parking Facility Permit	\$500
	Site Plan Review	\$640
	Special Use:	
x	First	\$800
	Each additional	\$200
	Special Use Amendment	\$800
	Staff Adjustment	\$240
	Subdivision:	
	Major	\$700
	Minor	\$400
	Temporary Building, Structure or Use	\$120
	Temporary Waiver to the Code of Ordinances	\$120
	Text Amendment:	
	Building Codes	\$240
	Unified Development Ordinance	\$640
	Variation:	
	First	\$640
	Each additional	\$200
	Zoning verification letter	\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

Lakhvir Sahota, President

Print Name

Signature

Date

4/19/24

Revised 11/23



FORM C

Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188
630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org • website: www.carolstream.org

SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location. Safeway Transportation is adding a school bus base to provide student busing transportation to Glenbard Township High School District 87 and Glen Ellyn District 41.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.
The storage lot is already screened with fencing and landscaping for larger vehicles, semi tractors and trailers. The driveway is long enough to allow tractor trailers to not encroach on the roadway while entering the storage lot, so the driveway can accommodate school buses. The outdoor storage lot and outdoor activity would not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. Bus repair services shall be conducted completely within the maintenance building.
3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood. Other properties within the Industrial District have received special use permit approval for outdoor activities and operations, including the outdoor storage of vehicles, including buses, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
Surrounding industrial properties are already developed. As such there should be no impact in the normal and orderly development of surrounding industrial properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are already in place for the proposed storage lot.

6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board. The proposal is expected conform to all applicable codes and requirements. Adequate landscaping and fencing to screen the storage lot for larger vehicles already exists. Procedures will be put in place to assure that the storage lot and buses within the lot are maintained and confined appropriately.
-
-

7. Other pertinent information or reason for request.
-
-

Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on May 8, 2024 and the last publication of the notice was made in the newspaper dated and published on May 8, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

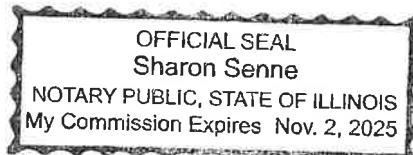
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on May 8, 2024.

Examiner Publications, Inc.

By: Publisher 
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 8 day of May, A.D. 2024.

Notary Public





LEGAL NOTICE PUBLIC NOTICE FILE #24-0019

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Tuesday, May 28, 2024 at 6:00 p.m. to consider an application from Safeway Transportation Services for the following actions:

A Special Use Permit to allow for the outdoor storage and maintenance of school buses, in accordance with Sections 16-3-11 (E) and 16-4-18 of the Carol Stream Unified Development Ordinance.

For the property located at 250 N Schmale Road (PIN 02-33-300-031)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:
<https://us02web.zoom.us/join?pwd=UWVnbnR1KjJ8SMK565lZnZweyA>

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 896 1741 9383

International numbers available:
<https://zoom.us/j/adsnXEZQfK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.arn/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Bravo Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to bberisha@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at www.carolstream.org, and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in The Examiner May 8, 2024. 0508

RECEIVED

APR 19 2024

Community Development
Department

Robert A. McNees

Attorneys at Law

195 Hiawatha Drive
Carol Stream, IL 60188

Phone (630) 665-8811

Fax (630) 665-5260

April 19, 2024

By Hand Delivery

Village of Carol Stream
The Mayor, Board of Trustees & Plan Commission
500 N. Gary Ave.
Carol Stream, IL 60188

Re: Proposed Special Use Permit for outdoor storage of school buses
250 N. Schmale Rd., Carol Stream, Illinois

Dear Sirs & Madams:

Please be advised that I represent Applicant, Safeway Transportation Services Corp., prospective tenant of the property located at 250 N. Schmale Rd., Carol Stream, Illinois. The owner of the property, Dynamic Investments, LLC (also my client) consents to this application. Safeway Transportation's lease of the property is contingent on obtaining necessary zoning approval for Safeway Transportation to operate a school bus base at this location, including a maintenance/repair facility and outdoor storage of buses.

The subject property consists of approximately 3.2 acres with an ±11,600 square foot building, and paved off street parking. The subject property is currently occupied by Dynamic MD, LLC, a trucking company, an affiliate of Dynamic Investments, LLC. Dynamic MD is in the process of moving its operations to 680 E. North Avenue, Carol Stream, Illinois, making way for Safeway Transportation at this location.

The property is zoned I-Industrial. Previously, the Village granted special use permits to Dynamic Investments to allow for motor vehicle repair and maintenance services in the building and to allow for outdoor storage of Dynamic MD semi-tractor trailers in the rear parking lot (Ord. 2019-08-25).

Safeway Transportation was recently awarded contracts with Glenbard Township High School District 87 and Glen Ellyn School District 41 to provide busing services to students of the two school districts. Attached to this narrative letter is introductory information from Safeway Transportation about its history, its locations and the nature of its proposed operations at the property.

Applicant is seeking a special use permit for outdoor storage of vehicles, to permit the storage of both larger school buses (40' long) and smaller school step buses (20' long), instead of larger semi-tractor trailers previously approved in the prior special use permit. Applicant does not propose to restripe the parking in the rear lot. The current the longer parking spaces are 11'6" - 12' wide and 85' long, designed to accommodate semi-tractor trailers. As described in the attached site plan, applicant will stack many of the buses, two apiece, in the longer parking spaces. 42 small buses and 10 large buses will be parked in the rear lot. The parking lot is already fully screened with fencing and landscaping.

As is done in applicant's other bus bases, the bus drivers will park their cars in the space where their bus had been parked. The office schedules when buses depart and return, so that the movement of buses is staggered to and from the facility.

Applicant contemplates no changes to the building. The office space is sufficient for applicant's needs as is the vehicle repair portion of the facility. There will be eight (8) full time employees, including three (3) mechanics. Nine additional passenger car spaces exist, which can be used by school bus drivers.

Currently, there are no plans to remove the existing Dynamic façade sign or the existing Dynamic monument sign. Applicant desires only signage on the front door.

The neighboring properties are zoned industrial to the north, south and east and west.

Enclosed please find Form A, General Application; and Form C Special Use Application, for outdoor storage of buses.

Also enclosed please find Owner's Consent for Safeway Transportation's application, a copy of the deed to the property and a survey of the property. A copy of the site plan showing the proposed bus parking is enclosed.


Finally, enclosed please find the payment of applicable fees to the above application-- \$800 for the special use permit.

Applicant would greatly appreciate the Village's prompt review and approval of this application.

If you require anything further, or if questions arise regarding this application, please do not hesitate to call.

Very truly yours,

MCNEES & ASSOCIATES, LLC

By:  _____
Robert A. McNees

RAM:rm

Enc.

cc: Jack Loehr by email

Safeway Transportation an Introduction

The following is background information on Safeway Transportation and our operations. The information is offered in support of our Application for a Special Use Permit from the Village of Carol Stream for the property located at 250 N Schmale Road Carol Stream. We want to take this opportunity to introduce our firm to what we hope will be our new neighbors. Safeway operates on a philosophy of being a good neighbor in the communities where we are located.

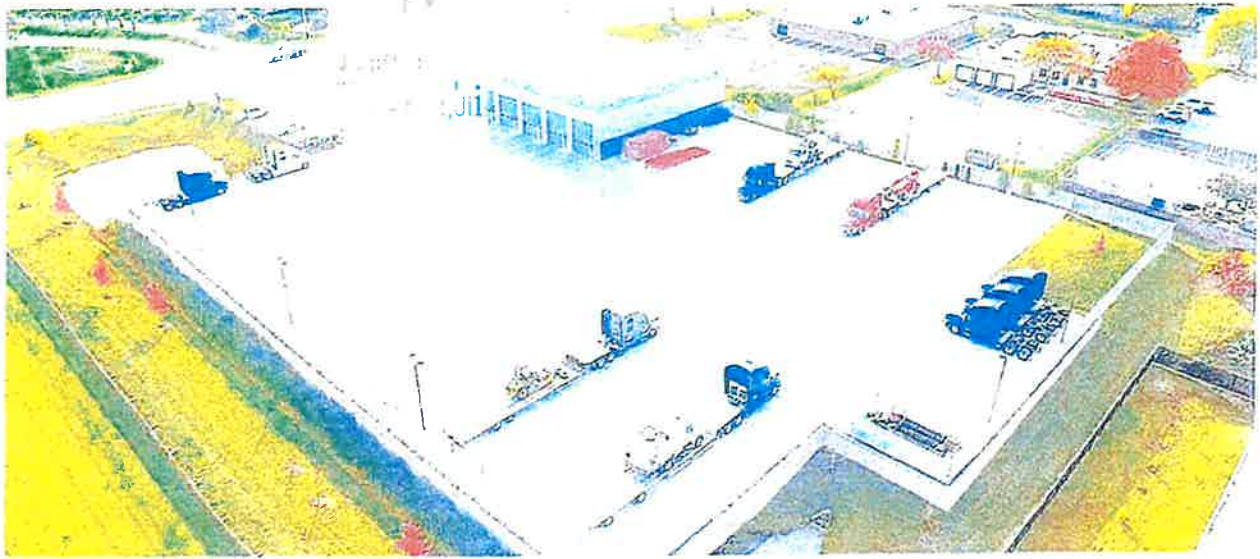
At Safeway, we believe that every student deserves reliable and safe transportation. It is our mission to set the standard for safety and quality service, so that students, their parents, and their corresponding district can rely on Safeway for trustworthy and punctual transportation services.

Our management team has over 20 years of experience in both van and bus transportation. Our garage employees are skilled technicians who have extensive experience and training in maintaining our fleet of buses and vans. We have been in the industry for many years and have serviced numerous school districts throughout Lake County and Cook County. We understand that every district has unique needs we always look to accommodate and personalize services to the clients' needs. Our reputation is one of the reasons Glenbard Township High School District 87 together with Glen Ellyn School District 41 selected Safeway Transportation as their school transportation provider.

Safeway has a solid reputation for being a leader in the industry. Lucky Sahota, President and CEO of Safeway has been in the business of transporting special education and regular education students since 1997. He recognizes the importance of going above and beyond in providing transportation for students and makes sure that his drivers are trained, not only in company rules, laws, and regulations, but also in the ever-changing needs of our clients. Our drivers are the first interaction of the student's day, the drivers are trained to make sure that it is a positive experience for both the children, family, and school.

Safeway currently operates out of ten bases shown on the attached list. We run approximately 600 school buses and 300 Special Education vans from these ten locations. Our proposed location at 250 N Schmale will house 52 school buses and utilize the current repair bays for maintenance on our fleet. The buses parked at the location will be a mix of bus types. We plan to park ten (10) full size forty foot buses on the lot, and forty-two twenty foot small buses on the lot. The lot was configured for tractor and semi parking, so it affords with extra-long parking spaces. The parking space dimensions are 70 feet. The extra length to the parking space allows us to double park vehicles in the assigned spaces. On a fulltime basis our location in Carol Stream will have eight employees, consisting of a Location Manager, Safety Manager, H R manager, two dispatchers and three mechanics. We accommodate parking for the full time staff with nine spaces set aside in the lot. Employees will park their personal cars in the space where their bus was parked. The parking spaces to the front and side of the building will also be used for employee parking.

The base hours of operation will be 5:30 am to 6:00 pm on Monday through Friday. Forty-four drivers will work out of the base on a part-time basis. The workflow at the base will occur in two shifts daily. Buses run in the morning from approximately 6 am until 9 am and then again from 2 pm until 4:30 pm. Drivers will be instructed to park their personal vehicles in the spot where their bus was as you can see from the photo below the property was originally built to accommodate tractor trailer operations. The facility works extremely well for our bus operations. The parking area will allow us to park 52 buses on the lot and leave ample room to safely maneuver the vehicles. See the attached parking plan for buses.



The shop area affords us plenty of space to provide maintenance services to our fleet indoors and out of public view.

Traffic flow from the property is good with easy access to North Avenue. While we have 52 buses leaving the property they do not all leave at the same time. The departure time for the buses is staggered to accommodate the different arrival times at the first stop for the drivers. Some first stop locations are significantly closer than others necessitating varied start times. Upon return the buses' arrivals are, also, staggered. Our business operation would have minimal impact on the surrounding businesses in the area.

The shop area affords us plenty of space to provide maintenance services to our fleet indoors and out of public view. Only automobiles will be parked in the front automobile lot along Schmale Road. No buses will be parked in or stored in that lot. Buses will be parked in parking spaces only and not block access nor be parked in drive aisles. The facility has a first class maintenance area. All potential maintenance will only occur inside the building and not within the lot area. No disabled buses will be stored in the lot. There will be no outdoor washing of vehicles in the lot. Outdoor storage of anything other than buses will be prohibited. Buses will not be allowed to back into the property from Schmale Road.

Pending your approval, we look forward to being a good neighbor and community member.

OWNER'S CONSENT

The undersigned states that it is the owner of the following described property:

Address: 250 N. Schmale Rd., Carol Stream, IL 60188

Parcel No.: 02-33-300-03

The undersigned authorizes SAFEWAY TRANSPORTATION SERVICES CORP., 250 Lunt Avenue, Elk Grove Village, IL 60007, as prospective tenant, to execute an application and documentation for an amended Special Use Permit for outdoor storage of school buses at the above described property.

Owner Name:

DYNAMIC INVESTMENTS, LLC
250 N. Schmale Rd.
Carol Stream, IL 60188

By: Sorocean
Vasile Sorocean, Manager

Date: 4/19/2024

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

SUBSCRIBED and SWORN to before me
this 19 day of April, 2024.

Robert A. McNeese
Notary Public

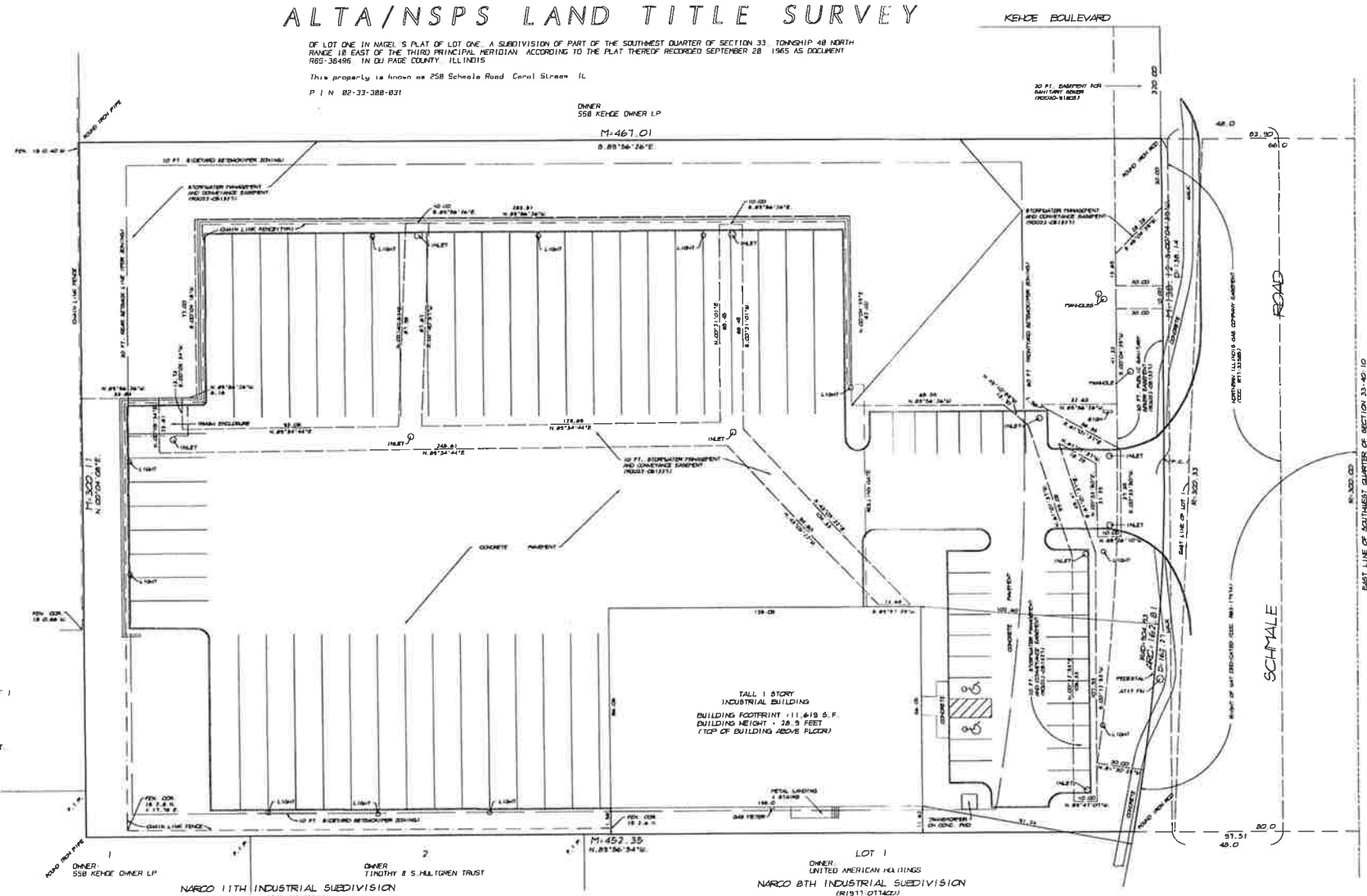
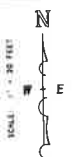


Robert A. McNeese, Attorney
MCNEESE & ASSOCIATES, LLC
195 Hiawatha Drive
Carol Stream, IL 60188
(630) 665-8811
Robert@McNeeseAssociates.com

ALTA/NSPS LAND TITLE SURVEY

OF LOT ONE IN MAP E PLAT OF LOT ONE, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 33, TOWNSHIP 48 NORTH, RANGE 18 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 28, 1965 AS DOCUMENT 865-36496 IN DU PAGE COUNTY, ILLINOIS.

This property is known as 258 Schmale Road Canal Stream IL.
P. I. N. 82-23-388-031



ZONED - INDUSTRIAL
 MIN. LOT SIZE: 1 ACRE (43,560 S.F.)
 MIN. LOT WIDTH: 75 FEET
 MINIMUM SETBACKS
 FRONT YARD: 50 FEET
 INTERIOR SIDE YARD: 10 FEET
 REAR YARD: 20 FEET
 FLOOR AREA RATIO: 8.0
 MAXIMUM STRUCTURE HEIGHT: 50 FEET
 LOT COVERAGE: N/A

Prepared For:
 McNease & Associates, LLC
 195 Hinowatha Drive
 Canal Stream, IL 60189

LEGEND

---	1" PLAIN IRON PIPE
---	4" PLAIN IRON PIPE
---	6" PLAIN IRON PIPE
---	8" PLAIN IRON PIPE
---	12" PLAIN IRON PIPE
---	18" PLAIN IRON PIPE
---	24" PLAIN IRON PIPE
---	30" PLAIN IRON PIPE
---	36" PLAIN IRON PIPE
---	42" PLAIN IRON PIPE
---	48" PLAIN IRON PIPE
---	54" PLAIN IRON PIPE
---	60" PLAIN IRON PIPE
---	66" PLAIN IRON PIPE
---	72" PLAIN IRON PIPE
---	78" PLAIN IRON PIPE
---	84" PLAIN IRON PIPE
---	90" PLAIN IRON PIPE
---	96" PLAIN IRON PIPE
---	102" PLAIN IRON PIPE
---	108" PLAIN IRON PIPE
---	114" PLAIN IRON PIPE
---	120" PLAIN IRON PIPE
---	126" PLAIN IRON PIPE
---	132" PLAIN IRON PIPE
---	138" PLAIN IRON PIPE
---	144" PLAIN IRON PIPE
---	150" PLAIN IRON PIPE
---	156" PLAIN IRON PIPE
---	162" PLAIN IRON PIPE
---	168" PLAIN IRON PIPE
---	174" PLAIN IRON PIPE
---	180" PLAIN IRON PIPE
---	186" PLAIN IRON PIPE
---	192" PLAIN IRON PIPE
---	198" PLAIN IRON PIPE
---	204" PLAIN IRON PIPE
---	210" PLAIN IRON PIPE
---	216" PLAIN IRON PIPE
---	222" PLAIN IRON PIPE
---	228" PLAIN IRON PIPE
---	234" PLAIN IRON PIPE
---	240" PLAIN IRON PIPE
---	246" PLAIN IRON PIPE
---	252" PLAIN IRON PIPE
---	258" PLAIN IRON PIPE
---	264" PLAIN IRON PIPE
---	270" PLAIN IRON PIPE
---	276" PLAIN IRON PIPE
---	282" PLAIN IRON PIPE
---	288" PLAIN IRON PIPE
---	294" PLAIN IRON PIPE
---	300" PLAIN IRON PIPE
---	306" PLAIN IRON PIPE
---	312" PLAIN IRON PIPE
---	318" PLAIN IRON PIPE
---	324" PLAIN IRON PIPE
---	330" PLAIN IRON PIPE
---	336" PLAIN IRON PIPE
---	342" PLAIN IRON PIPE
---	348" PLAIN IRON PIPE
---	354" PLAIN IRON PIPE
---	360" PLAIN IRON PIPE
---	366" PLAIN IRON PIPE
---	372" PLAIN IRON PIPE
---	378" PLAIN IRON PIPE
---	384" PLAIN IRON PIPE
---	390" PLAIN IRON PIPE
---	396" PLAIN IRON PIPE
---	402" PLAIN IRON PIPE
---	408" PLAIN IRON PIPE
---	414" PLAIN IRON PIPE
---	420" PLAIN IRON PIPE
---	426" PLAIN IRON PIPE
---	432" PLAIN IRON PIPE
---	438" PLAIN IRON PIPE
---	444" PLAIN IRON PIPE
---	450" PLAIN IRON PIPE
---	456" PLAIN IRON PIPE
---	462" PLAIN IRON PIPE
---	468" PLAIN IRON PIPE
---	474" PLAIN IRON PIPE
---	480" PLAIN IRON PIPE
---	486" PLAIN IRON PIPE
---	492" PLAIN IRON PIPE
---	498" PLAIN IRON PIPE
---	504" PLAIN IRON PIPE
---	510" PLAIN IRON PIPE
---	516" PLAIN IRON PIPE
---	522" PLAIN IRON PIPE
---	528" PLAIN IRON PIPE
---	534" PLAIN IRON PIPE
---	540" PLAIN IRON PIPE
---	546" PLAIN IRON PIPE
---	552" PLAIN IRON PIPE
---	558" PLAIN IRON PIPE
---	564" PLAIN IRON PIPE
---	570" PLAIN IRON PIPE
---	576" PLAIN IRON PIPE
---	582" PLAIN IRON PIPE
---	588" PLAIN IRON PIPE
---	594" PLAIN IRON PIPE
---	600" PLAIN IRON PIPE
---	606" PLAIN IRON PIPE
---	612" PLAIN IRON PIPE
---	618" PLAIN IRON PIPE
---	624" PLAIN IRON PIPE
---	630" PLAIN IRON PIPE
---	636" PLAIN IRON PIPE
---	642" PLAIN IRON PIPE
---	648" PLAIN IRON PIPE
---	654" PLAIN IRON PIPE
---	660" PLAIN IRON PIPE
---	666" PLAIN IRON PIPE
---	672" PLAIN IRON PIPE
---	678" PLAIN IRON PIPE
---	684" PLAIN IRON PIPE
---	690" PLAIN IRON PIPE
---	696" PLAIN IRON PIPE
---	702" PLAIN IRON PIPE
---	708" PLAIN IRON PIPE
---	714" PLAIN IRON PIPE
---	720" PLAIN IRON PIPE
---	726" PLAIN IRON PIPE
---	732" PLAIN IRON PIPE
---	738" PLAIN IRON PIPE
---	744" PLAIN IRON PIPE
---	750" PLAIN IRON PIPE
---	756" PLAIN IRON PIPE
---	762" PLAIN IRON PIPE
---	768" PLAIN IRON PIPE
---	774" PLAIN IRON PIPE
---	780" PLAIN IRON PIPE
---	786" PLAIN IRON PIPE
---	792" PLAIN IRON PIPE
---	798" PLAIN IRON PIPE
---	804" PLAIN IRON PIPE
---	810" PLAIN IRON PIPE
---	816" PLAIN IRON PIPE
---	822" PLAIN IRON PIPE
---	828" PLAIN IRON PIPE
---	834" PLAIN IRON PIPE
---	840" PLAIN IRON PIPE
---	846" PLAIN IRON PIPE
---	852" PLAIN IRON PIPE
---	858" PLAIN IRON PIPE
---	864" PLAIN IRON PIPE
---	870" PLAIN IRON PIPE
---	876" PLAIN IRON PIPE
---	882" PLAIN IRON PIPE
---	888" PLAIN IRON PIPE
---	894" PLAIN IRON PIPE
---	900" PLAIN IRON PIPE
---	906" PLAIN IRON PIPE
---	912" PLAIN IRON PIPE
---	918" PLAIN IRON PIPE
---	924" PLAIN IRON PIPE
---	930" PLAIN IRON PIPE
---	936" PLAIN IRON PIPE
---	942" PLAIN IRON PIPE
---	948" PLAIN IRON PIPE
---	954" PLAIN IRON PIPE
---	960" PLAIN IRON PIPE
---	966" PLAIN IRON PIPE
---	972" PLAIN IRON PIPE
---	978" PLAIN IRON PIPE
---	984" PLAIN IRON PIPE
---	990" PLAIN IRON PIPE
---	996" PLAIN IRON PIPE
---	1002" PLAIN IRON PIPE
---	1008" PLAIN IRON PIPE
---	1014" PLAIN IRON PIPE
---	1020" PLAIN IRON PIPE
---	1026" PLAIN IRON PIPE
---	1032" PLAIN IRON PIPE
---	1038" PLAIN IRON PIPE
---	1044" PLAIN IRON PIPE
---	1050" PLAIN IRON PIPE
---	1056" PLAIN IRON PIPE
---	1062" PLAIN IRON PIPE
---	1068" PLAIN IRON PIPE
---	1074" PLAIN IRON PIPE
---	1080" PLAIN IRON PIPE
---	1086" PLAIN IRON PIPE
---	1092" PLAIN IRON PIPE
---	1098" PLAIN IRON PIPE
---	1104" PLAIN IRON PIPE
---	1110" PLAIN IRON PIPE
---	1116" PLAIN IRON PIPE
---	1122" PLAIN IRON PIPE
---	1128" PLAIN IRON PIPE
---	1134" PLAIN IRON PIPE
---	1140" PLAIN IRON PIPE
---	1146" PLAIN IRON PIPE
---	1152" PLAIN IRON PIPE
---	1158" PLAIN IRON PIPE
---	1164" PLAIN IRON PIPE
---	1170" PLAIN IRON PIPE
---	1176" PLAIN IRON PIPE
---	1182" PLAIN IRON PIPE
---	1188" PLAIN IRON PIPE
---	1194" PLAIN IRON PIPE
---	1200" PLAIN IRON PIPE
---	1206" PLAIN IRON PIPE
---	1212" PLAIN IRON PIPE
---	1218" PLAIN IRON PIPE
---	1224" PLAIN IRON PIPE
---	1230" PLAIN IRON PIPE
---	1236" PLAIN IRON PIPE
---	1242" PLAIN IRON PIPE
---	1248" PLAIN IRON PIPE
---	1254" PLAIN IRON PIPE
---	1260" PLAIN IRON PIPE
---	1266" PLAIN IRON PIPE
---	1272" PLAIN IRON PIPE
---	1278" PLAIN IRON PIPE
---	1284" PLAIN IRON PIPE
---	1290" PLAIN IRON PIPE
---	1296" PLAIN IRON PIPE
---	1302" PLAIN IRON PIPE
---	1308" PLAIN IRON PIPE
---	1314" PLAIN IRON PIPE
---	1320" PLAIN IRON PIPE
---	1326" PLAIN IRON PIPE
---	1332" PLAIN IRON PIPE
---	1338" PLAIN IRON PIPE
---	1344" PLAIN IRON PIPE
---	1350" PLAIN IRON PIPE
---	1356" PLAIN IRON PIPE
---	1362" PLAIN IRON PIPE
---	1368" PLAIN IRON PIPE
---	1374" PLAIN IRON PIPE
---	1380" PLAIN IRON PIPE
---	1386" PLAIN IRON PIPE
---	1392" PLAIN IRON PIPE
---	1398" PLAIN IRON PIPE
---	1404" PLAIN IRON PIPE
---	1410" PLAIN IRON PIPE
---	1416" PLAIN IRON PIPE
---	1422" PLAIN IRON PIPE
---	1428" PLAIN IRON PIPE
---	1434" PLAIN IRON PIPE
---	1440" PLAIN IRON PIPE
---	1446" PLAIN IRON PIPE
---	1452" PLAIN IRON PIPE
---	1458" PLAIN IRON PIPE
---	1464" PLAIN IRON PIPE
---	1470" PLAIN IRON PIPE
---	1476" PLAIN IRON PIPE
---	1482" PLAIN IRON PIPE
---	1488" PLAIN IRON PIPE
---	1494" PLAIN IRON PIPE
---	1500" PLAIN IRON PIPE
---	1506" PLAIN IRON PIPE
---	1512" PLAIN IRON PIPE
---	1518" PLAIN IRON PIPE
---	1524" PLAIN IRON PIPE
---	1530" PLAIN IRON PIPE
---	1536" PLAIN IRON PIPE
---	1542" PLAIN IRON PIPE
---	1548" PLAIN IRON PIPE
---	1554" PLAIN IRON PIPE
---	1560" PLAIN IRON PIPE
---	1566" PLAIN IRON PIPE
---	1572" PLAIN IRON PIPE
---	1578" PLAIN IRON PIPE
---	1584" PLAIN IRON PIPE
---	1590" PLAIN IRON PIPE
---	1596" PLAIN IRON PIPE
---	1602" PLAIN IRON PIPE
---	1608" PLAIN IRON PIPE
---	1614" PLAIN IRON PIPE
---	1620" PLAIN IRON PIPE
---	1626" PLAIN IRON PIPE
---	1632" PLAIN IRON PIPE
---	1638" PLAIN IRON PIPE
---	1644" PLAIN IRON PIPE
---	1650" PLAIN IRON PIPE
---	1656" PLAIN IRON PIPE
---	1662" PLAIN IRON PIPE
---	1668" PLAIN IRON PIPE
---	1674" PLAIN IRON PIPE
---	1680" PLAIN IRON PIPE
---	1686" PLAIN IRON PIPE
---	1692" PLAIN IRON PIPE
---	1698" PLAIN IRON PIPE
---	1704" PLAIN IRON PIPE
---	1710" PLAIN IRON PIPE
---	1716" PLAIN IRON PIPE
---	1722" PLAIN IRON PIPE
---	1728" PLAIN IRON PIPE
---	1734" PLAIN IRON PIPE
---	1740" PLAIN IRON PIPE
---	1746" PLAIN IRON PIPE
---	1752" PLAIN IRON PIPE
---	1758" PLAIN IRON PIPE
---	1764" PLAIN IRON PIPE
---	1770" PLAIN IRON PIPE
---	1776" PLAIN IRON PIPE
---	1782" PLAIN IRON PIPE
---	1788" PLAIN IRON PIPE
---	1794" PLAIN IRON PIPE
---	1800" PLAIN IRON PIPE

- SURVEYOR'S NOTES**
- THIS SURVEY WAS PREPARED USING CHICAGO TITLE INSURANCE CO COMMITMENT NUMBER 230AN263429M1 DATED NOVEMBER 9, 2023.
 - NO PORTION OF THIS PROPERTY IS WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE VILLAGE OF CANAL STREAM, MAP NO. 1794(S)0005-1, DATED AUGUST 1, 2018.
 - THE GROSS LAND AREA FOR THE PROPERTY IS 139,347 S.F. (3.1998 ACRES).
 - THERE ARE 28 STRIPED PARKING SPACES WITH 2 OF THOSE BEING HANDICAP.
 - UTILITIES SHOWN HEREON WERE LOCATED BY OBSERVED EVIDENCE AND AN AS-BUILT DRAWING PREPARED BY ERIKSSON ENGINEERING ASSOCIATES, LTD.
 - NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR, BUT THE LISTED SETBACKS ARE PER THE REQUIREMENTS AND RESTRICTIONS FOR THE INDUSTRIAL DISTRICT FOR THE VILLAGE OF CANAL STREAM AND FOUND ON THEIR WEB PAGE.
 - NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
 - NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK OR PROPOSED CHANGES IN RIGHT OF WAY.

STATE OF ILLINOIS | County of DuPage | SS. Certified by Kelove Associates LLC, Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2020 Revised Statute in Effect August 1, 2020, of the State of Illinois, and in compliance with the rules and regulations promulgated thereunder.

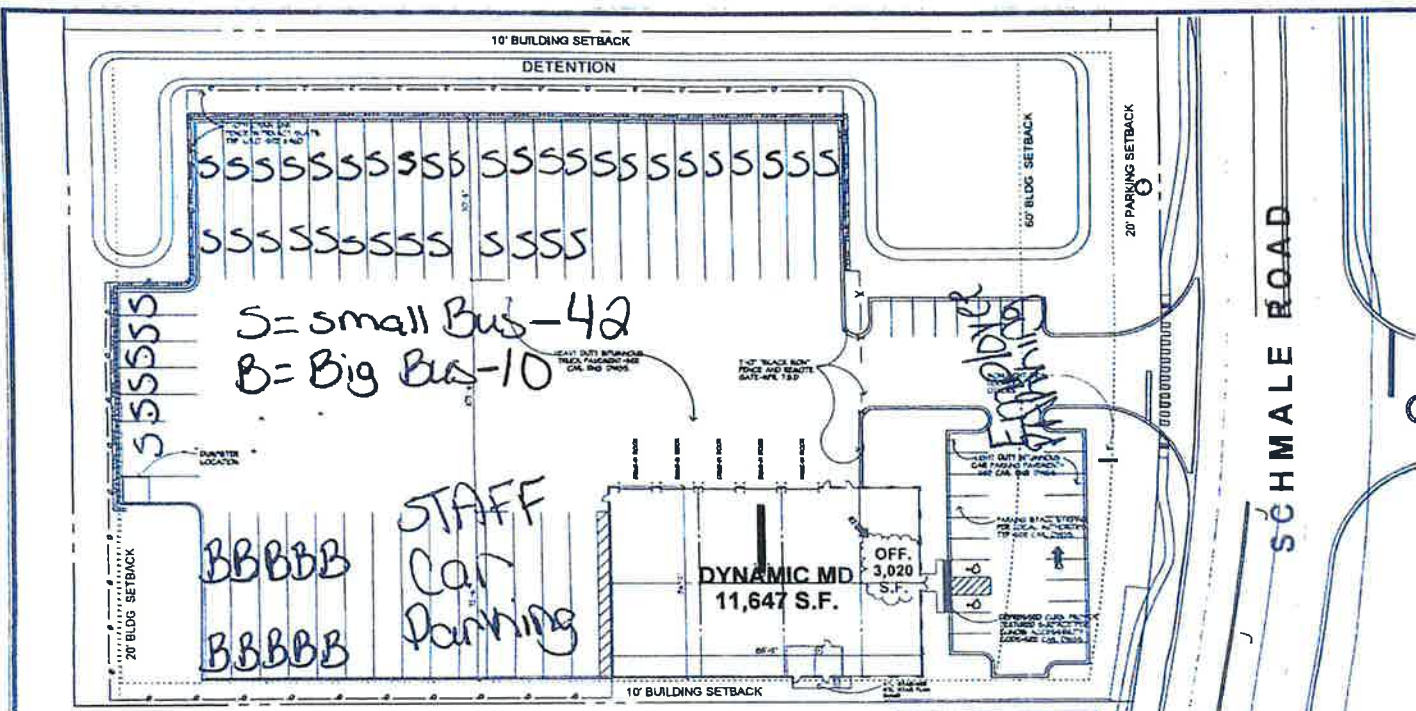
Richard J. Steinbrecher
 Professional Land Surveyor
 License Expires Nov. 30, 2024



APR 19 2024

Community Development
 Department

EXHIBIT A



CONSTRUCTION DATA

BUILDING CODES

- IBC INTERNATIONAL BUILDING CODES
- IBC IBCS PLUMBING CODES
- IBC INTERNATIONAL MECHANICAL CODES
- IBC INTERNATIONAL FIRE CODES
- IBC IBCS ACCIDENTAL CODES
- IBC IBCS ENERGY CONSERVATION CODES
- IBC INTERNATIONAL FUEL GAS CODES
- IBC IBCS LIFE SAFETY CODES

CONSTRUCTION TYPE - TYPE III - LIMITED AREA
 REINFORCED CONCRETE

OCCUPANCY TYPE - B1 - BUSINESS USES

PERMITTED PARKING - HANDICAPPED PARKING AND STALLS PER DETECTOR, 20% STALLS OR LARGER ACCORDING TO STANDARDS

FIRE PROTECTION - BUILDING TO BE EQUIPPED THROUGHOUT WITH AUTOMATIC FIRE SUPPRESSION SYSTEM, DESIGNED PER NFPA 8. SPECIAL CONTRACTOR SHALL PROVIDE SMOKE & ALARM PLANS.

SITE DATA

SITE AREA & ADDRESS

PERMITS - OFFICE USES, TRUCK MANEUVER AREA, BUILDING TYPE, LOT 64, PART 64, 10/17/12

CARRE - OFFICE PARKING STALLS REQUIRED ACCORDING TO IBC, 20 STALLS; MOTOR VEHICLE HANDICAPPED PARKING STALLS, 2 STALLS; BICYCLE OR BIKE STORAGE, 10 STALLS; TOTAL PARKING STALLS REQUIRED, 30 STALLS.

CAR PARKING PROVIDED - 31 STALLS

TRUCK/TRANSIT PARKING PROVIDED - 1 STALL

TOTAL PARKING STALLS PROVIDED - 32 STALLS

LOADING - 02 DOCK DOORS

LIST OF ABBREVIATIONS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

INDEX TO DRAWINGS

1-10	CONCRETE SHEET	A-10	DOOR SCHEDULE, DOOR DETAILS, DOOR ELEVATIONS & SCHEDULE
1-11	SITE PLAN, SITE DATA, LIST OF ABBREVIATIONS, COORDINATE DATA	A-11	INTERIOR ELEVATIONS, DETAILS
1-12	BUILDING ELEVATIONS	A-12	SECTIONS
1-13	FOUNDATION PLAN & DETAILS	A-13	SECTIONS & DETAILS
1-14	FLOOR PLAN & PRECINCT DETAILS	A-14	ROOF FRAMES PLAN
1-15	SHARED OFFICE PLAN, PARTITION TYPES, REFLECTED COLOR PLAN	B-1	SPECIFICATIONS
1-16		B-2	SPECIFICATIONS

DRAWINGS BY OTHERS UNDER SEPARATE STAMP/CONTRACT

1-17	SOIL NOTES, WENT SCHEDULE, DETAILS	D-1	CEILING PLAN, PLUMBING DETAILS
1-18	ORIGINAL FIRST FLOOR FINISH PLAN	F	PLUMBING PLAN, PLUMBING NOTES
1-19	FLOOR PLAN, EXIST. DIAG., EXIST. NOTES		

HARRIS ARCHITECTS INC. FPH REGISTRATION #BC-000-273

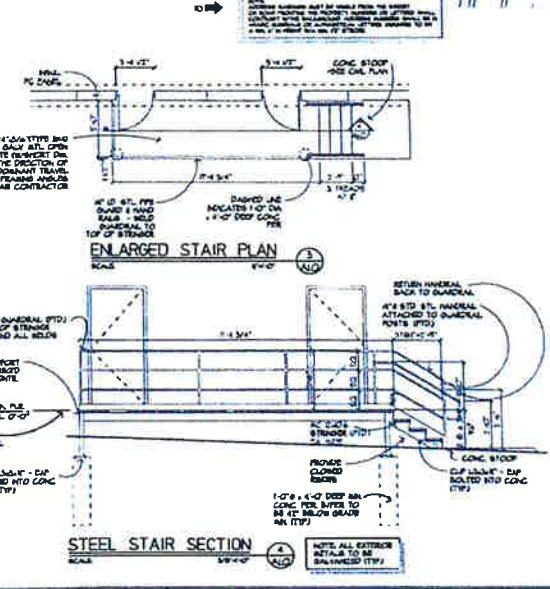
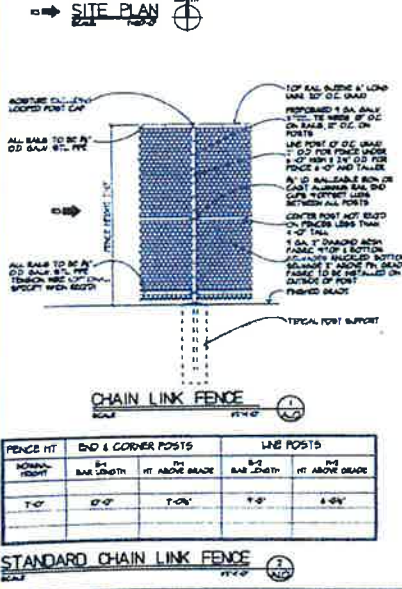
TRIUMPH
CONSTRUCTION SERVICES CORPORATION

HARRIS ARCHITECTS, INC.
ARCHITECTS
1000 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1234
WWW.HARRISARCHITECTS.COM

DYNAMIC MD
2050 Schmale Road
Grand Street, Colorado

RED SE-100X MAINTENANCE FACILITY FOR

PROJECT NO. 2023-001-01
SHEET NO. A10
2 OF 15 SHEETS



RECEIVED

APR 19 2024

Community Development Department

**Village of Carol Stream
Plan Commission/Zoning Board of Appeals**

STAFF REPORT

May 28, 2024

TO:
Chairman and Plan Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, AICP
Planning & Economic Development
Manager

ACTION REQUESTED:
Staff is requesting the following:

- Text Amendments for miscellaneous modifications to Article 3 (District Specific Standards); Article 4 (Use Specific Standards); and Article 5 (Development Standards) of Chapter 16 of the Village of Carol Stream Code of Ordinances.

APPLICANT/ CONTACT:
Village of Carol Stream
500 N. Gary Avenue
Carol Stream, IL 60188

CASE #: 24-0024

PROJECT NAME: Village of Carol Stream - Text Amendment for Miscellaneous Modifications to the Unified Development Ordinance (UDO)

BACKGROUND:

The Unified Development Ordinance (UDO) was approved by the Village Board on May 3, 2021 and went into effect on July 1, 2021. As the PC/ZBA recalls, the UDO combines zoning, signage, fencing, and subdivision regulations into a new chapter of the Code of Ordinances (Chapter 16).

Text Amendments for miscellaneous modifications were most recently reviewed by the PC/ZBA on June 26, 2023 and approved by the Village Board on July 17, 2023.

The modifications in this case pertain to outdoor storage and fences in the Industrial District, solar panel equipment regulations, and parking lot striping color.



ATTACHMENTS:

Attached for review is the General Application, Text Amendment Application, and Public Notice.

Staff Analysis

TEXT AMENDMENT

Recommended revisions to the UDO are outlined below. Proposed text amendment language is illustrated below in red.

Outdoor Storage in the Industrial District

The UDO contains definitions for “outdoor activities and operations,” “outdoor storage,” and “outdoor vehicle storage,” in addition to use-specific standards for outdoor activities and operations and outdoor vehicle storage. However, “outdoor storage” was inadvertently removed from Table 16-3-11 (E) (Permitted and Special Uses) and use-specific standards in Article 4 of the UDO. As a reminder, “outdoor storage” is defined as the following:

OUTDOOR STORAGE. The keeping, in an area open to the sky, of goods, material, or merchandise, other than vehicles, recreational vehicles, playground equipment, landscape decorations, or the like, in the same place for more than 72 consecutive hours.

Staff recommends including “outdoor storage” in Table 16-3-11 (E) and within use-specific standards in Section 16-4-18 of the UDO.

<i>Table 16-3-11(E): Permitted and Special Uses</i>										
<i>Proposed Use</i>	<i>Additional Regulations</i>	<i>R-1</i>	<i>R-2</i>	<i>R-3</i>	<i>R-4</i>	<i>B-1</i>	<i>B-2</i>	<i>B-3</i>	<i>O-S</i>	<i>I</i>
<i>Accessory Uses</i>										
<i>Accessory Buildings and Structures, General</i>	<u>§ 16-4-15</u>	P	P	P	P	P	P	P	P	P
<i>Home Occupations</i>	<u>§ 16-4-16</u>	P	P	P	P					
<i>Drive Through</i>	<u>§ 16-4-17</u>					S	S	S	S	
<i>Outdoor Display and/or Sales of Merchandise, Permanent</i>								S		S
<i>Outdoor Activities and Operations</i>	<u>§ 16-4-18</u>	S						S	S	P
<i>Outdoor Storage</i>	<u>§ 16-4-18</u>									S
<i>Outdoor Dining, without alcohol sales/consumption</i>	<u>§ 16-4-19</u>					P	P	P		
<i>Outdoor Dining, with alcohol sales/consumption</i>	<u>§ 16-4-19</u>					S	S	S		
<i>Donation Drop Boxes</i>	<u>§ 16-4-20</u>	P					P	P	P	

§ 16-4-18 OUTDOOR ACTIVITIES AND OPERATIONS, PERMANENT, **OUTDOOR STORAGE, AND OUTDOOR VEHICLE STORAGE IN THE INDUSTRIAL DISTRICT.**

Outdoor activities and operations, **outdoor storage**, and outdoor vehicle storage, excluding storage for vehicle sales and rental uses shall be subject to the following provisions:

(A) *Screening of outdoor activities and operations, **outdoor storage**, and outdoor vehicle storage in the I District.*

(1) Outdoor activities and operations, **outdoor storage**, and outdoor vehicle storage shall not be visible from:

- (a) Adjacent non-industrial property;
- (b) The right-of-way of the following roadways:
 - I. Gary Avenue;
 - II. North Avenue;
 - III. East Lies Road; and
 - IV. Schmale Road.

(2) The following minimum screening requirements shall apply to outdoor activities and operations, **outdoor storage**, and outdoor vehicle storage adjacent to or visible from areas identified in § [16-4-18\(A\)\(1\)](#).

(a) A solid wall or fence not less than six feet and not more than eight feet in height along all property frontages identified in § [16-4-18\(A\)\(1\)](#).

(b) A landscape strip not less than five feet wide located in front of the wall or fence. The required landscape materials shall conform to all requirements for transition area landscape found in § [16-5-5](#).

(3) The following minimum screening requirements shall apply to outdoor activities and operations, **outdoor storage**, and outdoor vehicle storage not adjacent to or visible from areas identified in § [16-4-18\(A\)\(1\)](#).

(a) A fence, which conforms to all fence material requirements detail in § [16-5-8](#) and is not less than six and not more than eight feet in height.

(b) A landscape strip not less than five feet wide located in front of the fence wall. The required landscape materials shall conform to all requirements for transition area landscape found in § [16-5-6](#).

(4) General screening requirements.

(a) No screening wall or fence shall be located within a required front yard.

(b) Screening walls and fences shall be architecturally compatible with the primary structure.

(B) *Screening of outdoor activities and operations in the B-1, B-2, B-3, and O-S Districts.*

(1) Outdoor activities and operations shall not be visible from:

- (a) Any public right-of-way; or
- (b) Any residential property.

(2) The following minimum screening requirements shall apply to outdoor activities and adjacent to or visible from areas identified in § [16-4-18\(B\)\(1\)](#):

(a) A solid wall or fence not less than six feet and not more than eight feet in height along all property frontages identified in § [16-4-18\(B\)\(1\)](#).

(b) A landscape strip not less than five feet wide located in front of the wall or fence. The required landscape materials shall conform to all requirements for transition area landscape found in § [16-5-6](#).

(3) The following minimum screening requirements shall apply to outdoor activities and operations not adjacent to or visible from areas identified in § [16-4-18\(B\)\(1\)](#).

(a) A fence, which conforms to all fence material requirements detail in § [16-5-8](#) and is not less than six and not more than eight feet in height.

(b) A landscape strip not less than five feet wide located in front of the masonry wall. The required landscape materials shall conform to all requirements for transition area landscape found in § [16-5-6](#).

(C) *Residential districts.* Outdoor activities and operations shall be permitted for nonresidential uses in residential districts only and shall meet all provisions included in § [16-4-18\(B\)](#).

(D) *Surfacing.* Areas for permanent outdoor activities and operations, and outdoor vehicle storage in the Industrial District, shall be surfaced with an approved hard surface material. Partially paved or unpaved outdoor storage areas shall be prohibited.

(E) *Shipping containers.* Shipping containers not located on a truck or located on a truck which is kept in the same parking or loading area for more than 30 days shall be considered an outdoor operation and shall be subject to all of the provisions for outdoor activities and operations as found in this section, or as approved in adherence with all applicable regulations for accessory uses or construction uses.

Parking Lot Striping Color

Staff recommends modifying code language for parking lot striping, to align with IDOT and Manual on Uniform Traffic Control Device (MUTCD) standards.

§ 16-5-2 OFF-STREET PARKING AND LOADING.

(B) *Additional regulations; parking.* Off-street parking facilities shall be provided in accordance with additional regulations hereinafter set forth.

(3) *Design and maintenance (See [Figure 16-5-2\(B\)\(3\)](#)).*

(a) *Open and enclosed parking spaces.* Accessory parking spaces may be open to the sky, enclosed or semi-enclosed in a building or structure. Enclosed parking spaces shall have a vertical clearance of at least seven feet.

(b) *Surfacing.* Except as otherwise provided in this UDO, all open parking spaces and access thereto shall be improved with all-weather material, in accordance with specifications approved by the Engineering Services Director.

(c) *Temporary parking lots.* The Village Board may grant approval for the construction of a temporary parking lot. Such temporary parking lot shall be located outside of all required landscape areas and constructed of such material including, but not limited to, gravel, which shall be approved by the Engineering Services Director as providing a firm base to vehicles, and such temporary parking lot shall be adequately drained. A permit to maintain a temporary parking lot shall be granted only under those circumstances which would make the construction of a permanent parking lot an economic hardship upon the applicant. Temporary parking lot permits shall be valid for a maximum of 18 months, and shall not be renewable.

(d) *Barrier protection.* Bollards or other means of protection shall be installed by the developer, business owner, or property owner when deemed necessary by the Community Development Director or Village Board in instances when the relationship between parking spaces and the building or pedestrian facilities requires additional protection.

(e) *Minimum parking area dimension requirements.* Plans for the layout of off-street parking facilities shall be in accordance with the following requirements.

(f) *Striping.* Striping between spaces shall be in the form of a four inch hair-pin/looped line, 16 inches apart, and shall be white or yellow in color.

Fences on lots with Industrial Uses

Currently, the UDO allows fences on lots with industrial uses to be located in the rear yard, interior side yard, and exterior side yard. The exterior side yard functions as a second front yard for corner lots, and it is not common practice to allow fences in corner side yards for industrial

uses. Staff recommends removing the allowance for a fence in the exterior side yard for industrial uses, and this will match the prohibition for lots with business uses to install fences in exterior side yards.

§ 16-5-8 FENCES.

(F) *Fences on lots with industrial uses.*

(1) *Height.* The maximum height of fences on a lot with industrial uses shall not exceed eight feet.

(2) *Location.* Fences on lots with industrial uses shall be limited to the rear yard **and** interior side yard. ~~and exterior side yard.~~

(3) *Barbed wire.* Barbed wire may be utilized and shall be limited to a maximum height of one foot, and a maximum of three strands of wire. The barbed wire shall not be included in the determination of fence height.

Solar Panels – Aesthetics

The installation of solar panels has become a common practice in Carol Stream. Thirty-two residential permits have been issued since January 2024, and businesses like Lowe’s, Core Pipe, Antunes, and Primrose Daycare have also installed solar panels.



The practice of installing solar panels to collect and utilize solar energy is a good environmental practice. However, electric panels and conduit installed on the front of a home may detract from the appearance of the property and the neighborhood (see accompanying image).

While it is more common to install electrical components associated with solar panels on the rear of the building, staff recommends adding standards to the UDO that would prohibit installation of such components on the front or exterior side of the building unless operationally necessary and approved by the Community Development Director. In addition, if electrical components are allowed on the front of the building, staff recommends that they be painted or be of a color compatible with the building.

§ 16-5-9 SOLAR ENERGY COLLECTION SYSTEMS (SEE FIGURE 16-5-9(A)).

Solar energy collection systems are permitted as an accessory use within all zoning districts with the following conditions.

(A) *Building-mounted systems.*

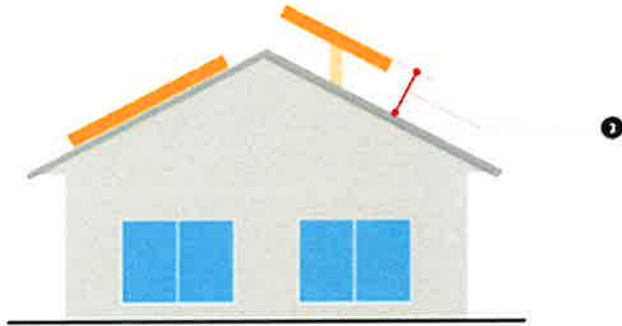
(1) *Location.* Building mounted systems may be located on any roof face of principal or accessory structures. Systems should be flush mounted when possible.

(2) *Measuring height.* Height is measured from the roof surface on which the system is mounted to the highest edge of the system.

(3) *Maximum height.* Systems on residential structures shall not extend beyond 12 inches parallel to the roof surface of a pitched roof or flat roof. Systems on nonresidential structures shall not extend beyond 36 inches parallel to the roof surface of a pitched roof or flat roof. Systems on all structures shall not extend above the highest peak of a pitched roof.

(4) *Architectural integration.* All materials used for racking, mounts, mounting clamps, and flashings, shall be of a color consistent with the color of the roof surface to minimize visibility. **Equipment associated with the building-mounted system is prohibited on the front or exterior side of a building, unless operationally necessary and approved by the Community Development Director, and shall be a color consistent with the color of the building.**

**Building-Mounted Solar Energy System
16-5-9(A)**



Recommendation

Staff recommends approval of text amendments for miscellaneous modifications to Article 3 (District Specific Standards), Article 4 (Use Specific Standards), and Article 5 (Development Standards) of the UDO.



Do Not Write in This Space	
Date Submitted:	<u>5/6/24</u>
Fee Submitted:	_____
File Number:	<u>24-0024</u>
Meeting Date:	<u>5/28/24</u>
Public Hearing Required:	<u>Y</u>

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

www.carolstream.org

FORM A

**GENERAL APPLICATION
PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS**

1. Name of Applicant Village of Carol Stream Phone 630.871.6230
 Address 500 N. Gary Avenue, Carol Stream, IL 60188 Fax _____
 E-Mail Address communitydevelopment@carolstream.org
 (required)
 Name of Attorney _____ Phone _____
 (if represented)
 Address _____ Fax _____
 Name of Owner _____ Phone _____
 (required if other than applicant)
 Address _____ Fax _____
 Name of Architect _____ Phone _____
 (if applicable)
 Address _____ Fax _____

2. *Common Address/Location of Property _____

3. Requested Action: *(check all that apply)*

<input type="checkbox"/> Annexation <input type="checkbox"/> Courtesy Review <input type="checkbox"/> Development Staff Review <input type="checkbox"/> Gary/North Avenue Corridor Review <input type="checkbox"/> Planned Development – Final <input type="checkbox"/> Planned Development – Preliminary <input type="checkbox"/> Shared Parking Facility <input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Subdivision – Minor/Major <input type="checkbox"/> Temporary Waiver/Code of Ordinances <input type="checkbox"/> Variation – Zoning (requires Form B-1) <input type="checkbox"/> Variation – Sign (requires Form B-2) <input type="checkbox"/> Variation – Fence (requires Form B-3) <input type="checkbox"/> Special Use Permit (requires Form C) <input type="checkbox"/> Map Amendment (requires Form D-1) <input checked="" type="checkbox"/> Text Amendment (requires Form D2) <input type="checkbox"/> Staff Adjustment (requires Form E)
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Describe requested action Miscellaneous code amendments in the UDO

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ n/a

Annexation approvals:		
New development		\$2,000
Other		\$800
Annexation Agreement Amendment		\$800
Appearance fee for approvals required by the UDO but not listed herein		\$500
Courtesy Review		\$240
Development Staff Review		\$640
Easement Encroachment		\$300
Gary/North Avenue Corridor Review:		
New or replacement monument sign		\$500
One discipline (site design, architecture or landscaping)		\$500
Two disciplines		\$1,000
Three disciplines		\$1,500
New development		\$1,500
Outdoor Dining Permit		\$120
Planned Development:		
Existing Planned Development, minor change		\$500
Existing Planned Development, major change		\$1,000
New Planned Development		\$1,500
Rezoning (Zoning Map Amendment)		\$640
Shared Parking Facility Permit		\$500
Site Plan Review		\$640
Special Use:		
First		\$800
Each additional		\$200
Special Use Amendment		\$800
Staff Adjustment		\$240
Subdivision:		
Major		\$700
Minor		\$400
Temporary Building, Structure or Use		\$120
Temporary Waiver to the Code of Ordinances		\$120
Text Amendment:		
Building Codes		\$240
Unified Development Ordinance		\$640
Variation:		
First		\$640
Each additional		\$200
Zoning verification letter		\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

TOM FARACE

Print Name



Signature

5/6/28

Date

Revised 11/23



Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

630.871.6230 • FAX 630.665.1064

e-mail: communitydevelopment@carolstream.org ▪ website: www.carolstream.org

TEXT AMENDMENT

Please see Section 16-8-4(M) of the Unified Development Ordinance (UDO) to learn more about Text Amendments.

In accordance with the applicable statutes of the State of Illinois, an amendment shall be granted or denied by the Village Board only after a public hearing before the Plan Commission and a report of its findings and recommendations has thereafter been submitted to the Village Board.

Proposed Text Amendments that satisfy all of the review criteria may be approved. The Plan Commission and Village Board shall consider the following criteria in their review of Text Amendments: (Please respond to each of these standards in writing below as it relates to your request.)

1. The amendment must be consistent with the purpose of this UDO and the Village Comprehensive Plan.

Proposed amendments will be consistent with the UDO's purpose and intent.

2. The amendment must not adversely affect the public health, safety, or general welfare.

No negative impacts should occur with the proposed UDO amendments.

3. The amendment is necessary because of changed or changing social values, new planning concepts, or other social, technological, or economic conditions in the areas affected.

Proposed UDO amendments are based on standard operating procedures.

Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on May 8, 2024 and the last publication of the notice was made in the newspaper dated and published on May 8, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on May 8, 2024.

Examiner Publications, Inc.

By: Publisher 
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 8 day of May, A.D. 2024.

Notary Public



LEGAL NOTICE PUBLIC NOTICE FILE #24-0024

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Tuesday, May 28, 2024 at 6:00 p.m. to consider an application from the Village of Carol Stream for the following actions:

Text Amendments for miscellaneous modifications to Article 3 (District Specific Standards); Article 4 (Use Specific Standards); and Article 5 (Development Standards) of Chapter 16 (Unified Development Ordinance) of the Village of Carol Stream Code of Ordinances.

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:
https://us02web.zoom.us/join/https://us02web.zoom.us/join/register/WN_nBk1KrJ8SMKS65IzrweyA

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 896 1741 9383

International numbers available:
<https://zoom.us/u/adsnXEZQIK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Bravo Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to bberisha@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at www.carolstream.org, and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* May 8, 2024, 0508

Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

May 28, 2024

TO:
Chairman and Plan
Commissioners

FROM:
Community Development
Department

CASE MANAGER:
Tom Farace, AICP
Planning & Economic
Development Manager

ACTION REQUESTED:
The applicant is requesting
approval of the following:

- Final Plat of Subdivision, in accordance with Section 16-8-4 (O) of the UDO

APPLICANT/ CONTACT:
Mr. John McHale
Bridge Street Properties, LLC
P.O. Box 5726
Naperville, IL 60567



CASE #: 24-0006
LOCATION: 1475 W. Lies Road
PROJECT NAME: Bridge Street Properties, LLC / Villas of Fair Oaks



LOCATION	ZONING DISTRICT	LAND USE	COMPREHENSIVE PLAN DESIGNATION
Subject Property	R-4 Multi Unit Residence District	Single-Unit Attached Residential	Residential
North	Unincorporated DuPage County R-2 Single Family Residence District	Single-Unit Detached Residential (Judith Court Residences)	Residential
South	R-3 Suburban Residence District	Single-Unit Detached Residential (Slepicka Farms Subdivision)	Residential
East	R-1 Estate Residence and Community Facilities District	Place of Worship (Corpus Christi Church)	Institutional
West	Unincorporated DuPage County R-2 Single Family Residence District	Open Space (Forest Preserve)	Residential

The 9.2-acre property highlighted above is located at the northeast corner of Fair Oaks Road and Lies Road.

Site Assessment

COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for single-family (now referred to as single-unit) residential uses upon annexation according to the Village's 2016 Comprehensive Plan. The proposed single-unit attached duplex development fits within this designation.

AERIAL PHOTOGRAPH:



Project Summary

ATTACHMENTS:

Attached for review is the General Application and Final Plat of Subdivision (Exhibit A).

BACKGROUND:

At the November 13, 2023 PC/ZBA meeting, requests including rezoning the subject property to R-4 upon annexation, a Special Use Permit for a Planned Development, and a Preliminary Plat of Subdivision, were reviewed and recommended for approval for the Villas of Fair Oaks duplex project. Once the property was sold to Bridge Street Properties, the annexation and zoning requests were approved by the Village Board on April 1, 2024. A condition of approval was to submit a final plat of subdivision, which has been provided for review.

Staff Analysis

PLAT OF SUBDIVISION

The final plat of subdivision illustrates the subdivision of land for the proposed duplex project. 32 lots are illustrated (one lot per duplex unit), with outlots for detention areas and easements illustrated on the plat. In addition, two public roadways, Preserve Drive and Quarry Court, are illustrated on the plat. Staff from Community Development, Engineering Services, and the Village Clerk’s office have reviewed the submitted plat, and deem it acceptable.

Recommendation

Staff recommends approval of the Final Plat of Subdivision for Bridge Street Properties, LLC/Villas of Fair Oaks at 1475 W. Lies Road, Case No. 24-0006.

T:\Planning New\Planning\Plan Commission\Staff Reports\2024 Staff Reports\24-0006 Bridge Street Properties Villas of Fair Oaks PLAT 1475 W Lies.docx



RECEIVED

JAN 26 2024

Community Development Department

Do Not Write in This Space	
Date Submitted:	1-26-24
Fee Submitted:	1,260.00
File Number:	24-0006
Meeting Date:	5/28/24
Public Hearing Required:	N

Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188
PHONE 630.871.6230 ▪ FAX 630.665.1064
www.carolstream.org

FORM A

GENERAL APPLICATION
PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Bridge Street Properties, LLC Phone 630-710-9490
Address P.O. Box 5726 Naperville, Illinois 60567 Fax 630-281-4085
E-Mail Address jmchale@bridgestreetproperty.com
Name of Attorney Caitlin E. Csuk - Rosanova & Whitaker, Ltd. Phone 630-355-4600
Address 445 Jackson Avenue, Suite 200, Naperville, IL 60540 Fax (email): caitlin@rw-attorneys.com
Name of Owner John R. Chew, as Trustee of the John R. Chew Trust dated March 19, 1994, as amended Phone
Address
Name of Architect Pulte Home Company, LLC - Matt Brolley Phone 847-230-5400
Address 1900 E. Golf Road, #300, Schaumburg, IL 60173 Fax matt.brolley@pultegroup.com

2. *Common Address/Location of Property 1475 W. Lies Road

- 3. Requested Action: (check all that apply)
Annexation
Courtesy Review
Development Staff Review
Gary/North Avenue Corridor Review
Planned Development - Final
Planned Development - Preliminary
Shared Parking Facility
Site Plan Review
Subdivision - Minor/Major
Temporary Waiver/Code of Ordinances
Variation - Zoning (requires Form B-1)
Variation - Sign (requires Form B-2)
Variation - Fence (requires Form B-3)
Special Use Permit (requires Form C)
Map Amendment (requires Form D-1)
Text Amendment (requires Form D2)
Staff Adjustment (requires Form E)

Describe requested action Approval of a final plat of subdivision and final PUD plan in substantial conformance with those preliminary plans attached to the annexation agreement approved for this property and pursuant to separate ordinance.

4. Fee Schedule: (Check all that apply) Total Application Fee: \$ 700

Annexation approvals:		
New development		\$2,000
Other		\$800
Annexation Agreement Amendment		\$800
Appearance fee for approvals required by the UDO but not listed herein		\$500
Courtesy Review		\$240
Development Staff Review		\$640
Easement Encroachment		\$300
Gary/North Avenue Corridor Review:		
New or replacement monument sign		\$500
One discipline (site design, architecture or landscaping)		\$500
Two disciplines		\$1,000
Three disciplines		\$1,500
New development		\$1,500
Outdoor Dining Permit		\$120
Planned Development:		
Existing Planned Development, minor change		\$500
Existing Planned Development, major change		\$1,000
New Planned Development		\$1,500
Rezoning (Zoning Map Amendment)		\$640
Shared Parking Facility Permit		\$500
Site Plan Review		\$640
Special Use:		
First		\$800
Each additional		\$200
Special Use Amendment		\$800
Staff Adjustment		\$240
Subdivision:		
<input checked="" type="checkbox"/> Major		\$700
Minor		\$400
Temporary Building, Structure or Use		\$120
Temporary Waiver to the Code of Ordinances		\$120
Text Amendment:		
Building Codes		\$240
Unified Development Ordinance		\$640
Variation:		
First		\$640
Each additional		\$200
Zoning verification letter		\$80

5. Applicant Certification

*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

John McHale

Print Name

Signature

Date 1/25/24

Revised 11/23

FINAL PLAT OF SUBDIVISION FOR VILLAS OF FAIR OAKS

PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

RECEIVED

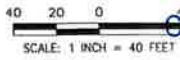
MAY 01 2024

NOTE: KEYMAP FOR BOUNDARY AND PAGE INDEX ONLY. SEE FOLLOWING SHEETS FOR PARTICULARS.

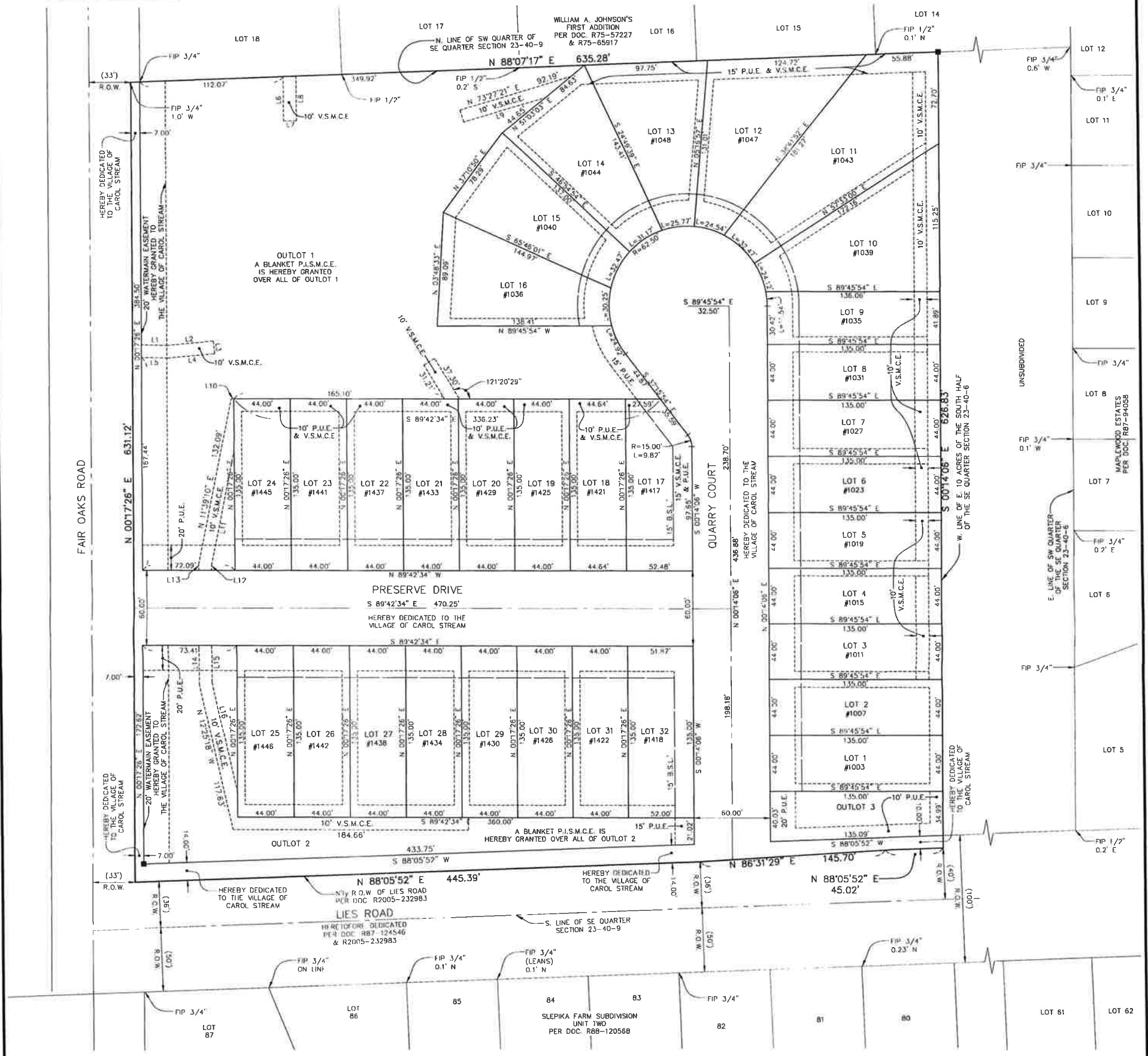
EXHIBIT A



VICINITY MAP



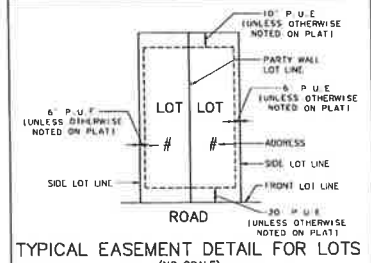
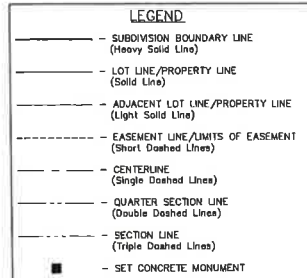
Community Development Department



TOTAL AREA OF SUBDIVISION
9.189 ACRES
(MORE OR LESS)

PARCEL INDEX NUMBER
01-23-402-016
1475 W. LIES ROAD
CAROL STREAM, ILLINOIS 60188

TAXING DISTRICTS
MUNICIPALITY DISTRICT: VILLAGE OF CAROL STREAM
SPECIAL SERVICE DIST: WAYNE TOWNSHIP
SPECIAL POLICE DIST: CAROL STREAM
FIRE PROTECTION DIST: CAROL STREAM LIBRARY DISTRICT
LIBRARY DIST: CAROL STREAM PARK DISTRICT
PARK DIST:
SANITARY DIST:
MOUSEHOLE ABL DIST:
SURFACE WATER DIST: DISTRICT 46
UNIT SCHOOL DIST:
GRADE SCHOOL DIST:
HIGH SCHOOL DIST:
COMM COLLEGE DIST: ELGIN COMMUNITY COLLEGE 509
OTHER DIST:
WATER COMMISSION: DUPAGE WATER COMMISSION
AIRPORT AUTHORITY: DUPAGE AIRPORT AUTHORITY



NOTES
3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS CONTAINED HEREIN.
P.I.S.M.C.E. - STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT RELATING TO PRIVATE IMPROVEMENTS TO BE OWNED, CONSTRUCTED, GRADED, CLEANED, OPERATED, INSPECTED, REPAIRED AND OTHERWISE MAINTAINED BY HOMEOWNERS ASSOCIATION-SEE PROVISIONS CONTAINED HEREIN.
V.S.M.C.E. - STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT FOR VILLAGE PUBLIC IMPROVEMENTS. SEE PROVISIONS CONTAINED HEREIN.
B.S.L. - BUILDING SETBACK LINE
THE MEASURED BEARINGS SHOWN ARE BASED ON THE EAST LINE OF THE SUBJECT SITE BEING S 0014°08' E.
FIP = FOUND IRON PIPE (# AS SHOWN)
FIR = FOUND IRON ROD (# AS SHOWN)
OUTLOTS 1, 2 AND 3 TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
A BLANKET PUBLIC UTILITY EASEMENT IS HEREBY GRANTED OVER OUTLOTS 1, 2 AND 3. SEE PROVISIONS CONTAINED HEREIN.

PREPARED FOR:
BRIDGE STREET PROPERTIES
P.O. BOX 5726
NAPERVILLE, IL 60567

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com
DISC NO: 847014 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO: N/A
COMPLETION DATE: 01-08-24 JOB NO: 847.014
CHECKED BY:
REVISED 03-21-24/AJB PER VILLAGE REVIEW DATED 03-01-24
REVISED 04-25-24/AJB PER VILLAGE REVIEW DATED 02-20-24
REVISED 05-01-24/AJB PER VILLAGE COMMENTS DATED 04-25-24
Copyright © 2024 Cemcon, Ltd. All rights reserved.

LINE TABLE

LINE	BEARING	LENGTH
L1	S 88°24'55" E	19.67'
L2	N 84°52'41" E	36.84'
L3	S 05°07'19" E	10.00'
L4	S 84°52'41" W	37.42'
L5	N 88°24'55" W	20.03'
L6	S 00°00'00" W	35.26'
L7	N 00°00'00" E	10.00'
L8	N 00°00'00" E	35.59'
L9	S 73°27'21" W	67.93'
L10	S 89°42'34" E	2.10'
L11	S 11°39'10" W	91.97'
L12	S 00°17'26" W	4.50'
L13	N 00°17'26" E	5.50'
L14	N 00°17'26" E	30.25'
L15	S 00°17'26" W	29.15'
L16	S 12°25'18" E	88.30'

LOT AREA SUMMARY TABLE

LOT NO.	SQ. FT.	LOT NO.	SQ. FT.	LOT NO.	SQ. FT.
1	5,940	13	8,072	25	5,940
2	5,940	14	7,893	26	5,940
3	5,940	15	7,812	27	5,940
4	5,940	16	8,088	28	5,940
5	5,940	17	8,674	29	5,940
6	5,940	18	8,025	30	5,940
7	5,940	19	5,940	31	5,940
8	5,940	20	5,940	32	7,011
9	5,659	21	5,940	OUTLOT 1	83,869
10	9,847	22	5,940	OUTLOT 2	22,817
11	12,801	23	5,940	OUTLOT 3	5,084
12	10,133	24	5,940		

DRAWING FILE: P:\2024\05\24\1475 W LIES ROAD\1475 W LIES ROAD.DWG
PLOT FILE: 05/24/2024 BY: TDH:RLS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF COOK)
THIS IS TO CERTIFY THAT THE UNDERSIGNED IS/ARE THE OWNER/OWNERS OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND HAS/HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES/DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

NAME/TITLE
ADDRESS
DATED THIS ____ DAY OF _____, 20____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF COOK)
I, _____ AS NOTARY PUBLIC IN AND FOR THE COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON/PERSONS WHOSE NAME/NAMES IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER/OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HE/THEY SIGNED THE ANNEXED PLAT AS HER/HIS/THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSE THEREIN SET FORTH.

GIVEN UNDER BY HAND AND NOTARIAL SEAL
THIS ____ DAY OF _____, 20____

NOTARY PUBLIC

RECEIVED
MAY 01 2024

Community Development
Department

VILLAGE CLERK CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
I, _____ VILLAGE CLERK OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION _____ DULY APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE AT ITS MEETING HELD ON _____, 20____ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS EITHER BEEN POSTED OR ADEQUATE PROVISION HAS BEEN MADE FOR SUCH BOND TO BE POSTED, FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF THE VILLAGE.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF THE VILLAGE OF CAROL STREAM, ILLINOIS THIS ____ DAY OF _____, 20____

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
I, _____ VILLAGE ENGINEER OF THE VILLAGE OF CAROL STREAM, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENTS DESCRIBED IN THE ANNEXED PLAT AND THE PLANS AND SPECIFICATIONS THEREOF MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

I DO FURTHER CERTIFY THAT THERE HAS BEEN FILED WITH ME AND I HAVE REVIEWED TOPOGRAPHICAL AND PROFILE STUDIES FILED WITH THIS PLAT.
DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS THIS ____ DAY OF _____, 20____

FINANCE DIRECTOR CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
I, _____ FINANCE DIRECTOR OF CAROL STREAM, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT CAROL STREAM, DUPAGE COUNTY, ILLINOIS
THIS ____ DAY OF _____, 20____

FINANCE DIRECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
APPROVED THIS ____ DAY OF _____, 20____
VILLAGE OF CAROL STREAM PLAN COMMISSION

CHAIRPERSON

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF _____, A.D. 20____ AT _____ O'CLOCK _____ M.

RECORDER OF DEEDS

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID SPECIAL ASSESSMENTS AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS,
THIS ____ DAY OF _____, A.D., 20____

COUNTY CLERK

PUBLIC UTILITY EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, AND TO THOSE UTILITY AND OTHER ENTITIES OPERATING NOW, OR IN THE FUTURE, UNDER FRANCHISE FROM THE VILLAGE OF CAROL STREAM, INCLUDING, BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, AND TO THEIR SUCCESSORS AND ASSIGNS, IN, ON, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC UTILITY EASEMENT" ON THIS PLAT, SUCH EASEMENTS GRANTING AND RESERVING FOR THE VILLAGE UTILITIES AND OTHER ENTITIES THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, INSPECT, OPERATE, REPLACE, RENEW, ALTER, ENLARGE, REMOVE, REPAIR, CLEAN AND MAINTAIN VARIOUS UTILITY AND SIMILAR TRANSMISSION, RECEIVING AND DISTRIBUTION SYSTEMS, INCLUDING, BUT NOT LIMITED TO CABLES, LINES, TRANSFORMERS, COMPUTER DEVICES, SANITARY SEWERS, STORM SEWERS, WATER MAINS, AND ANY AND ALL NECESSARY MANHOLES, HYDRANTS, PIPES, CONNECTIONS, CATCH BASINS, BUFFALO BOXES, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH UTILITY AND SIMILAR SERVICE TO THE ATTACHED AREA, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS THE VILLAGE, UTILITIES AND SIMILAR ENTITIES MAY DEEM NECESSARY, USEFUL OR CONVENIENT, TOGETHER WITH A PERMANENT RIGHT OF ACCESS ACROSS THE LOTS AND REAL ESTATE SHOWN ON THIS PLAT OF SUBDIVISION FOR THE NECESSARY PERSONS AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO THE VILLAGE, UTILITIES AND SIMILAR ENTITIES TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH INSTALLATIONS, IN, ON, UPON, ACROSS, OVER, UNDER OR THROUGH SUCH EASEMENTS. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SUCH EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR MUNICIPAL-OWNED UTILITIES, OTHER INSTALLATION OF UTILITIES AND OTHER ENTITIES SHALL BE SUBJECT TO THE PRIOR APPROVAL, AS TO LOCATION AND DESIGN, OF THE VILLAGE SO AS NOT TO INTERFERE WITH THE MUNICIPAL UTILITIES.

STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT PROVISIONS FOR VILLAGE PUBLIC IMPROVEMENTS (V.S.M.C.E.)

A PERPETUAL EASEMENT IS HEREBY GRANTED AND CONVEYED TO THE VILLAGE OF CAROL STREAM, ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS INDICATED AS "STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT FOR VILLAGE PUBLIC IMPROVEMENTS", OR "V.S.M.C.E." TOGETHER WITH ALL RIGHT, PRIVILEGE AND AUTHORITY REASONABLY NECESSARY OR INCIDENTAL THERETO TO RECONSTRUCT, ALTER, GRADE, REGRADE, CLEAN, REPAIR, INSPECT, OPERATE AND MAINTAIN IN AN UNOBSTRUCTED CONDITION A SYSTEM OF STORM DRAIN PIPES, MANHOLES, AND INLETS, FOR THE CONVEYANCE OF STORMWATER RUNOFF TRIBUTARY THERETO TOGETHER WITH THE RIGHT OF ACCESS TO, OVER, UPON AND THROUGH SAID EASEMENT TO PERFORM SAID FUNCTIONS. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE TREES, BUSHES, VEGETATION AND DEBRIS WITHIN SAID EASEMENT AREA THAT CAN REASONABLY BE SHOWN TO OBSTRUCT OR OTHERWISE HINDER THE OPERATION OF SAID EASEMENT AREA FOR THE USES AND PURPOSES HEREIN SET FORTH. NO BUILDINGS, SHEDS, SWIMMING POOLS, FENCES OR OBJECTS AND EQUIPMENT SUBJECT TO DAMAGE DUE TO PERIODIC INUNDATION SHALL BE PLACED ON SAID EASEMENT AND NO EARTH FILL OR EXTRANEOUS MATERIALS SHALL BE DEPOSITED OR EXTENSIVE REGRADING WORK UNDERTAKING THAT WOULD HINDER OR OBSTRUCT THE CONVEYANCE OF STORM DRAINAGE. SAID EASEMENT AREAS MAY BE USED FOR PAVED AREAS, DRAINAGE SWALES, GARDENS, TREES, PLANTS, LAWNS AND OTHER LANDSCAPING IMPROVEMENTS SO LONG AS SUCH USES DO NOT INTERFERE WITH THE AFORESAID EASEMENT USES AND RIGHTS OF THE VILLAGE.

STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT PROVISIONS RELATING TO PRIVATE IMPROVEMENTS TO BE OWNED, CONSTRUCTED, GRADED, CLEANED, OPERATED, INSPECTED, REPAIRED AND OTHERWISE MAINTAINED BY PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION (P.I.S.M.C.E.)

A PERPETUAL EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, ITS SUCCESSORS AND ASSIGNS OVER OUTFLOTS 1 AND 2 AND ALL OF THE AREAS INDICATED AS "STORMWATER MANAGEMENT AND CONVEYANCE EASEMENT FOR PRIVATE IMPROVEMENTS", OR "P.I.S.M.C.E.", TOGETHER WITH ALL RIGHT, PRIVILEGE AND AUTHORITY REASONABLY NECESSARY OR INCIDENTAL THERETO TO CONSTRUCT, RECONSTRUCT, GRADE, REGRADE, CLEAN, REPAIR, INSPECT, OPERATE AND OTHERWISE MAINTAIN IN AN UNOBSTRUCTED CONDITION ANY OVERLAND DRAINAGE SWALES AND A STORMWATER MANAGEMENT BASIN FOR THE CONVEYANCE AND TEMPORARY STORAGE OF STORMWATER RUNOFF TRIBUTARY THERETO TOGETHER WITH THE RIGHT OF ACCESS OVER, UPON AND THROUGH SAID EASEMENT TO PERFORM SAID FUNCTIONS. THE EASEMENT RIGHTS GRANTED HERETO MAY BE EXERCISED BY THE VILLAGE OF CAROL STREAM, IN THE EVENT THAT THE VILLAGE OF CAROL STREAM DETERMINES, IN ITS DISCRETION, THAT THE PRIVATE IMPROVEMENTS HAVE NOT BEEN PROPERLY MAINTAINED BY THE PROPERTY OWNER OR HOMEOWNER'S ASSOCIATION OR ARE NOT PROPERLY FUNCTIONING. THE RIGHT IS FURTHER GRANTED TO THE VILLAGE OF CAROL STREAM TO CUT DOWN, TRIM, OR REMOVE TREES, BUSHES, VEGETATION AND DEBRIS WITHIN SAID EASEMENT AREA THAT CAN REASONABLY BE SHOWN TO OBSTRUCT OR OTHERWISE HINDER THE OPERATION OF SAID EASEMENT AREA FOR THE USES AND PURPOSES HEREIN SET FORTH. NO BUILDINGS, SHEDS, SWIMMING POOLS, FENCES OR OBJECTS AND EQUIPMENT SUBJECT TO DAMAGE DUE TO PERIODIC INUNDATION SHALL BE PLACED ON SAID EASEMENT AND NO EARTH FILL OR EXTRANEOUS MATERIALS SHALL BE DEPOSITED OR EXTENSIVE REGRADING WORK UNDERTAKING THAT WOULD HINDER OR OBSTRUCT THE CONVEYANCE OF STORM DRAINAGE OR DISPLACE ANY STORMWATER STORAGE VOLUME POTENTIALLY AVAILABLE DURING TIMES OF PEAK RUNOFF. IN THE EVENT THAT THE VILLAGE DETERMINES, IN ITS DISCRETION, TO EXERCISE ITS RIGHTS UNDER THIS EASEMENT, THE PROPERTY OWNERS OR HOMEOWNERS ASSOCIATION SHALL PAY ALL COSTS INCURRED BY THE VILLAGE.

PUBLIC WATERMAIN EASEMENT PROVISIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF CAROL STREAM, DUPAGE COUNTY, ILLINOIS, IN, ON, UPON, ACROSS, OVER, UNDER AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "PUBLIC WATERMAIN EASEMENT" ON THIS PLAT, SUCH EASEMENT GRANTING AND RESERVING FOR THE VILLAGE UTILITIES, PRIVILEGE AND AUTHORITY TO INSTALL, CONSTRUCT, RECONSTRUCT, INSPECT, OPERATE, REPLACE, RENEW, ALTER, ENLARGE, REMOVE, REPAIR, CLEAN AND MAINTAIN VARIOUS UTILITY AND SIMILAR TRANSMISSION, RECEIVING AND DISTRIBUTION SYSTEMS, INCLUDING, BUT NOT LIMITED TO WATER MAINS, AND ANY AND ALL NECESSARY MANHOLES, HYDRANTS, PIPES, VALVES, CONNECTIONS, BUFFALO BOXES, AND WITHOUT LIMITATION, SUCH OTHER INSTALLATION AS MAY BE REQUIRED TO FURNISH UTILITY AND SIMILAR SERVICE TO THE ATTACHED AREA, AND SUCH APPURTENANCES AND ADDITIONS THERETO AS THE VILLAGE, UTILITIES AND SIMILAR ENTITIES MAY DEEM NECESSARY, USEFUL OR CONVENIENT, TOGETHER WITH A PERMANENT RIGHT OF ACCESS ACROSS THE LOTS AND REAL ESTATE SHOWN ON THIS PLAT FOR THE NECESSARY PERSONS AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK. THE RIGHT IS ALSO HEREBY GRANTED TO THE VILLAGE, TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, OR OTHER PLANTS THAT INTERFERE WITH THE OPERATION OF OR ACCESS TO SUCH INSTALLATIONS, IN, ON, UPON, ACROSS, OVER, UNDER OR THROUGH SUCH EASEMENT. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SUCH EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES AND RIGHTS. WHERE AN EASEMENT IS USED FOR MUNICIPAL-OWNED UTILITIES, OTHER INSTALLATION OF UTILITIES AND OTHER ENTITIES SHALL BE SUBJECT TO THE PRIOR APPROVAL, AS TO LOCATION AND DESIGN, OF THE VILLAGE SO AS NOT TO INTERFERE WITH THE MUNICIPAL UTILITIES.

LAND SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
I, JEFFREY R. PANKOW, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, #035-003483, HEREBY STATE THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, EXCEPT THE EAST 10 ACRES THEREOF AND EXCEPT FAIR OAKS ROAD AND LIES ROAD, OF SECTION 23, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF WEST CHICAGO, ILLINOIS, WHICH HAS ADOPTED A CITY PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION I OF ARTICLE II OF THE ILLINOIS MUNICIPAL CODES AS HERETOFORE AND HEREAFTER AMENDED.

BASED ON REVIEW OF FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP PANEL NO. 17043C0041J WITH AN EFFECTIVE DATE OF AUGUST 1, 2019, IT IS OUR OPINION THAT THE PROPERTY DESCRIBED HEREON FALL WITHIN ZONE X AS DESIGNATED AND DEFINED BY F.E.M.A.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS
THIS ____ DAY OF _____, A.D., 20____

JEFFREY R. PANKOW
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, A.D., 2024
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRES ON APRIL 30, 2025

CERTIFICATE CONCERNING DRAINAGE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)
THE UNDERSIGNED HEREBY CERTIFY THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL NOT BE CHANGED WITHOUT ADEQUATE PROVISION BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. THE UNDERSIGNED OWNER OR DULY AUTHORIZED AGENT FURTHER ACKNOWLEDGES THE EXISTENCE OF THE ORDINANCES OF THE VILLAGE OF CAROL STREAM AND RESTRICTS THE FUTURE USE OF THE LAND HEREIN SUBDIVIDED IN THAT NO BUILDING PERMITS SHALL BE SOUGHT BY THE UNDERSIGNED OWNER OR AGENT OR THEIR SUCCESSORS IN INTEREST OR ISSUED BY THE VILLAGE FOR CONSTRUCTION OF SUCH LAND UNTIL AND UNLESS THE CONSTRUCTION AND THE CHANGES IN THE LAND BROUGHT ABOUT BY SUCH CONSTRUCTION AND TOPOGRAPHICAL CHANGE COMPLY WITH THE ORDINANCES OF THE VILLAGE RELATING TO SURFACE WATERS, DRAINAGE, WATER RETENTION AND DETENTION, INCLUDING THOSE ORDINANCES ASSURING THE CONSTRUCTION OF SUCH IMPROVEMENTS THROUGH THE POSTING OF SECURITY.

DATED THIS ____ DAY OF _____, A.D. 20____
BY: _____
REGISTERED PROFESSIONAL ENGINEER



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 847014 FILE NAME: SUBPLAT
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 01-08-24 JOB NO.: 847.014
CHECKED BY:
REVISED 03-21-24\AJB PER VILLAGE REVIEW DATED 03-01-24
REVISED 04-25-24\AJB PER VILLAGE REVIEW DATED 02-20-24
REVISED 05-01-24\AJB PER VILLAGE COMMENTS DATED 04-25-24