

# Village of Carol Stream

## AGENDA

### REGULAR MEETING-PLAN COMMISSION/ZONING BOARD OF APPEALS

Monday, August 26, 2024 AT 6:00 P.M.

*ALL MATTERS ON THE AGENDA MAY BE DISCUSSED, AMENDED AND ACTED UPON*

- I. Roll Call: Present:  
Absent:
  
- II. Approval of Minutes: June 24, 2024
  
- III. Public Hearing  
  
**24-0027 – Frain Industries – 245 E. North Ave**  
*Landbanked Parking Variation*  
  
**24-0029 – Universal Metro Asian Services (UMAS) – 1275 County Farm Rd.**  
*Special Use Permit-Adult Daycare*  
  
**24-0033 – Carol Stream Public Library – 616 Hiawatha Dr.**  
*Sign Variation*  
  
**24-0036 – Safeway Transportation Services Corporation – 505 E. North Ave**  
*Special Use Permit-Outdoor Vehicle Storage for School Buses and Vans*
  
- IV. Presentation:
  
- V. Old Business:
  
- VI. New Business:
  
- VII. Report of Officers:
  
- VIII. Adjournment:

**Regular Meeting – Plan Commission/Zoning Board of Appeals  
Gregory J. Bielawski Municipal Center, DuPage County, Carol Stream, Illinois**

***All Matters on the Agenda may be Discussed, Amended and Acted Upon  
June 24, 2024.***

Chairman Parisi called the Regular Meeting of the Combined Plan Commission/Zoning Board of Appeals to order at 6:00 p.m. and directed Sara Van Winkle, Planning and Permitting Assistant, to call the roll.

The results of the roll call vote were:

Present: 5 Commissioners Christopher, Battisto, Morris, Tucek and Chairman Parisi

Absent: 2 Commissioner Petella and Meneghini

Also Present: Tom Farace, Planning and Economic Development Manager; Bravo Berisha, Assistant Planner; Sara Van Winkle, Planning and Permitting Assistant, and a court reporter.

**MINUTES:**

Chairman Parisi asked for a motion to approve the minutes. Commissioner Tucek moved and Commissioner Battisto seconded the motion to approve the minutes of the Regular Meeting held on May 28, 2024.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Battisto, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Petella and Meneghini

The motion passed by a unanimous vote.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to open the Public Hearing. Commissioner Christopher moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Battisto, Morris, Tucek and Chairman Parisi

Nays: 0

Abstain: 0

Absent: 2 Commissioner Petella and Meneghini

The motion passed by unanimous vote.

**Case #24-0026 – Evergreen Elementary School – 1047 Evergreen Dr.**  
*Special Use Permit-Building Addition*

Chairman Parisi swore in Daniel Miletic, Civil Engineer at Ra Smith, 55 Shuman Blvd, Suite 375, Naperville, IL 60563 applicant for Evergreen Elementary School special use permit application along with VP Trinh, project architect with Arcon, 2050 S Finley Rd Suite 40, Lombard, IL 60148. Chairman Parisi also swore in Jim Woell, Superintendent for Benjamin School District, 28W250 St. Charles Rd, West Chicago, IL 60188. Mr. Miletic will have Mr. Woell continue with the presentation. Mr. Woell gives a brief history. Mr. Woell has been with the district for the past 6 years. The school currently houses 375 students and in the past 5 years. Mr. Woell has seen a steady increase in population of the students. Over the past year, the school has conducted a demographic enrollment study that takes information such as number of births in the area to give an estimate on where enrollment numbers may be in the next 5 years. The study has proven that estimated numbers will increase anywhere from 20-168 students and the need for additional classrooms will be a necessity. Mr. Woell continues to talk about the steps they have taken to keep families informed of the projects by holding forums throughout the school year. Mr. Woell also informs the commission that the school district plans to utilize their cash reserve they have been saving and releasing cash bonds to fund the project. At this time, they will not be increasing taxes or using tax dollars for the project. They are anticipating breaking ground in October. Mr. Woell concludes that the district and families are on board with the project and the school has addressed all concerns including drop off and pick up procedures if there is an influx of students.

Chairman Parisi asks if there are any questions from the audience

Mike Quealy, 1084 Buckskin, Carol Stream, IL 60188 approaches the podium. Chairman Parisi swears him in. Mr. Quealy gives a brief history on himself and states he is a long time resident of Carol Stream. He states that his concerns are a few items about this project happening. He is concerned how close the school is coming to his property with the addition. He is also concerned that the school is utilizing estimated data instead of exact or more concrete numbers to build an addition. He makes a final comment about the traffic patterns with drop off and pick up and the concerns he has now without an influx of students.

Mr. Parisi invites Mr. Woell back to the podium to address the questions and concerns.

Mr. Woell states that the school is already to capacity without the influx of students. He states that there is not population needs but programming needs that require additional classrooms. Mr. Woell addresses the drop off and pick up concerns on Buckskin and stated to the resident he will address that individually to each resident who has a concern or comment.

Chairman Parisi invites resident John Prusko, 1062 Buckskin, Carol Stream, IL 60188. Chairman Parisi swears in Mr. Prusko, a resident of Carol Stream for several years. He also has concerns about pick up and drop off and influx of students. Mr. Prusko has multiple questions and concerns about drainage and how it will change and improve once the addition has been completed.

Chairman Parisi answers Mr. Prusko's concerns. Chairman Parisi stated that the Superintendent would address pick up and drop off concerns on Buckskin with him. Chariman Parisi continues to reassure the resident that the engineering department will review the storm water report and the project will need to comply with village and county codes and conditions in order for the project to be approved.

Chairman Parisi asks if there are any other questions from the audience

Mr. Quealy approaches the podium again with additional concerns. He gives a history of the neighborhood and flooding issues in the past.

Chairman Parisi reassures him that engineering will review the storm water report once available. Bravo Berisha, Assistant Planner will read the staff report. Mr. Berisha gives a brief history of the school and data the school has collected to support in favor of building an addition that will add 6 new classrooms and benefit the influx of student population. Mr. Berisha states that staff is supportive of the request and is recommending it.

Chairman Parisi asks if there are any questions from the Commission

Commissioner Battisto asks according to the plans, if the addition will be 97 feet or more away from property lines. In addition, his second question is if the storm water report has been completed.

Mr. Miletic approaches the podium and answers yes the new addition will be 97 feet away from any property lines and no the storm water report had not been completed yet. An initial report has been already sent to engineering to review.

Commissioner Battisto asks if Mr. Miletic or Mr. Woell are aware of any water management issues on the property. Both answered no.

No questions from Commissioner Tucek or Christopher

Commissioner Morris asks if there was a plan in 10 years if the population continues to grow.

Mr. Woell answers that there is a plan in place for 10 years from now. The new design will show a straight hallway that would be able to support 4 more classrooms if there is another influx of students

Chairman Parisi had no questions

Commissioner Battisto moved and Commissioner Christopher seconded the motion with no further discussion.

The results of the roll call vote were:

- Ayes: 5 Commissioners Christopher, Battisto, Morris, Tucek and Chairman Parisi
- Nays: 0
- Abstain: 0
- Absent: 2 Commissioner Petella and Meneghini

The motion passed by unanimous vote.

This case will go before the Village Board on Monday, July 1, 2024, at 6:00 PM for review.

**PUBLIC HEARING:**

Chairman Parisi asked for a motion to close the Public Hearing. Commissioner Christopher moved and Commissioner Tucek seconded the motion.

The results of the roll call vote were:

- Ayes: 5 Commissioners Christopher, Battisto, Morris, Tucek and Chairman Parisi

Nays: 0  
Abstain: 0  
Absent: 2 Commissioner Petella and Meneghini

The motion passed by unanimous vote.

**PRESENTATION:**

Annual Progress Report – Comprehensive Plan Implementation

Mr. Berisha gave an overview of the projects and initiatives worked on over the past year.

**NEW BUSINESS:**

There was a brief discussion regarding several properties and projects in Carol Stream.

**OLD BUSINESS:**

**OTHER BUSINESS:**

Mr. Farace stated the July 8, 2024 meeting can be canceled due to no cases for that date.

Chairman Parisi asked for a motion to cancel the meeting. Commissioner Christopher moved and Commissioner Battisto seconded the motion to cancel the July 8, 2024 meeting. The motion passed by unanimous vote.

**ADJOURNMENT:**

At 6:48 p.m. Commissioner Morris moved and Commissioner Tucek seconded the motion to adjourn the meeting.

The results of the roll call vote were:

Ayes: 5 Commissioners Christopher, Morris, Petella, Tucek and Chairman Parisi  
Nays: 0  
Abstain: 0  
Absent: 2 Commissioner Petella and Meneghini

The motion passed by unanimous vote.

FOR THE COMBINED BOARD

Recorded and transcribed by,

\_\_\_\_\_  
Sara Van Winkle  
Planning and Permitting Assistant

Minutes approved by Plan Commission on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

August 26, 2024

**TO:**  
Chairperson and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning &  
Economic Development  
Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

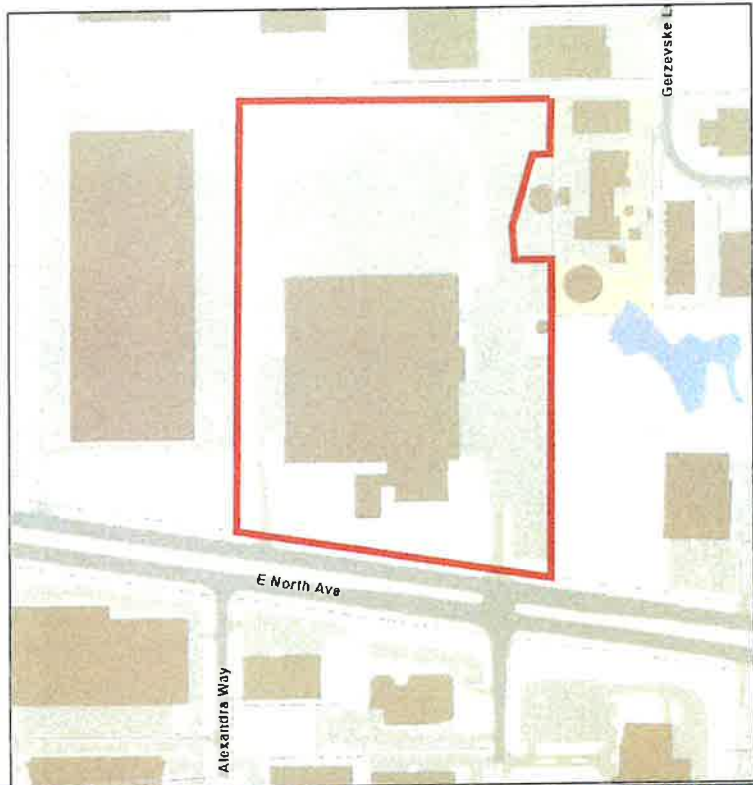
- A Variation for Landbanked Parking, in accordance with Section 16-5-2 (B)(4)(b)(iii) of the Carol Stream UDO

**APPLICANT/ CONTACT:**

Ms. Jamie Bonnevier  
DSI Group  
1900 Spring Road, Suite 510  
Oak Brook, IL 60523



**CASE #:** 24-0027  
**LOCATION:** 245 E. North Avenue  
**PROJECT NAME:** DSI Group / Frain Industries



| LOCATION         | ZONING DISTRICT       | LAND USE  | COMPREHENSIVE PLAN DESIGNATION |
|------------------|-----------------------|---|--------------------------------|
| Subject Property | I Industrial District | Industrial  | Industrial                     |
| North            | I Industrial District | Industrial (Multi Tech)   | Industrial                     |
| South            | I Industrial District | Industrial (Sheet Metal Workers Local 265, DuPage Training Academy) | Industrial                     |
| East             | I Industrial District | Industrial (Carol Stream Public Works, R.S. Hughes)                 | Industrial                     |
| West             | I Industrial District | Industrial (CoreCentric Solutions)                                  | Industrial                     |

The subject property highlighted above is located on the north side of North Avenue and east of Gary Avenue.

---

## Site Assessment

---

### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses according to the Village's 2016 Comprehensive Plan.

### AERIAL PHOTOGRAPH:





---

## Project Summary

---

### ATTACHMENTS:

Attached for review is the General Application, Variation Application, Cover Letter from DSI Timber Hill dated July 22, 2024, Public Notice, Site Plan (Exhibit A), Landscape Plans (Exhibits B-1, B-2, and B-3), Building Elevations (Exhibit C), and Existing and Proposed Floor Plan (Exhibits D-1 and D-2).

### BACKGROUND:

Ms. Jamie Bonnevier, Senior Preconstruction Manager with DSI Group, requests approval of a landbanked parking variation for Frain Industries at 245 E. North Avenue. Frain, a supplier of used packaging and processing equipment, moved into the 330,000 square-foot 245 E. North Avenue building in 2013. Frain proposes to construct a 200,000 square-foot warehouse addition on the north side/rear of the building. Since the addition is more than 400 feet away from North Avenue, it does not require North Avenue Corridor (NAC) Review by the PC/ZBA. However, it should be noted that the addition will be constructed of precast concrete panels. With the addition, additional on-site parking spaces are required per the UDO. Frain does not anticipate increasing its employee count with the addition, and is requesting a variation to landbank the additional parking spaces until such time as needed.

It should also be noted that the original proposal included a request for a special use permit for outdoor storage, in order to maintain an area on the west side of the property for the storage of equipment outside of the building. However, Frain ownership has indicated that all equipment storage will be located within the building, and the special use request is no longer necessary.

---

## Staff Analysis

---

### LANDBANKED PARKING VARIATION

As previously described, Frain Industries proposes to construct a 200,000 square-foot warehouse addition on the rear of the building. According to the UDO, on-site parking requirements for the subject property, with the inclusion of the addition, is as follows:

| Use of Space                                       | Area of Use* (NFA) | Code Requirement | Spaces Required |
|--|--------------------|------------------|-----------------|
| Office   | 2,583 sq ft        | 1/250 sq ft      | 10              |
| Manufacturing                                      | 19,897 sq ft       | 1/600 sq ft      | 33              |
| Warehouse (with addition)                          | 441,860 sq ft      | 1/1,500 sq ft    | 294             |
| <b>Total Number of Spaces Required:</b>            |                    |                  | <b>338</b>      |
| <b>Total Existing Spaces:</b>                      |                    |                  | <b>235</b>      |
| <b>Total Number of Proposed Landbanked Spaces:</b> |                    |                  | <b>103</b>      |

The proposed addition will be used for equipment storage purposes only, and Frain proposes to landbank 103 parking spaces. Section 16-5-2 (B)(4)(b)(iii) of the UDO states the following:

*“Landbanking of required parking spaces may be permitted when approved as a variation, provided the owner of the property demonstrates through employee counts that the total number of parking spaces required using the square footage parking requirements outlined herein are not necessary and there is sufficient usable land area available on the subject property to provide the required parking spaces if deemed necessary by the village in the future.”*

Frain currently has 92 employees, and does not anticipate increasing its employee count with the proposed addition. The existing 235 on-site parking spaces more than accommodates the current number of employees, but there is existing paved area on the east side of the property to install the additional parking spaces required per the UDO (see submitted site plan). Rather than provide striped parking spaces at this time that are not necessary, the applicant requests to landbank the spaces until such time as needed. Two additional things worth noting:

- The PC/ZBA has recommended approval to allow landbanked parking spaces at several other industrial properties, including Demar Logistics at 910 Kimberly Drive, Time Savers Inc. at 725 Kimberly Drive, 3 Phase Line Construction at 300 Westgate Drive, and IG Commercial at 775 Kimberly Drive.
- If and when additional parking spaces are installed on the subject property, landscaped parking lot islands will also be installed to meet requirements of the UDO.

Staff supports the variation request, but recommends conditions of approval for the request. Should the variation be approved, it should be granted to Frain Industries only, and not to the property, as a subsequent business in the building would likely have different employee counts and operational considerations that would result in different parking demand characteristics. Variations typically “run with the land,” which means that they continue to exist in perpetuity, even for future property owners. In this particular case, the factors that allow staff to support landbanked parking are unique to this particular business and its operations, and this is why staff recommends that the variation be granted to the business and not the property.

In addition, staff recommends that Frain repair existing pavement on the property once the building addition project is completed. There are significant areas of deteriorating pavement, but it is not practical to repair the pavement prior to the construction of the building addition and inclusion of construction vehicles driving over said pavement. Likewise, existing landscaping on the property is in need of attention, and Frain has agreed to trim and maintain existing landscaping on the property, as well as install plant material around the addition per the requirements of the UDO. Finally, staff recommends that any outdoor storage on the property be stored inside the building within 30 days of the issuance of a certificate of occupancy for the building addition.

## VARIATION FINDINGS OF FACT

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K)(5) of the UDO:

1. The requested variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional action.

With 235 existing on-site parking spaces and 92 employees, it has been determined to not be necessary to install 125 additional parking spaces in conjunction with the building addition given the abundance of parking.

2. The variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

Since the landbanked parking would be located on existing paved areas, the requested variation should not alter the character of the area or impact adjacent properties.

3. The strict application of the applicable standards will constitute an unnecessary physical hardship (not economic hardship) because the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

Based on the employee counts of the business, the number of parking spaces required by the UDO creates something of a hardship by requiring parking spaces that will not be needed.

4. The variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO.

The subject property currently contains more than twice the required parking per the UDO for the business, and employee counts will not increase due to the construction of the building addition.

5. The variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan.

The landbanked variation request will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the comprehensive plan.

## RECOMMENDATION

Staff has reviewed the variation request, and can support landbanked parking for the subject business. Therefore, staff recommends approval of a landbanked parking variation for DSI Group/Frain Industries, located at 245 E. North Avenue, Case No. 24-0027, subject to the following conditions:

1. That if there is evidence in the future that there is insufficient on-site parking, then additional on-site parking shall be required to be provided, and that the Village shall work with Frain Industries in determining how many additional parking spaces shall need to be installed;
2. That the landbanked parking variation shall be specifically granted to Frain Industries and not to the property, and that at the time that a new tenant enters the building, the property owner shall either apply for a reaffirmation of the landbanked parking variation, which will require review by the Plan Commission/Zoning Board of Appeals and final approval by the Village Board, or they shall provide the number of parking spaces required by the Unified Development Ordinance based upon the use of space of the building tenant;
3. That a building permit for the required pavement repair work shall be applied for within 30 days of the issuance of the certificate of occupancy for the building addition, with the paving work completed within 180 days of the issuance of said permit;
4. That the landscape materials must be installed as shown on the attached landscape plan, and that all materials (new and existing) shall be maintained in a healthy condition, with dead or dying materials being replaced in accordance with the approved plan on an annual basis;
5. That all outdoor storage shall be removed from the property and stored inside the building within 30 days of the issuance of a certificate of occupancy for the building addition; and
6. That the site must be maintained and the business must be operated in accordance with all State, County and Village codes and regulations.



RECEIVED

JUN 24 2024

Community Development Department

|                            |           |
|----------------------------|-----------|
| Do Not Write in This Space |           |
| Date Submitted:            | 7.24.24   |
| Fee Submitted:             | \$1640.00 |
| File Number:               | 24-0027   |
| Meeting Date:              | 8/26/24   |
| Public Hearing Required:   | Y         |

# Village of Carol Stream

500 N. Gary Avenue ▪ Carol Stream, IL 60188

PHONE 630.871.6230 ▪ FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Jamie Bonnevier Phone 708-334-7135  
 Address 1900 Spring Road Suite 510 Oak Brook, IL 60523 Fax N/A  
 E-Mail Address jbonnevier@dsi-group.com  
 (required)  
 Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_  
 (if represented)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_  
 Name of Owner Dale Hammersmith Phone 630-327-2144  
 (required if other than applicant)  
 Address 245 E. North Ave. Carol Stream, IL 60188 Fax \_\_\_\_\_  
 Name of Architect Architects Plus Design Studio PLLC/John White Phone 847-624-4425  
 (if applicable)  
 Address 1320 Nelson Circle Wheaton, Illinois 60189 Fax \_\_\_\_\_

2. \*Common Address/Location of Property 245 E. North Ave. Carol Stream, IL 60188

3. Requested Action: (check all that apply)

|  |  |
|--|--|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                         |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances               |
| <input type="checkbox"/> Development Staff Review          | <input checked="" type="checkbox"/> Variation – Zoning (requires Form B-1) |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)              |
| <input type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)             |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C)              |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)                 |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)                 |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)                |

Describe requested action We are submitting for a Variance Request to land-bank parking for Frain Industries

4. Fee Schedule: (Check all that apply) Total Application Fee: \$ 640.00

|   |  |         |
|---|--|---------|
|   | Annexation approvals:  |         |
|   | New development  | \$2,000 |
|   | Other  | \$800   |
|   | Annexation Agreement Amendment   | \$800   |
|   | Appearance fee for approvals required by the UDO but not listed herein | \$500   |
|   | Courtesy Review  | \$240   |
|   | Development Staff Review   | \$640   |
|   | Easement Encroachment  | \$300   |
|   | Gary/North Avenue Corridor Review:                                     |         |
|   | New or replacement monument sign                                       | \$500   |
|   | One discipline (site design, architecture or landscaping)              | \$500   |
|   | Two disciplines  | \$1,000 |
|   | Three disciplines  | \$1,500 |
|   | New development  | \$1,500 |
|   | Outdoor Dining Permit  | \$120   |
|   | Planned Development:   |         |
|   | Existing Planned Development, minor change                             | \$500   |
|   | Existing Planned Development, major change                             | \$1,000 |
|   | New Planned Development  | \$1,500 |
|   | Rezoning (Zoning Map Amendment)  | \$640   |
|   | Shared Parking Facility Permit   | \$500   |
|   | Site Plan Review   | \$640   |
|   | Special Use:   |         |
|   | First  | \$800   |
|   | Each additional  | \$200   |
|   | Special Use Amendment  | \$800   |
|   | Staff Adjustment   | \$240   |
|   | Subdivision:   |         |
|   | Major  | \$700   |
|   | Minor  | \$400   |
|   | Temporary Building, Structure or Use                                   | \$120   |
|   | Temporary Waiver to the Code of Ordinances                             | \$120   |
|   | Text Amendment:  |         |
|   | Building Codes   | \$240   |
|   | Unified Development Ordinance  | \$640   |
|   | Variation:   |         |
| X | First  | \$640   |
|   | Each additional  | \$200   |
|   | Zoning verification letter   | \$80    |

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

Jamie Bonnevier

Print Name

Jamie Bonnevier

Digitally signed by Jamie Bonnevier  
DN: cn=US, email=jamiebbonnevier@gmail.com, cn=Jamie  
Bonnevier  
Date: 2024.07.19 17:06:39-0500

Signature

7.19.24

Date

7.19.24

RECEIVED

JUN 24 2024

Community Development  
Department



FORM B-1

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## GENERAL VARIATIONS

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Variations.

In accordance with the applicable statutes of the State of Illinois, no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Unified Development Ordinance (UDO) and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following conditions: (Please respond to each of these standards in writing below as it relates to your request.)

1. The requested Variation arises from conditions that are unique to the subject property, that are not ordinarily found in the same zoning district and that are not a result of the owner's intentional actions.

Frain Industries currently has 235 parking stalls within the property. They have 92 ~~employees as the majority of their building is occupied with large processing, packaging and line integration equipment. They plan to add on 200,000SF of strictly equipment warehouse, not hiring anymore employees. This addition~~ requires an additional 125 parking spaces that will never be utilized based on the ~~number of individuals Frain employs, hence Frain is asking for a variance to~~ land-bank this parking.

2. That the Variation to be granted will not alter the essential character of the neighborhood in which the subject property is located, nor substantially or permanently impair use or development of adjacent property.

Frain Industries has occupied this site for the last XX years. By adding onto the building, they are staying within in the limits of the current property use as well as adjacent property uses. The addition will be at the rear of their current facility and by land-banking the parking this will not alter or impair the use of the adjacent properties.



3. That the conditions of a Variation will constitute of an unnecessary physical hardship (not economic hardship), in which the property cannot be used for an otherwise allowed use without coming into conflict with applicable site development standards.

Frain Industries currently and in the future will not employ the necessary individuals to warrant the need for over 340+ parking stalls. Per the site plan that shows the ability to install the land-bank parking, this allows for them to be installed in the future therefore will not constitute any physical hardship for Frain Industries or a future property owner.

4. The Variation is the minimum action necessary to alleviate the hardship and observes the spirit of this UDO

Frain Industries is maintaining the spirit of the UDO throughout its addition process and has the ability to provide the required parking in the future, taking necessary action to alleviate this hardship for any future property owners.

5. The Variation desired will not adversely affect the public health, safety, or general welfare or impair the purposes or intent of this UDO or the Comprehensive Plan.

The process to land-bank the code required parking does not adversely affect the public health, safety of general welfare. It also does not impair the intent of the UDO. As stated previously, the space for the parking is available and can be installed at a later date.

6. Other pertinent information or reason for the request.

None at this time.



RECEIVED

JUL 24 2024

Community Development  
Department

July 22, 2024

Plan Commission/Zoning Board of Appeals  
Village of Carol Stream

Re: Frain Industries Land-bank Parking Variance

Dear Plan Commission/Zoning Board of Appeals:

Development Solutions, Inc. is writing on behalf of Frain Industries to request a variance for the parking stalls that are required per code associated with the 200,000SF warehouse building addition at Frain Industries, 245 E. North Avenue.

Frain Industries has operated in Carol Stream for the past 10 years. They sell and lease packaging, processing and line integration equipment and have continued to grow now needing additional warehouse space for the equipment they sell and lease. Frain currently employs 92 people at their Carol Stream location. They have 235 parking stalls on site which is ample parking for their employees and visitors. Per the current zoning code and the net SF of the existing building, Frain only needs 213 parking stalls so they have more than required for their existing space. After the 200,000SF addition is complete, they do not intend to hire any new employees as it is just space needed to store more equipment. After reviewing the zoning code, the 200,000SF addition will require an additional 125 parking spaces to be installed. As noted previously, once the addition is complete, there will only be 92 employees so providing a total of 340+ parking stalls for 92 employees and a few visitors is well beyond the needs of Frain Industries.

Frain Industries is asking for relief on the parking quantities with the understanding that there is currently room within the property limits to accommodate this parking quantity per the site plan included. If their employee counts grow or a new tenant occupies the building, there is space to provide the code required parking at that time.

Thank you for reviewing this request for a variation. If you have any questions, please do not hesitate to call me or contact Frain Industries directly.

Very truly yours,

Jamie Bonnevier  
Senior Preconstruction Manger

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 7, 2024 and the last publication of the notice was made in the newspaper dated and published on August 7, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

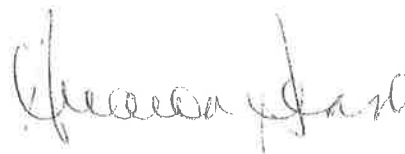
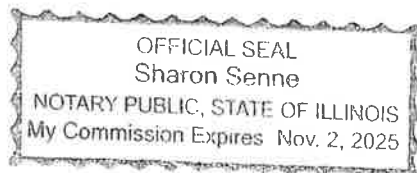
In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 7, 2024.

Examiner Publications, Inc.

By: Publisher   
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of August, A.D. 2024.

Notary Public



## LEGAL NOTICE FILE #24-0027

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 26, 2024 at 6:00 p.m. to consider an application from Frain Industries for the following actions:

A Variation to Landbank Parking Spaces, in accordance with Section 16-5-2 (B)(4)(b)(iii) of the Carol Stream Unified Development Ordinance, and

A Special Use Permit for Outdoor Storage, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance

For the property located at 245 E. North Avenue (PIN 02-32-400-019)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/register/WN\\_GBKc8b6sOEgH4HgPTZ6W6Q](https://us02web.zoom.us/join/register/WN_GBKc8b6sOEgH4HgPTZ6W6Q)

Or join by phone: Dial (for higher quality, dial a number based on your current location)

+1 312 626 6799 or +1 301 715 8502 or +1 646 558 8656

Webinar ID: 890 7449 3279

International numbers available

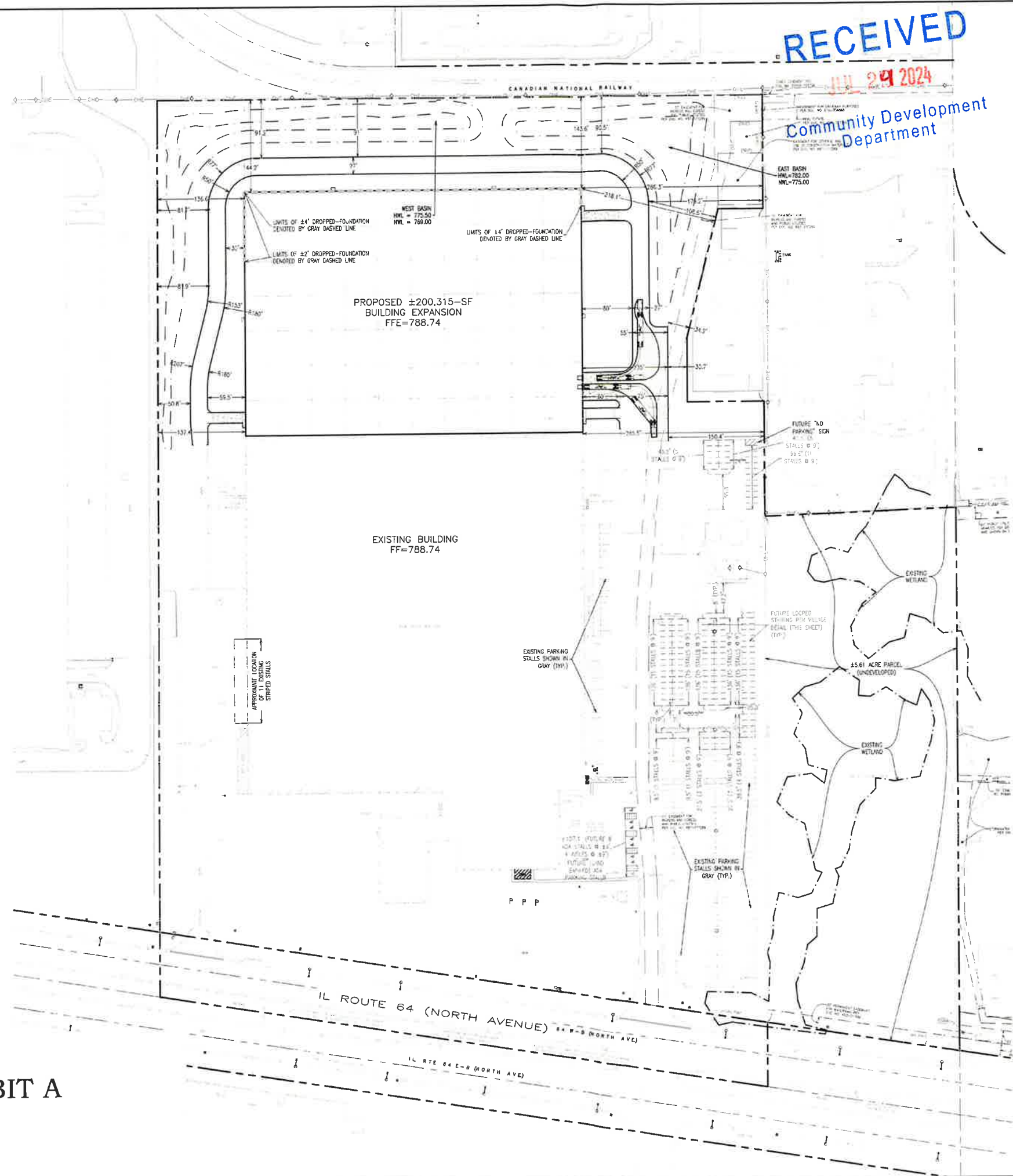
<https://zoom.us/j/adsnXEZQIK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.ari/cp> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, AICP, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* August 7, 2024 0807

H:\V\H177\A\Drawg\Final\Exhibits\H177-Site Plan-Exhibit.dwg

EXHIBIT A



RECEIVED

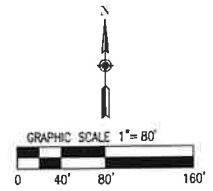
JUL 29 2024

Community Development Department

SITE AND PARKING INFORMATION:

SITE LOCATION:  
245 E. NORTH AVENUE  
CAROL STREAM, ILLINOIS

PROJECT SITE AREA = 29.28 ACRES\*  
 \*EAST ADJACENT (±5.61 ACRE) PARCEL NOT INCLUDED  
 PROPOSED BUILDING EXPANSION = ±200,315-SF  
 EXISTING CAR PARKING STALLS = 235 STALLS (INCLUDES 2 ADA STALLS)  
 PARKING STALLS REQUIRED FOR EXISTING BUILDING (SEE FRAIN PARKING COUNTS BELOW) = 213 STALLS  
 PARKING STALLS REQUIRED FOR PROPOSED BUILDING ADDITION = 125 STALLS (1 PER 1,500-SF)  
 TOTAL PARKING STALLS REQUIRED = 338 STALLS  
 EXISTING PARKING STALLS PROVIDED = 235 STALLS  
 LAND BANKED (FUTURE) PARKING = 108 STALLS  
 TOTAL = 339 (INCLUDES 8 ADA STALLS)



Frain Parking counts

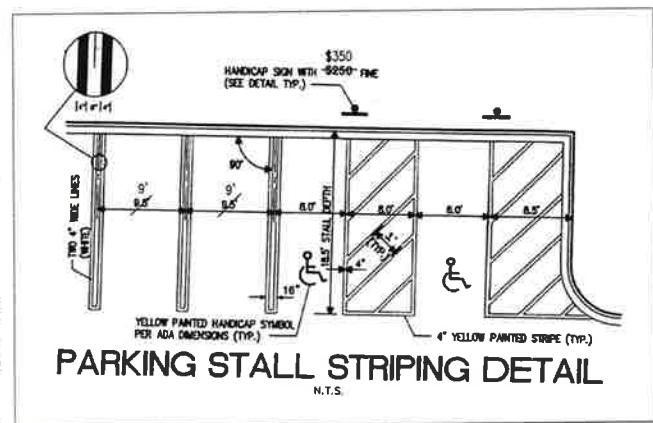
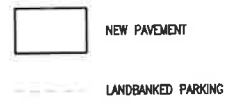
Existing Building-using current zoning code

|                                | net SF | parking ratio | # of stalls |
|--------------------------------|--------|---------------|-------------|
| Office                         | 2583   | 1/250SF       | 10          |
| Manufacturing                  | 19897  | 1/600SF       | 33          |
| Warehouse Storage/Mezz Storage | 253911 | 1/1500SF      | 169         |
|                                |        |               |             |
|                                |        |               |             |
|                                |        |               |             |
|                                |        |               |             |
| Total spaces                   |        |               | 213         |
| Total striped spaces           |        |               | 235         |

New Building Addition-using current zoning code

|                    | net SF | parking ratio | # of stalls |
|--------------------|--------|---------------|-------------|
| Storage            | 187949 | 1/1500SF      | 125         |
|                    |        |               |             |
|                    |        |               |             |
| Total spaces req'd |        |               | 125         |

PAVEMENT LEGEND



|                             |             |                       |      |
|-----------------------------|-------------|-----------------------|------|
| PRELIMINARY SITE PLAN       |             | 7/17/24               |      |
| FRAIN SPEC BUILDING         |             | SITE PLAN RESUBMITTAL |      |
| CAROL STREAM, ILLINOIS      |             | ISSUED FOR REVIEW     |      |
| DEVELOPMENT SOLUTIONS, INC. |             | 6/17/24               |      |
| No.                         | Description | No.                   | Date |
| 1                           |             |                       |      |
| 2                           |             |                       |      |

JACOB & HEFNER ASSOCIATES  
 1233 Butterfield Rd., Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4800, FAX: (630) 597-4601  
 www.jacobandhefner.com

1"=80'  
 H177  
 EXHIBIT

RECEIVED

JUL 24 2024

Community Development  
Department

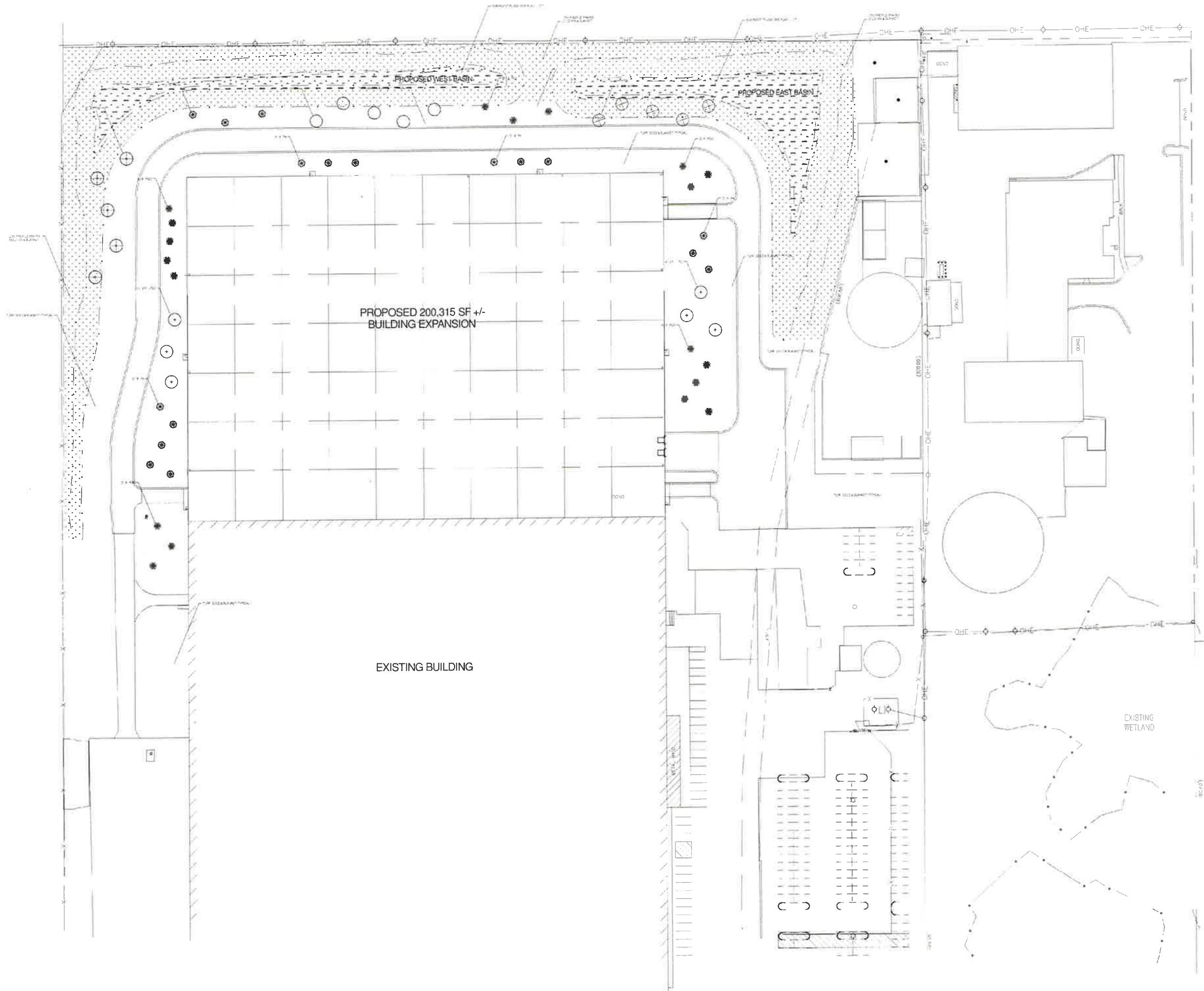


EXHIBIT B-1



SCALE: 1"=50'



REVISIONS:

DOWDEN DESIGN GROUP  
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING  
P.O. BOX 415, LIBERTYVILLE, IL. 60048  
DOWDENDESIGNGROUP.COM PHONE: (847) 382-1254

FRAIN INDUSTRIES  
245 EAST NORTH AVENUE  
CAROL STREAM, ILLINOIS

LANDSCAPE PLAN

DATE: 07.17.24  
SCALE: 1"=50'  
DRAWN: CJD

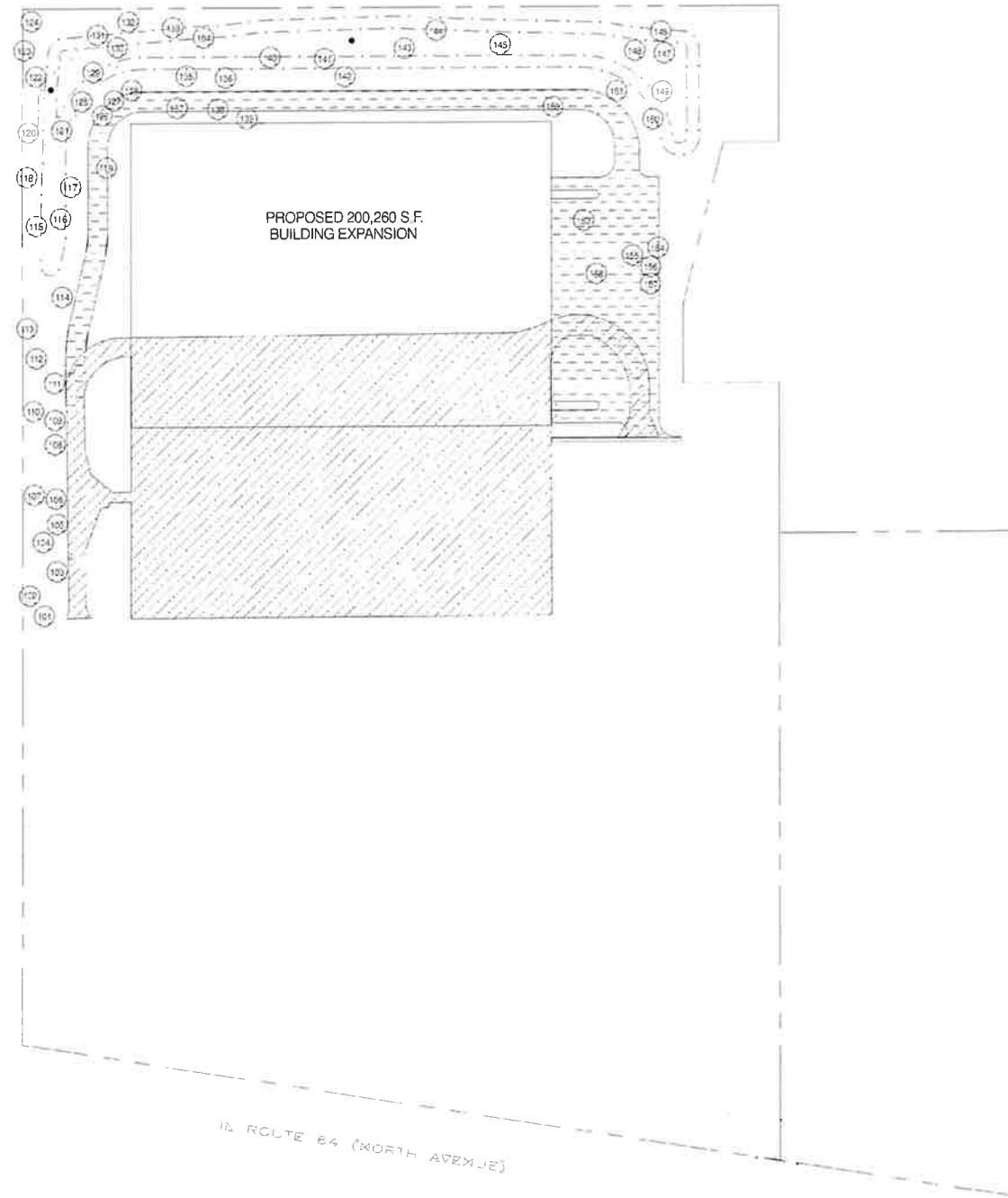


L101

RECEIVED

JUL 24 2024

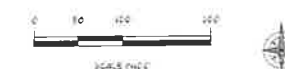
Community Development  
Department



**TREE SURVEY & PROTECTION PLAN**

| Tree # | Common Name        | Botanical Name       | Size | Condition | Action   |
|--------|--------------------|----------------------|------|-----------|----------|
| 101    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Maintain |
| 102    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Maintain |
| 103    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Maintain |
| 104    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Maintain |
| 105    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Maintain |
| 106    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Maintain |
| 107    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Maintain |
| 108    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Maintain |
| 109    | Eastern Cottonwood | Populus deltoides    | 16"  | Fair-Poor | Maintain |
| 110    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Maintain |
| 111    | Eastern Cottonwood | Populus deltoides    | 16"  | Fair-Poor | Maintain |
| 112    | Siberian Elm       | Ulmus pumila         | 10"  | Fair-Poor | Maintain |
| 113    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Maintain |
| 114    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 115    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 116    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Remove   |
| 117    | Box Elder          | Acer negundo         | 10"  | Poor      | Remove   |
| 118    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 119    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 120    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Remove   |
| 121    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Remove   |
| 122    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Remove   |
| 123    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Remove   |
| 124    | Eastern Cottonwood | Populus deltoides    | 16"  | Fair-Poor | Remove   |
| 125    | Siberian Elm       | Ulmus pumila         | 10"  | Fair-Poor | Remove   |
| 126    | Box Elder          | Acer negundo         | 10"  | Poor      | Remove   |
| 127    | Box Elder          | Acer negundo         | 8"   | Poor      | Remove   |
| 128    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 129    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 130    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 131    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 132    | Black Locust       | Robinia pseudoacacia | 8"   | Poor      | Remove   |
| 133    | Box Elder          | Acer negundo         | 12"  | Fair-Poor | Remove   |
| 134    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 135    | Eastern Cottonwood | Populus deltoides    | 18"  | Fair-Poor | Remove   |
| 136    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 137    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 138    | Box Elder          | Acer negundo         | 10"  | Fair-Poor | Remove   |
| 139    | Eastern Cottonwood | Populus deltoides    | 14"  | Poor      | Remove   |
| 140    | Siberian Elm       | Ulmus pumila         | 10"  | Fair-Poor | Remove   |
| 141    | Eastern Cottonwood | Populus deltoides    | 16"  | Fair-Poor | Remove   |
| 142    | Box Elder          | Acer negundo         | 10"  | Poor      | Remove   |
| 143    | Box Elder          | Acer negundo         | 12"  | Poor      | Remove   |
| 144    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Remove   |
| 145    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 146    | Box Elder          | Acer negundo         | 10"  | Poor      | Remove   |
| 147    | Eastern Cottonwood | Populus deltoides    | 14"  | Fair-Poor | Remove   |
| 148    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 149    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 150    | Box Elder          | Acer negundo         | 8"   | Fair-Poor | Remove   |
| 151    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 152    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 153    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 154    | Eastern Cottonwood | Populus deltoides    | 8"   | Fair-Poor | Remove   |
| 155    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |
| 156    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 157    | Eastern Cottonwood | Populus deltoides    | 10"  | Fair-Poor | Remove   |
| 158    | Eastern Cottonwood | Populus deltoides    | 12"  | Fair-Poor | Remove   |

**EXHIBIT B-2**



REVISIONS:

**DOWDEN DESIGN GROUP**  
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING  
 P.O. BOX 415, LIBERTYVILLE, IL 60048  
 DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

**FRAIN INDUSTRIES**  
 245 EAST NORTH AVENUE  
 CAROL STREAM, ILLINOIS

LANDSCAPE PLAN

DATE: 07.17.24  
 SCALE: 1"=100'  
 DRAWN: CJD

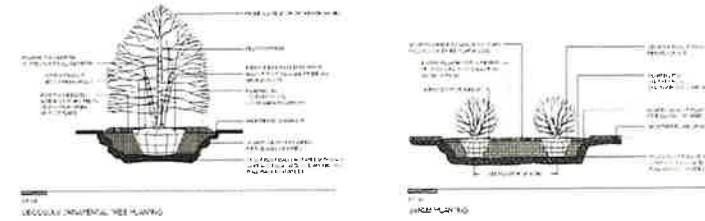
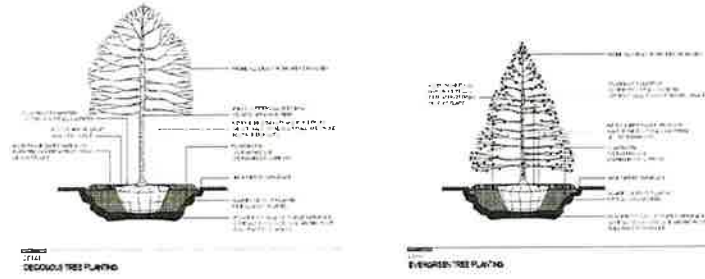


L102

RECEIVED

JUL 24 2024

Community Development Department



LOW-PROFILE PRAIRIE SEED MIX

Table with 3 columns: Common Name, Botanical Name, PLS Oz/Acre. Lists plants like Permanent Grasses (Bouteloua curtipendula, Carex spp., etc.) and Temporary Cover (Avena sativa).

Table with 3 columns: Common Name, Botanical Name, PLS Oz/Acre. Lists various Forbs such as Lead Plant, Common Milkweed, Butterfly Weed, etc.

EMERGENT PLUGS PLANT LIST (24" o.c.)

Table with 4 columns: Common Name, Botanical Name, Qty., Units. Lists plants like Sweet Flag, River Bulrush, Cardinal Flower, etc.

PREMIUM BLUEGRASS SEED MIX (4-5 LBS/1000 S.F.)

Table with 4 columns: MIX %, SEED, GERMINATION, ORIGIN. Lists seed types like AWARD KENTUCKY BLUEGRASS, JACKPOT KENTUCKY BLUEGRASS, etc.

PLANT LIST

Table with 5 columns: Qty., Common Name, Botanical Name, Size, Remarks, Key. Lists trees and shrubs like State Street Miyabe Maple, Redpointe Maple, Emerald City Tulip Tree, etc.

NOTES:

- 1) The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
2) All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
3) Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
4) Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree to the base of the trunk and root crown are exposed.
5) Prepare all perennial beds with one cubic yard of garden compost per 100 sq ft and the compost shall be rototilled to an 8" depth.
6) All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
7) Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
8) The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with, and verify, working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
9) Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
10) Turf shall be Premium Bluegrass Mix seed and blanket in all disturbed areas except where sod is rolled.
11) Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administrator may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
12) Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
13) Bare root plants shall not be allowed.
14) All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.

REVISIONS:

DOWDEN DESIGN GROUP LANDSCAPE ARCHITECTURE, DESIGN & PLANNING P.O. BOX 415, LIBERTYVILLE, ILL. 60048 DOWDENDESIGNGROUP.COM PHONE: (647) 362-1254

FRAIN INDUSTRIES 245 EAST NORTH AVENUE CAROL STREAM, ILLINOIS

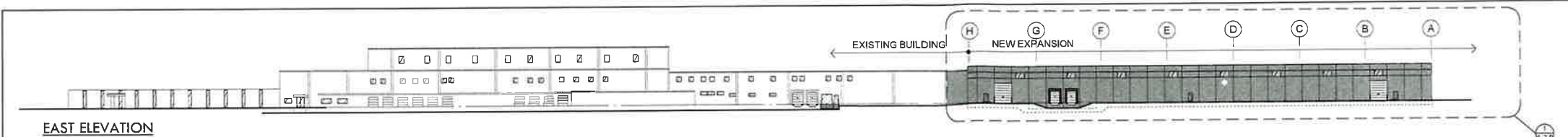
LANDSCAPE PLAN

DATE: 07.17.24 SCALE: NONE DRAWN: CID

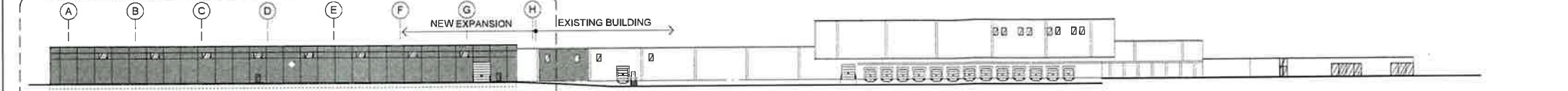


L103

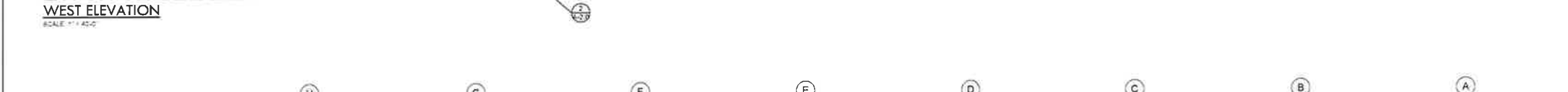
EXHIBIT B-3



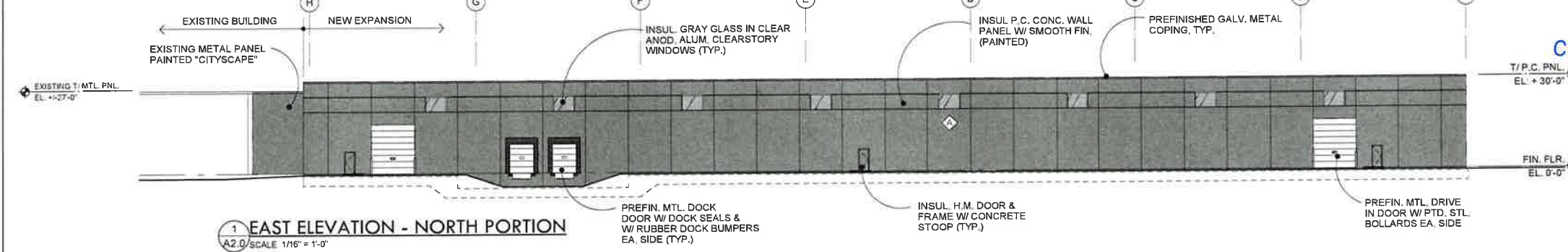
**EAST ELEVATION**  
SCALE 1" = 40'-0"



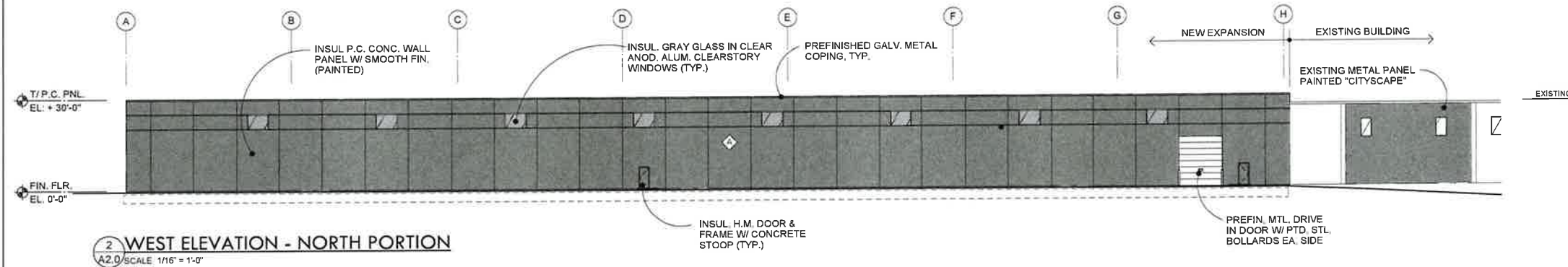
**WEST ELEVATION**  
SCALE 1" = 40'-0"



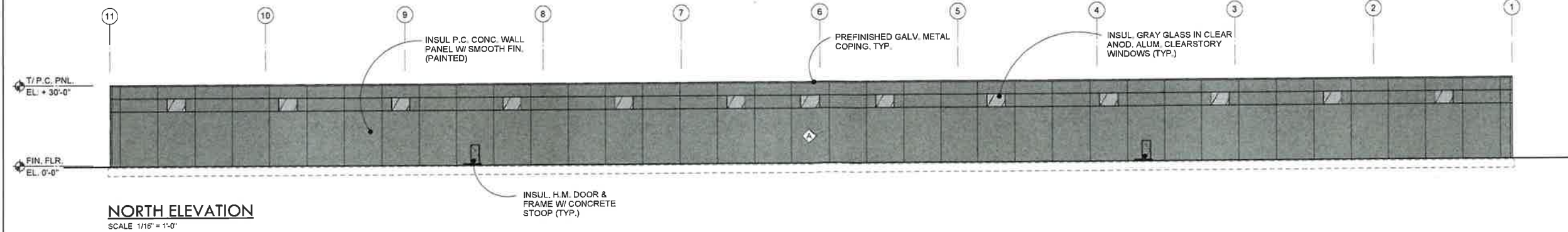
**1 EAST ELEVATION - NORTH PORTION**  
A2.0 SCALE 1/16" = 1'-0"



**2 WEST ELEVATION - NORTH PORTION**  
A2.0 SCALE 1/16" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/16" = 1'-0"



**COLOR LEGEND**

EXTERIOR PRECAST TO BE COLORED WITH SUPER PAINT BY SHERWIN WILLIAMS G.C. TO MATCH SHERWIN WILLIAMS COLORS SELECTED BELOW

- CITYSCAPE - SW 7057 SHERWIN WILLIAMS
- FASCIA & GRAVEL STOP PAC-CLAD CITYSCAPE
- COPING @ ENTRY WING WALL PAC-CLAD INTERSTATE BLUE
- INSUL. MTL. DOORS/FRAMES FRAME - PAINTED TO MATCH PRECAST DOOR - PAINTED TO MATCH PRECAST
- PUNCHED WINDOWS FRAMES - CLEAR ANODIZED ALUMINUM INSUL. GLASS - GREY TINTED
- OVERHEAD DOORS DRIVE-IN DOORS - PREFINISHED WHITE DOCK DOORS - PREFINISHED WHITE
- PIPE BOLLARDS SAFETY YELLOW

**RECEIVED**  
 JUL 20 2024  
 Community Development Department

OWNER

GENERAL CONTRACTOR

**DSI**  
 THE DSI GROUP

STRUCTURAL ENGINEER

**Structural**  
**ENGINITY**  
*Ingenius in Engineering*  
Following the Edge - in SBE Structural Solutions Inc.

ARCHITECT

DESIGN FIRM (S&DEVELOP, ESTIMATION) # J2222

**Architects**  
**plus**  
*designstudio, LLC*

1330 NELSON CIRCLE  
 WHEATON, ILLINOIS 60189 • 847.624.4425  
 COPYRIGHT © 2023  
 BY ARCHITECTS PLUS DESIGN STUDIO, LLC

NEW WAREHOUSE EXPANSION FOR:

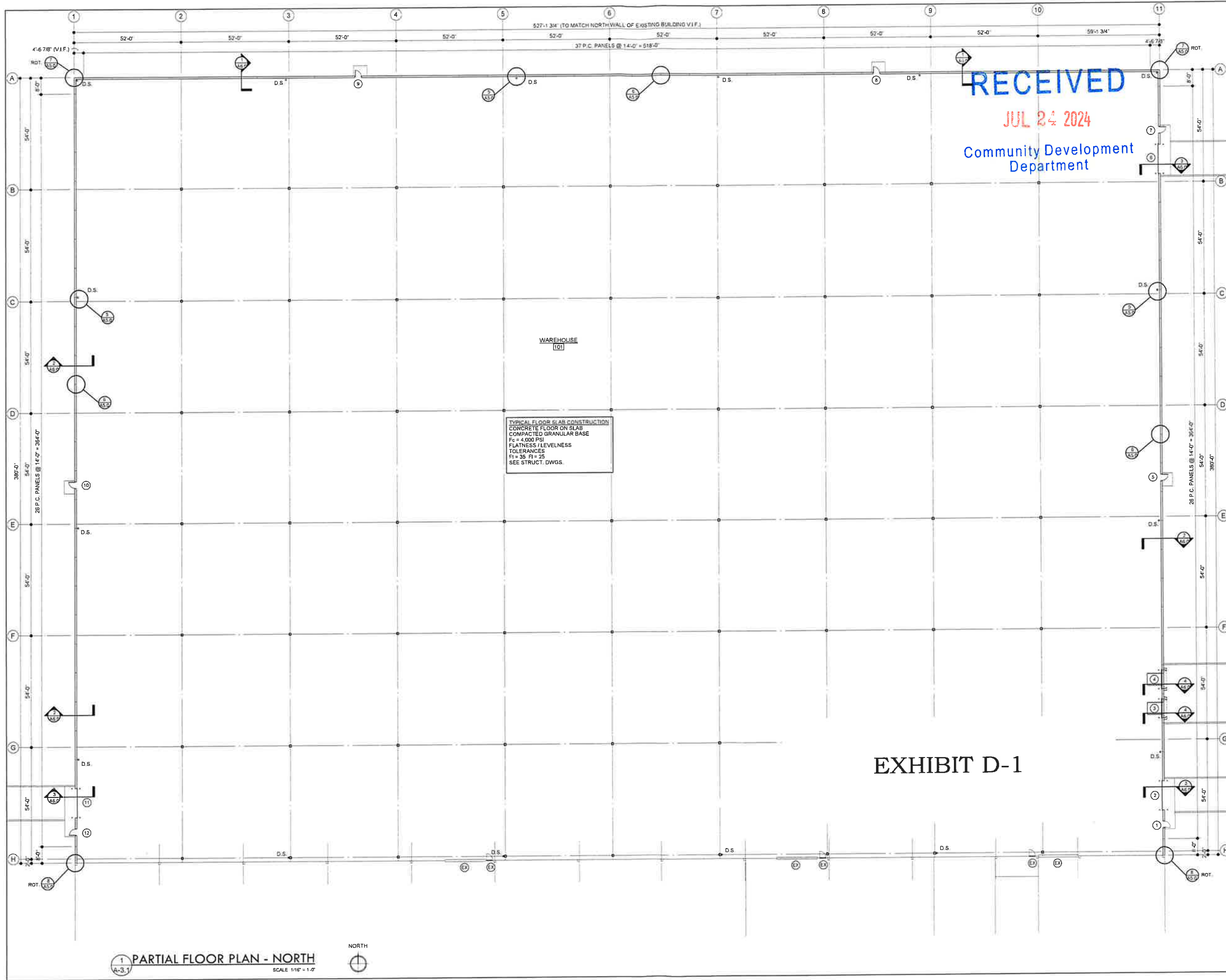
**FRAIN INDUSTRIES**  
 245 EAST NORTH AVENUE  
 CAROL STREAM, ILLINOIS

| DATE           | DESCRIPTION         |
|----------------|---------------------|
| 5/23/2024      | ISSUED FOR PLANNING |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
|                |                     |
| PROJECT NUMBER | 2023-049            |
| DATABASE       | FLOORDB             |
| DRAWN BY       | JW                  |
| CHECKED BY     | JW                  |

**A-2.0**

**EXHIBIT C**





**RECEIVED**

JUL 24 2024

Community Development  
Department

OWNER

GENERAL CONTRACTOR

**DSI**  
THE DSI GROUP

STRUCTURAL ENGINEER

**Structural**  
**ENGINEERING**  
Importance in Engineering  
In Joining the Legions of  
SBE Structural Engineers, Inc.

ARCHITECT

DESIGN WITH EXCELLENCE, INNOVATION + JOY 2023

**Architects**  
**plus** designstudio, LLC

1320 NELSON CIRCLE  
WHEATON, ILLINOIS 60187 • 847.624.4425  
COPYRIGHT © 2023  
BY ARCHITECT'S PLUS DESIGN STUDIO, PLLC

NEW WAREHOUSE EXPANSION FOR:

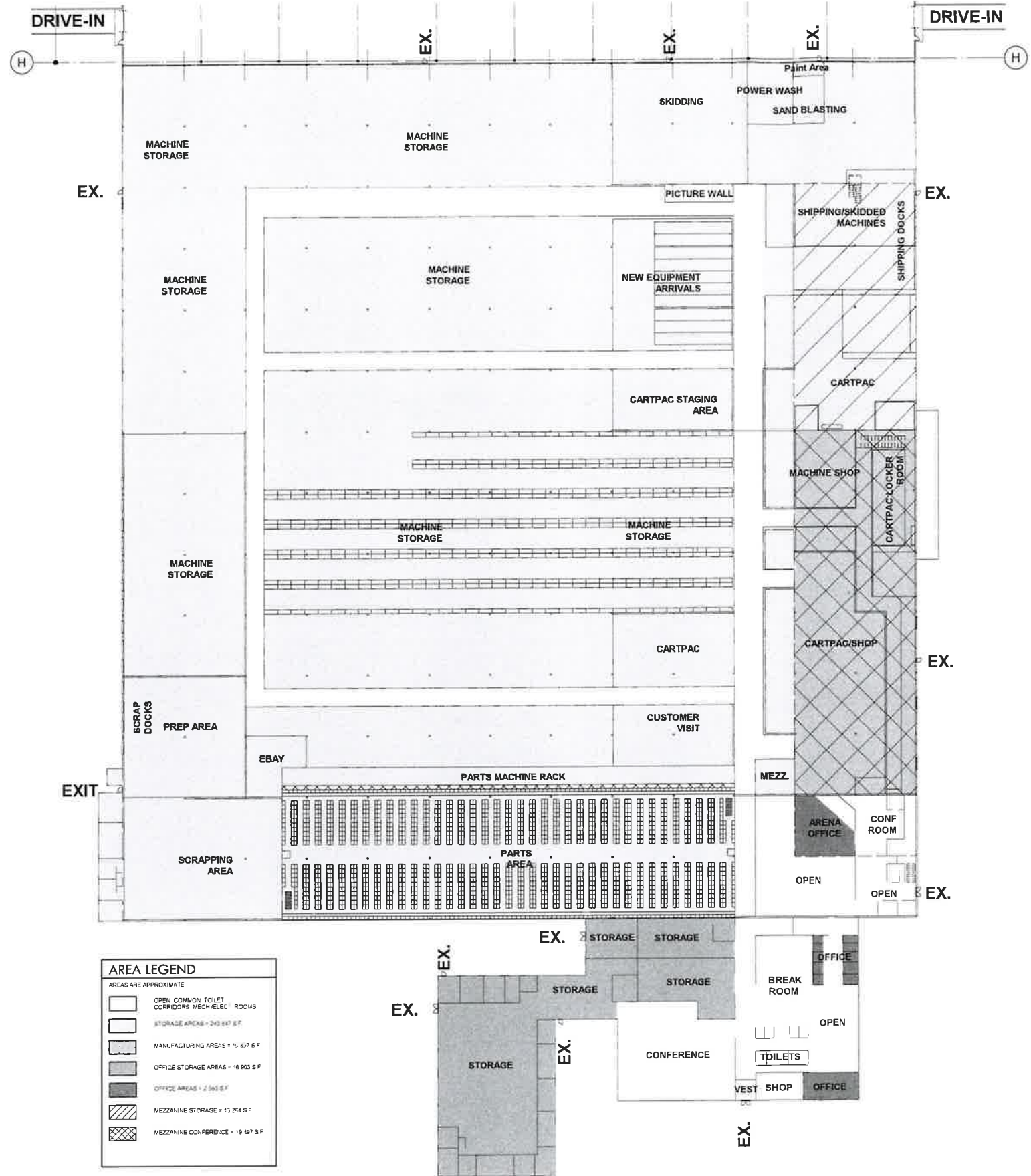
**FRAIN INDUSTRIES**  
245 EAST NORTH AVENUE  
CAROL STREAM, ILLINOIS

| DATE      | DESCRIPTION                                       |
|-----------|---|
| 5/23/2024 | ISSUED FOR PLANNING                               |
| 7/09/2024 | ISSUED FOR REVIEW                                 |
| 7/18/2024 | ISSUED FOR PERMIT                                 |
| 7/17/2024 | SITE PLAN RESUBMITTAL & ISSUE FOR BUILDING PERMIT |

|                |          |
|----------------|----------|
| PROJECT NUMBER | 2023-046 |
| FILE NAME      | FLOORDD  |
| DRAWN BY       | JH       |
| CHECKED BY     | JH       |

**A-3.1**





**AREA LEGEND**  
AREAS ARE APPROXIMATE

|                     |   |
|---------------------|---|
| [White Box]         | OPEN COMMON TOILET CORRIDOR MECH/ELEC ROOMS |
| [Light Gray Box]    | STORAGE AREAS = 243 847 S.F.                |
| [Medium Gray Box]   | MANUFACTURING AREAS = 1,512,57 S.F.         |
| [Dark Gray Box]     | OFFICE STORAGE AREAS = 16,963 S.F.          |
| [Dark Gray Box]     | OFFICE AREAS = 2,363 S.F.                   |
| [Diagonal Hatching] | MEZZANINE STORAGE = 11,264 S.F.             |
| [Cross-hatching]    | MEZZANINE CONFERENCE = 19,197 S.F.          |

1 PARTIAL FLOOR PLAN - EXISTING  
A-3.2 SCALE: 1"=30'-0"



**RECEIVED**  
JUL 24 2024  
Community Development  
Department

OWNER

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

ARCHITECT

DESIGN TEAM 18A 008307, EXPIRATION = 30 2025

1330 NELSON CIRCLE  
WHEATON, ILLINOIS 60187-8244-225  
COPYRIGHT © 2023  
BY ARCHITECTS PLUS DESIGN STUDIO, PLLC

NEW WAREHOUSE EXPANSION FOR:  
**FRAIN INDUSTRIES**  
245 EAST NORTH AVENUE  
CAROL STREAM, ILLINOIS

| DATE      | DESCRIPTION                                       |
|-----------|---|
| 5/23/2024 | CLOSED FOR PLANNING                               |
| 7/05/2024 | CLOSED FOR REVIEW                                 |
| 7/12/2024 | CLOSED FOR PERMIT                                 |
| 7/17/2024 | SITE PLAN RESUBMITTAL & SCALE FOR BUILDING PERMIT |

|                |           |
|----------------|-----------|
| PROJECT NUMBER | 2023-045  |
| FILE NAME      | FLOORPLAN |
| DRAWN BY       | JW        |
| CHECKED BY     | JW        |

A-3.2

EXHIBIT D-2

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

STAFF REPORT

August 26, 2024

**TO:**  
Chairman and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Tom Farace, Planning & Economic  
Development Manager

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Special Use Permit for a Day Care Center, in accordance with Section 16-3-11 of the Carol Stream UDO

**APPLICANT/ CONTACT:**

Mr. Sagar Kumar  
KPS Property Group, LLC – Series  
Carol Stream  
Universal Asian Metro Services  
505 N. Roselle Road  
Roselle, IL 60172



**CASE #:** 24-0029

**LOCATION:** 1275 N. County Farm Road

**PROJECT NAME:** KPS Property Group dba Universal Metro Asian Services (UMAS)



| LOCATION         | ZONING DISTRICT                   | LAND USE                               | COMPREHENSIVE PLAN DESIGNATION |
|------------------|-----------------------------------|--|--------------------------------|
| Subject Property | B-3 General Business District     | Commercial (former Hanmi Bank)         | Corridor Commercial            |
| North            | B-3 General Business District     | Commercial (McDonald's)                | Corridor Commercial            |
| South            | B-3 General Business District     | Commercial (O'Reilly Auto Parts)       | Corridor Commercial            |
| East             | B-3 General Business District     | Commercial (Primrose School)           | Corridor Commercial            |
| West             | R-4 Multi Unit Residence District | Residential (Country Glen Subdivision) | Residential                    |

The subject property highlighted above is located at the northeast corner of County Farm Road and Kelly Drive.

---

## Site Assessment

---

### **COMPREHENSIVE PLAN DESIGNATION:**

The subject property is designated for commercial/service uses according to the Village's 2016 Comprehensive Plan. The proposed adult daycare is compatible with this designation.

### **AERIAL PHOTOGRAPH:**



---

## Project Summary

---

### **ATTACHMENTS:**

Attached for review is the General Application, Special Use Application, Public Notice, Cover Letters dated June 21, 2024 and July 26, 2024, Site Plan (Exhibit A), and Floor Plan (Exhibit B).

### **BACKGROUND:**

The applicant, Mr. Sagar Kumar with KPS Property Group, LLC – Series Carol Stream, requests approval of a Special Use Permit for an adult daycare at 1275 N. County Farm Road. The subject property previously housed a bank with drive-through lanes (most recently Hanmi Bank), and the applicant proposes to utilize the building for the Universal Metro Asian Services (UMAS) adult

daycare. UMAS is currently located in a tenant space across the street in County Farm Plaza, but proposes to relocate to the 1275 N. County Farm Road property at Heritage Plaza.

---

**Staff Analysis**

---

**SPECIAL USE PERMIT FOR A DAYCARE**

The proposed adult daycare is described as follows:

- UMAS provides adult daycare services for senior members of the East Asian population, and has several locations around the Chicagoland area.
- Activities and other social events will occur at the facility, and proposed hours of operation are 9:00am to 5:00pm during the week.
- As depicted on the submitted floor plan, a central multi-purpose space will be utilized for activities, with offices, storage areas, and bathrooms flanking the central activity space area.
- The applicant proposes a capacity of approximately 33 participants, with 12 employees.
- Participants are not dropped off at the facility, but instead UMAS will utilize 2-3 vans to pick up and drop off participants each day. Vans will be parked overnight and on weekends under the existing canopy connected to the east side of the building.
- Food will be catered and delivered to the facility, and no food preparation is expected on-site. UMAS will also work with the DuPage County Health Department on any required approvals for the kitchen space.

Parking for the proposed use has been calculated as follows:

| Business   | Code Requirement             | Spaces Required  |
|--|------------------------------|------------------|
| Proposed adult daycare<br>4,500 sq ft GFA<br>3,398 sq ft NFA | 1 space per 250 sq ft of NFA | <b>14 spaces</b> |
| <b>Parking Spaces Provided:</b>                              |                              | <b>22 spaces</b> |
| <b>Parking Surplus:</b>                                      |                              | <b>8 spaces</b>  |

Parking requirements will be met on-site with existing parking spaces.

It should be noted that there are several property maintenance issues that the current property owner is working to correct prior to the sale of the property. These issues include parking lot and landscaping maintenance, repair work to the building façade and dumpster enclosure, and removal of all items associated with the former bank use, including bank signage and other equipment on the canopy and the freestanding ATM machine at the south end of the property. Should the current property owner not correct all property and building maintenance issues prior to the sale of the property, said issues will need to be completed by the applicant (which the applicant is aware of).

## SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4(L)(3) of the UDO, no Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Are deemed necessary for the public convenience at the location.

UMAS will be relocating to the subject property to continue to provide activities and services for the local senior population, which is considered a public convenience at this location.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The proposed adult daycare does not pose a threat to surrounding properties and uses, and will not endanger the public health, safety, morals, comfort and general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed adult daycare will provide services to the local senior population in an innocuous manner, and should not diminish or impair property values within the general vicinity.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The proposed adult daycare will provide a needed community service, and should not impede the normal and orderly development and improvement of surrounding property.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements already exist for the subject property.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The proposal is expected to conform to all applicable codes and requirements.

---

## Recommendation

---

Staff has reviewed the applicant's submittal and can support the Special Use request. Therefore, staff recommends approval of a Special Use Permit for a Daycare Center for KPS Property Group, LLC – Series Carol Stream/Universal Metro Asian Services (UMAS) at 1275 N. County Farm Road, Case No. 24-0029, subject to the following conditions:

1. That the landscape materials shall be maintained in a healthy condition, with dead or dying materials being replaced on an annual basis;
2. That the applicant shall obtain a sign permit for any proposed wall signs and monument sign panel replacements;
3. That all vehicles associated with UMAS shall be parked under the canopy connected to the east side of the building at night and on weekends;
4. That the applicant shall complete any property maintenance issues associated with the parking lot, building exterior, landscaping, dumpster enclosure, removal of any bank-associated signage and equipment, and restoration work should the current property owner fail to complete all work prior to the sale of the property; and
5. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.

T:\Planning New\Planning\Plan Commission\Staff Reports\2024 Staff Reports\24-0029 Universal Metro Asian Services SUP 1275 N County Farm.docx



RECEIVED

JUN 25 2024

Community Development Department

|                            |         |
|----------------------------|---------|
| Do Not Write in This Space |         |
| Date Submitted:            | 6-25-24 |
| Fee Submitted:             | 880000  |
| File Number:               | 24-0029 |
| Meeting Date:              | 8/26/24 |
| Public Hearing Required:   | Y       |

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188  
PHONE 630.871.6230 • FAX 630.665.1064  
[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant KPS Property Group LLC - Series Carol Stream Phone 847-306-7612  
Universal Industries Inc. dba Universal Metro Asian Services  
 Address 505 N Roselle Rd, Roselle, IL 60172 Fax \_\_\_\_\_  
 E-Mail Address SagarK@Umasinc.com  
(required)  
 Name of Attorney Jordan Volitsky Phone 630-833-5533  
(if represented)  
 Address 2 Mid America Plaza, Ste 110, Oakbrook Terrace, IL 60181 Fax \_\_\_\_\_  
 Name of Owner Sagar Kumar Phone 847-306-7612  
(required if other than applicant)  
 Address 505 N. Roselle Rd, Roselle, IL 60172 Fax \_\_\_\_\_  
 Name of Architect J. James Mo Phone 312-316-1978  
(if applicable)  
 Address 343 W Erie St, Ste 210 Chicago, IL 60654 Fax \_\_\_\_\_

2. \*Common Address/Location of Property 1275 N County Farm Rd, Carol Stream, IL

3. Requested Action: (check all that apply)

|  |   |
|--|---|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                        |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances              |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)           |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)             |
| <input type="checkbox"/> Planned Development – Final       | <input checked="" type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input checked="" type="checkbox"/> Special Use Permit (requires Form C)  |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)                |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)                |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)               |



Describe requested action Special Use Permit for day care center

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 800

|                                     |  |         |
|-------------------------------------|--|---------|
| Annexation approvals:               |  |         |
|                                     | New development  | \$2,000 |
|                                     | Other  | \$800   |
|                                     | Annexation Agreement Amendment   | \$800   |
|                                     | Appearance fee for approvals required by the UDO but not listed herein | \$500   |
|                                     | Courtesy Review  | \$240   |
|                                     | Development Staff Review   | \$640   |
|                                     | Easement Encroachment  | \$300   |
| Gary/North Avenue Corridor Review:  |  |         |
|                                     | New or replacement monument sign                                       | \$500   |
|                                     | One discipline (site design, architecture or landscaping)              | \$500   |
|                                     | Two disciplines  | \$1,000 |
|                                     | Three disciplines  | \$1,500 |
|                                     | New development  | \$1,500 |
|                                     | Outdoor Dining Permit  | \$120   |
| Planned Development:                |  |         |
|                                     | Existing Planned Development, minor change                             | \$500   |
|                                     | Existing Planned Development, major change                             | \$1,000 |
|                                     | New Planned Development  | \$1,500 |
|                                     | Rezoning (Zoning Map Amendment)  | \$640   |
|                                     | Shared Parking Facility Permit   | \$500   |
|                                     | Site Plan Review   | \$640   |
| Special Use:                        |  |         |
| <input checked="" type="checkbox"/> | First  | \$800   |
|                                     | Each additional  | \$200   |
|                                     | Special Use Amendment  | \$800   |
|                                     | Staff Adjustment   | \$240   |
| Subdivision:                        |  |         |
|                                     | Major  | \$700   |
|                                     | Minor  | \$400   |
|                                     | Temporary Building, Structure or Use                                   | \$120   |
|                                     | Temporary Waiver to the Code of Ordinances                             | \$120   |
| Text Amendment:                     |  |         |
|                                     | Building Codes   | \$240   |
|                                     | Unified Development Ordinance  | \$640   |
| Variation:                          |  |         |
|                                     | First  | \$640   |
|                                     | Each additional  | \$200   |
|                                     | Zoning verification letter   | \$80    |

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

SAGAR kumar

Print Name



Signature

06/19/24

Date

Revised 11/23

RECEIVED

FORM C

JUN 25 2024

VILLAGE OF CAROL STREAM - SPECIAL USE APPLICATION

Community Development  
Department

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

**1) Is deemed necessary for public convenience at the location.**

Yes, this is necessary for the public convenience, particularly to provide an outlet for seniors who would otherwise be unable to engage with the community. Applicants, KPS Property Group, LLC – Series Carol Stream, an Illinois series limited liability company (“KPS”) and Universal Industries Inc., an Illinois corporation dba Universal Metro Asian Services (“UMAS” and together with KPS, the “Applicant”) is seeking a Special Use Permit for the property located and commonly known as at 1275 N. County Farm Road, Carol Stream, IL (the “Property”). The Property is currently zoned B-3 under the Village’s Code of Ordinance. Applicant is under contract with the current owner to purchase the Property and seeks to utilize the Property as a day care center which is designated as a special use under the Village’s Code of Ordinances.

For reference, KPS and UMAS are separate entities, both owned and organized by Dr. Santosh Kumar, along with her two sons, Prashant Kumar and Sagar Kumar. Dr. Kumar is a prominent member of the Indian community in Chicago and a principal of UMAS and other businesses, which provide social services and senior care to immigrant populations throughout the Chicagoland area.

KPS will be purchasing the Property and will rent the Property to UMAS to operate its business. UMAS currently operates its business across from the Property at the commercial plaza located at the southwest corner of Army Trail Road and County Farm Road, with an address of 954 W. Army Trail Road, Carol Stream, IL 60188. UMAS has operated at this location for 15 years and is looking to better serve the needs of senior citizen community members by migrating its business to the Property.

UMAS provides adult day care services to elderly immigrants in and around the Chicagoland area. UMAS has successfully been providing adult day care services to Carol Stream residents and the surrounding community and is looking to continue and grow these services. UMAS’ business will continue to provide day care services to adults in the community with needs that are often underserved. Purchasing the Property with a Special Use Permit is necessary for public convenience and will allow UMAS to continue to serve the community.

**2) Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Applicant’s proposed Special Use Permit will not be unreasonably detrimental or endanger the public health, safety, morals, comfort or general welfare.

Applicant has been operating across the street from the Property for 15 years without any indirect or adverse impact to the Village and has not endangered the public health, safety, morals, comfort or general welfare. In fact, Applicant enhances the Village by providing adult day care services to senior residents and individuals of the surrounding communities. Applicant's adult day care centers provide a venue for elderly community members to get involved in structured activities, including games, exercise, and trips in and around the community. Applicant provides transportation to its facility for seniors that would not otherwise be able to interact within the community.

- 3) Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

As indicated above, Applicant already operates across the street from the Property and Applicant's current use is not injurious to the use or enjoyment of any other property in the neighborhood, which includes the Property in question. Applicant's Special Use Permit allows for the use of an otherwise vacant building that is not being utilized to its full potential.

- 4) Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

Applicant's intended use of the Property will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. Applicant is seeking a Special Use Permit for a finished structure that was previously operated as a bank and is not seeking any material modification of the structure which could impede the normal and orderly development of the surrounding property. In particular, Applicant's intended use as an adult day care facility complies with the Village's contemplated use of the Property, utilizes an otherwise unused property and provides a needed community service.

- 5) Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.**

The Property currently maintains adequate utilities, access roads, drainage and other necessary community facilities sufficient for Applicant's intended use. Applicant is committed to maintaining these important and necessary community facilities in good working order. Applicant is also happy to work with the Village and surrounding properties should the need arise for future work on utilities, access roads, drainage or other important and necessary community facilities should the need arise in the future.

- 6) Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.**

Applicant plans to conform with all applicable regulations of the district. Should the need arise for any modifications, Applicant will make proper application to the Village Board and will follow the Village Board's findings.

**7) Other pertinent information or reason for request.**

We are excited to move forward with the proposed use for the Property, which will allow us the opportunity to better serve senior members of the community. We appreciate Village staff, the members of the Village's Plan Commission, the Mayor and the Village Board of Trustees for taking time to review our Special Use Permit Application and welcome any questions you may have.

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 7, 2024 and the last publication of the notice was made in the newspaper dated and published on August 7, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 7, 2024.

Examiner Publications, Inc.

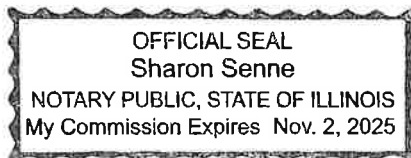
By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of August, A.D. 2024.

Notary Public



## LEGAL NOTICE FILE #24-0029

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 26, 2024 at 6:00 p.m. to consider an application from KPS Property Group (Universal Metro Asian Services) for the following actions:

A Special Use Permit for a Day Care Center, in accordance with Section 16-3-11 of the Carol Stream Unified Development Ordinance

For the property located at 1275 N. County Farm Road (PIN 01-24-217-030)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/register/WN\\_GBKc8B6sQEhHhPTZ6Wc0](https://us02web.zoom.us/join/register/WN_GBKc8B6sQEhHhPTZ6Wc0)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 890 7449 3279

International numbers available:

<https://zoom.us/j/adsnXEZQRK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Tom Farace, AICP, Planning & Economic Development Manager, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [tfarace@carolstream.org](mailto:tfarace@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* August 7, 2024. 0807



June 21, 2024

Village of Carol Stream  
Plan Commission/Zoning Board of Appeals  
500 N. Gary Avenue  
Carol Stream, IL 60188

**RECEIVED**

**JUN 25 2024**

Community Development  
Department

RE: Special Use Permit Application for 1275 N. County Farm Road, Carol Stream

Dear Plan Commission/Zoning Board of Appeals Members:

Our firm is counsel to KPS Property Group, LLC – Series Carol Stream, an Illinois series limited liability company (“KPS”) and Universal Industries Inc., an Illinois corporation dba Universal Metro Asian Services (“UMAS” and together with KPS, the “Applicant”). KPS is under contract to purchase the property located at and commonly known as 1275 N. County Farm Road, Carol Stream, IL (the “Property”). Once the Property is purchased, KPS will rent the Property to UMAS.

KPS and UMAS are separate entities, both owned and organized by Dr. Santosh Kumar, along with her two sons, Prashant Kumar and Sagar Kumar. Dr. Kumar is a prominent member of the Indian community in Chicago and a principal of UMAS and other businesses, which provide social services and senior care to immigrant populations throughout the Chicagoland area.

Applicant is seeking a Special Use Permit from the Village to utilize the Property as a day care center for senior citizens. UMAS provides adult day care services to elderly immigrants in and around the Chicagoland area. Applicant’s adult day care centers provide a venue for senior community members to get involved in structured activities, including games, exercise, and trips in and around the community. Applicant provides transportation to its facility for seniors that would not otherwise be able to interact within the community.

As you know, the Property is zoned B-3 under the Village’s Code of Ordinances, and a day care center is allowable as a special use in the B-3 zoning district. UMAS currently operates in the commercial plaza located at the southwest corner of County Farm Road and Army Trail Road. With this Special Use Permit, Applicant would be moving their business to a larger building that could more adequately provide adult day care to senior citizens located in the community.

Enclosed with this Cover Letter is the following Application documents for the Property:

- One signed and dated General Application (Form A);
- One completed Special Use Application (Form C);
- Plat of Survey with Legal Description;
- Application Fee;
- Consent Letter from Property Owner (with Title Commitment showing owner and applicant);
- First Floor Plan;
- Existing Site Plan;

- Existing Landscape Plan; and
- Kane-DuPage Soil & Water Conservation District Natural Resources Inventory Letter.

Please contact us with any questions you have regarding the Application including any of the foregoing documents. We look forward to working with you and the rest of the Village.

Very truly yours,

GROGAN, HESSE & UDITSKY, P.C.

  
\_\_\_\_\_  
Jordan N. Uditsky

cc: KPS Property Group. LLC – Series Carol Stream  
Universal Industries, Inc., dba Universal Metro Asian Services

Enclosure





July 26, 2024

Tom Farace, AICP  
Planning & Economic Development Manager  
Village of Carol Stream  
500 N. Gary Avenue  
Carol Stream, IL 60188  
tfarace@carolstream.org

**RECEIVED** VIA EMAIL

JUL 29 2024

Community Development  
Department

RE: Special Use Permit Application for 1275 N. County Farm Road, Carol Stream (Case No. 24-0029)

Dear Mr. Farace:

As you know, our firm is counsel to KPS Property Group, LLC – Series Carol Stream, an Illinois series limited liability company (“KPS”) and Universal Industries Inc., an Illinois corporation dba Universal Metro Asian Services (“UMAS” and together with KPS, the “Applicant”). KPS is under contract to purchase the property located at and commonly known as 1275 N. County Farm Road, Carol Stream, IL (the “Property”). Once the Property is purchased, KPS will rent the Property to UMAS.

Applicant is in receipt of the Village’s letter dated July 11, 2024 (“Letter”) which was in response to Applicant’s application seeking a special use permit from the Village to operate an adult day care center at the Property. In response to your Letter, Applicant provides point-by-point responses as follows:

1) General Comment.

- a. Response: the current owner of the Property has represented to Applicant that the violations alleged by the Village will be resolved prior to Applicant’s purchase of the Property. The specific timeframe for such repairs is currently four (4) weeks based on the current owner’s representations to Applicant.

2) Zoning Comments.

a. Supplement Information for Business:

- i. Hours of operation would be 9:00 a.m. to 5:00 p.m., Monday through Friday, with twelve (12) staff members on-site.
- ii. The approximate number of participants per day is fifteen (15) to eighteen (18).
- iii. The current location has a total of twenty-eight (28) participants under the contract with the Illinois Department on Aging (the “Department”).
- iv. There will be a maximum of thirty-three (33) participants. There is a ratio of one (1) person per seven (7) participants.
- v. Transportation is provided to and from the Property to all participants by drivers in Applicant’s vehicles which consist of vans. Family members are not allowed to stay at the Property.
- vi. Participants are picked up in groups and travel together to and from the Property. There are two (2) trips per day. One (1) trip in the morning for pickup and one (1) when the participants are taken home.

- vii. Applicant utilizes two to three vans for the transportation of the participants. The vehicles will be parked at the Property overnight and on weekends.
  - viii. The Department oversees the use through a contract with Applicant and approval to operate at the Property will be obtained from the Department prior to operating.
  - ix. The proposed multi-purpose room will be utilized for diverse activities including but not limited to dancing, exercise, game play, etc. The chairs and tables will be moved throughout the room to provide such space but will not be stored.
  - x. Applicant will provide services within the facility on the Property.
  - xi. There is no preparation of food at the Property. All food will be catered from one of Applicant's kitchens at other locations. Prior to operation, Applicant will obtain any required approvals and/or permits from the DuPage County Health Department.
- b. Signage.
    - i. Response: please see the proposed signage for the exterior of the building (north, south and west sides) as well as plans for the monument sign attached to this letter as Exhibit A.
  - c. Drive-thru lanes and associated canopy.
    - i. Response: At this time, Applicant has not determined how they will utilize the drive-thru lanes and canopy currently occupying the Property. At similar locations, Applicant has repurposed such items rather than removing. Applicant will maintain such drive-thru lanes and canopy in accordance with the Village's municipal code until such a determination has been made. In the event Applicant either removes or repurposes such drive-thru lanes and canopy, Applicant would apply for all necessary building/demolition permits as required by the Village.
  - d. Existing asphalt/pavement.
    - i. Response: The current owner has identified that they will fix and repair the asphalt/pavement prior to the sale of the Property to Applicant.
  - e. Existing landscape.
    - i. Response: The current owner has identified that they will repair and maintain the Property's landscaping. Upon the sale of Property to Applicant, Applicant will actively maintain such landscaping in accordance with applicable law.
  - f. Dumpster:
    - i. Response: The current owner has identified that they will repair the dumpster enclosure prior to the sale of the Property to Applicant.
- 3) Building Comments: Applicant will provide any updates necessary for any building permit, but Applicant does not have any plans to utilize the drive-thru area at this time and the adult day care center will utilize the indoor space.
- 4) Police Comments: Applicant will maintain the landscaping to ensure no overgrowth to the trees or landscaping on the Property. Applicant also intends to install indoor and outdoor security cameras on the Property.

Please contact us with any questions you have regarding the Application including this supplemental letter.

Very truly yours,

GROGAN, HESSE & UDITSKY, P.C.



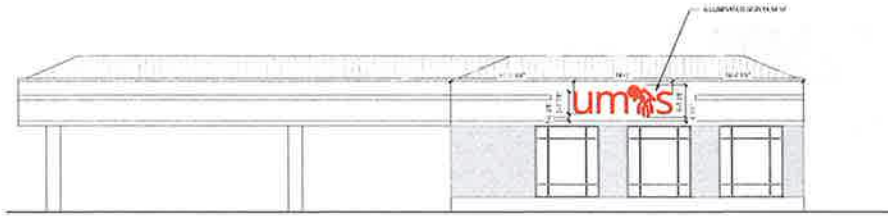
---

Jordan N. Uditsky

Copy: KPS Property Group, LLC – Series Carol Stream  
Universal Industries, Inc., dba Universal Metro Asian Services

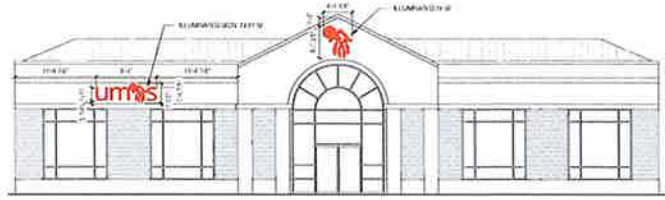
Enclosure

- BRIDGE → +22'-7" VF
- TIME TAIL PANEL → +22'-0" VF
- BEAM → +18'-5" VF
- WINDOW HEAD → +12'-0" VF



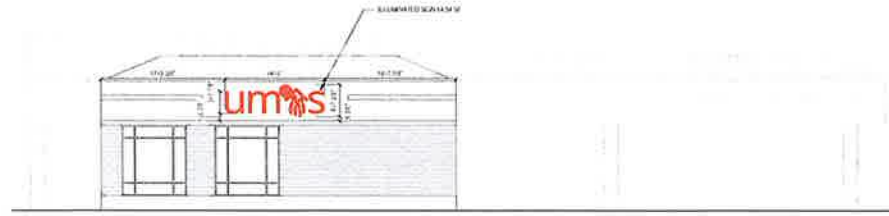
1 NORTH ELEVATION  
16'-11 1/2"

- BRIDGE → +25'-7" VF
- TIME TAIL PANEL → +21'-8" VF
- BEAM → +18'-5" VF
- WINDOW HEAD → +12'-0" VF



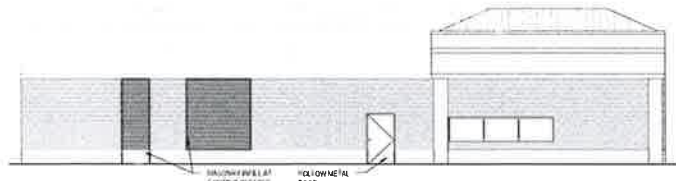
2 WEST ELEVATION  
16'-11 1/2"

- BRIDGE → +23'-7" VF
- TIME TAIL PANEL → +23'-0" VF
- BEAM → +18'-5" VF
- WINDOW HEAD → +12'-0" VF



3 SOUTH ELEVATION  
16'-11 1/2"

- BRIDGE → +22'-7" VF
- TIME TAIL PANEL → +22'-0" VF
- BEAM → +18'-5" VF
- WINDOW HEAD → +12'-0" VF



4 EAST ELEVATION  
16'-11 1/2"



5 MONUMENTAL SIGN  
16'-11 1/2"

COPY RIGHT, ALL RIGHTS RESERVED. PROJECTS, PATENTS, TRADEMARKS, AND REGISTERED SERVICE MARKS ARE THE PROPERTY OF MODE ARCHITECTS, P.C. NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN APPROVAL OF MODE ARCHITECTS, P.C.

ARCHITECT OF RECORD  
**MODE**  
 ARCHITECTS  
 343W ERIEST Suite 410  
 CHICAGO, IL 60654  
 T.312.475.9918  
 Design Firm Registration No.: 184 004451

PROJECT INFORMATION

INTERIOR  
 RENOVATION  
 OF ADULT DAY  
 CARE

1275 N COUNTY FARM ROAD  
 CAROL STREAM, ILLINOIS 60188

| REVISION | DATE       | ISSUE               |
|----------|------------|---------------------|
| 1        | 08/10/2014 | SPECIAL VISA PERMIT |

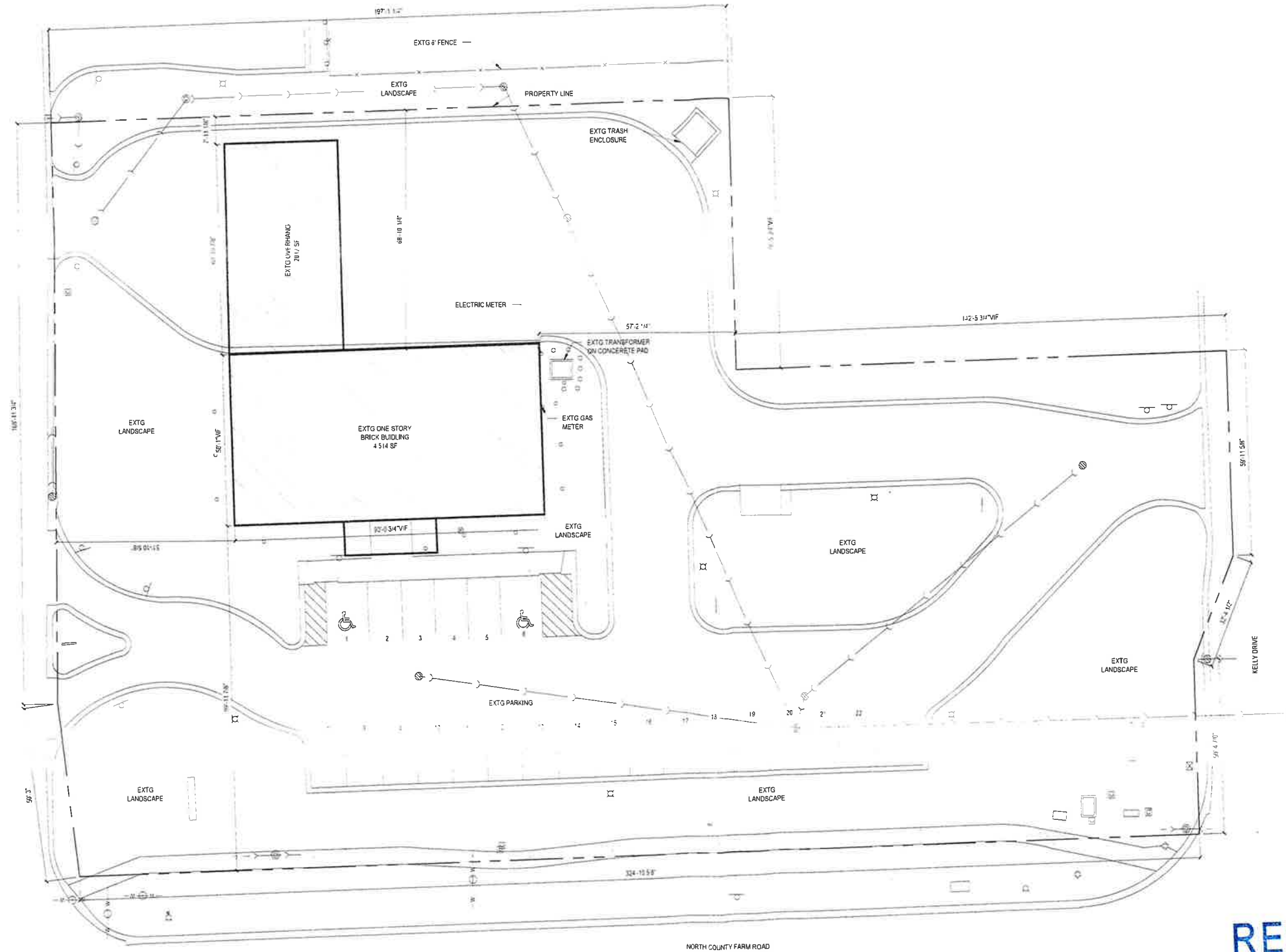
|             |          |
|-------------|----------|
| ISSUED DATE | 08/10/14 |
| ISSUED FOR  | PERMITS  |
| DRAWN BY    | CHC/KAB  |
| PROJECT     | 2412     |

SHEET TITLE  
 EXTERIOR  
 ELEVATION AND  
 MONUMENTAL SIGN

SHEET 1

A3.0

# EXHIBIT A



1. EXTG SITE PLAN

**RECEIVED**

**JUN 25 2024**

Community Development  
Department

COPY RIGHT © 2024 BY MODE ARCHITECTS  
P.C. THIS DRAWING AS AN INSTRUMENT OF  
PROFESSIONAL SERVICE, IS AND SHALL REMAIN  
THE PROPERTY OF MODE ARCHITECTS P.C. NO  
PART OF THIS DRAWING MAY BE PRODUCED  
STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED  
IN ANY FORM WITHOUT THE PRIOR WRITTEN  
APPROVAL OF MODE ARCHITECTS P.C.

ARCHITECT OF RECORD

**MODE  
ARCHITECTS**

343 W ERIE ST. Suite 410  
CHICAGO, IL 60654  
T. 312.475.9918  
Design Firm Registration No.:  
184.004451

PROJECT INFORMATION

**INTERIOR  
RENOVATION  
OF ADULT DAY  
CARE**

1275 N COUNTY FARM ROAD  
CAROL STREAM, ILLINOIS 60188

| NO. | DATE       | ISSUE              |
|-----|------------|--------------------|
| 1   | 06/19/2024 | SPECIAL USE PERMIT |

ISSUED DATE: 06/19/2024  
ISSUED FOR: [Signature]  
DRAWN BY:  
CHECK BY:  
PROJECT # 2412

SHEET TITLE

EXTG SITE PLAN

SHEET #

**AS0.1**

# EXHIBIT B

COPY RIGHT © 2024 BY MODE ARCHITECTS P.C. THIS DRAWING AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS AND SHALL REMAIN THE PROPERTY OF MODE ARCHITECTS P.C. NO PART OF THIS DRAWING MAY BE PRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE PRIOR WRITTEN APPROVAL OF MODE ARCHITECTS P.C.

ARCHITECT OF RECORD

**MODE ARCHITECTS**  
 343 W. ERIE ST. Suite 410  
 CHICAGO, IL 60654  
 T. 312.475.9918  
 Design Firm Registration No.: 184.004451

PROJECT INFORMATION

## INTERIOR RENOVATION OF EXTG. BANK SPACE

1275 N COUNTY FARM ROAD  
 CAROL STREAM, ILLINOIS 60188

REVISION

| NO. | DATE       | ISSUE              |
|-----|------------|--------------------|
| 1   | 06/19/2024 | SPECIAL USE PERMIT |

ISSUED DATE:

ISSUED FOR:

DRAWN BY:

CHECK BY:

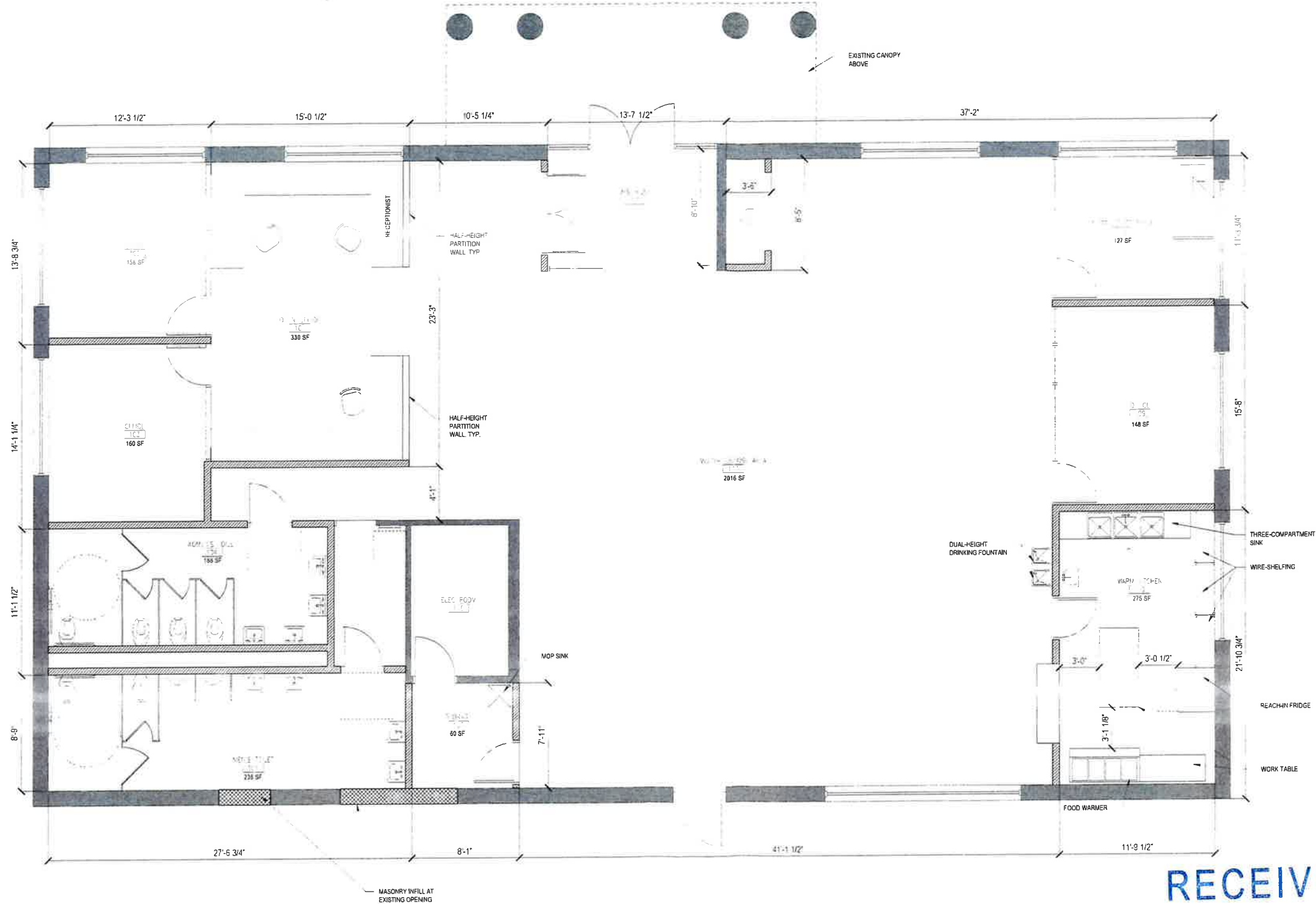
PROJECT #:

SHEET TITLE

FLOOR PLAN

SHEET #

# A1.0



1. FIRST FLOOR PLAN

**RECEIVED**

**JUN 25 2024**

Community Development  
 Department

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

August 26, 2024

**TO:**  
Chairperson and Plan  
Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Bravo Berisha, Assistant Planner

**ACTION REQUESTED:**  
The applicant is requesting  
approval of the following:

- A Variation for a wall sign, in accordance with Section 16-6-4(A)(1)(d)(I) of the Carol Stream Unified Development Ordinance (UDO)

**APPLICANT/ CONTACT:**

Ms. Susan Westgate  
Carol Stream Public  
Library  
616 Hiawatha Drive  
Carol Stream, IL 60188



**CASE #:** 24-0033

**LOCATION:** 616 Hiawatha Dr

**PROJECT NAME:** Carol Stream Public Library



| LOCATION         | ZONING DISTRICT  | LAND USE  | COMPREHENSIVE PLAN DESIGNATION |
|------------------|--|---|--------------------------------|
| Subject Property | R-3 Suburban Residence District                        | Public Library  | Institutional                  |
| North            | R-4 Multiunit Residence District                       | Multifamily Residential (Lakehaven)                                   | Multifamily Residential        |
| South            | R-3 Suburban Residence District                        | Single-Family Residential (Park Hill of The Greenway of Carol Stream) | Single-Family Residential      |
| East             | R-3 Suburban Residence District                        | Single-Family Residential (Park Hill of The Greenway of Carol Stream) | Single-Family Residential      |
| West             | R-1 Estate Residence and Community Facilities District | Armstrong Park  | Carol Stream Park District     |

The subject property highlighted above is located on Hiawatha Drive, immediately east of Armstrong Park.

---

## Site Assessment

---

### **COMPREHENSIVE PLAN DESIGNATION:**

The subject property is designated for institutional uses according to the Village's 2016 Comprehensive Plan.

### **AERIAL PHOTOGRAPH:**



---

## Project Summary

---

### **ATTACHMENTS:**

Attached for review is the General Application, Sign Variation Application, Cover Letter from Susan Westgate received July 17, 2024, Public Notice, Wall Sign Plan (Exhibit A).



**BACKGROUND:**

Susan Westgate, Library Director at Carol Stream Public Library, is requesting a Sign Variation to install a non-illuminated, channel letter wall sign on the west side of the Library building at 616 Hiawatha Drive. Section 16-6-4 (A)(1)(d)(i) of the Unified Development Ordinance (UDO) states that single-tenant buildings shall be permitted one wall sign per lot frontage along a public right-of-way or private access drive. The Library does not have a private access drive or lot frontage along a public right-of-way on the west side, hence the need for the Variation. As stated in the cover letter, the west side of the Library was previously not visible from Armstrong Park due to the dense vegetation on that side. The removal of said vegetation was necessitated by the Klein Creek Stabilization Project. To highlight the identification of the Library building for people in Armstrong Park, the Library requests signage on the west wall. As an aside, the Library does have an existing wall sign in front of the building, facing the parking lot, and would also be allowed a wall sign facing Hiawatha Drive, however; identification on the east side is accomplished with an existing monument sign with an electronic message board.

The west Library building wall measures 54 feet in width and 24 feet in height, for a total area of 1,296 square feet. Wall signs in Residential Districts can have a maximum sign area of 5% of the total area of the wall face, per Section 16-6-4(A)(1)(a) of the UDO. The non-illuminated, channel letter wall sign the Library is proposing has a total area of roughly 43 square feet, which is just over 3% of the total area of the wall face.

Aside from the location, the proposed wall sign meets all of the standards for permanent signs found in Section 16-6-4 Permanent Signs Requiring A Permit, of the UDO. Due to the removal of the vegetation on the west side of the property, the Library building is visible to Armstrong Park visitors and needs identifiable signage.

**VARIATION FINDINGS OF FACT**

With regard to any variation, the Zoning Board of Appeals shall not recommend a variation unless it shall make findings based upon the evidence presented to it in the following case, as per Section 16-8-4 (K)(6) of the UDO:

- 1. The inability to follow the strict standards of the sign code are due to the unique physical feature of the property.

Currently, there is no identifiable signage on the west side of the building facing Armstrong Park.

- 2. The available locations for adequate signing on the property.

There is a monument sign on the east side of the property, facing Hiawatha Drive, and a wall sign on the front of the Library, facing the parking lot. There is no existing signage on the west wall.

- 3. The effect of the proposed sign on pedestrian and motor traffic.

Staff does not believe the proposed wall sign will impact motor traffic because it will be facing Armstrong Park.

4. The proposed variation will not impair visibility to the adjacent property, create or increase traffic problems, endanger public safety or otherwise be detrimental to the public welfare or injurious to other property or improvements in the area.

Staff does not believe the wall sign will impair visibility to Armstrong Park or be detrimental in any way.

5. The cost to the applicant of complying with the sign code as opposed to the detriment.

Without the wall sign, the Library will be unable to provide identification of the building to Armstrong Park visitors.

6. The proposed variation is in harmony with the spirit and intent of this article.

The proposed wall sign meets all of the other standards for permanent signs, has been tastefully designed, and should not have adverse impacts on surrounding properties or roadways.

### RECOMMENDATION

Staff has reviewed the proposed request, and can support the installation of a non-illuminated, channel letter wall sign on the west side of the Library building. Therefore, staff recommends approval of a Variation to install said wall sign at 616 Hiawatha Drive, Case No. 24-0033, subject to the following conditions:

1. That a sign permit shall be obtained prior to installation of the wall sign; and
2. That the sign shall otherwise comply with all state, county and Village Codes and requirements.



RECEIVED

JUL 17 2024

Community Development Department

|                            |         |
|----------------------------|---------|
| Do Not Write in This Space |         |
| Date Submitted:            | 7.15.24 |
| Fee Submitted:             | 0       |
| File Number:               | 24-0033 |
| Meeting Date:              |         |
| Public Hearing Required:   | Y       |

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

PHONE 630.871.6230 • FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

- Name of Applicant Susan Westgate (Carol Stream Public Library) phone 630-653-0755

Address 616 Hiawatha Dr., Carol Stream IL 60188 Fax NA

E-Mail Address swestgate@cslibrary.org

(required)

Name of Attorney \_\_\_\_\_ Phone \_\_\_\_\_

(if represented)

Address \_\_\_\_\_ Fax \_\_\_\_\_

Name of Owner \_\_\_\_\_ Phone \_\_\_\_\_

(required if other than applicant)

Address \_\_\_\_\_ Fax \_\_\_\_\_

Name of Architect \_\_\_\_\_ Phone \_\_\_\_\_

(if applicable)

Address \_\_\_\_\_ Fax \_\_\_\_\_
- \*Common Address/Location of Property \_\_\_\_\_
- Requested Action: (check all that apply)

|  |  |
|--|--|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                       |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances             |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)          |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input checked="" type="checkbox"/> Variation – Sign (requires Form B-2) |
| <input type="checkbox"/> Planned Development – Final       | <input type="checkbox"/> Variation – Fence (requires Form B-3)           |
| <input type="checkbox"/> Planned Development – Preliminary | <input type="checkbox"/> Special Use Permit (requires Form C)            |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)               |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)               |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)              |

Describe requested action To install an outdoor identification sign on the west side of the library so that it can be identified by residents in Armstrong Park.

4. Fee Schedule: (Check all that apply)

Total Application Fee: \$ 0

|  |         |
|--|---------|
| Annexation approvals:  |         |
| New development  | \$2,000 |
| Other  | \$800   |
| Annexation Agreement Amendment   | \$800   |
| Appearance fee for approvals required by the UDO but not listed herein | \$500   |
| Courtesy Review  | \$240   |
| Development Staff Review   | \$640   |
| Easement Encroachment  | \$300   |
| Gary/North Avenue Corridor Review:                                     |         |
| New or replacement monument sign                                       | \$500   |
| One discipline (site design, architecture or landscaping)              | \$500   |
| Two disciplines  | \$1,000 |
| Three disciplines  | \$1,500 |
| New development  | \$1,500 |
| Outdoor Dining Permit  | \$120   |
| Planned Development:   |         |
| Existing Planned Development, minor change                             | \$500   |
| Existing Planned Development, major change                             | \$1,000 |
| New Planned Development  | \$1,500 |
| Rezoning (Zoning Map Amendment)  | \$640   |
| Shared Parking Facility Permit   | \$500   |
| Site Plan Review   | \$640   |
| Special Use:   |         |
| First  | \$800   |
| Each additional  | \$200   |
| Special Use Amendment  | \$800   |
| Staff Adjustment   | \$240   |
| Subdivision:   |         |
| Major  | \$700   |
| Minor  | \$400   |
| Temporary Building, Structure or Use                                   | \$120   |
| Temporary Waiver to the Code of Ordinances                             | \$120   |
| Text Amendment:  |         |
| Building Codes   | \$240   |
| Unified Development Ordinance  | \$640   |
| Variation:   |         |
| First  | \$640   |
| Each additional  | \$200   |
| Zoning verification letter   | \$80    |

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

Susan Westgate  
Print Name

Susan Westgate  
Signature

7/9/24  
Date



FORM B-2

RECEIVED

JUL 17 2024

# Village of Carol Stream

Community Development Department

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SIGN VARIATION

Please see Section 16-8-4(K) of the Unified Development Ordinance (UDO) to learn more about Sign Variations.

In accordance with the applicable statutes of the State of Illinois no variation shall be made by the Village Board except after a Public Hearing is held before the Zoning Board of Appeals.

Both the Zoning Board of Appeals and Village Board must decide if the requested variation is in harmony with the general purpose and intent of the UDO and if there is a practical difficulty of hardship in carrying out the strict letter of the regulations of the UDO.

In considering the application for variances, the Zoning Board of Appeals and the Village Board shall make findings based upon the following conditions: (Please respond to each of the following as it relates to your request.)

1. The inability to follow the strict standards of the sign code are due to the unique physical feature of the property.

There is no identifiable signage on the west side of the building facing Armstrong Park.

2. The available locations for adequate signing on the property.

There is a digital signage on the east side of the property on Hiawatha and a sign on the front/south side of the building. Nothing facing west.

3. The effect of the proposed sign on pedestrian and motor traffic.

The sign will identify the building as the library for visitors in Armstrong Park. Will not impact motor traffic.

4. The proposed variation will not impair visibility to the adjacent property, create or increase traffic problems, endanger public safety or otherwise be detrimental to the public welfare or injurious to other property or improvements in the area

The proposed signage will not impair visibility in the park, will be attached to the west side of the building.

5. The cost to the applicant of complying with the sign code as opposed to the detriment.

We would be unable to provide identification of the building to park visitors. People have been confused, thinking it was a school.

6. The proposed variation is in harmony with the spirit and intent of Article 8 of the Unified Development Ordinance (UDO).

I have been in contact with the Community Development department regarding this request and will provide any and all information needed to support the variance request.

7. Other pertinent information or reason for request.

The east side of the library had previously been seen by park visitors due to tall trees and dense vegetation that has now been removed. The sign will provide clarifying identification of the building.

RECEIVED

JUL 17 2024

Community Development  
Department

CAROL STREAM PUBLIC LIBRARY

616 Hiawatha Drive • Carol Stream, IL 60188  
(630)-653-0755 • FAX (630) 653-6809  
[www.cslibrary.org](http://www.cslibrary.org)

July 9, 2024

Plan Commission/Zoning Board of Appeals  
Village of Carol Stream  
500 N. Gary Ave.  
Carol Stream, IL 60188 IL

Dear Commission Members:

My name is Susan Westgate, Library Director at the Carol Stream Public Library and I am requesting a sign variance on behalf of the Library Board of Trustees.

Previously the west side of the Library was not viewable from Armstrong Park due to the tall trees and dense vegetation along the east side of Klein Creek that abuts the Library's property. With the removal of the trees and vegetation as part of the Klein Creek Stabilization Project, the west side of the Library building is now in full view for visitors to Armstrong Park. To clarify the identification of the building for Park visitors, I am requesting a sign variance to allow the installation of signage on the west side of the building that faces Armstrong Park. The new signage will identify the building for park visitors and remove any confusion regarding the purpose of the building.

The new sign installation would be completed by Latitude Signage & Design ([www.latitudesignage.com](http://www.latitudesignage.com)). A copy of their quote and signage specifications are included as well as images of the building when currently viewed from Armstrong Park.

Thank you for your time and consideration regarding this sign variance request.

Sincerely,



Susan Westgate  
Library Director



**Certificate of the Publisher**

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 7, 2024 and the last publication of the notice was made in the newspaper dated and published on August 7, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 7, 2024.

Examiner Publications, Inc.

By: Publisher [Signature]  
Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of August, A.D. 2024.

Notary Public



[Handwritten Signature]

**LEGAL NOTICE**  
FILE #24-0033

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 26, 2024 at 6:00 p.m. to consider an application from the Carol Stream Public Library for the following actions:

A Variation to allow for a wall sign on the west side of the building, where there is no frontage along a public right-of-way or private access drive, in accordance with Section 16-6-4 (A)(1)(d)(i) of the Carol Stream Unified Development Ordinance.  
For the property located at 616 Hiawatha Drive (PIN 02-29-302-001)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:  
<https://us02web.zoom.us/join/registration/GBKc8b6sQEhHgPTZ6WoQ>  
Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 890 7449 3279

International numbers available:  
<https://zoom.us/j/adsnXEZQIK>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/cpc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Bravo Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to bberisha@carolstream.org. Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in *The Examiner* August 7, 2024. 0807

160 3/16"  
(13' 4 3/16")

CAROL STREAM  
PUBLIC LIBRARY

TYPICAL VIEW  
SCALE (1"=1')

46"  
(3'-4")

TYPICAL VIEW  
SCALE (1"=1')

**LATITUDE**  
SIGNAGE + DESIGN

**PRODUCTION DRAWING**

- A** 1/4" THICK FLAT CUT ALUMINUM LETTERS, PAINTED LC901 WHITE, STANDARD SATIN FINISH
- B** 1/4" THICK FLAT CUT ALUMINUM LOGO PANELS, PAINTED LC901 WHITE, STANDARD SATIN FINISH

**RECEIVED**

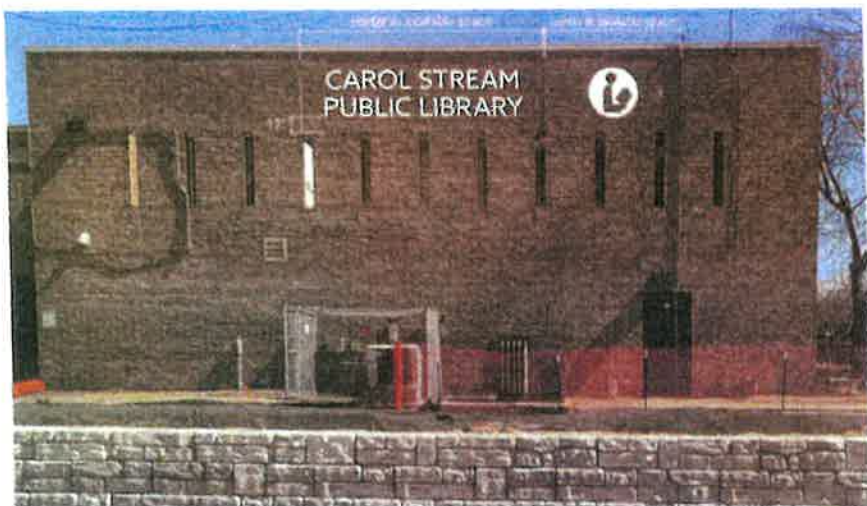
JUL 17 2024

Community Development  
Department

MOUNTING: 10 24 X 3" THREADED STUDS AND SILICONE TO BRICK WALL

LC901 WHITE

 PRODUCTION NOTES



ELEVATION VIEW  
SCALE (1"=1')

CUSTOMER Carol Stream Public Library  
 LOCATION Delauli  
 FILE NAME ST\_E5.5.ai  
 RV # 00 00 00 FMLAS1 (00000)  
 SC TLWILCOXEN  
 DESIGNER TABROWN  
 DATE 04 04 24  
 ORIGINAL TASK NO 146464  
 PD REVIEW BY EPJRH04 05 24

CLIENT APPROVAL /DATE  
 INVENTOR /DATE  
 PAGES 1 OF 1

E5.5

**EXHIBIT A**

# Village of Carol Stream Plan Commission/Zoning Board of Appeals

**STAFF REPORT**

August 26, 2024

**TO:**  
Chairman and Plan Commissioners

**FROM:**  
Community Development  
Department

**CASE MANAGER:**  
Bravo Berisha, Assistant Planner

**ACTION REQUESTED:**  
The applicant is requesting approval of a Special Use Permit for Outdoor Vehicle Storage of school buses and minivans in accordance with Sections 16-3-11 and 16-4-18 of the Unified Development Ordinance (UDO).

**APPLICANT/ CONTACT:**

Robert McNees  
McNees & Associates, LLC  
195 Hiawatha Drive  
Carol Stream, IL 60188



**CASE #:** 24-0036  
**LOCATION:** 505 E. North Avenue  
**PROJECT NAME:** Safeway Transportation Services



| LOCATION         | ZONING DISTRICT               | LAND USE  | COMPREHENSIVE PLAN DESIGNATION |
|------------------|-------------------------------|---|--------------------------------|
| Subject Property | I Industrial District         | Industrial (vacant)                               | Industrial                     |
| North            | I Industrial District         | Industrial (Metals Technology)                    | Industrial                     |
| South            | B-3 General Business District | Commercial (Caputo's Fresh Market)                | Corridor Commercial            |
| East             | B-3 General Business District | Commercial (WDSRA, Auto Showcase of Carol Stream) | Corridor Commercial            |
| West             | I Industrial District         | Industrial (Pregis)                               | Industrial                     |

The 6.7-acre industrial property highlighted above is located near the corner of Schmale Road and North Avenue.

---

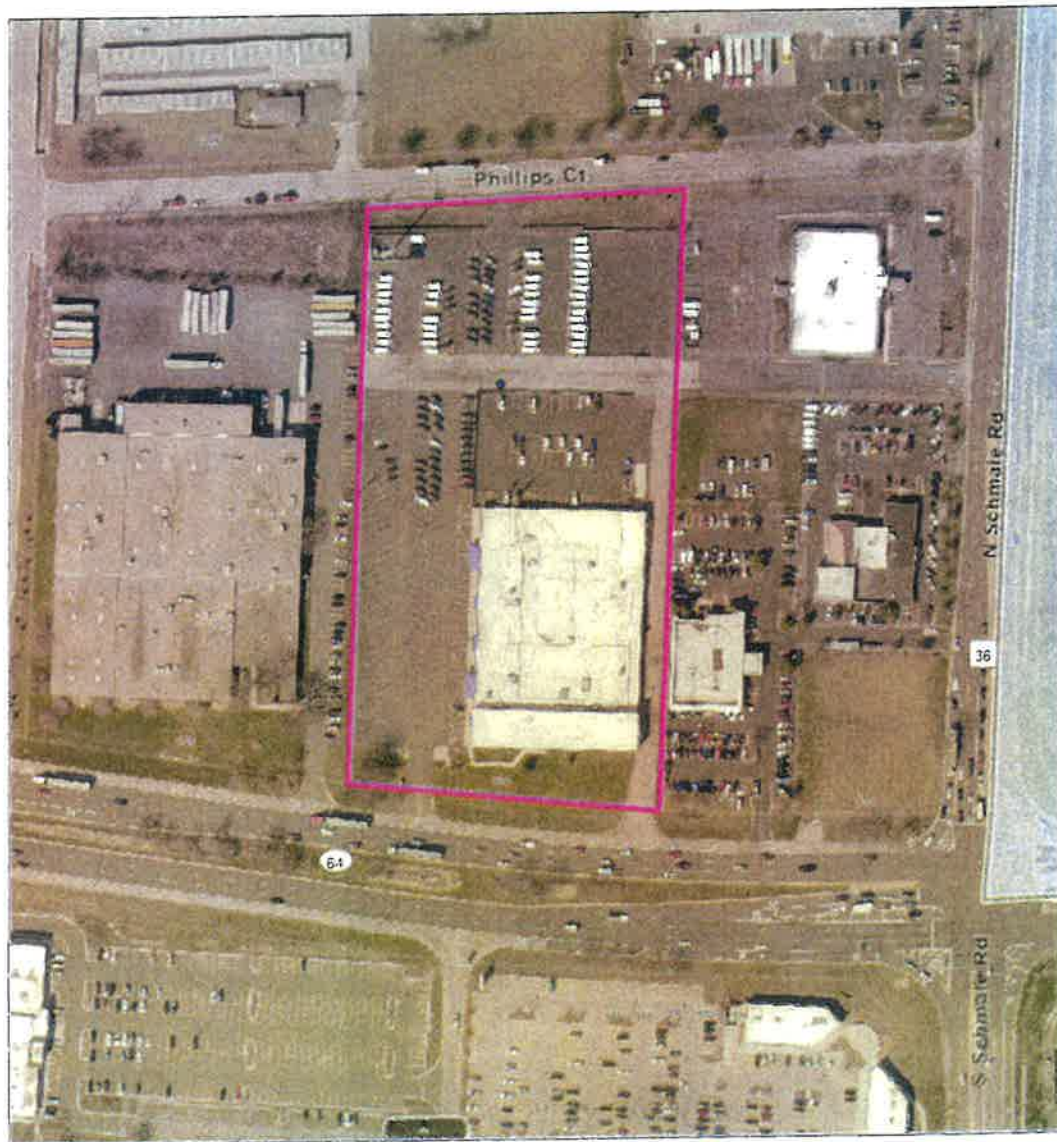
## Site Assessment

---

### COMPREHENSIVE PLAN DESIGNATION:

The subject property is designated for industrial uses according to the Village's 2016 Comprehensive Plan. The proposed outdoor storage of school buses and minivans is compatible with this designation.

### AERIAL PHOTOGRAPH:



---

## Project Summary

---

### **ATTACHMENTS:**

Attached for review is the General Application, Special Use Application, Public Notice, Cover Letter received April 19, 2024, Owner's Consent Letter, Site Plans (Exhibits A1-A2).

### **BACKGROUND:**

The applicant, Robert McNees with McNees & Associates, on behalf of Safeway Transportation Services, requests approval of a Special Use Permit for the outdoor storage of school buses and minivans at the property at 505 E. North Avenue. Safeway Transportation was recently awarded contracts from Glenbard Township High School District 87 and Glen Ellyn District 41 to provide busing services for the students in those districts, and on June 3, 2024 received Special Use Permits for outdoor vehicle storage and vehicle repair and service at 250 N. Schmale Road. Due to the size of their bus and minivan fleet, Safeway Transportation needs additional outdoor storage and has therefore filed a Special Use Permit application to allow for the outdoor storage of school buses and minivans at 505 E. North Avenue.

---

## Staff Analysis

---

### **SPECIAL USE PERMIT FOR OUTDOOR VEHICLE STORAGE AND REPAIR AND SERVICE**

As described in the submitted cover letter, Hopewell Transportation had previously received Special Use Permits for outdoor vehicle storage and used the site to store their fleet of vehicles. Hopewell Transportation no longer occupies the building, and aside from Safeway Transportation, there are no other tenants at the site.

The 6.7-acre site contains a 60,000 square foot building, which has 29,000 square feet of warehouse space and 30,000 square feet of office space, and roughly 148,000 square feet of paved surface for parking and outdoor vehicle storage. Safeway Transportation will be using the lot immediately north of the building and the lots north of the property for storing 79 large and 20 small buses. They will also utilize 60 parking spaces in the north part of the main passenger parking lot to store their minivan fleet. In the building, Safeway Transportation will be using 5,000 square feet of office space for dispatching and logistics purposes and will have a total of four full-time employees. They will operate from 6 am to 5 pm and will stagger vehicle departure and arrival times to avoid any congestion on the property. Safeway Transportation vehicles will not utilize the WDSRA driveway for access to and from Schmale Road, and will only utilize the driveway onto Phillips Court. There will also be no washing or vehicle maintenance taking place onsite. Furthermore, a Special Use Permit for outdoor activities and operations was initially granted to the property with Ordinance 95-06-28. In that Ordinance, a condition required the applicant to install five, five-foot high evergreen trees between Phillips Court and the northern lot. Subsequently, Ordinance 2018-04-15 granted a Special Use Permit to install a cellular tower

on the northwest corner of the property. The landscape plan approved for Ordinance 2018-04-15 stipulated that three new evergreen trees would be installed and maintained in the area between the tower and Phillips Court. Most of these trees have died and not been replaced. It is recommended that any dead or dying trees will be replaced as a condition of approval for this Special Use Permit.

Finally, Staff conducted a parking study for the site, as shown in the following table:

| Business                                | Code Requirement         | Spaces Required   |
|---|--------------------------|---|
| Safeway Transportation<br>5,000 G.S.F.  | 1 space / 250 S.F. NFA   | ~15<br>(Will occupy 60 spaces for minivan storage + 4 spaces for full-time employees) |
| Warehouse Vacant Space<br>29,000 G.S.F. | 1 space / 1,500 S.F. NFA | ~15   |
| Office Vacant Space<br>25,000 G.S.F.    | 1 space / 250 S.F. NFA   | ~75   |
| <b>Parking Spaces Required:</b>         |                          | <b>154 spaces</b>   |
| <b>Parking Spaces Provided:</b>         |                          | <b>182 spaces</b>   |
| <b>Parking Surplus:</b>                 |                          | <b>28</b>   |

There are 182 existing parking spaces in the main parking lot. Safeway Transportation will be utilizing 64 spaces in the main parking lot for minivan storage and employee parking. Using 75% of the gross square footage to calculate net floor area square footage, the vacant warehouse space will require roughly 15 parking spaces and the vacant office space will require roughly 75 parking spaces, which leaves a surplus of 28 spaces.

Staff is supportive of the Special Use request for Safeway Transportation Services, and believes that the proposed use will be similar to previous uses on the property.

#### SPECIAL USE FINDINGS OF FACT

The Plan Commission's recommendation regarding the requested Special Use Permit must be based on the evaluation criteria set forth in the UDO. As stated in §16-8-4(L)(3) of the UDO, no

Special Use shall be recommended by the Plan Commission nor approved by the Village Board unless the Special Use:

1. Are deemed necessary for the public convenience at the location.

Safeway Transportation is seeking additional parking for their bus and minivan fleet to provide student busing transportation.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The rear parking lots are set far back from North Avenue and are already screened with fencing. The site has previously been used for outdoor vehicle storage without detrimental effects to public health, safety, morals, and general welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Other properties within the Industrial District have received Special Use approval for outdoor activities and operations and outdoor vehicle storage with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding properties are already developed. As such, there should be no impact on the normal and orderly development and improvement of surrounding properties.

5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements already exist for the site.

6. Will conform to the applicable regulations of the district in which it is located, except as the Village Board may in each instance modify such regulations.

The proposal is expected to conform to all applicable codes and requirements. Adequate fencing already exists on the property, and procedures will be put in place to ensure that the storage lot and the buses and minivans within the lot are maintained and confined appropriately.

---

## Recommendation

---

Staff has reviewed the applicant's submittal and can support the Special Use request. Therefore, staff recommends approval of a Special Use Permit for Outdoor Vehicle Storage of school buses and minivans, for Safeway Transportation Services at 505 E. North Avenue, subject to the following conditions:

1. That Safeway Transportation vehicles will only utilize the driveway onto Phillips Court to get access to Schmale Road and will not utilize the WDSRA driveway;
2. That buses shall be stored in the north lots indicated on the site plan and shall not be stored in the main passenger parking lot and shall not block access or be parked in drive aisles;
3. That the north lots shall be striped for full-size bus parking prior to the issuance of the Special Use Permit;
4. That minivans shall be stored in the north part of the main parking lot;
5. That only Safeway Transportation vehicles shall be stored on the property;
6. That if there are any significant areas of failed parking lot pavement, such areas shall be repaved prior to the issuance of the Special Use Permit;
7. That eight evergreen trees along Phillips Court, with three west of the driveway and five east of the driveway, shall be installed by October 15, 2024 and maintained in good health thereafter;
8. That the fencing shall be maintained in good condition so as to provide effective solid screening of the bus storage area; and
9. That the site and business must be maintained and operated in accordance with all State, County and Village codes and regulations.





RECEIVED

JUL 18 2024

Community Development Department

|                            |          |
|----------------------------|----------|
| Do Not Write in This Space |          |
| Date Submitted:            | 7-18-24  |
| Fee Submitted:             | \$900.00 |
| File Number:               | 24-0036  |
| Meeting Date:              |          |
| Public Hearing Required:   | Y        |

# Village of Carol Stream

500 N. Gary Avenue • Carol Stream, IL 60188

PHONE 630.871.6230 • FAX 630.665.1064

[www.carolstream.org](http://www.carolstream.org)

FORM A

## GENERAL APPLICATION PUBLIC HEARINGS AND DEVELOPMENT APPROVAL REQUESTS

1. Name of Applicant Safeway Transportation Services Corp. Phone 847-204-2406  
 Address 2450 Lunt Avenue, Elk Grove Village, IL 60007 Fax \_\_\_\_\_  
 E-Mail Address jack@safewayfirst.com  
 (required)  
 Name of Attorney Robert McNees Phone 630-665-8811 x13  
 (if represented)  
 Address 195 Hiawatha Dr., Carol Stream, IL 60188 Fax 630-665-5260  
 Name of Owner 505 E. North, Inc. Phone 630-260-5100  
 (required if other than applicant)  
 Address 1501 E. Main Street, St. Charles, IL 60174 Fax \_\_\_\_\_  
 Name of Architect \_\_\_\_\_ Phone \_\_\_\_\_  
 (if applicable)  
 Address \_\_\_\_\_ Fax \_\_\_\_\_

2. \*Common Address/Location of Property 505 E. North Ave., Carol Stream, IL 60188

3. Requested Action: (check all that apply)

|  |   |
|--|---|
| <input type="checkbox"/> Annexation                        | <input type="checkbox"/> Subdivision – Minor/Major                        |
| <input type="checkbox"/> Courtesy Review                   | <input type="checkbox"/> Temporary Waiver/Code of Ordinances              |
| <input type="checkbox"/> Development Staff Review          | <input type="checkbox"/> Variation – Zoning (requires Form B-1)           |
| <input type="checkbox"/> Gary/North Avenue Corridor Review | <input type="checkbox"/> Variation – Sign (requires Form B-2)             |
| <input type="checkbox"/> Planned Development – Final       | <input checked="" type="checkbox"/> Variation – Fence (requires Form B-3) |
| <input type="checkbox"/> Planned Development – Preliminary | <input checked="" type="checkbox"/> Special Use Permit (requires Form C)  |
| <input type="checkbox"/> Shared Parking Facility           | <input type="checkbox"/> Map Amendment (requires Form D-1)                |
| <input type="checkbox"/> Site Plan Review                  | <input type="checkbox"/> Text Amendment (requires Form D2)                |
|  | <input type="checkbox"/> Staff Adjustment (requires Form E)               |

Describe requested action Special use permit to allow for outdoor storage of school buses, ancillary to school bus office leased facility containing general offices.

4. Fee Schedule: *(Check all that apply)*

Total Application Fee: \$ 800.00

|  |  |         |
|--|--|---------|
| Annexation approvals:  |  |         |
| New development  |  | \$2,000 |
| Other  |  | \$800   |
| Annexation Agreement Amendment   |  | \$800   |
| Appearance fee for approvals required by the UDO but not listed herein |  | \$500   |
| Courtesy Review  |  | \$240   |
| Development Staff Review   |  | \$640   |
| Easement Encroachment  |  | \$300   |
| Gary/North Avenue Corridor Review:                                     |  |         |
| New or replacement monument sign                                       |  | \$500   |
| One discipline (site design, architecture or landscaping)              |  | \$500   |
| Two disciplines  |  | \$1,000 |
| Three disciplines  |  | \$1,500 |
| New development  |  | \$1,500 |
| Outdoor Dining Permit  |  | \$120   |
| Planned Development:   |  |         |
| Existing Planned Development, minor change                             |  | \$500   |
| Existing Planned Development, major change                             |  | \$1,000 |
| New Planned Development  |  | \$1,500 |
| Rezoning (Zoning Map Amendment)  |  | \$640   |
| Shared Parking Facility Permit   |  | \$500   |
| Site Plan Review   |  | \$640   |
| Special Use:   |  |         |
| First  |  | \$800   |
| Each additional  |  | \$200   |
| Special Use Amendment  |  | \$800   |
| Staff Adjustment   |  | \$240   |
| Subdivision:   |  |         |
| Major  |  | \$700   |
| Minor  |  | \$400   |
| Temporary Building, Structure or Use                                   |  | \$120   |
| Temporary Waiver to the Code of Ordinances                             |  | \$120   |
| Text Amendment:  |  |         |
| Building Codes   |  | \$240   |
| Unified Development Ordinance  |  | \$640   |
| Variation:   |  |         |
| First  |  | \$640   |
| Each additional  |  | \$200   |
| Zoning verification letter   |  | \$80    |

5. Applicant Certification

\*I authorize the Village of Carol Stream to install a temporary sign or signs on the property having the common address indicated in Item 2 on this form, for notifying the public of the upcoming public hearing, once the hearing has been scheduled.

I have reviewed a copy of the informational handout(s) for the zoning process(es) for which I am making an application. I am familiar with the code requirements that relate to this application and I certify that this submittal is in conformance with such code(s).

I understand that incomplete or substandard submittals may increase the staff review time and delay scheduling of the public hearing. I also understand that, per § 6-13-6 of the Municipal Code, the Village's costs of legal reviews, structural engineering review, and other special reviews determined to be necessary by the Community Development Director, performed by means of consultant services, shall be paid at the billed rate to the Village by the applicant.

In recognition of the time and expense involved in the preparation of final engineering design documents for projects involving new construction and/or land development, and in view of the uncertainty of ultimate project approval by the Village Board, the Village does not require final engineering design drawings to be submitted with most applications for public hearings and development approval requests. However, it is the applicant's responsibility to provide sufficient plan detail to demonstrate the overall feasibility of the project design, to include preliminary grading, stormwater management calculations and utility configuration, prior to the application being scheduled for a public hearing before the Plan Commission. Following project approval by the Village Board, the applicant accepts that during final engineering review, it may be determined that revisions to the overall project design are necessary, which may require plan revisions and additional costs to the applicant.

Lakhvir Sahota, President

Print Name

  
Signature

Date

7-16-2024

10-10-2019



FORM C

RECEIVED

JUL 18 2024

# Village of Carol Stream

Community Development Department

500 N. Gary Avenue • Carol Stream, IL 60188  
630.871.6230 • FAX 630.665.1064

e-mail: [communitydevelopment@carolstream.org](mailto:communitydevelopment@carolstream.org) • website: [www.carolstream.org](http://www.carolstream.org)

## SPECIAL USE APPLICATION

Uses designated under the various zoning districts herein as special uses are so classified because they may have site-specific impacts that require the discretionary review of the Plan Commission and Village Board. Each special use request must be reviewed based on its unique character, with consideration being given to the proposals impact upon neighboring properties. (Please address each of the following standards as it relates to your request.)

No special use shall be recommended by the Plan Commission nor approved by the Village Board, unless the special use:

1. Is deemed necessary for public convenience at the location.

Safeway Transportation is seeking additional parking for school buses to provide student busing transportation for Glenbard Township High School District 87 and Glen Ellyn District 41.

2. Will not be unreasonably detrimental to or endanger the public health, safety, morals, comfort or general welfare.

The rear parking lots set well back from North Avenue have previously been used for small school bus parking, with screening landscaping installed along the frontage (Ordinance No. 2019-09-31). The outdoor school bus parking won't be detrimental to the public health safety, morals, comfort or ground welfare.

3. Will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Other properties within the Industrial District have received special use permit approval for outdoor activities and operations, including the outdoor storage of vehicles, including buses, with no apparent injury to the use or enjoyment of properties in the immediate vicinity, or diminution or impairment to property values within the neighborhood.

4. Will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Surrounding industrial properties are already developed. As such there should be no impact in the normal and orderly development of surrounding industrial properties.

- 5. Will provide adequate utilities, access roads, drainage and other important and necessary community facilities.

Adequate utilities, access roads, drainage and other public improvements are already in place for the proposed storage lot.

---

---

- 6. Will conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board.

The proposal is expected to conform to all applicable codes and requirements. Adequate landscaping and fencing to screen the storage lot for larger vehicles already exists. Procedures will be put in place to assure that the storage lot and buses within the lot are maintained appropriately.

---

---

- 7. Other pertinent information or reason for request.

---

---

# Certificate of the Publisher

Examiner Publications, Inc. certifies that it is the publisher of The Examiner of Carol Stream. The Examiner of Carol Stream is a secular newspaper, has been continuously published weekly for more than fifty (50) weeks prior to the first publication of the attached notice, is published in the Village of Carol Stream, township of Bloomingdale, County of DuPage, State of Illinois, is of general circulation throughout that county and surrounding area, and is a newspaper as defined by 715 ILCS 5/5.

A notice, a true copy of which is attached, was published 1 times in The Examiner of Carol Stream, namely one time per week for 1 successive weeks. The first publication of the notice was made in the newspaper, dated and published on August 7, 2024 and the last publication of the notice was made in the newspaper dated and published on August 7, 2024. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

In witness, Examiner Publications, Inc. has signed this certificate by Randall Petrik, its publisher, at The Village of Carol Stream, Illinois, on August 7, 2024.

Examiner Publications, Inc.

By: Publisher



Randall E. Petrik, Publisher, Examiner Publications, Inc.

Subscribed and sworn to before me this 7 day of August, A.D. 2024.

Notary Public



## LEGAL NOTICE FILE #24-0036

Notice is hereby given that the Carol Stream Plan Commission/Zoning Board of Appeals will hold a Public Hearing at the Carol Stream Gregory J. Bielawski Municipal Center, 500 N. Gary Avenue, Carol Stream, Illinois, on Monday, August 26, 2024 at 6:00 p.m. to consider an application from Safeway Transportation Services for the following actions:

A Special Use Permit to allow for outdoor vehicle storage, in accordance with Sections 16-3-11 and 16-4-18 of the Carol Stream Unified Development Ordinance.

For the property located at 505 E. North Avenue (PIN 02-33-302-010)

The hearing will be held in-person and via a web conference meeting. The web conference will allow the public to view the meeting online or listen to the meeting.

Join from a PC, Mac, iPad, iPhone or Android device by using the following URL:

[https://us02web.zoom.us/join/https://us02web.zoom.us/join/register/WN\\_GBKc8b6sQFqHhGPT26WoQ](https://us02web.zoom.us/join/https://us02web.zoom.us/join/register/WN_GBKc8b6sQFqHhGPT26WoQ)

Or join by phone: Dial (for higher quality, dial a number based on your current location):

+1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656

Webinar ID: 890 7449 3279

International numbers available:

<https://zoom.us/j/adsnXEZQik>

Those members of the public wishing to be heard with respect to this matter must attend in-person, or complete the public comment form at <http://carolstre.am/pc> by 4:00 p.m. the day of the public hearing. The public may also provide written comments prior to the public hearing by submitting them to Brave Berisha, Assistant Planner, 500 N. Gary Ave., Carol Stream, IL 60188, or may provide email comments by sending them to [bberisha@carolstream.org](mailto:bberisha@carolstream.org). Comments must be provided by 4:00 p.m. the day of the public hearing. The application is available for public inspection on the Village's website at [www.carolstream.org](http://www.carolstream.org), and under the "Development Projects" button. Individuals with disabilities who plan to attend the hearing and who require certain accommodations in order to allow them to observe and participate, or who have questions regarding the accessibility of the meeting, are requested to contact the ADA Coordinator at 630-871-6250.

As published in The Examiner August 7, 2024. 0807

OWNER'S CONSENT

The undersigned states that it is the owner of the following described property:

Address: 505 E. North Ave., Carol Stream, IL 60188

Parcel No.: 02-33-302-010

The undersigned authorizes SAFEWAY TRANSPORTATION SERVICES CORP., 250 Lunt Avenue, Elk Grove Village, IL 60007, as tenant, to execute an application and documentation for an amended Special Use Permit for outdoor storage of school buses at the above described property.

Owner Name:

505 E. North, Inc.  
1501 E. Main Street  
St. Charles, IL 60174

By *Charles Mascari*  
Charles Mascari, President

Date: 7/16/2024

STATE OF ILLINOIS        )  
  ) SS  
COUNTY OF DUPAGE     )

SUBSCRIBED and SWORN to before me  
this 16 day of July, 2024.

*Robert A. McNees*



Robert A. McNees, Attorney  
McNees & Associates, LLC  
195 Hiawatha Drive  
Carol Stream, IL 60188  
(630) 665-8811  
(630) 665-5260 (fax)

RECEIVED  
JUL 18 2024  
Community Development  
Department

Robert A. McNees  
Attorneys at Law  
195 Hiawatha Drive  
Carol Stream, IL 60188  
*Phone* (630) 665-8811  
*Fax* (630) 665-5260

July 19, 2024

Village of Carol Stream  
The Mayor, Board of Trustees  
500 N. Gary Ave.  
Carol Stream, IL 60188

VIA HAND DELIVERY

Re: Proposed Temporary Waiver/Code of Ordinances for outdoor storage of large school buses and minivans--505 E. North Ave., Carol Stream, Illinois

Dear Sirs & Madams:

Please be advised that I represent Applicant, Safeway Transportation Services Corp. ("Safeway"), prospective tenant of Suite 200 in the building located at 505 E. North Ave., Carol Stream, Illinois. The owner of the subject property, 505 E. North, Inc., (also my client) consents to this application. Safeway's lease at the property is contingent on receiving necessary zoning approvals for Safeway to store and park overnight large school buses and minivans in the rear parking areas of the property. Applicant has recently filed its application for a special use permit to do so at the subject property, but if approved, the earliest that the Village could adopt an appropriate ordinance is early in September. Safeway needs to start providing busing early in August, 2024, hence this request for a temporary waiver.

The subject property is located on the north side of North Ave., to the west of Schmale Rd. The property contains 6.7 acres and is improved with a building containing 60,000 sq. ft. of leasable space. The building, (300' x 200') has additional 2<sup>nd</sup> floor space, but there is no elevator. The balance of the property is improved with paved parking and driving aisles. The property is zoned Industrial and is subject to amended special use permits that allow for overnight parking and storage of small school buses and minivans. Towards the northern part of the property, there is a 51 ft. wide access/ingress easement running east to Schmale Rd., through property owned by WDSRA (east-west drive aisle).

The rear, approximately 80,000 sq ft of property lying north of the east-west drive aisle is paved and used for parking (except the very northwest corner, occupied by a cell tower). Ordinances No. 2017-11-66 and 2019-09-31 granted special use permits to Hopewell Transportation for the outdoor storage and parking of small buses in the rear lot and minivans in the north 70 passenger parking space in the main parking lot.

Since the issuance of the 2019 special use permit, First Student, f/k/a Hopewell Transportation, has occupied Suite 200 (about 5,000 sq. ft.), in the 505 Building. Recently Safeway Transportation Services Corp. was awarded the bid to provide busing for Glenbard Township School District 87 and Glen Ellyn School District 41 for a 5 year term, commencing school year 2024-2025. Carol Stream recently granted Safeway a special use permit for repairing and maintaining its fleet and for a limited amount of bus parking at 250 N. Schmale Rd., nearby (Ordinance No. 2024-019). Safeway provides busing for both special needs



students and students without special needs. Safeway needs additional parking spaces for its fleets of larger school buses and minivans. Safeway also needs some additional office space for staff in the 505 Building.

Attached is a sketch showing the proposed parking layout for the Safeway fleet. 50 large buses would park in the rear lots located to the north of the east west drive aisle to Schmale Rd. and to the south of Phillips Court. 13 large school buses would also park in the west half of the parking lot adjoining and to the north of the 505 Building. Safeway's sketch calls for 60 passenger parking spaces in the main lot for its minivan fleet. The main parking lot is striped for 182 passenger parking spaces. The owner has just repaved much of the main parking lot, so it will need to be restriped, if not already done. Ordinance 2019-09-31, Hopewell's 2019 special use permit, allowed for 70 minivan parking spaces in the north part of the main parking lot.

First Student no longer has the contract to provide school busing for Glenbard Township School District 87 and Glen Ellyn School District 41. Safeway now has the busing contract. First Student is terminating its lease, in its entirety, at 505 E. North. First Student has vacated the building. Over landlord's objection, First Student moved large school buses into the rear lots and parked them there. First Student has since been gradually removing the large school buses, and indicates that they will have completely removed them on or by July 31, 2024.

With the departure of First Student, the 505 Building is totally vacant. As the main parking lot has a total of 182 passenger parking spaces, there remains plenty of parking available for future tenants' employees and clients. Additionally, the east half of the rear parking lot adjoining the building is being reserved to preserve access to the rear shipping dock for the building. Much of the rear of the building has been used for warehousing. The front of the building has been used primarily for offices.

Pursuant to Ordinance 2019-09-31, landscape screening has been planted along the south boundary of the main parking lot, adjoining North Ave, to screen the fleet parking in the rear of the property. The rear lot is screened to the east from the WDSRA property adjoining to the east, and from Phillips Court with slatted fence screening.

The parking lots on this property predate the newer Village code requirements that greenspace be provided in the passenger parking areas. Safeway requests that no additional parking lot landscaping requirements be imposed in connection with this request

Safeway agrees to the following operating conditions previously established for fleet parking in the rear of the property: (a) Safeway buses shall not use the WDSRA driveway onto Schmale, but rather use the driveway onto Phillips Court, to access Schmale Rd. (b) No vehicle maintenance or vehicle washing will take place at the property. Safeway will comply with all other applicable codes and requirements, if granted this temporary waiver.

As previously indicated in Safeway's submittal for the 250 N. Schmale Rd. special use permit, Safeway's office schedules when buses depart and return, so that the movement of buses is staggered to and from

the property. Bus drivers park their cars in the spaces where their bus had been parked. Hours of operation at the subject property would, with some exceptions, be: Monday -Friday, 6:00am -5:00pm.

Safeway does not contemplate changes to the building. The Hopewell office space is sufficient for Safeway's use.

The adjoining properties to the North and West are zoned Industrial. The property immediately to the east is zoned B3 and the property to the south on the south side of North Ave., is zoned B-3. The Comprehensive Plan designates the subject property as Industrial.

Enclosed please find: Form A, General Application; and Safeway's diagram indicating the parking spaces needed for its fleet parking, Owner's Consent for the special use application; a copy of the site plan showing the Safeway proposed parking spaces; site plans one showing the main parking lot and building, and one showing the cell tower and rear parking areas; the legal description for the property; a copy of the deed to the property to Premium Products Plus, Inc., n/k/a 505 E. North, Inc.; and a screen shot of the Illinois Secretary of State Website showing the name change to 505 E. North, Inc. Also attached please find the necessary filing fees of \$120.

Safeway will be providing a much-needed school busing service to Carol Stream residents, as well as residents in the Glenbard Township School District 87 area. A bus parking lot proximate to the area being served reduces fuel usage and helps reduce air particulates. Local residents will benefit from the job opportunities provided by Safeway busing needs. The long-term Safeway lease at the 505 building will help keep the building a productive member of the industrial zone.

Applicant and Owner respectfully request that the Village grant the requested temporary ordinance waiver to allow Safeway outdoor storage and parking of its large school buses in the rear lots of the building and up to 60 minivans in the main parking lot for passenger vehicles, pending the Village's consideration of Safeway's pending application for a special use permit to do so.

Very Truly Yours,

MCNEES & ASSOCIATES, LLC

By: \_\_\_\_\_

Robert A. McNees

Encl.

cc: Mr. Jack Loehr by email  
Mr. Charles Mascari by email

Robert A. McNees

Attorneys at Law

195 Hiawatha Drive  
Carol Stream, IL 60188

*Phone* (630) 665-8811

*Fax* (630) 665-5260

August 20, 2024

Via Hand Delivery

Mr. Bravo Berisha  
Assistant Planner  
Village of Carol Stream  
500 N. Gary Ave.,  
Carol Stream, IL 60188

Re: 505 E. North Ave.  
Safeway Transportation Services Special Use Permit Application

Dear Bravo:

As a further supplement to Safeway's application for a special use permit, permit me to confirm that Safeway is requesting permission to park 20 small and 79 large buses in Lots 1, 2 and 3. The number of minivan parking spaces remains at 60. The prior plan submitted was simply based upon the size of the lots and how many buses they could at a minimum easily fit in that size area. Safeway walked the site yesterday and adjusted how they would lay out the parking. The proposed mix is as follows:

Lot 1: 34 large buses and 20 small buses;

Lot 2: 25 large buses;

Lot 3: 20 large buses; and

Lot 4: 60 minivans.

Attached is a parking space striping plan for Safeway fleet parking.

Please revise the Safeway application accordingly.

If you have any questions, please contact me.

Thanks for your assistance.

Very truly yours,

McNEES & ASSOCIATES, LLC

By: \_\_\_\_\_

  
Robert A. McNees

RAM/ram

Enc.

cc: Mr. Charles Mascari by email  
Mr. Lucky Sahota by email

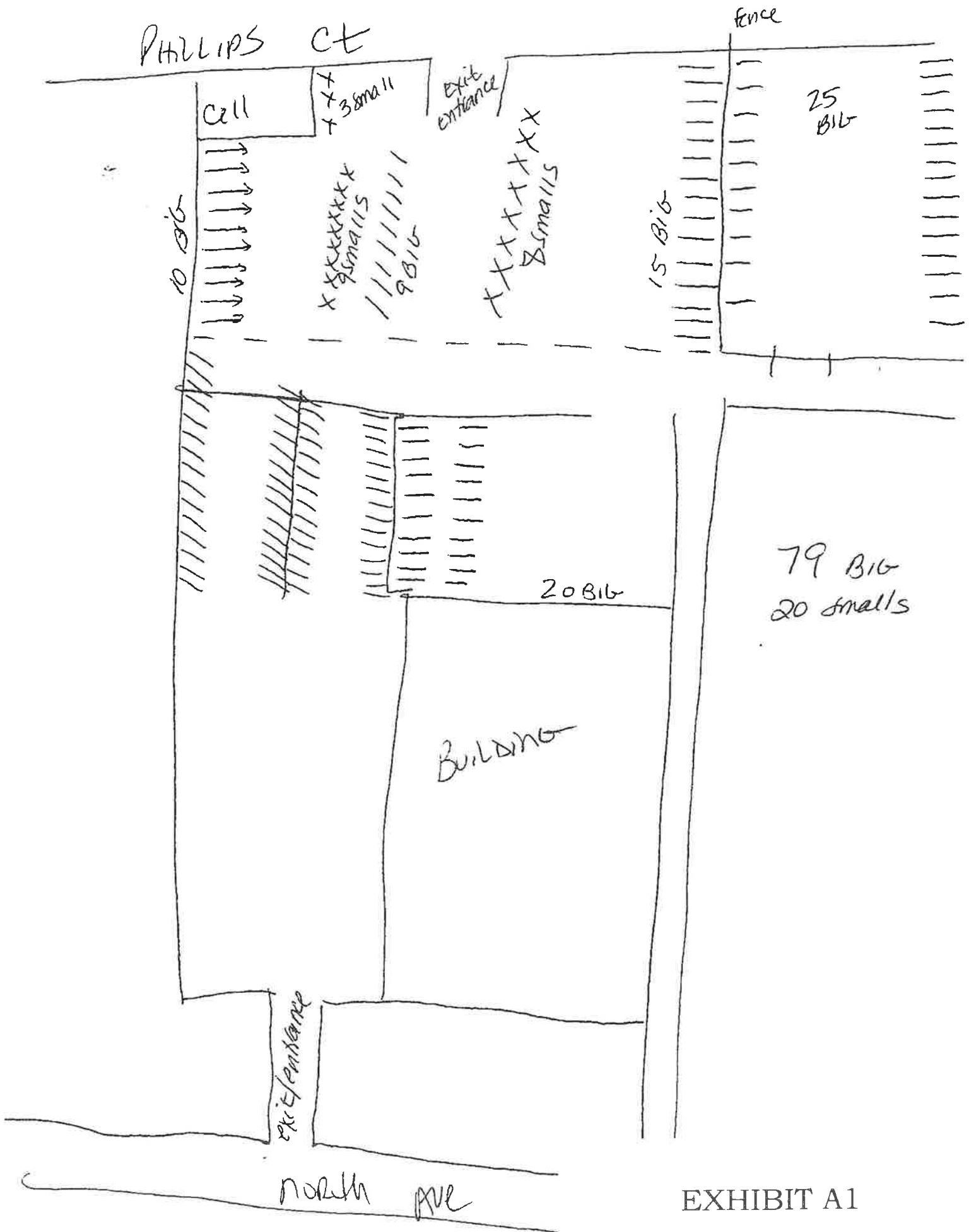


EXHIBIT A1



EXHIBIT A2

- Aerial shows vehicle storage layout used by previous tenants. Color coded boxes show where Safeway Transportation’s fleet will be stored.